

Annual Mean Temperature	45° F.
Air Freezing Index	1500
Flood Hazards	0
Ice and Winter Shield Underlayment	Yes
Winter Design Temperature	0° F.
Decey	none
Termite	none
Frostline Depth	4'-0"
Weathering	Severe
Seismic Design Category	C-D
Wind Speed	100 mph.
Ground Snow Load	50 psf.

GENERAL NOTES

- dimensions are to face of framing or masonry unless noted otherwise the contractor shall obtain rough opening dimensions from manufacturer. These drawings do not provide rough openings

- $2'-0\frac{3}{4}$ dimension to be constructed
- $2'-9\pm$ nominal dimension to allow for adjustments
- $2'-0\frac{3}{4}$ dimension to be verified in field for coordination
- $2'-0\frac{3}{4}$ minimum dimension required
- $2'-0\frac{3}{4}$ maximum dimension allowed
- $2'-0\frac{3}{4}$ exact dimension required
- $\frac{1}{16}$ door size w/h. in feet and inches
- $\frac{1}{16}$ indicates number of door panels
- $\frac{1}{16}$ bifold door
- $\frac{1}{81}$ building cross section
- $\frac{1}{81}$ wall section
- $\frac{1}{12}$ detail section
- $\frac{1}{81}$ detail plan
- $\frac{1}{81}$ building elevation
- WT-03 wall type
- sh. ab. interior elevation key
- smoke alarm: builder shall review exact locations with owner
- millwork built-in millwork: see millwork sheet or provide as design-build
- wall to be demolished
- existing wall
- new wall
- new wall with insulation
- roof slope: vertical rise per horizontal run $\frac{1}{12}$

ABBREVIATIONS:

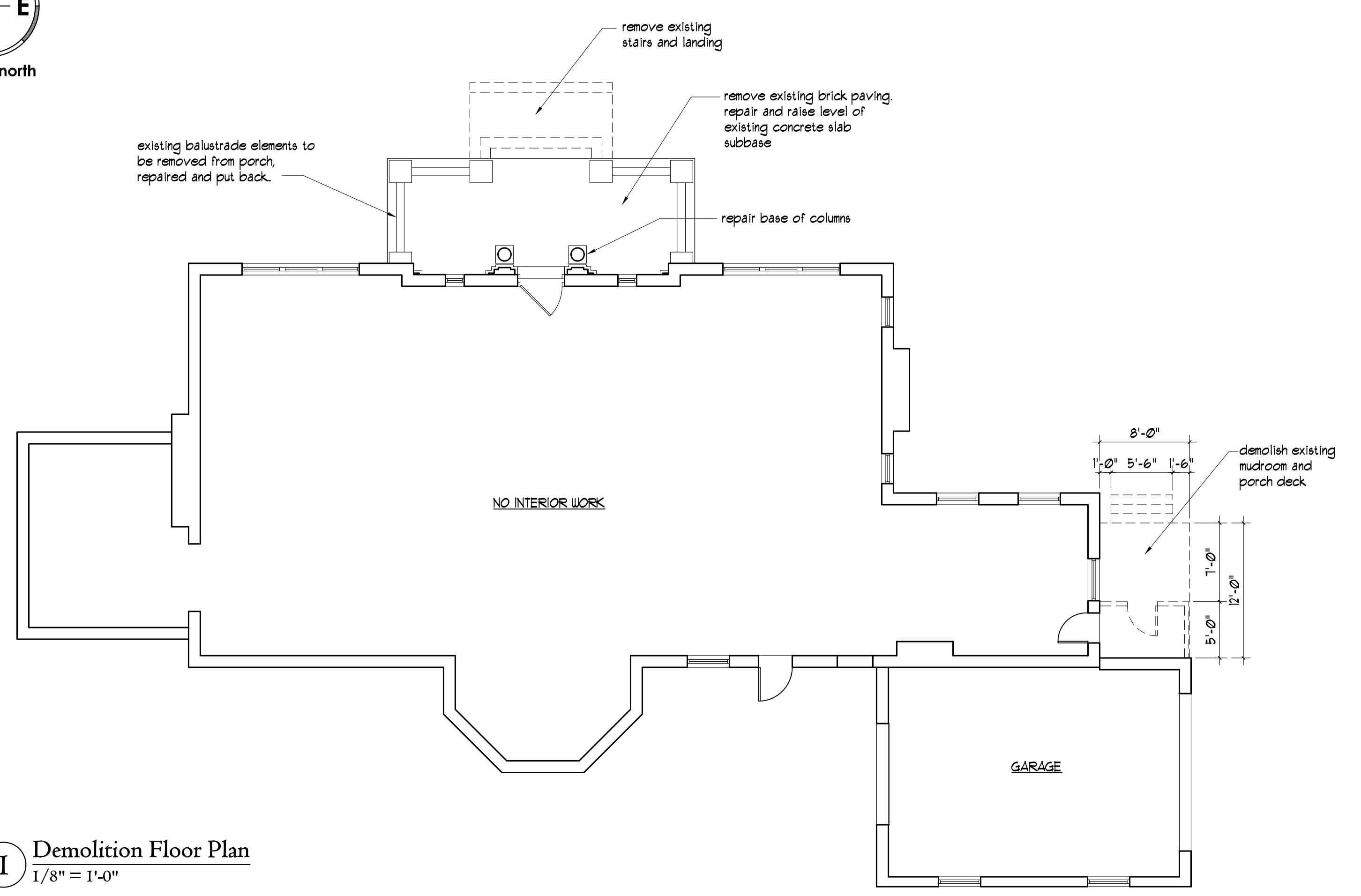
a.f.f. above finished floor
 u.n.o. unless noted otherwise
 v.l.f. verify in field
 r.o. rough opening
 ex. existing

Minimum Live Loads per IRC 2003:

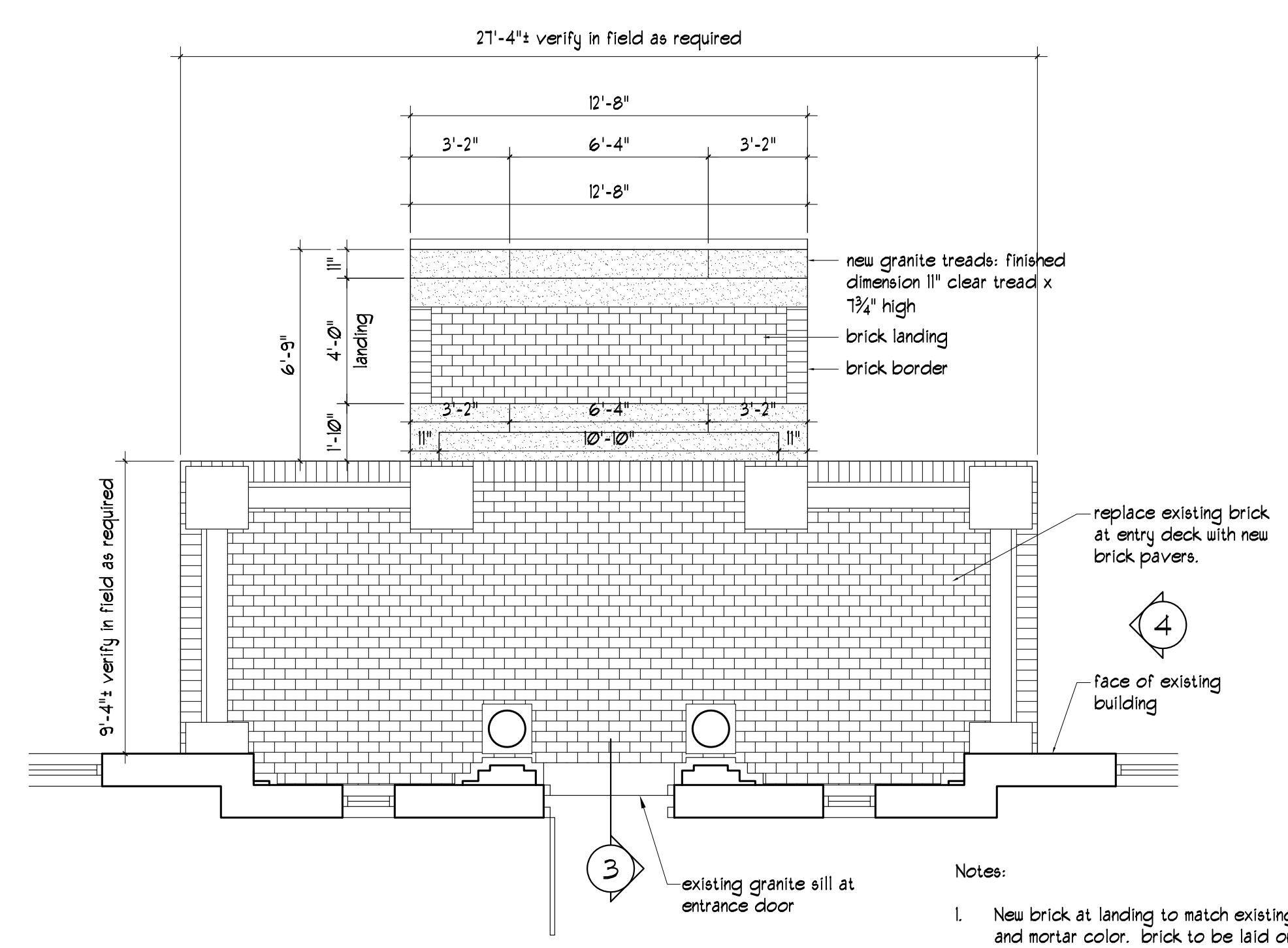
Dwelling Units 40 psf
 Sleeping Areas 30 psf
 Exterior Balconies 60 psf
 Decks 40 psf
 Attic, no storage 10 psf
 Attic, with storage 20 psf



I Demolition Floor Plan
 1/8" = 1'-0"

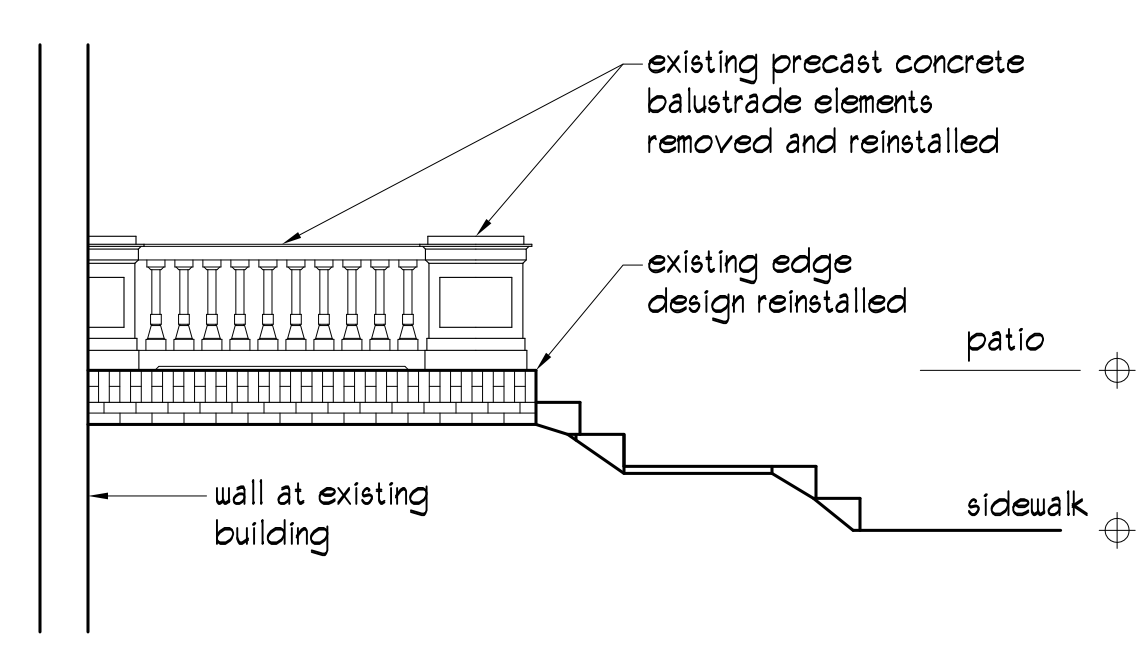


2 Brick Patio plan
 1/4" = 1'-0"

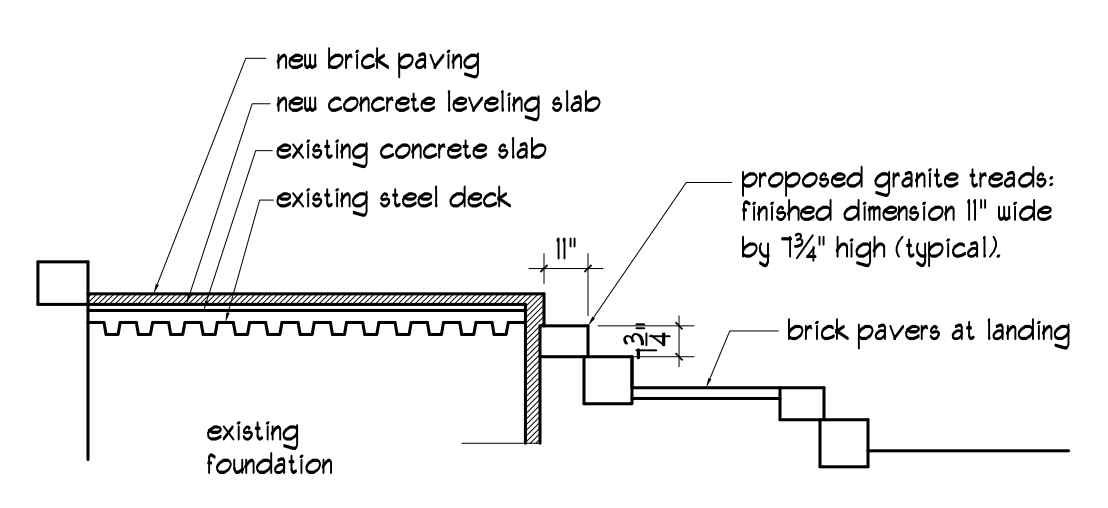


- Notes:**
- New brick at landing to match existing for color and mortar color. Brick to be laid on back instead of edge. Contractor shall submit mortar mix and color to Historic Staff. Provide 48" x 48" sample installation for review by planning staff.
 - New Granite with thermal finish to match existing granite sill at entry door for color and texture

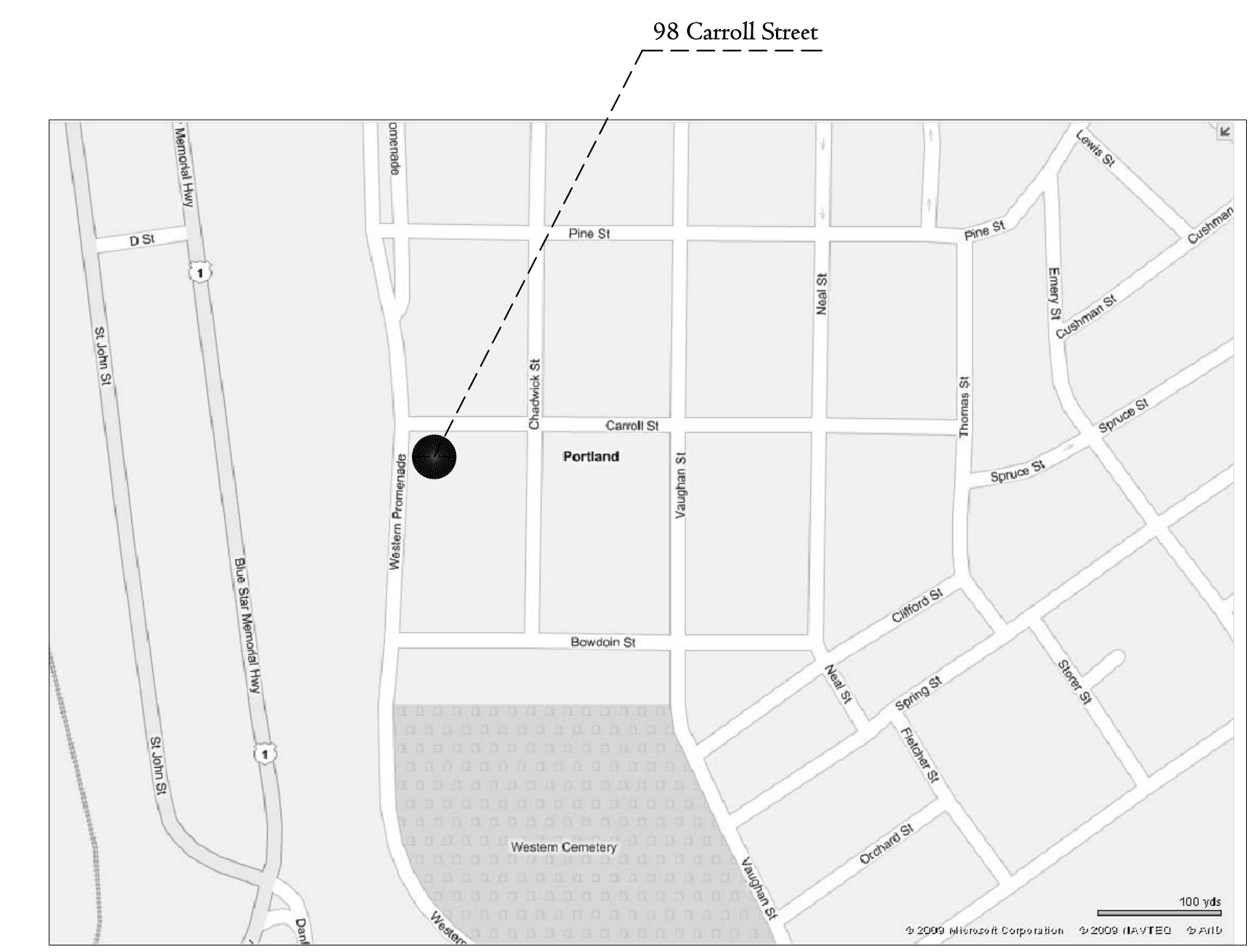
4 Brick Patio side elevation
 1/4" = 1'-0"



3 Brick Patio cross section
 1/4" = 1'-0"



I Location Map
 not to scale



GENERAL NOTES:

- These drawings shall include the documents submitted to the City of Portland on June 24, 2009 and approved by the Portland Historic Board on July 8, 2009. The contractor shall abide by any and all conditions placed on the Certificate of Appropriateness by the Historic Board. The contractor is responsible for obtaining all permits and inspections for the project.
- These drawings have been prepared in an effort to comply with the applicable provisions of the International Residential Code, 2003 edition.
- The architect is not responsible for the means, methods, sequence, procedures, techniques, scheduling of construction, or safety of the work required by this project.
- The Contractor shall verify existing conditions where noted on the drawings and report to the architect any existing conditions that are not as shown on the drawings.
- These drawings were developed expressly for the Johnson and Kaplan Residence at 98 Carroll Street in Portland, Maine. The design and details may not be used in any other circumstance without the permission of Josef Chalut, Architect.
- The contractor shall report to the architect any problem, error or omission discovered in these drawings as soon as possible.
- The contractor is responsible for the shoring and temporary support of existing structural members that the work requires.
- The contractor shall be responsible for cutting, patching and fitting the new work to the existing.
- These drawings do not include electrical, plumbing, or mechanical information.

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- List of Drawings**
- a1 Cover Info, demolition
 - Brick Entry Patio
 - a2 Porch plans and elevations
 - a3 Porch Cross Sections
 - a4 Details
 - s1 Framing and structural details

Date of these drawings:
 August 20, 2009

Kaplan & Johnson Residence
 98 Carroll Street
 Portland, Maine

demolition, brick patio, location, data