

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

## BUILDING INSPECTION

### PERMIT

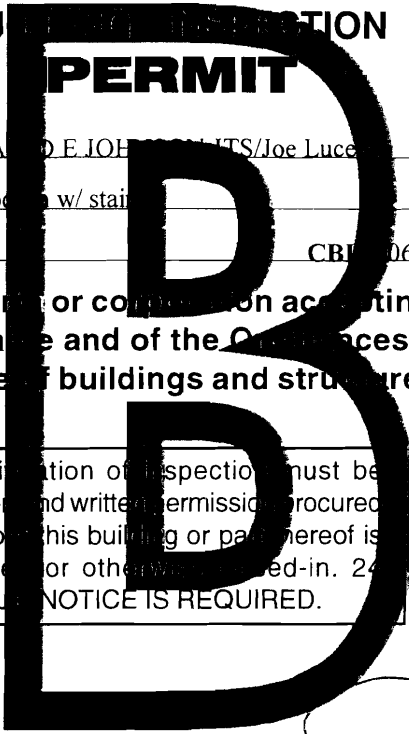
Permit Number: 091411

### PERMIT ISSUED

Please Read Application And Notes, If Any, Attached

This is to certify that KAPLAN CHARRISSE I & DAVID D.E. JOHNSON ARCHITECTS/ Joe Luce  
has permission to Repair/ Re-Build existing side porch w/ stairs  
AT 98 CARROLL ST CBI# 069 A001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise worked-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

#### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*[Handwritten Signature]*  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1411	Issue Date:	CBL: 069 A001001
-----------------------	-------------	---------------------

Location of Construction: 98 CARROLL ST	Owner Name: KAPLAN CHARRISSE I & DAVI	Owner Address: 98 CARROLL ST	Phone:
Business Name:	Contractor Name: Joe Lucey	Contractor Address: 482 Walnut Hill Rd No Yarmouth	Phone: 2076714249
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: 5-4

Past Use: Single Family Home	Proposed Use: Single Family Home - Repair/ Re-Build existing side porch w/ stairs (enclosed mudroom! open porch w/ deck over it)	Permit Fee: \$230.00	Cost of Work: \$21,000.00	CEO District: 2
Proposed Project Description: Repair/ Re-Build existing side porch w/ stairs		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>U/A</i>	INSPECTION: Use Group: <i>R-3</i> Type: <i>SB</i> <i>IRC 2003</i> Signature: <i>[Signature]</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Ldobson	Date Applied For: 12/14/2009	<b>Zoning Approval</b>
-----------------------------	---------------------------------	------------------------

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**PERMIT ISSUED**

30

City of Portland

<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>12/15/09</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> y0 <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>12/21/09</i>
---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

*[Signature]*  
Date: *12/21/09*

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 09-1411	<b>Date Applied For:</b> 12/14/2009	<b>CBL:</b> 069 A001001
------------------------------	----------------------------------------	----------------------------

<b>Location of Construction:</b> 98 CARROLL ST	<b>Owner Name:</b> KAPLAN CHARRISSE I & DAVID	<b>Owner Address:</b> 98 CARROLL ST	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Joe Lucey	<b>Contractor Address:</b> 482 Walnut Hill Rd No Yarmouth	<b>Phone:</b> (207) 671-4249
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Dwellings	

<b>Proposed Use:</b> Single Family Home - Repair/ Re-Build existing side porch (enclosed mudroom & open porch with roof over it) w/ stairs	<b>Proposed Project Description:</b> Repair/ Re-Build existing side porch (enclosed mudroom & open porch with roof over it) w/ stairs
-----------------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------

<b>Dept:</b> Historic	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Deborah Andrews	<b>Approval Date:</b> 12/21/2009
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
1) * Construction details to be consistent with those approved by Historic Preservation Board on July 8, 2009.			
<b>Dept:</b> Zoning	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Ann Machado	<b>Approval Date:</b> 12/15/2009
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
1) This permit is being issued with the condition that all the work take place within the existing footprint and that the 6' x 8' area can have a roof over it but it cannot be enclosed.			
2) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.			
3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.			
4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
<b>Dept:</b> Building	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Tammy Munson	<b>Approval Date:</b> 12/30/2009
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			
2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.			

**PERMIT ISSUED**

<b>Comments:</b> 12/21/2009-gg: received permit from historic as of 12/21/09. /gg
--------------------------------------------------------------------------------------

30  
City of Portland

**BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY )**

**to schedule your inspections as agreed upon**

**Permits expire in 6 months, if the project is not started or ceases for 6 months.**

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

**By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.**

**A Pre-construction Meeting will take place upon receipt of your building permit.**

  X   **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

  X   **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

  X   **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

\_\_\_\_\_  
Signature of Applicant/Designee

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Inspections Official

\_\_\_\_\_  
Date

**PERMIT ISSUED**

09-30

**City of Portland**



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>48 Carroll St.</u>		
Total Square Footage of Proposed Structure/Area <u>96 SF Porch w/stairs</u>		Square Footage of Lot <u>8616 SF</u>
Tax Assessor's Chart, Block & Lot Chart# <u>69</u> Block# <u>A</u> Lot# <u>1</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Dward Johnson</u> Address <u>48 Carroll St.</u> City, State & Zip <u>Portland ME</u>	Telephone:
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>21,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>230</u>
Current legal use (i.e. single family) <u>Single Family</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Single Family</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Repair / Re Build existing side porch w/stairs</u>		
Contractor's name: <u>Joe Lucey Carpentry Inc</u> Address: <u>482 Walnut Hill Rd.</u> City, State & Zip <u>No Yarmouth ME 04097</u>		Telephone: <u>671-4249</u>
Who should we contact when the permit is ready: <u>Joe Lucey</u>		Telephone: <u>671-4249</u>
Mailing address: <u>482 Walnut Hill Rd. N. Yarmouth ME 04097</u>		

*Mail contractor*

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

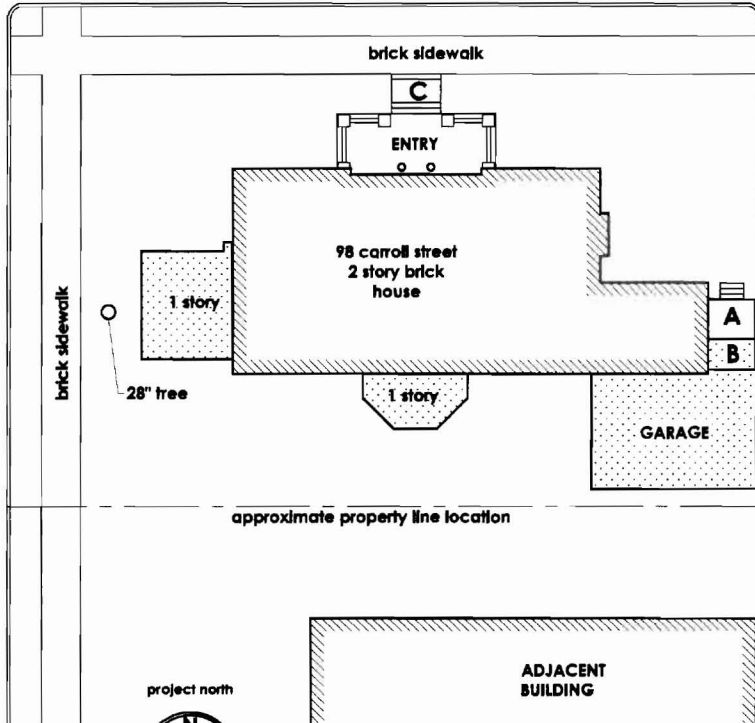
Signature: [Signature] Date: 12/13/09

**This is not a permit; you may not commence ANY work until the permit is issue**

**RECEIVED**  
DEC 14 2009  
Dept. of Building Inspections  
City of Portland Maine

josef chalat, architect  
 cape elizabeth, maine  
 207 799 0404

CARROLL STREET



ALLEYWAY

**EXISTING CONDITIONS PERTAINING TO THIS PROJECT**

- A. existing deck: 6'-10" x 8'-0"
- B. existing mud room: 5'-2" x 8'-0"
- C. existing brick stairs, landing and entrance patio

**Existing permits:**

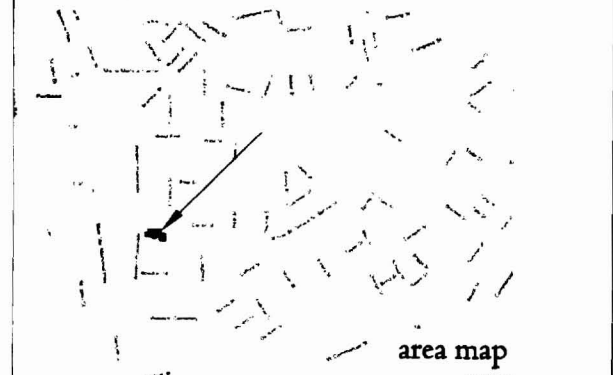
1. permit exists for 12' x 8' addition with stairs as shown



street view #1



ariel view



area map

project north



**EXISTING SITE PLAN** 1" = 20'-0"



existing detail #3



WESTERN PROMENADE

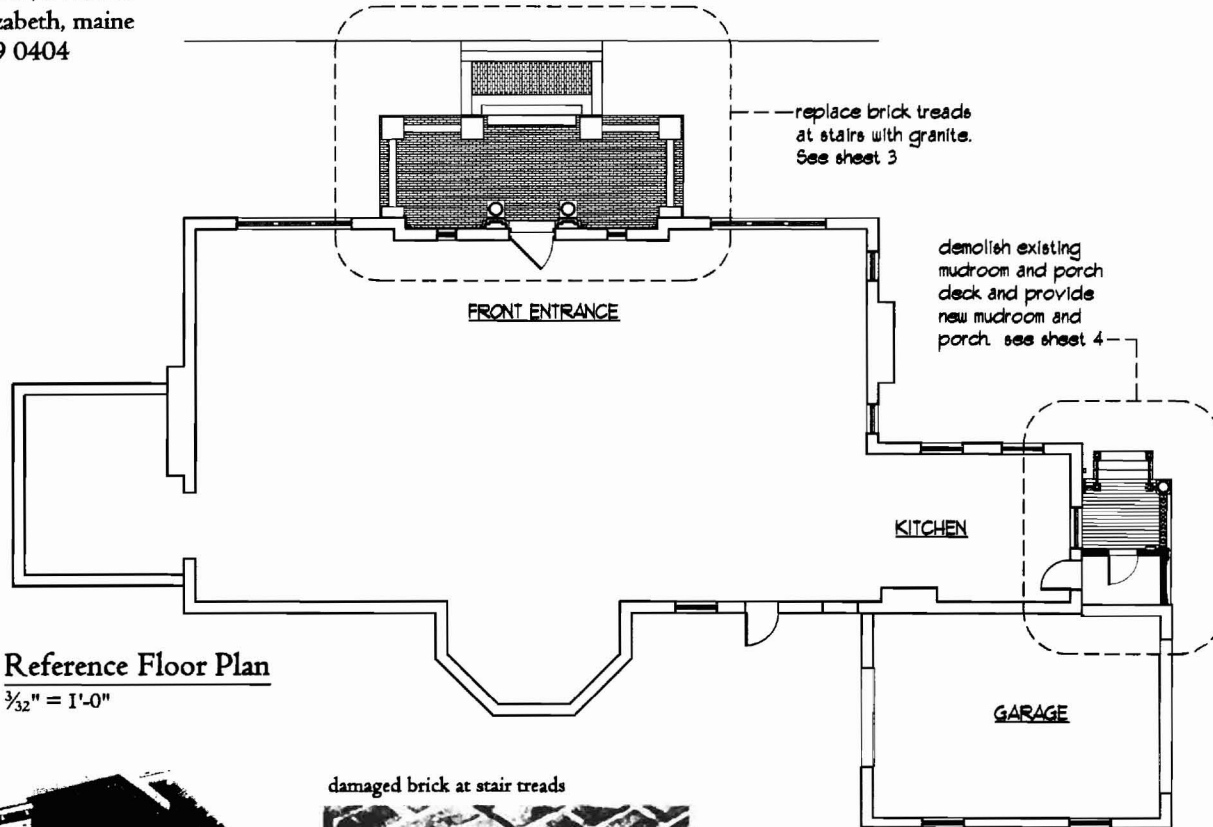
The Johnson Residence  
 98 Carroll Street, Portland, Maine

existing site conditions

June 24, 2009

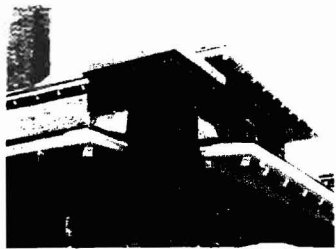
I

josef chalat, architect  
 cape elizabeth, maine  
 207 799 0404



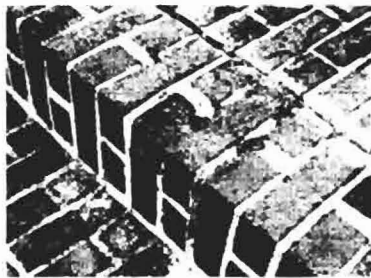
**Reference Floor Plan**

$\frac{3}{32}'' = 1'-0''$



1

damaged brick at stair treads



existing brick step detail

existing brick steps at entry



1

The Johnson Residence  
 98 Carroll Street, Portland, Maine

**PROJECT DESCRIPTION:**

This building was designed in 1915 by architects George Burnham and E. Leander Higgins. It was placed in the national register on 02/16/1984, and placed locally on 08/01/1990. For a brief history and description of the house see the Portland Historic Resources Inventory

The proposed project includes (2) parts. The owner wishes to demolish the existing mudroom and porch adjacent to the alleyway and build a new mudroom and porch within the same footprint. The existing mudroom and porch were poorly constructed and not very functional. The design for this addition was not well thought out and detracts from the beauty of the original home. At the time the mudroom was added to the house the owner at the time obtained a permit for the 12' x 8' structure and stairs. This project will not alter or expand the existing footprint which suggests that there are no zoning issues regarding setbacks and coverage.

The mudroom provides access to the kitchen from the alleyway. The location of the mudroom is highly visible from Carroll Street and does not afford the privacy that a side entrance to a house might normally afford. The owner wishes to mitigate this by building an entry porch that provides privacy when stepping outside to retrieve the newspaper, get mail, check the weather, etc. The mudroom will not have a window facing the alleyway in order to maximize the utility of the wall for storage of recycling and outdoor clothing. The design calls for a small curb mounted skylight in the center of the space to bring in natural light.

The other portion of the proposed work addresses the deteriorating condition of the front stairs and patio. The existing bricks have cracked and spalled. The owner proposes replacing the stair treads with a monolithic granite tread with a thermal finish on top and split face side. The granite color would be selected to match the color and texture of the sill at the front entry door.

The design will not further remove or destroy any of the significant architectural features of the house. These features include the brick quoins at the corners of the building, the copper downspouts and accessories (brackets, collection heads), the exposed rafter tails and wood gutters at the eaves, and the masonry openings at the existing door and window at the east wall of the kitchen. The colors for the new work will be matched to the existing colors trim and shutter colors by trial and error in the field.

The design employs some of the classical detailing found on other parts of this house.

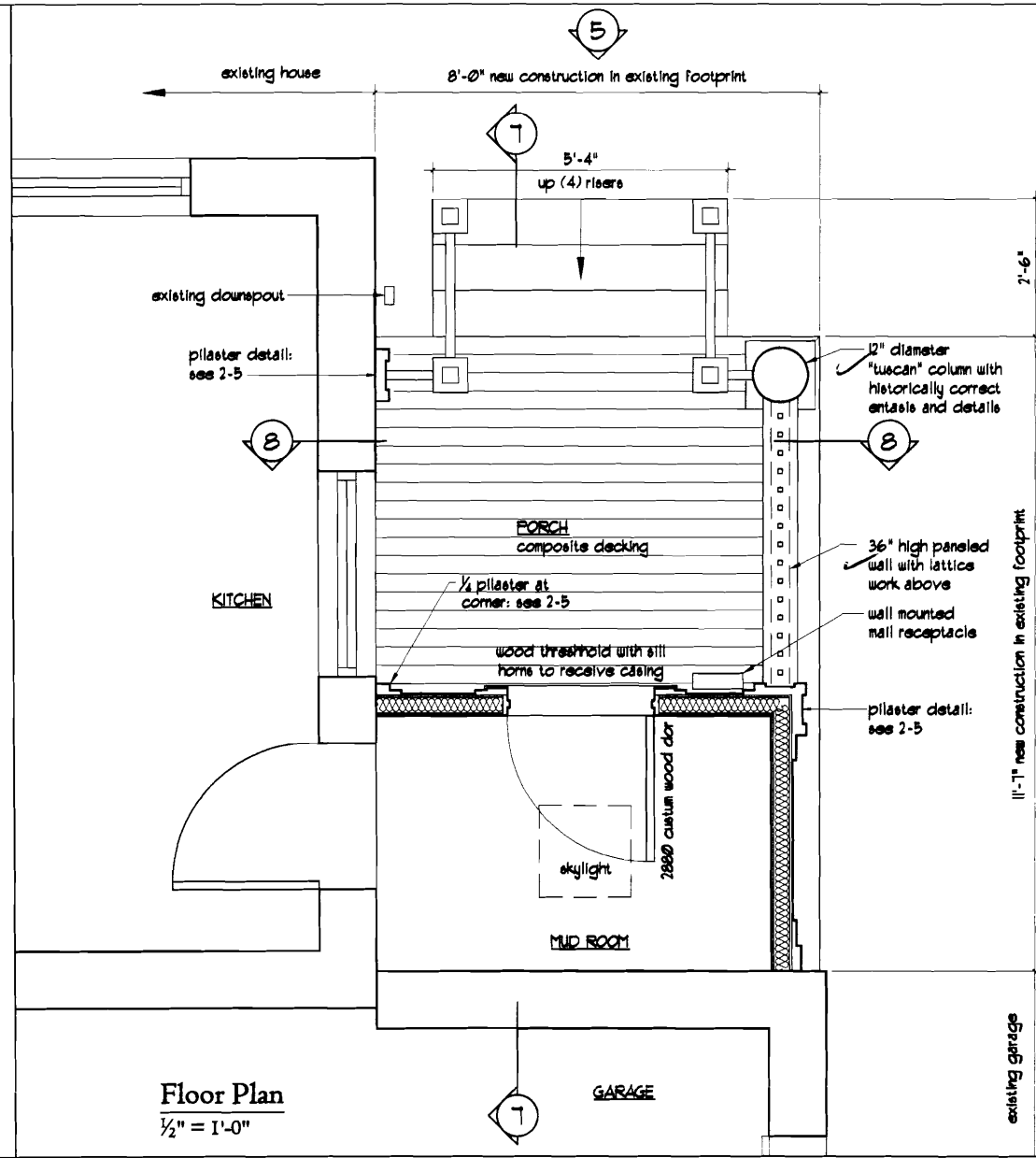
project description

June 24, 2009

2

josef chalat, architect  
 cape elizabeth, maine  
 207 799 0404

The Johnson Residence  
 98 Carroll Street, Portland, Maine



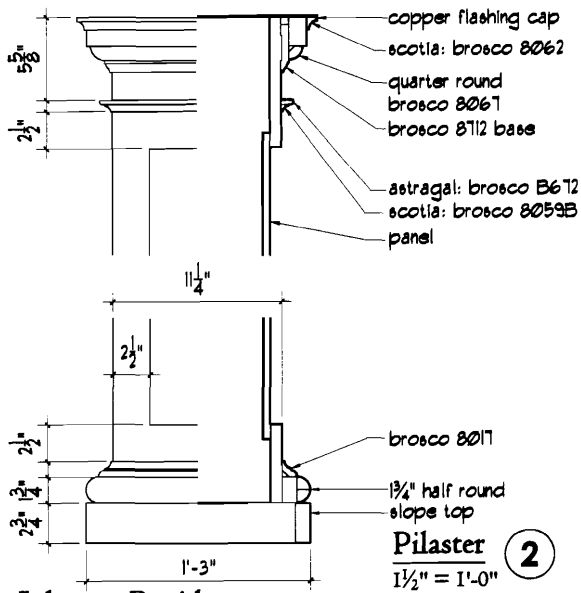
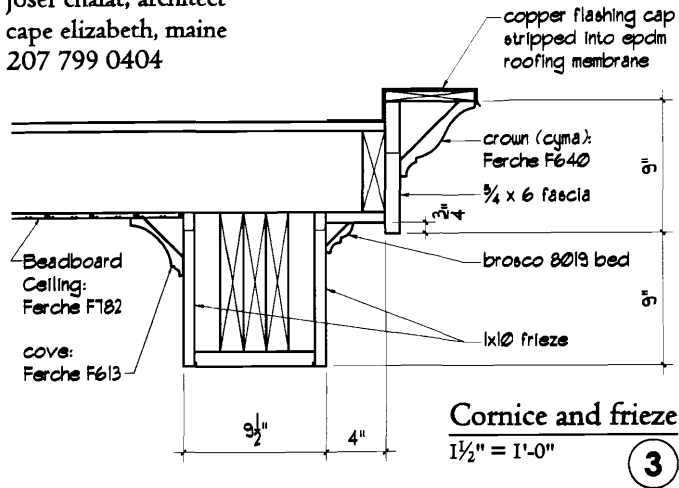
Floor Plan  
 $\frac{1}{2}'' = 1'-0''$

proposed floor plan at mudroom and porch

June 24, 2009

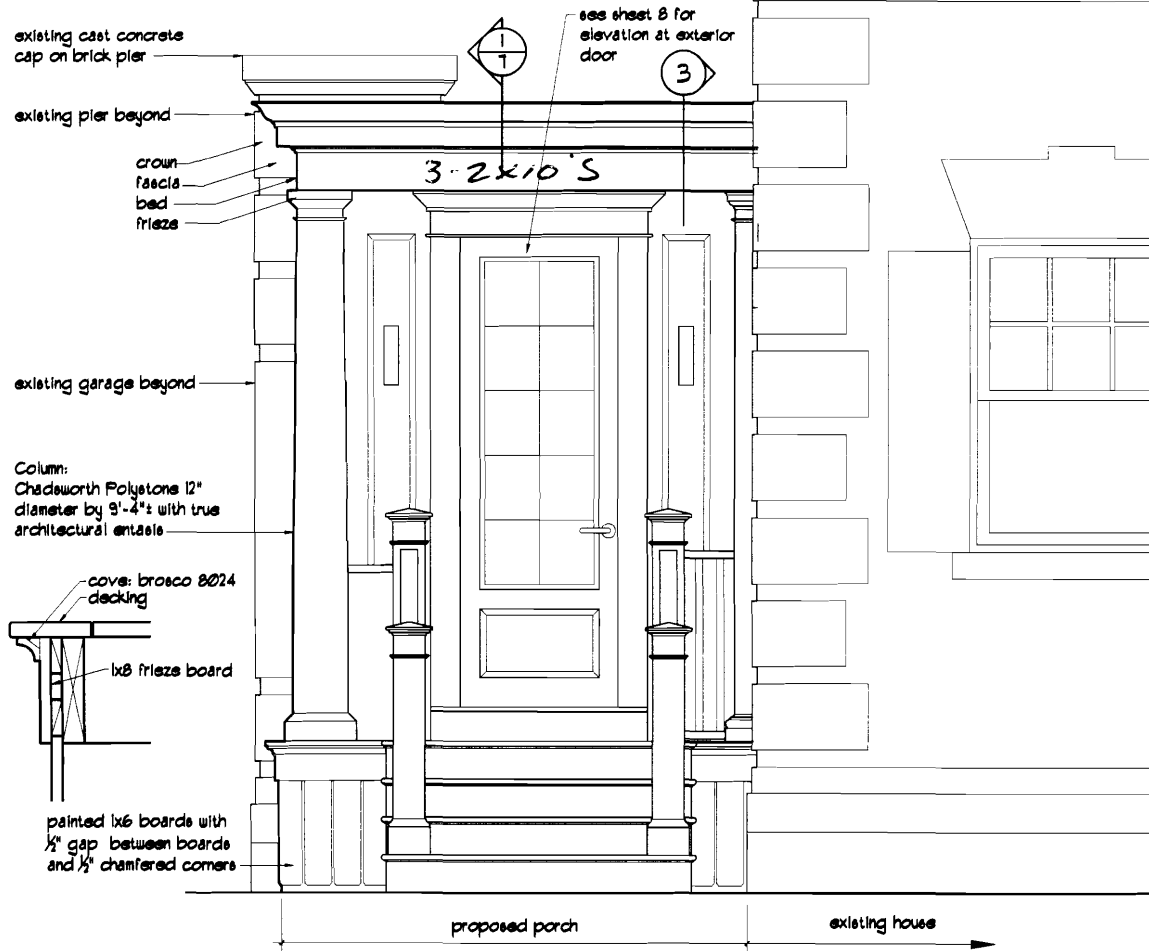


josef chalat, architect  
cape elizabeth, maine  
207 799 0404



The Johnson Residence  
98 Carroll Street, Portland, Maine

**PAIN COLOR:**  
cornice, frieze, column, pilaster,  
panels and trim painted white to  
match existing white color on  
building. Exact color to be field  
determined by matching sample  
against existing building trim

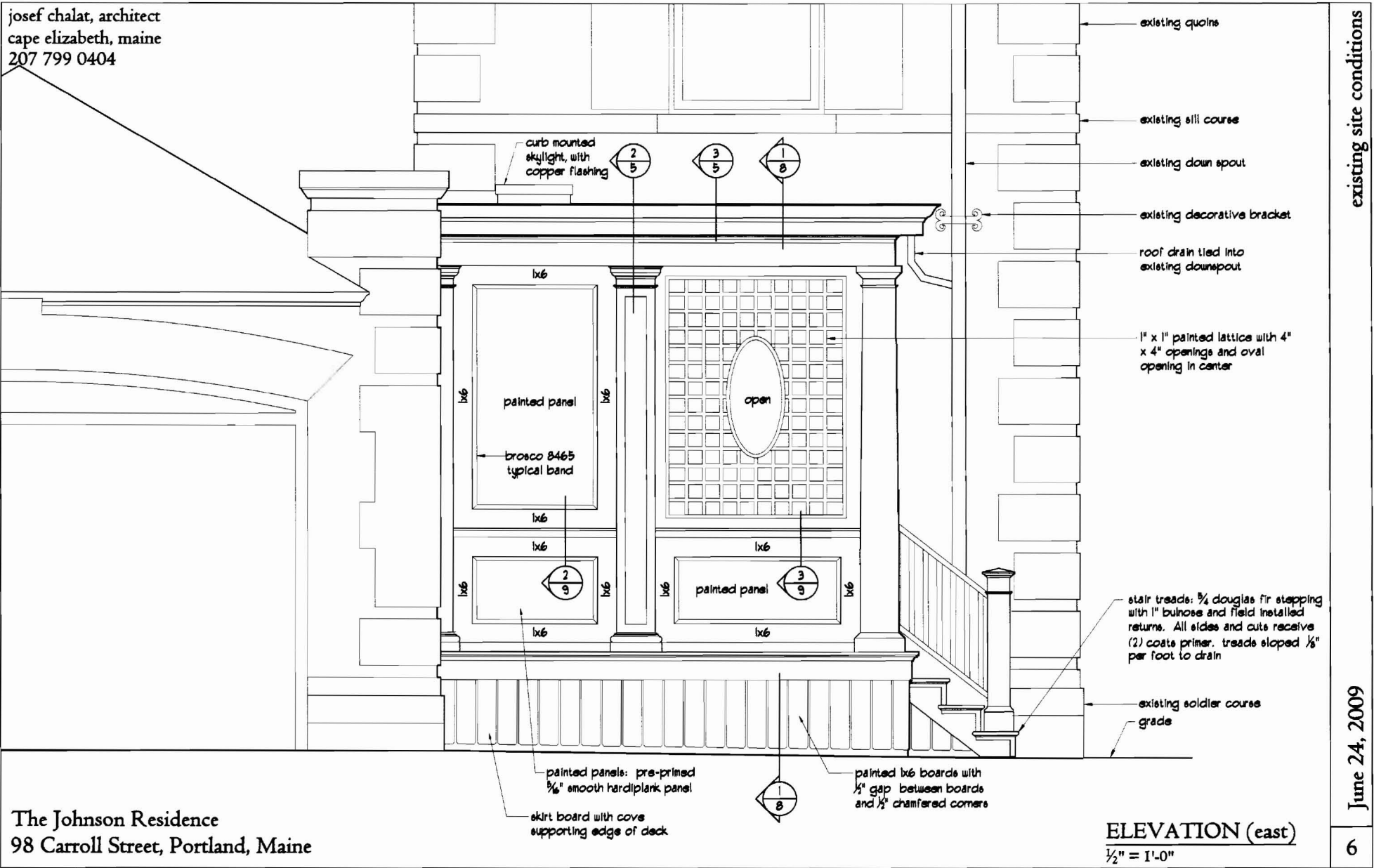


front elevation and details

June 24, 2009

5

josef chalat, architect  
 cape elizabeth, maine  
 207 799 0404



The Johnson Residence  
 98 Carroll Street, Portland, Maine

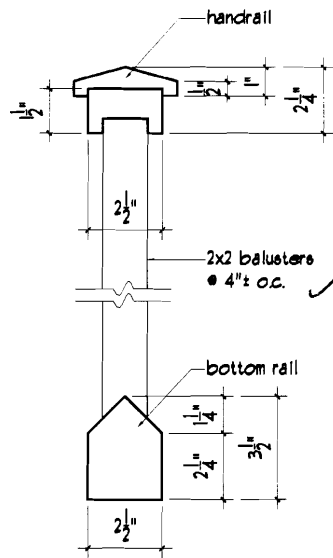
ELEVATION (east)  
 1/2" = 1'-0"

existing site conditions

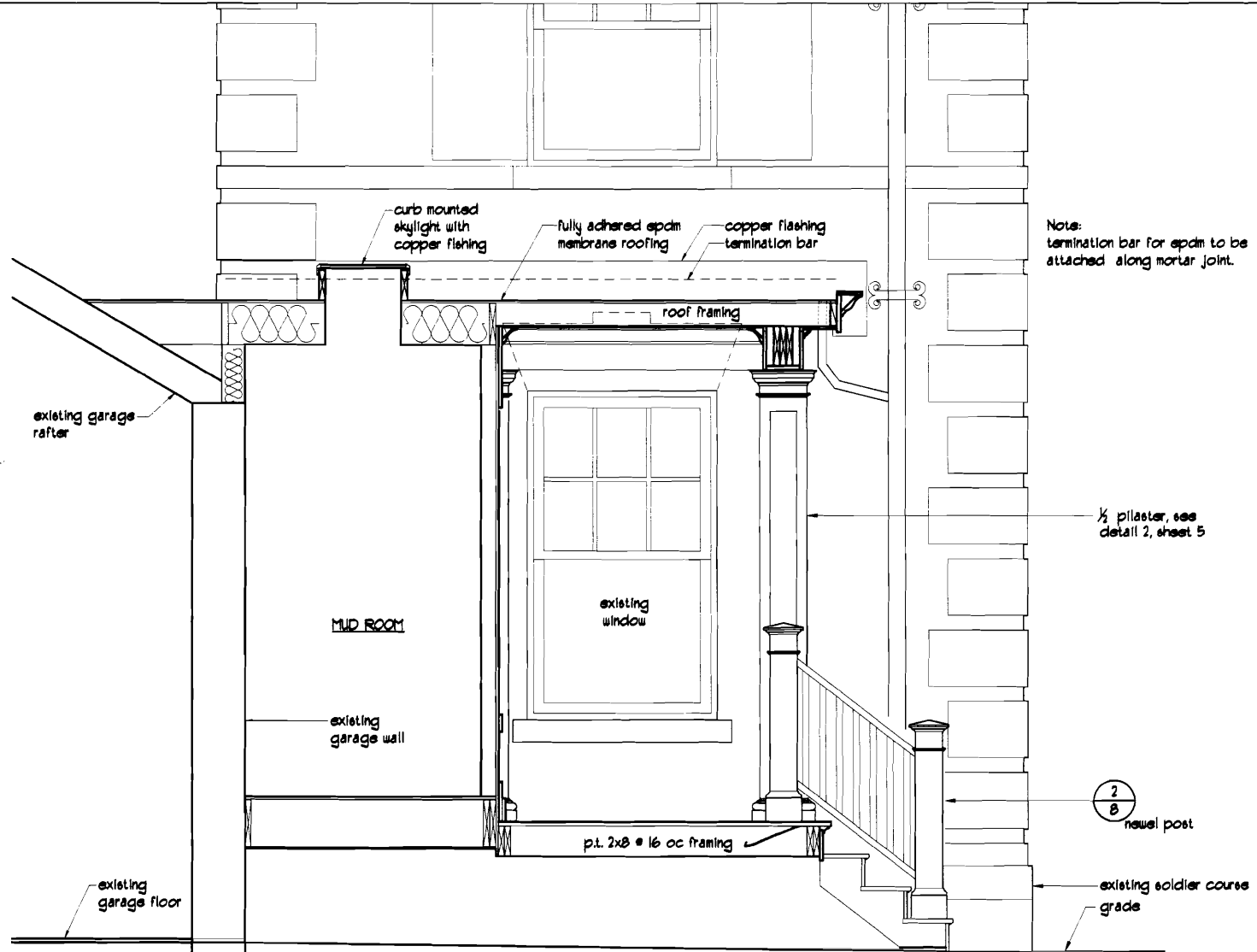
June 24, 2009

6

josef chalat, architect  
cape elizabeth, maine



railing detail  
3" = 1'-0"



Note:  
termination bar for epdm to be attached along mortar joint.

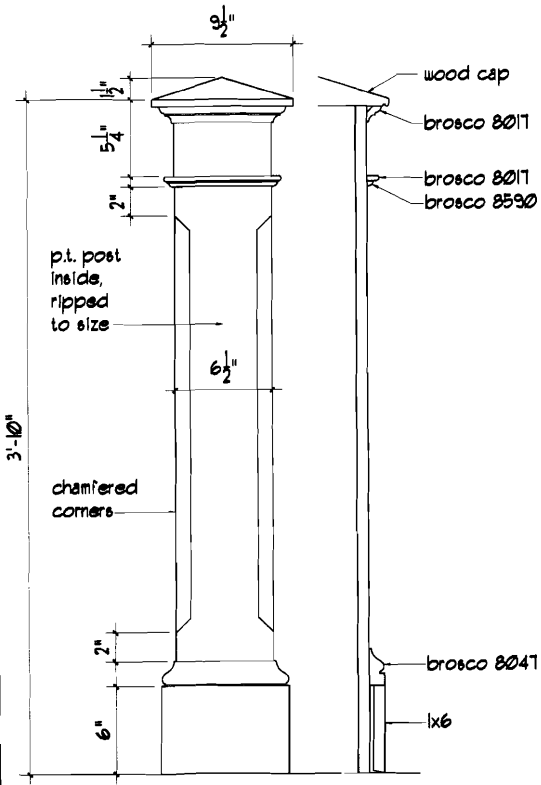
The Johnson Residence  
98 Carroll Street, Portland, Maine

CROSS SECTION (south-north)  
1/2" = 1'-0"

cross section

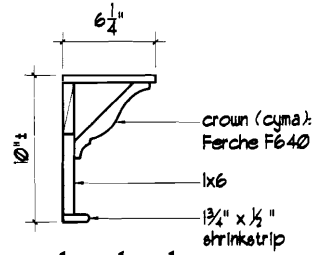
June 24, 2009

josef chalat, architect  
cape elizabeth, maine

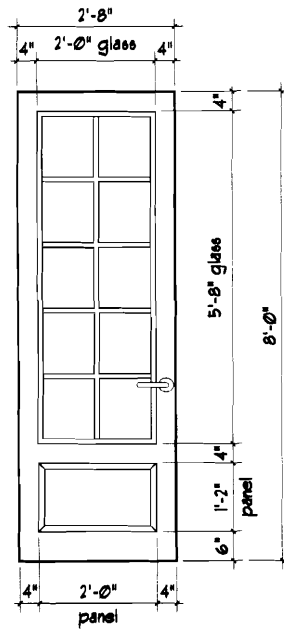


2 Newel Post  
1 1/2" = 1'-0"

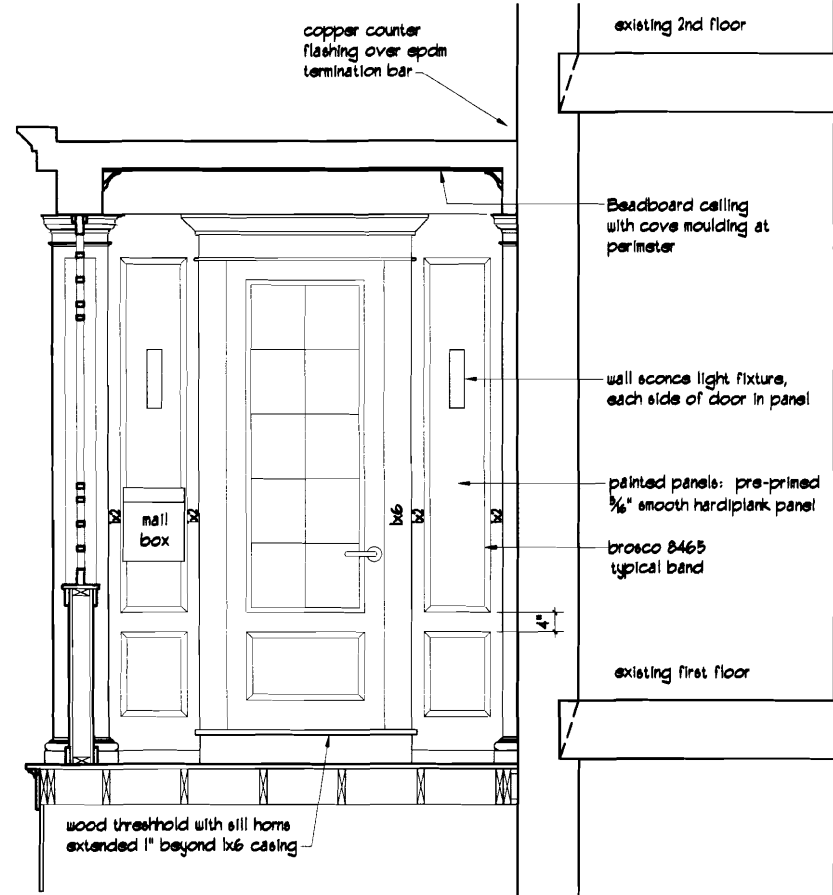
The Johnson Residence  
98 Carroll Street, Portland, Maine



3 door head  
1 1/2" = 1'-0"



3 crown moulding at door  
1 1/2" = 1'-0"



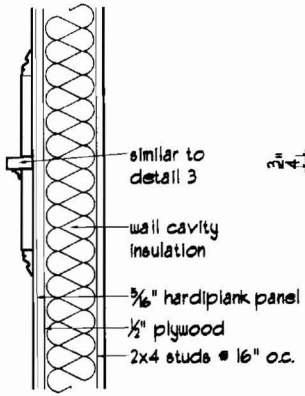
CROSS SECTION (east-west)  
1/2" = 1'-0"

cross section and entry door

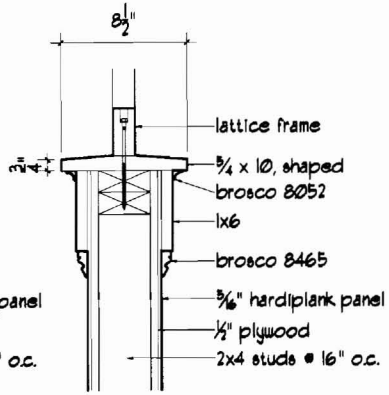
June 24, 2009

08

josef chalat, architect  
cape elizabeth, maine



**2 detail**  
1 1/2" = 1'-0"



**3 detail**  
1 1/2" = 1'-0"



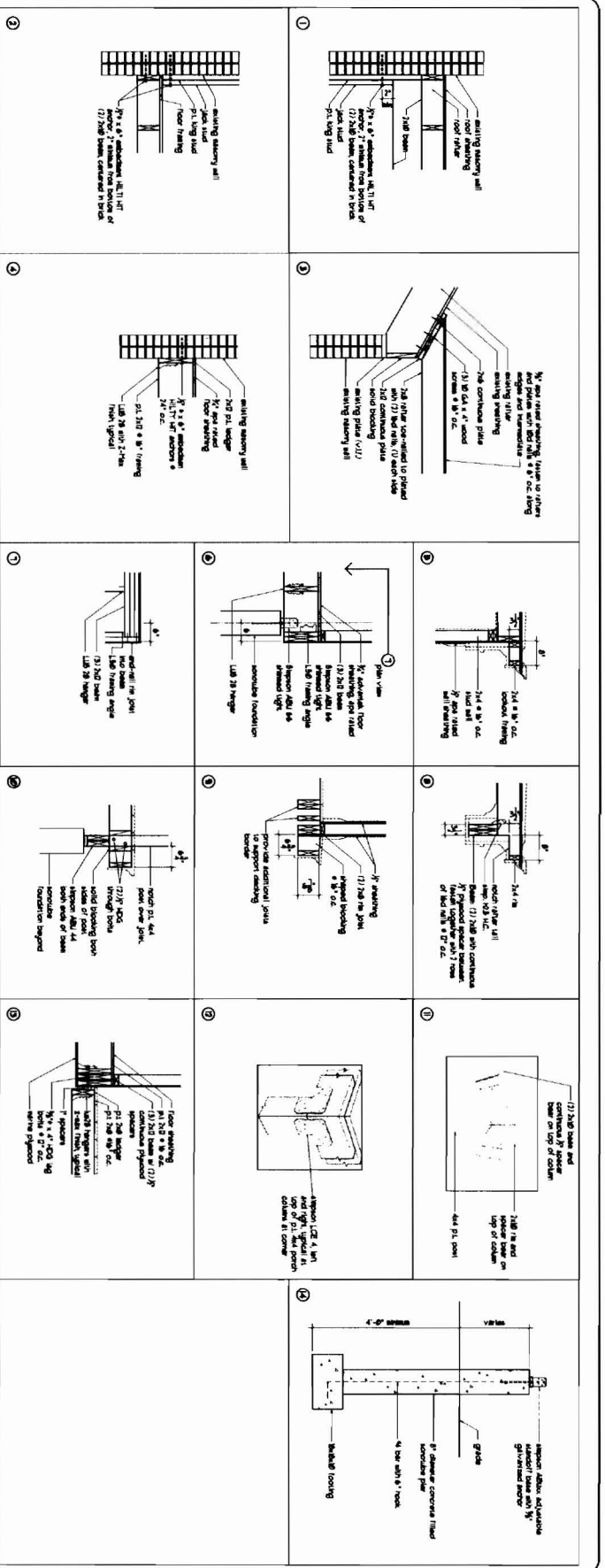
**ALLEYWAY ELEVATION**  
3/16" = 1'-0"

The Johnson Residence  
98 Carroll Street, Portland, Maine

alleyway elevation

June 24, 2009

9



**GENERAL CONSTRUCTION NOTES**

1. Foundation has been designed for a permanent bearing capacity of 3000 pcf.
2. Concrete weight is 150 pcf and the reinforcement is #4.
3. Concrete shall not be placed in shade or rain.
4. Provide FRC (Fibers) where pipe penetrations through concrete.
5. All steel shall be galvanized in accordance with AISC 360, unless otherwise specified.
6. The general contractor shall be responsible for obtaining and installing all permits, licenses, and approvals required for construction.
7. All work shall be done in accordance with the applicable building codes and regulations.
8. All work shall be done in accordance with the applicable industry standards and best practices.
9. All work shall be done in accordance with the applicable safety protocols and procedures.
10. All work shall be done in accordance with the applicable environmental regulations and requirements.

**GENERAL TRUSS FRAMING NOTES**

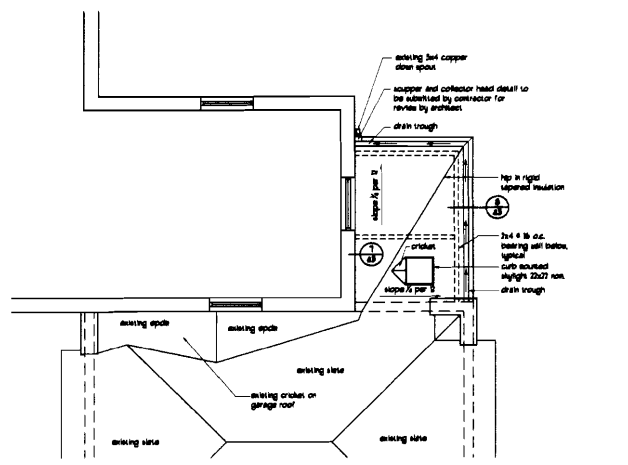
1. Truss connections shall be made in accordance with the design drawings. Member designations are for design purposes only.
2. All truss members shall be in accordance with the design specifications (AISC, steel section).
3. Truss members shall be galvanized in accordance with AISC 360, unless otherwise specified.
4. Truss members shall be connected in accordance with the design drawings and specifications.
5. Truss members shall be supported in accordance with the design drawings and specifications.
6. Truss members shall be braced in accordance with the design drawings and specifications.
7. Truss members shall be protected in accordance with the design drawings and specifications.
8. Truss members shall be installed in accordance with the design drawings and specifications.
9. Truss members shall be maintained in accordance with the design drawings and specifications.
10. Truss members shall be replaced in accordance with the design drawings and specifications.

- List of Drawings
- A1 Cover sheet, description
  - A2 Brick Entry Patio
  - A3 Porch plans and elevations
  - A4 Porch Cross Sections Details
  - A5 Framing and structural details

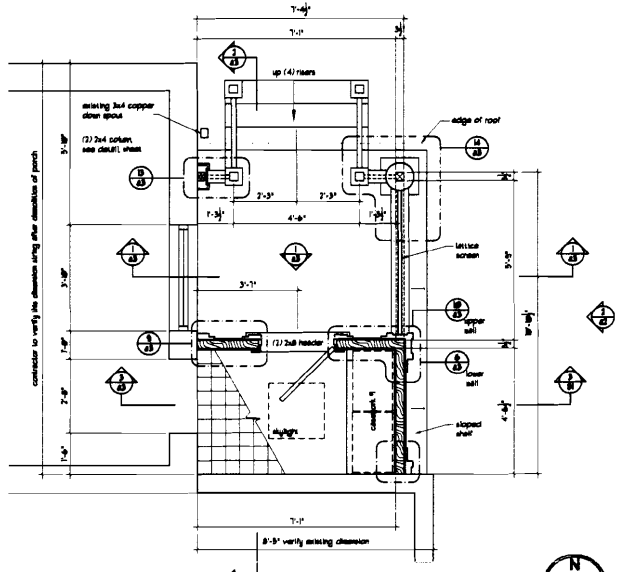
Date of these drawings: August 20, 2009

**Kaplan & Johnson Residence**  
 98 Carroll Street  
 Portland, Maine

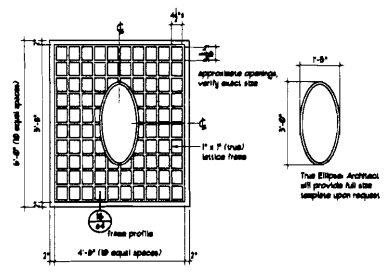
**demolition, brick patio, location, data**



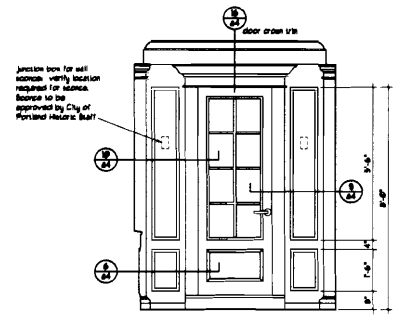
**5 roof plan**  
 $\frac{1}{4}'' = 1'-0''$



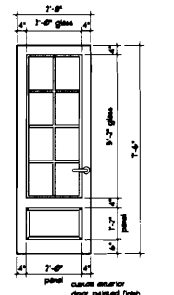
**1 floor plan**  
 $\frac{1}{4}'' = 1'-0''$



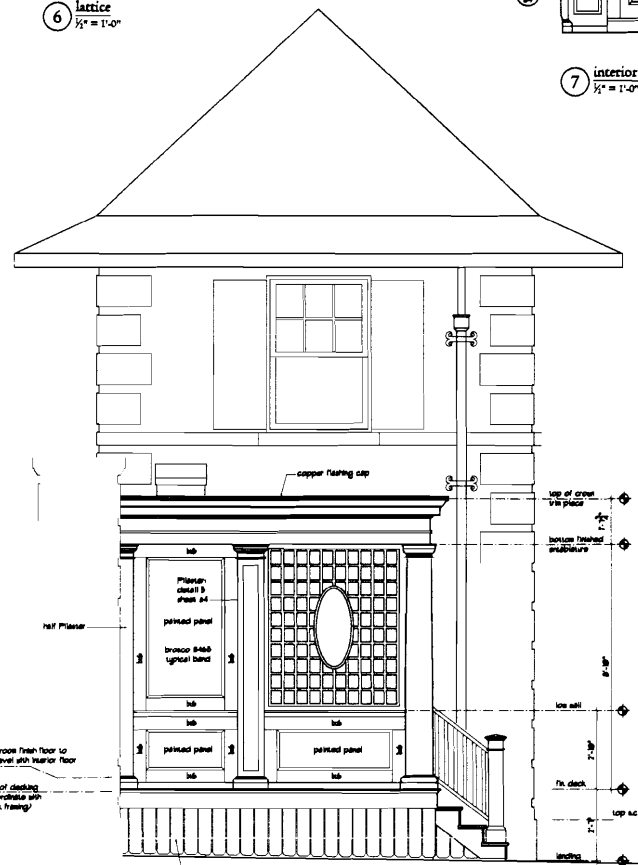
**6 lattice**  
 $\frac{1}{2}'' = 1'-0''$



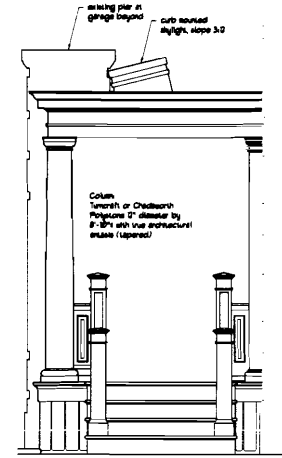
**7 interior elevation**  
 $\frac{1}{2}'' = 1'-0''$



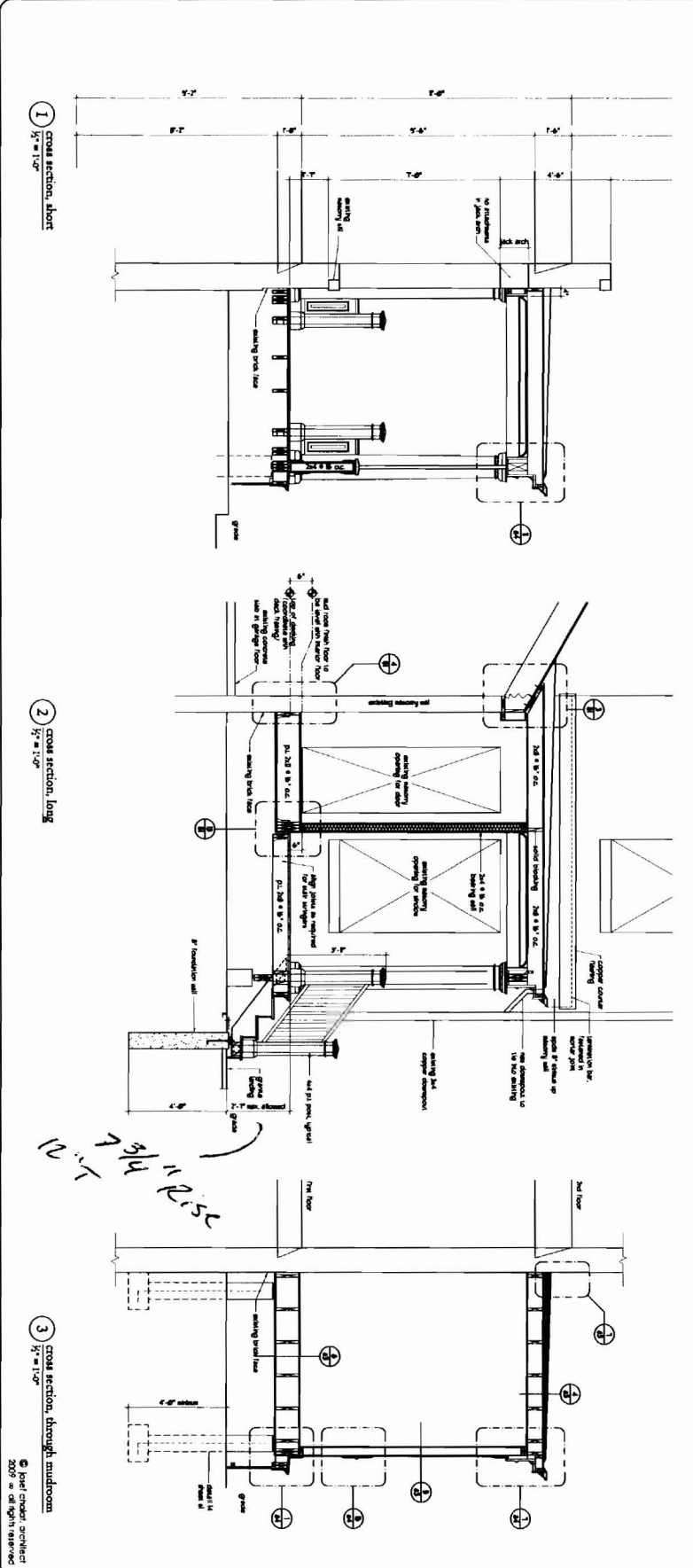
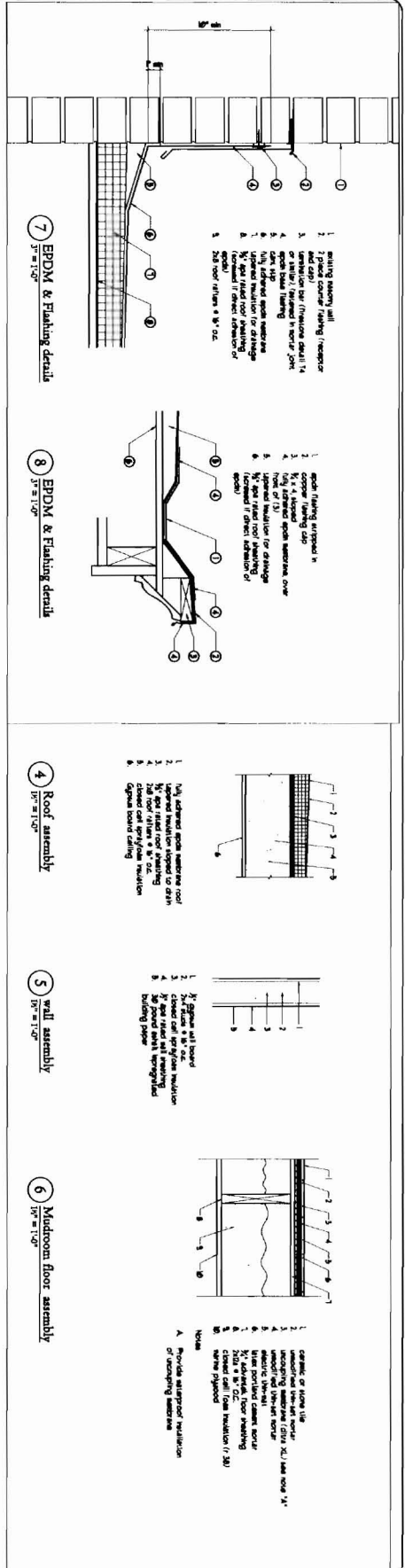
**8 exterior door elevation**  
 $\frac{1}{2}'' = 1'-0''$



**2 East elevation**  
 $\frac{1}{2}'' = 1'-0''$



**3 North Elevation**  
 $\frac{1}{2}'' = 1'-0''$





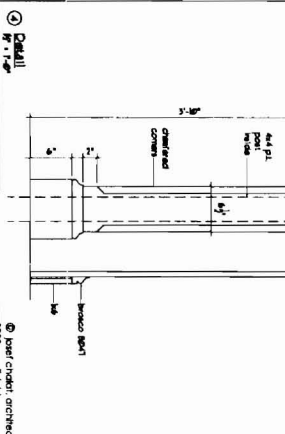
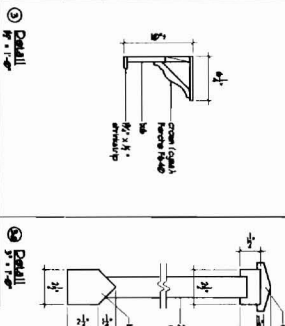
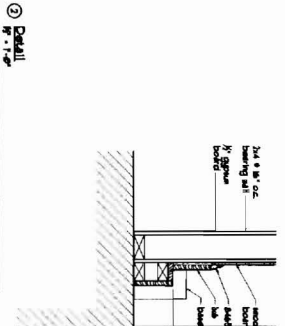
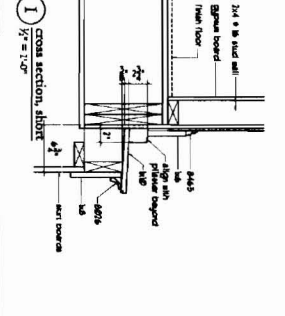
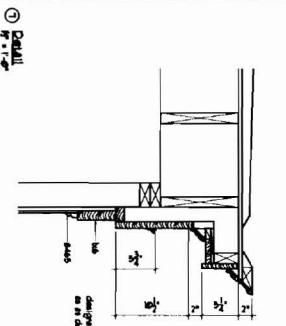
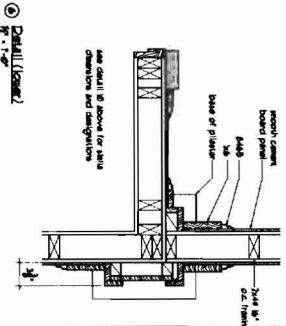
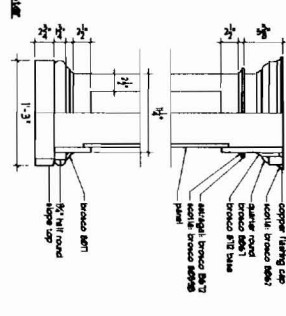
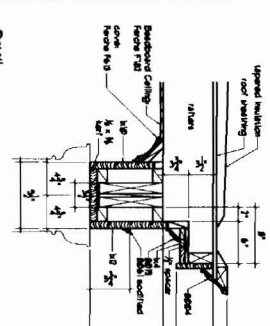
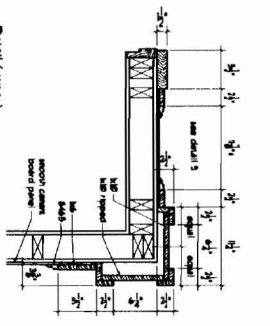
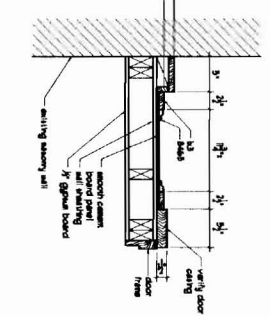
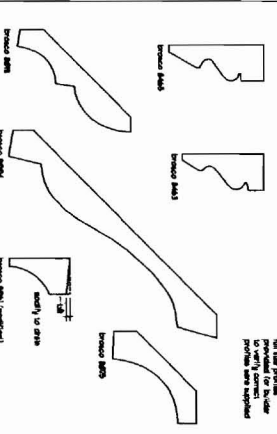
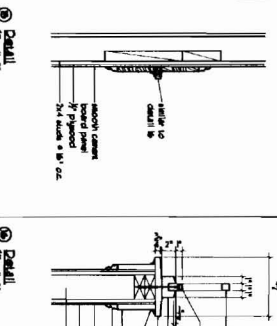
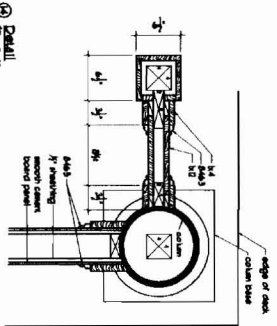
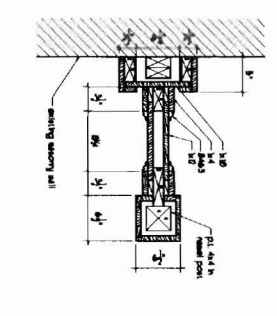
**ALUMINUM 110**  
 Joeff Chialot  
 ARCHITECT  
 280 North Main Street  
 Portland, ME 04103  
 Phone: 603.778.0044  
 Fax: 603.778.0044  
 www.aluminum110.com

Use the profiles shown to verify correct profile size and location.  
 1. Aluminum 110  
 2. Aluminum 110  
 3. Aluminum 110  
 4. Aluminum 110  
 5. Aluminum 110  
 6. Aluminum 110  
 7. Aluminum 110  
 8. Aluminum 110  
 9. Aluminum 110  
 10. Aluminum 110  
 11. Aluminum 110  
 12. Aluminum 110  
 13. Aluminum 110  
 14. Aluminum 110  
 15. Aluminum 110  
 16. Aluminum 110  
 17. Aluminum 110  
 18. Aluminum 110  
 19. Aluminum 110  
 20. Aluminum 110  
 21. Aluminum 110  
 22. Aluminum 110  
 23. Aluminum 110  
 24. Aluminum 110  
 25. Aluminum 110  
 26. Aluminum 110  
 27. Aluminum 110  
 28. Aluminum 110  
 29. Aluminum 110  
 30. Aluminum 110  
 31. Aluminum 110  
 32. Aluminum 110  
 33. Aluminum 110  
 34. Aluminum 110  
 35. Aluminum 110  
 36. Aluminum 110  
 37. Aluminum 110  
 38. Aluminum 110  
 39. Aluminum 110  
 40. Aluminum 110  
 41. Aluminum 110  
 42. Aluminum 110  
 43. Aluminum 110  
 44. Aluminum 110  
 45. Aluminum 110  
 46. Aluminum 110  
 47. Aluminum 110  
 48. Aluminum 110  
 49. Aluminum 110  
 50. Aluminum 110  
 51. Aluminum 110  
 52. Aluminum 110  
 53. Aluminum 110  
 54. Aluminum 110  
 55. Aluminum 110  
 56. Aluminum 110  
 57. Aluminum 110  
 58. Aluminum 110  
 59. Aluminum 110  
 60. Aluminum 110  
 61. Aluminum 110  
 62. Aluminum 110  
 63. Aluminum 110  
 64. Aluminum 110  
 65. Aluminum 110  
 66. Aluminum 110  
 67. Aluminum 110  
 68. Aluminum 110  
 69. Aluminum 110  
 70. Aluminum 110  
 71. Aluminum 110  
 72. Aluminum 110  
 73. Aluminum 110  
 74. Aluminum 110  
 75. Aluminum 110  
 76. Aluminum 110  
 77. Aluminum 110  
 78. Aluminum 110  
 79. Aluminum 110  
 80. Aluminum 110  
 81. Aluminum 110  
 82. Aluminum 110  
 83. Aluminum 110  
 84. Aluminum 110  
 85. Aluminum 110  
 86. Aluminum 110  
 87. Aluminum 110  
 88. Aluminum 110  
 89. Aluminum 110  
 90. Aluminum 110  
 91. Aluminum 110  
 92. Aluminum 110  
 93. Aluminum 110  
 94. Aluminum 110  
 95. Aluminum 110  
 96. Aluminum 110  
 97. Aluminum 110  
 98. Aluminum 110  
 99. Aluminum 110  
 100. Aluminum 110

**Kaplan & Johnson Residence**  
 98 Carroll Street  
 Portland, Maine

**demolition, brick patio,  
 location, data**

**d4**  
 4 of 5



© Joeff Chialot, ARCHITECT  
 2007 - 08/08/2008

**CITY OF PORTLAND, MAINE**  
**HISTORIC PRESERVATION BOARD**

---

John Turk, Chair  
Rick Romano, Vice Chair  
Otis Baron  
Scott Benson  
Martha Deprez  
Michael Hammen  
Ted Oldham

July 10, 2009

David Johnson and Charrisse Kaplan  
98 Carroll Street  
Portland, Maine 04102

Re: Exterior Alterations; 98 Carroll Street

Dear Mr. Johnson and Ms. Kaplan:

On July 8, 2009, the City of Portland's Historic Preservation Board reviewed your request for reconstruction of a side entry porch and alterations to the front entrance steps and landings at 98 Carroll Street. Following deliberations, the Board voted 7-0 to approve your application, subject to the following conditions:

- \* A test patch for the new masonry work to be reviewed and approved by historic preservation staff prior to commencing with project.
- \* Should the front porch cast concrete railing system require alteration, repair or replication as a result of its temporary removal, work to be reviewed and approved by staff.
- \* Proposed light fixtures for side entry porch to be reviewed and approved by staff.

All improvements shall be carried out as shown on the plans and specifications submitted by project architect Joe Chalat for the 7/08/09 public hearing and/or as described above. Changes to the approved plans and specifications and any additional work that may be undertaken must be reviewed and approved by this office prior to construction, alteration, or demolition. If, during the course of completing the approved work, conditions are encountered which prevent completing the approved work, or which require additional or alternative work, you must apply for and receive a Certificate of Appropriateness or Non-Applicability PRIOR to undertaking additional or alternative work.

This Certificate is granted upon condition that the work authorized herein is commenced within twelve (12) months after the date of issuance. If the work authorized by this Certificate is not commenced within twelve (12) months after the date of issuance or if such work is suspended in significant part for a period of one year after the time the work is commenced, such Certificate shall expire and be of no further effect.

provided that, for cause, one or more extensions of time for periods not exceeding ninety (90) days each may be allowed in writing by the Department.

Note: Your project also requires a building permit. Please call Building Inspections (874-8703) with any questions about the permit process.

Sincerely,

A handwritten signature in cursive script that reads "Deborah Andrews". The signature is written in black ink and is positioned above the printed name.

Deborah Andrews  
Historic Preservation Program Manager

cc: Joe Chalat  
Approval Letter File

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

**CITY OF PORTLAND  
HISTORIC PRESERVATION  
CERTIFICATE OF APPROPRIATENESS**

This is to certify that David Johnson & Charisse Kaplan  
has received approval for porch reconstruction & front stoop alteration  
at 98 Carroll St.

provided that the person or persons, firm or corporation accepting this Certificate shall comply with all other applicable provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in the Historic Preservation Office of the Planning Department. For more information on this project, call 874-8719.

  
Historic Preservation Manager

NOTE: THIS IS NOT A BUILDING PERMIT

RECORD OF BUILDINGS

GRADE DENOTES QUALITY OF CONSTRUCTION: A—EXCELLENT; B—GOOD; C—AVERAGE; D—CHEAP; E—VERY CHEAP

YEAR 19

YEAR 19

1951-1952 Forced W.A. heating system - second floor  
 INSPECT 1st. FLOOR - 11/25/51-122-089  
 11/25-677-28-11/25/51-122-089  
 11/25/51 62A REP. 512-1-11/25/51-122-089

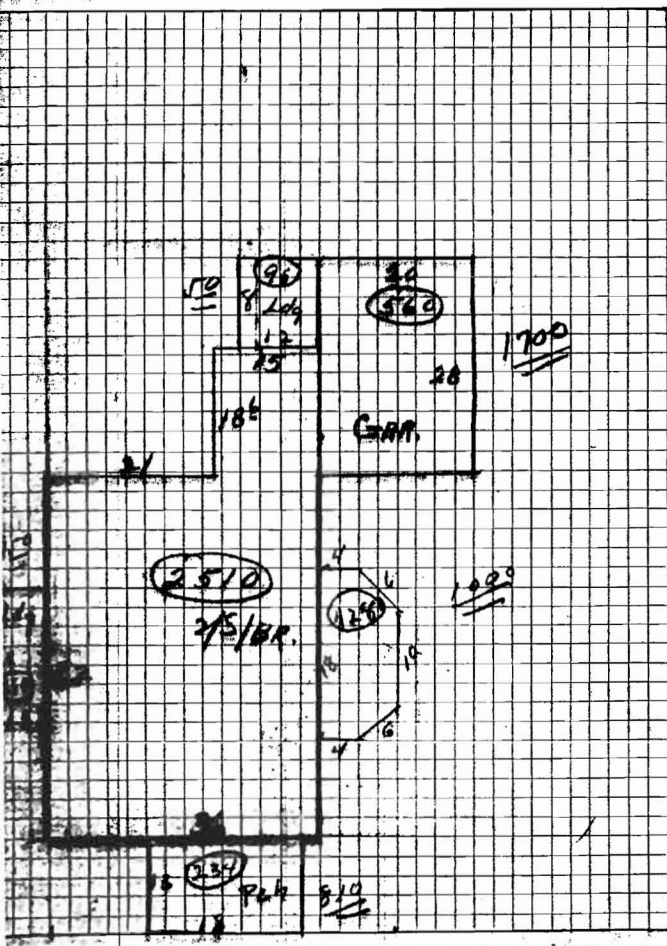
11/25-270

CONSTRUCTION

FOUNDATION		FLOOR CONST.		PLUMBING	
CONCRETE		WOOD JOIST	✓	BATHROOM	4 ✓
CONCRETE BLOCK		STEEL JOIST	"	TOILET ROOM	
BRICK OR STONE	✓	MILL TYPE		WATER CLOSET	✓
PIERS		REIN. CONCRETE		LAVATORY	
CELLAR AREA FULL	✓	FLOOR FINISH		KITCHEN SINK	2 ✓
1/4 1/2 3/4		B	1 2 3	STD. WAT. HEAT	✓
NO. CELLAR		CEMENT	✓	AUTO. WAT. HEAT	
EXTERIOR WALLS		EARTH		ELECT. WAT. SYST.	
CLAPBOARDS		PINE		LAUNDRY TUBS	✓
WIDE SIDING		HARDWOOD	✓ ✓ ✓	NO PLUMBING	
DROP SIDING		TERRAZZO		TILING	
NO SHEATHING		TILE		BATH FL. & WCOT.	1
WOOD SHINGLES		ATTIC FLR. & STAIRS		TOILET FL. & WCOT.	
ASBES. SHINGLES			✓	LIGHTING	
STUCCO ON FRAME		INTERIOR FINISH		ELECTRIC	
STUCCO ON TILE		B	1 2 3	NO LIGHTING	
BRICK VENEER		PINE	✓ ✓ ✓	NO. OF ROOMS	
BRICK ON TILE		HARDWOOD	✓ ✓ ✓	BSMT.	2ND 5
SOLID BRICK	✓	PLASTER	✓ ✓ ✓	1ST	6 3RD 2
STONE VENEER		UNFINISHED		OCCUPANCY	
CONC. OR CIND. BL.		METAL CLG.		SINGLE FAMILY	✓
TERRA COTTA		RECREAT. ROOM		TWO FAMILY	
VITROLITE		FINISHED ATTIC		APARTMENT	
PLATE GLASS		FIREPLACE		STORE	
INSULATION		HEATING		THEATRE	
WEATHERSTRIP		PIPELESS FURNACE		HOTEL	
ROOFING		HOT AIR FURNACE		OFFICES	
ASPH. SHINGLES		FORCED AIR FURN. 35	✓	WAREHOUSE	
WOOD SHINGLES		STEAM	2-61 ✓	COMM. GARAGE	✓
ASBES. SHINGLES		HOT WAT. OR VAPOR		GAS STATION	
SLATE	✓	NO HEATING		ECONOMIC CLASS	
METAL		GAS BURNER		OVER BUILT	✓
COMPOSITION		OIL BURNER		UNDER BUILT	
ROLL ROOFING		STOKER		DT. 5/1750	AR. 7
INSULATION				LD. 50	PD.
				MS.	CK.

COMPUTATIONS

UNIT	1951	1955
25108. F.	34750	34750
S. F.		
ADDITIONS	+ 4310	+ 4310
BASEMENT		
WALLS HT.	+ 600	+ 600
ROOF		
FLOORS		
ATTIC 1/2	+ 840	+ 840
FINISH		
FIREPLACE	+ 1200	+ 1200
HEATING	- 420	BASE
PLUMBING	+ 450	+ 450
TILING	- 350	- 350
TOTAL	41380	41800
FACT. +10	3470	3470
REP. VAL.	44850	45270



SUMMARY OF BUILDINGS

OCC'Y	TYPE	GR.	AGE	REMOD.	COND.	REP. VAL.	P. D.	PHY. VAL.	F. D.	SOUND VAL.	TAX VAL.	Y
Dw	25/BR	AA	36		F	44850	40%	26910	40%	16150	9700	5
B						45270	40%	27160	40%	16300	9775	5
C												
D												
E												
F												
G												

YEAR	1951	1955	1951 TOTAL BLDGS.	
TAX VAL.	9100	9795	19	65/9775
OLD VAL.	9675	9700	19	
CHANGE	+ 25	+ 75	19	
TAX VALS.			19	16150
			19	9700
			19	