

Mainely Burgers Food Truck Co-op

NEW TENANT FIT-OUT
108 St John Street Portland ME 04101

PROJECT ARCHITECT
Caleb Johnson Studio
110 Exchange Street
Portland, ME 04101
207-283-8777

BUILDING OWNER:
Mainely Burgers, LLC
108 Saint John Street
Portland, ME 04101
Point of Contact:
Max Barber
207-317-6455

TENANT:
Mainely Burgers, LLC
108 Saint John Street
Portland, ME 04101
Point of Contact:
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207-317-6455

CONTRACTOR:
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110 Exchange Street
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207-283-8777

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Point of Contact:
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PROJECT DESCRIPTION:
New tenant fit-out for Mainely Burgers Food Truck Co-op within an existing 1-story building. Primary scope of the renovations is new plumbing equipment and rough-ins to serve as a prep area for multiple food trucks. Other work includes: new above-floor grease interceptor, new interior paint, new exterior storefront windows and doors, new roof including 4" of continuous rigid insulation for energy performance. See other scope noted within.

PROJECT LOCATION:



QUICK BUILDING STATS

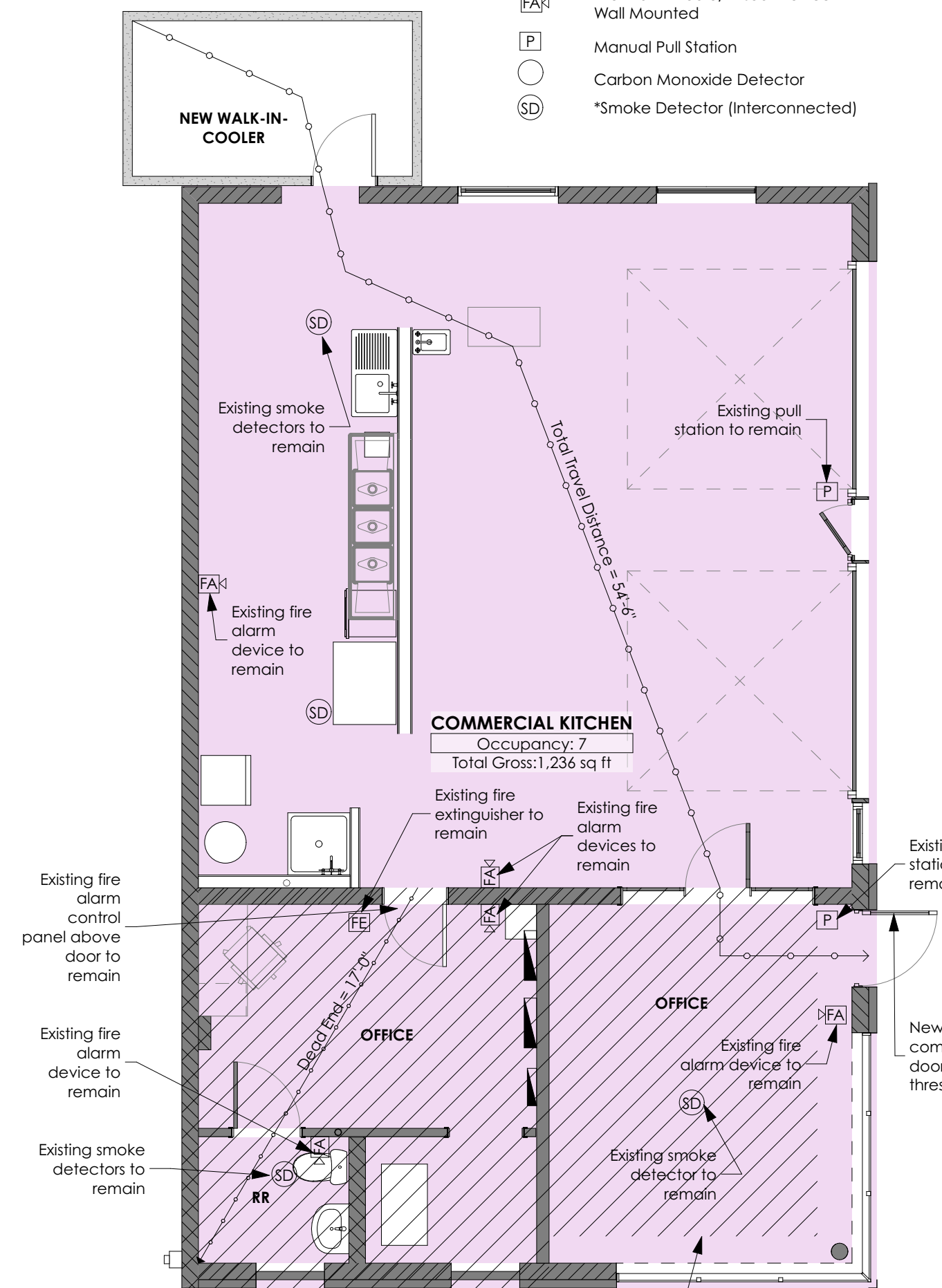
Construction Type: V-8 (IBC), V-000 (NFPA)
Occupancy Types: F-1 Moderate Hazard Factory Commercial Kitchen (with Accessory Business)
Sprinkler System: None Existing, None Required
Occupancy: 7 (200sf/person, gross)
Fire Alarm: Existing to Remain
Mixed-Use: No
Required Separation: None
Building Area: 1,236sf total gross
Work Area: 848sf (69% of Building)

EGRESS LEGEND

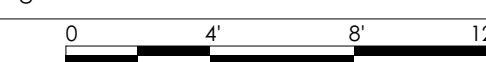
See Notes
Exit Access Travel Distance (1016, Table A.7.6) Allowed Max = See Table Above
Common Path of Travel (1014.3, Table A.7.6) Allowed Max = See Table Above
Dead End Limit (1018.4, Table A.7.6) Allowed Max = See Table Above

EMERGENCY DEVICE KEY

Exit Sign
Emergency Lighting
Fire Extinguisher
Fire Alarm Audio/ Visual Device
Wall Mounted
Manual Pull Station
Carbon Monoxide Detector
*Smoke Detector (Interconnected)



1 LIFE SAFETY
SCALE: 3/16" = 1'-0"



COMPREHENSIVE CODE REVIEW

Mainely Burgers Food Truck Cooperative		CALEB JOHNSON STUDIO	
108 Saint John Street, Portland, ME			
Regulatory Review prepared by Caleb Johnson Studio, Patrick Boothe, AIA [ME License #4204]			
11/16/2017			
APPLICABLE CODES:			
City of Portland, Maine Code of Ordinances	1999 NFPA 70 - National Electrical Code	2009 International Residential Code (IRC)	2009 International Building Code (IBC)
2009 NFPA 101 - Life Safety Code	2009 International Energy Conservation Code (IECC)	2009 International Plumbing Code	2009 Uniform Plumbing Code
The Maine Substance Wastewater Disposal Rule	2007 ASHRAE 62.1 - Ventilation for Acceptable Indoor Air Quality	2007 ASHRAE 90.1 - Energy Standard for Buildings except Low Rise Residential Buildings w/out addenda	
The Maine State Plumbing Code			
2009 NFPA 1 Fire Code			

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CODE REVIEW SUMMARY:

PORTLAND ZONING ORDINANCE REVIEW:

ITEM #	ITEM	CITY OF PORTLAND, MAINE CODE OF ORDINANCES (Chapter 14 Land Use Code)	PROPOSED COMPLIANCE
0.1 ZONING USE STANDARDS			
Zoning Map	14-246	H-MB Industrial	
Zoning Purpose		The H-MB and I-MB Industrial zones are intended to provide for larger industrial buildings and for the limited controlled use of areas outside of structures for storage of materials and machinery. These facilities often require large volumes of imported materials and products which result in large volumes of shipping and receiving. Often uses may be highway-oriented and transportation-related, thus relying on citywide and regional transportation infrastructure. Industrial uses in the moderate impact industrial zones may require separation from higher impact uses, which should be directed to the high impact industrial zone.	
Existing Zoning Land Use	Property Card	"Manufacturing and Construction"	
Proposed Zoning Use	14-247(K)	"Commercial Kitchens or other food processing for human consumption"	Proposed Use is allowed however with the caveat "That the food is not prepared for service on the premises"
	14-247(m)	"Food processing for human consumption"	Proposed Use is allowed
0.2 DIMENSIONAL REQUIREMENTS			
Minimum Lot Size	14-250(a)	None	Existing Lot size is 17,000sf +/-
Maximum Impervious Maximum Building	14-250(b) 14-250(c)	100% Coverage 75 Feet	
Height	14-250(d)	Principal and Accessory Structures in I-MB: None	
Minimum Side Yard Setback	14-250(e)	Principal and Accessory Structures in I-MB: None	
Minimum Rear Yard Setback	14-250(f)	Principal and Accessory Structures in I-MB: None	
Minimum Front Yard Setback	14-250(g)	Principal and Accessory Structures in I-MB: None	
Minimum Street Frontage	14-250(h)	60 Feet	Existing is 200' +/-
Pavement Setback from Lot Boundaries	14-250(i)	10 Feet	
0.3 OTHER NOTABLE REQUIREMENTS			
Storage of Materials	14-251 (f)	Any storage of new materials, finished products, or related equipment must be suitably screened from the public wayward from adjoining properties by a solid fence at least five (5) feet in height, or by a solid evergreen planting etc.	
Storage of Waste	14-251 (g)	All waste shall be stored in covered containers that do not leak or otherwise permit liquids or solids to escape from the container	
Timeframe of Removal of Waste	14-251 (h)	All food processing waste shall be stored within completely enclosed structure and if not refrigerated shall be removed from the site in an enclosed container within forty-eight (48) hours of its generation. All enclosed and exterior food processing waste storage areas shall be cleaned and sanitized on a regular basis	
Outdoor Storage	14-251 (i)	Any permitted outdoor storage of materials shall be done in such a manner as to prevent the breeding and harboring of insects or vermin, to prevent the transfer of such materials from the site by natural causes or forces and to contain fumes, dust, or other materials which constitute a fire hazard. This storage shall be accomplished within enclosed containers or by one (1) or more of the following methods: raising materials above ground, separating materials, preventing stagnant water, or by some other means. No outdoor storage shall be permitted between the front of any building on the site and the street	
Noise	14-252(a)	Severely (70) dBA between the hours of 7:00a.m. and 10:00 p.m. Fifty-five (55) dBA between the hours of 10:00 p.m. and 7:00 a.m., as measured at or within the boundaries of any residential zone.	
Off-Street Parking	14-332(j)	"Offices, Professional and Public buildings." One space for each 400 sf of floor area exclusive of bulk storage.	

LIFE SAFETY CODE REVIEW BY SECTION: IBC AND NFPA 101

ITEM #	ITEM	MUBEC / 2009 IBC SECTION	REQUIREMENT/CONDITION	2009 NFPA 101 - Life Safety Code SECTION	REQUIREMENT/CONDITION	PROPOSED COMPLIANCE
1.0 USE AND OCCUPANCY						
Primary: Factory Industrial (F-1)	306.2	303.1 exp 1	Industrial - Moderate Hazard Occupancy	40	General Industrial Occupancies	
Secondary: Business (B)			Assembly with less than 50 occupants	38	Secondary: New Business Occupancies	
				3.3.178.11	Multiple Occupancy	
				4.2.2	Ordinary Hazard	
2.0 CONSTRUCTION TYPE & GENERAL BUILDING HEIGHT AND AREA LIMITATIONS						
Construction Type	Table 503 and 506.3	Type VB		Table A, 8.2.1.2	Type V-000	
Area Limitation:	Table 503 and 506.3	F-1: 8,500 SF per story.		NFPA 5000 7.4.1	NFPA 5000 Table not adopted by SFMO	
Story Limitation:	Table 503 and 504.2	F-1: 1 Story		NFPA 5000 7.4.1		
Height Limitation:	Table 503 and 504.2	40 Feet		NFPA 5000 7.4.1		Building is under 40'
3.0 BUILDING SEPARATION & EXPOSURE PROTECTION						
Exterior Walls, Load Bearing & Non-load Bearing	602	A/R/S-2: Distance X = 5ft = 1 Hour A/R/S-2: Distance 5 x X = 10ft = 1 Hour A/R/S-2: Distance 10 x X = 30 ft = 1 Hour A/R/S-2: Distance X x 30 ft = 0 Hour		NFPA 220, Table 4.1.1	NFPA 220 Table not adopted by Maine State Fire Marshal Office	

COMMON ABBREVIATIONS

ABV	Above	DBL	Double	GA	Gauge	PCC	Pre-Cast Concrete
ACT	Acoustic Ceiling Tile	DIA	Diameter	GAL	Gallon	PLY	Plumbing Plywood
AD	Area Drain	DN	Down	GALV	Galvanized	PNT	Paint
ADJ	Adjustable	DR	Door	GL	Glass	PT	Pressure-Treated
AFF	Above Finished Floor	DW	Dishwasher	GYP	Gypsum Board	PSF	Pounds per square foot
ALUM	Aluminum	DWG	Drawing	GWB	Gypsum Wall Board	PSI	Pounds per square inch
ALT	Alternate	EA	Each	HT	Height	RBR	Rubber
APPROX	Approximate	EL	Elevation	HM	Hollow Metal	RCP	Reflected Ceiling Plan
ANOD	Anodized	ELEC	Electrical	HORIZ	Horizontal	REQ	Required
		ELEV	Elevator	HWH	Hot Water Heater	RM	Room
BLDG	Building	EOS	Edge of Slab			RM	Room
BLKG	Blocking	EQ	Equal	IBC	International Building Code	SIM	Similar
B.O.	Bottom of Bulkhead	EQ	Equal	ID	Inside Diameter	SPEC	Specified or Specification
BLKHD	Bottom of Bulkhead	ETR	Existing to Remain	IECC	International Energy Conservation Code	SPK	Sparker
		EQUIP	Equipment	INSUL	Insulation	SS	Stainless Steel
		EXT	Exterior	INT	Interior	STC	Sound Transmission Coefficient
CAB	Cabinet	INT	International Residential Code	IRC	International Residential Code	STL	Structural
CP	Cast in Place	IRC	International Residential Code			STL	Structural
CEO	Code Enforcement Officer	FA	Fire Alarm			STRUC	Structural
CFCI	Contractor Furnished, Contractor Installed	FAP	Fire Annunciator Panel			STRUC	Structural
CLG	Ceiling	FD	Floor Drain	MAX	Maximum	TELE	Telephone
CLR	Clear	FE	Fire Extinguisher	MECH	Mechanical	T.O.	Top of
CMU	Concrete Masonry Unit	FEC	Fire Extinguisher Cabinet	MIN	Minimum	TYP	Typical
COL	Column	FL	Fire Hydrant	MISC	Misc	UNO	Unless Noted Otherwise
CONC	Concrete	FLR	Floor	MO	Masonry Opening		
CONT	Continuous	FT	Feet	MTL	Main Uniform Building and Energy Code		
CPT	Carpet			MUBEC	Main Uniform Building and Energy Code		
CT	Ceramic Tile					NIC	Not in Contract
CTR	Center					OC	On Center
						OFCL	Owner Furnished, Contractor Installed



DRATSEFERON: Patrick Boothe, AIA
DATE OF ISSUE: 11/16/2017
PROJECT STATUS: PreDesign

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PROJECT INFORMATION, CODE REVIEW
G-001