CALEB JOHNSON 108 Saint John Street, Portland, ME Regulatory Review prepared by Caleb Johnson Studio. Patrick Boothe, AIA (ME License #4204)

11/16/2017 APPLICABLE CODES: Maine Uniform Building and Energy Code (MUBEC) City of Portland, Maine Code of Ordinances 1999 NFPA 70 - National Electrical Code 2009 International Residential Code (IRC) 2009 NFPA 101 - Life Safety Code 2009 International Building Code (IBC) The Maine Subsurface Wastewater Disposal Rule 2009 International Energy Conservation Code (IECC) The Maine State Plumbing Code 2009 Uniform Plumbing Code 2009 NFPA 1 Fire Code 2007 ASHRAE 62.1 - Ventilation for Acceptable Indoor Air Quality

> 2007 ASHRAE 90.1 - Energy Standard for Buildings except Low Rise Residential Buildings w/out addenda

PROJECT DESCRIPTION: New tenant fit-out for Mainely Burgers Food Truck Co-op within an existing 1-story building. Primary scope of the renovations is new plumbing equipment and rough-ins to serve as a prep area for multiple food trucks. Other work includes: new above-floor grease interceptor, new interior paint, new exterior paint, new exterior storefront windows and doos, new roof including 4" of continuous rigid insulation for energy performance. See other scope noted within.



COD	CODE REVIEW SUMMARY:						
PORTLAND ZONING ORDINANCE REVIEW:							
ITEM	ITEM	CITY OF PORTLAND, MAINE CODE OF ORDINANCES (Chapter 14 Land Use Co					

ITEM #	ITEM	CITY OF PC	ORTLAND, MAINE CODE OF ORDINANCES (Chapter 14 Land Use Code)				
		SECTION	REQUIREMENT/DESCRIPTION	PROPOSED COMPLIANCE			
0.1	ZONING USE STANDARDS						
	Zoning Map	14-246	I-Mb Industrial				
	Zoning Purpose		the limited orcontrolled use of an These facilities often require larg volumes of shipping and receiving thus relying oncitywide and region	I-Ma and I-Mb industrial zones are intended toprovide for larger industrial buildings and for ed or controlled use of areas outside of structures for storage ofmaterials and machinery. cilities often require largevolumes of imported materials and products which result in large of shipping and receiving. Often uses may behighway-oriented and transportation-relateding oncitywide and regional transportation infrastructure. Industrial uses in the moderate industrial zones may require separation from higher impact uses, which should be directed timpact industrial zone.			
	Existing Zoning Land Use	Property Card	"Manufacturing and Constructio	n"			
	Proposed Zoning Use	14-247(k)	"Commercial Kitchens or other fo	Proposed Use is allowed however with the caveat "that the food is not prepared for service on the premises"			
		14-247(m)	"Food processing for human consumption"	Proposed Use is allowed			
0.2	DIMENSIONAL REQUIREMENTS						
	Minimum Lot Size	14-250(a)	None	Existing Lot size is 17,000sf +/-			
	Maximum Impervious	14-250(b)	100% Coverage				
	Maximum Building Height	14-250(c)	75 Feet				
	Minimum Side Yard Setback	14-250(d)	Principal and Accessory Structures in I-Mb: None				
	Minimum Rear Yard Setback	14-250(e)	Principal and Accessory Structures in I-Mb: None				
	Minimum Front Yard	14-250(f)	Principal and Accessory Structures in I-Mb: None				
	Minimum Street	14-250(g)	60 Feet	Existing is 200' +/-			
	Pavement Setback from Lot Boundaries	14-250(h)	10 Feet				
0.3	OTHER NOTABLE REQUIREMENTS						
	Storage of Materials	14-251(f)	, .	nished products, orrelated equipment must be suitably screened from g properties by a solid fence at least five (5)feet in height, or by a			
	Storage of Waste	14-251(g)	All waste shall be stored in coverescape from the container	red containers that do not leak or otherwise permit liquids or solids to			
	Timeframe of Removal of Waste	14-251(h)	refrigerated shall beremoved fro	ne stored within acompletely enclosed structure and if not some the site in an enclosed container withinforty-eight (48) hours of its erior food processing waste storage areas shall be cleaned and			
	Outdoor Storage	14-251(j)	Any permitted outdoor storage of materials shall be done in such a manner as to prevent the breeding and harboring of insects or vermin, to prevent the transfer of such materials from the site natural causes or forces and to contain fumes, dust, or other materials which constitute a fire haze This storage shall be accomplished within enclosed containers or by one (1) or more of the following methods: raising materials above ground, separating materials, preventing stagnant water, or by				

LIFE SAFETY CODE REVIEW BY SECTION: IBC and NFPA 101 MUBEC / 2009 IBC 2009 NFPA 101 - Life Safety Code

Off-Street Parking 14-332(j) If "Offices, Professional and Public buildings." One space for each 400 sf of floor area exclusive of

some other means. No outdoor storage shall be permitted between the front of any building on the

14-252(a) Seventy (70) dBA between the hours of 7:00a.m. and 10:00 p.m. Fifty-five (55) dBA between the hours

of 10:00 p.m. and 7:00 a.m., as measured at or within the boundaries of any residential

		SECTION	REQUIREMENT/CONDITION		SECTION	REQUIREMENT/CONDITION	PROPOSED COMPLIA
1.0	USE AND OCCUPANCY						
	Primary: Factory	306.2	Industrial - Moderate Hazard		40	General Industrial Occupancie	S
	Industrial (F-1) Secondary: Business (B)	303.1 exp 1	Occupancy Assembly with less than 50 occupants		38	Secondary: New Business Occu	pancies
					3.3.178.11	Multiple Occupancy	
					Hazard Class 6.2.2	Ordinary Hazard	
2.0	CONSTRUCTION TYPE &	GENERAL BUIL	DING HEIGHT AND AREA LIMITATION	ONS			
	Construction Type	Table 503 and 506.3	Type VB		Table A. 8.2.1.2	Type V-000	
	Area Limitation:	Table 503 and 506.3	F-1: 8,500 SF per story.		NFPA 5000 7.4.1	NFPA 5000 Table not adopted by SFMO	
	Story Limitation:	Table 503 and 504.2	F-1: 1 Story		NFPA 5000 7.4.1	"	
	Height Limitation:	Table 503 and 504.2	40 Feet		NFPA 5000 7.4.1	"	Building is under 40'
3.0	BUILDING SEPARATION 8	EXPOSURE P	ROTECTION				
	Exterior Walls: Load	602	A/R/S-2: Distance X < 5ft = 1		NFPA 220,	NFPA 220 Table not adopted	
	Bearing & Non-load		Hour		Table 4.1.1	by Maine State Fire Marshal	

A/R/S-2: Distance $5 \le X < 10$ ft = 1

A/R/S-2: Distance 10 ≤ X < 30 ft =

A/R/S-2: Distance $X \ge 30 \text{ ft} = 0$

Bearing

site and the street

C !!		Title III	With the limited proposed renovations and new use of the building the scope will include
Compil	ance		incorporating a dedicated accessible parking spot both public and employee use. Other
Summa	ıry		improvements will be added where such are technically feasible and not disproportionate to the
			overall cost of alteration in accordance with §35.151

Exterior Openings Table 705.8 Distance 3 to less than 5 = Not

4.0 FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS

Exterior Bearing Wall Table 601 0 hr

Interior Bearing Wall Table 601 0 hr

Non-bearing Exterior Table 602 0 hr

Non-bearing Interior Table 601 0 hr

Floor Construction and Table 601 0 hr

Roof Construction and Table 601 0 hr

Table 601 0 hr

Automatic Sprinkler 903 / 903.3 Not required throughout

Minimum Door Widths 1008.1.1 32" Minimum Clear Width

1028.8

1016.1 /

1015.2

Dead End Corridors 1018.4 F-1: 20 Feet

1014.3 / F-1: 75 Feet

B: 100 Feet

F-1: 200 Feet

B: 200 Feet

buildings

Table 803.9 Exit Enclosures: B

Corridors: C

Occupancies

Separation

Accessory Use

Primary Structural

Secondary Members

Secondary Members

Interior Wall and

Requirements (Class) 6.0 MEANS OF EGRESS

Occupant Load

Egress Width per

Common Path of

Travel Distance

Exit Access

Exit Separation

Exit Discharge

Electrical Closets w/

transformers > 112.5

Electrical Closets w/

transformers < 112.5

Mechanical Rooms

Storage Rooms with

Hazardous Material

Handrail Graspability

9.0 INTERIOR ENVIRONMENT REQUIREMENTS

Guard Rails

10.0 EMERGENCY SIGNAGE

KVA

Rooms

Corridor/Stair Width 1018.2

Minimum Number of Table Exits per Occupancy 1021.1

Spaces with One Exit or Table

7.0 SPECIAL OCCUPANCY REQUIREMENTS

Ceiling Finish

5.0 FIRE AND SMOKE PROTECTION FEATURES

Unprotecte permitted

Distance 5 to less than 10 = Not

Distance 10 to less than 15 =

Distance 15 to less than 20 =

Distance 20 to less than 25 =

Distance 25 to less than 30 =

between F-1 and B

No separation is required

between accessory uses and

building with F-1 use where fire

1 Hour connecting 3 stories or

2 Hours connecting 4 stories or

Rooms and Enclosed Spaces: C

44" min when occupancy > 50

36" min when occupancy < 50

1/2 the diagonal of room

served in non-sprinklered

44" Min (36" min. for <50

1009.12 Handrails required on both sides

Must comply with Type I must extend 12" beyond top riser and depth of 1 tread

beyond bottom riser

Required on landings > 30" high

Required to follow International

Mechanical Code (not adopted by the State of Maine) Refer to ASHRAE 62.1 2007 Not Less than 7'-6" in

occupiable spaces,

7'-0" in bathrooms, kitchens,

required in building with

occupancy type, however

Fire Alarm Detection System not

existing system will remain and

Exit signs not required in rooms

with only one required means of

be modified with new scope

34" min and 36" max above stair

Occupants)

tread nosing

Exits shall discharge directly to

.3" per person Stairways .2" per Person Horizontal 7.3.1.2

12.2.3.8

7.5.1.3.2

NFPA 70,

450.21

450.21

area is less than 12,000sf

NFPA 5000 Table not adopted

Office, there is no construction

type table within NFPA 101 for

Not required in General

Industrial Occupancies

.3" per person Stairways

.2" per Person Horizontal

Table A.7.6 Industrial (General): 200 Feet Travel Distances

Table A.7.6 Industrial (General): 50 Feet Dead End Corridors

Automatic Extinguishing System installed

1/2 the diagonal of room

served in non sprinklered

buildings

NFPA /0, 450 2 Hour, or 1 Hour with

12.3.2.1.2.1 1 Hour or Automatic

7.2.2.2.1.2 44" Min (36" min. for <50

Occupants)

7.2.2.4.4.1 34" min and 36" max above

smoke partition

Extinguishing System and

Handrails required on both

riser and depth of 1 tread

beyond bottom riser

Table A.7.6 Industrial (General): 50 Feet

2 Hours connecting 4 stories or

1 Hour connecting 3 stories or **Building is 1 story only**

44" min when occupancy > 50 Minimum widths have

36" min when occupancy < 50 been provided. No stairs

See Occupancy Chart

Provided at all doors for egress passage

Common Path Travel

Distances between the more strict between IBC and NFPA has been

between the more strict between IBC and NFPA has been provided.

Refer to Life Safety Plan

Contractor to verify KVA

of existing inteiror

No new guardrails in Project Scope

Project to comply with ASHRAE 62.1 2007

Existing Fire Alarm System

in building to remain and

modified as required per

NFPA 72 Standards with

new Tenant Fit-out

scope

At least minimum provided throughout

transformer

by Maine State Fire Marshal

Distance 25 to less than 30 = No

COMMON A	BBREVIATIONS	DBL	Double			PCC	Pre-Cast Concrete
		DIA	Diameter	GA	Gauge	PLUMB	Plumbing
ABV	Above	DIM(S)	Dimension(s)	GAL	Gallon	PLY	Plywood
ACT	Acoustic Ceiling Tile	DN	Down	GALV	Galvanized	PNT	Paint
AD	Area Drain	DR	Door	GL	Glass	PT	Pressure-Treated
ADJ	Adjustable	DW	Dishwasher	GYP	Gypsum Board	PSF	Pounds per square foot
AFF	Above Finished Floor	DWG	Drawing	GWB	Gypsum Wall Board	PSI	Pounds per square inch
ALUM	Aluminum						
ALT	Alternate	EA	Each	HT	Height	RBR	Rubber
APPROX	Approximate	EL	Elevation	HM	Hollow Metal	RCP	Reflected Ceiling Plan
ANOD	Anodized	ELEC	Electrical	HORIZ	Horizontal	REQ	Required
		ELEV	Elevator	HWH	Hot Water Heater	RM	Room
BLDG	Building	EOS	Edge of Slab				
BLKG	Blocking	EQ	Equal	IBC	International Building Code	SIM	Similar
B.O.	Bottom of	ETR	Existing to Remain	ID	Inside Diameter	SPEC	Specified or Specification
BLKHD	Bulkhead	EQUIP	Equipment	IECC	International Energy Conservation Code	SPK	Sprinkler
		EXT	Exterior	INSUL	Insulation	SS	Stainless Steel
CAB	Cabinet			INT	Interior	STC	Sound Transmission Coeff
CIP	Cast in Place	FA	Fire Alarm	IRC	International Residential Code	STL	Steel
CEO	Code Enforcement Officer	FAP	Fire Annunciator Panel			STRUCT	Structural
CFCI	Contractor Furnished, Contractor Installed	FD	Floor Drain	MAX	Maximum		
CLG	Ceiling	FE	Fire Extinguisher	MECH	Mechanical	TELE	Telephone
CLR	Clear	FEC	Fire Extinguisher Cabinet	MIN	Minimum	T.O.	Top of
CMU	Concrete Masonry Unit	FH	Fire Hydrant	MISC	Misc	TYP	Typical
COL	Column	FLR	Floor	MO	Masonry Opening		
CONC	Concrete	FT	Feet	MTL	Metal	UNO	Unless Noted Otherwise
CONT	Continuous			MUBEC	Maine Uniform Building and Energy Code		
CPT	Carpet					VIF	Verify in Field
CT	Ceramic Tile			NIC	Not in Contract		
CTR	Center					W/	With
				OC	On Center	WD	Wood
				OFCI	Owner Furnished, Contractor Installed		

Mainely Burgers Food Truck Co-op

NEW TENANT FIT-OUT 108 St John Street Portland ME 04101

PROJECT ARCHITECT

Caleb Johnson Studio 110 Exchange Street Portland, ME 04101 207-283-8777

Point of Contact: Patrick Boothe, AIA 740-418-5475 ME License #ARC4204 Mainely Burgers, LLC 108 Saint John Street Portland, ME 04101 Point of Contact: Max Barber 207-317-6455

BUILDING OWNER:

PROJECT DESCRIPTION:

New tenant fit-out for Mainely Burgers Food Truck Co-op within an existing 1-story building. Primary scope of the renovations is new plumbing equipment and rough-ins to serve as a prep area for multiple food trucks. Other work includes: new above-floor grease interceptor, new interior paint, new exterior paint, new exterior storefront windows and doos, new roof including 4" of continuous rigid insulation for energy performance. See other scope noted within.



EGRESS LEGEND QUICK BUILDING STATS

V-B (IBC), V-000 (NFPA) Construction Type: F-1 Moderate Hazard Factory Commercial Kitchen (with Accessory Business) None Existing, None Required Sprinkler System: Occupancy: 7 (200sf/person, gross)

Fire Alarm: Existing to Remain Mixed-Use: Required Separation: Building Area: 1,236sf total gross 848st (69% of Building)

EMERGENCY DEVICE KEY Exit Sign

Emergency Lighting Fire Alarm Audio/ Visual Device

Wall Mounted Manual Pull Station

Allowed Max = See Table Above

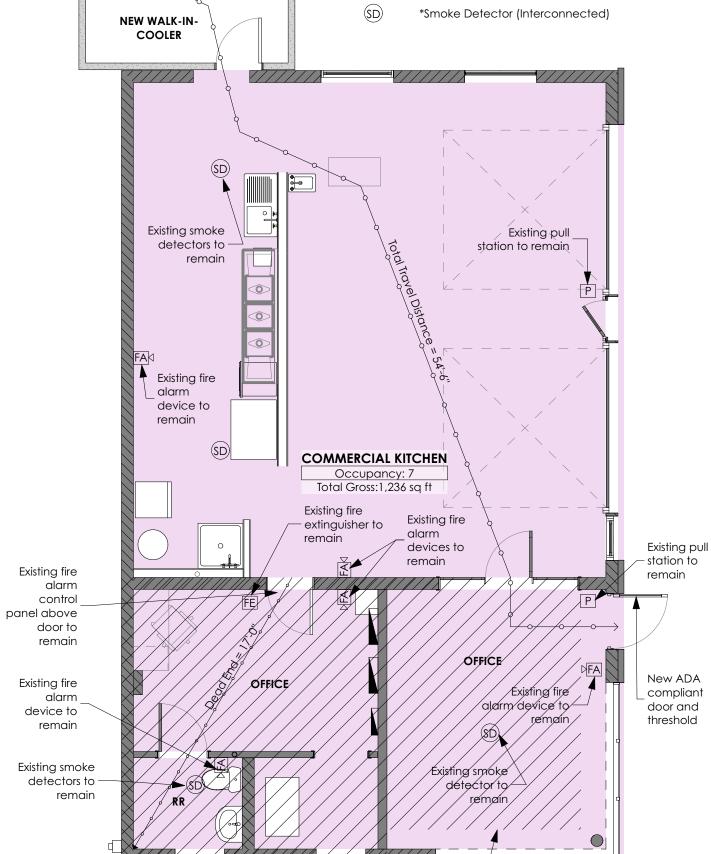
Allowed Max = See Table Above

Exit Access Travel Distance (1016, Table A.7.6)

Common Path of Travel (1014.3, Table A.7.6)

Dead End Limit (1018.4, Table A.7.6) Allowed Max = See Table Above





Building Area is

TENANT:

Mainely Burgers, LLC 108 Saint John Street Portland, ME 04101 Point of Contact: Max Barber 207-317-6455

CONTRACTOR:

Woodhull of Maine 110 Exchange Street 2nd Floor Portland, ME 04101 207-283-8777

Point of Contact: Greg Rossnagel 718-447-2804

SHEET INDEX

ID	Name	Included
G-001	PROJECT INFORMATION, CODE REVIEW	
A-001	SITE PLAN	\boxtimes
A-101	PROPOSED 1ST FLOOR, ROOF AND DEMO PLAN	\boxtimes
A-102	PROPOSED EQUIPMENT PLAN ENLARGEMENT	\boxtimes
A-201	PROPOSED ELEVATIONS & SCHEDULES	\boxtimes
A-301	BUILDING SECTIONS AND DETAILS	\boxtimes

PHOTO OF EXISTING EXTERIOR:



3D VIEW OF PROPOSED:





JOHNSON

