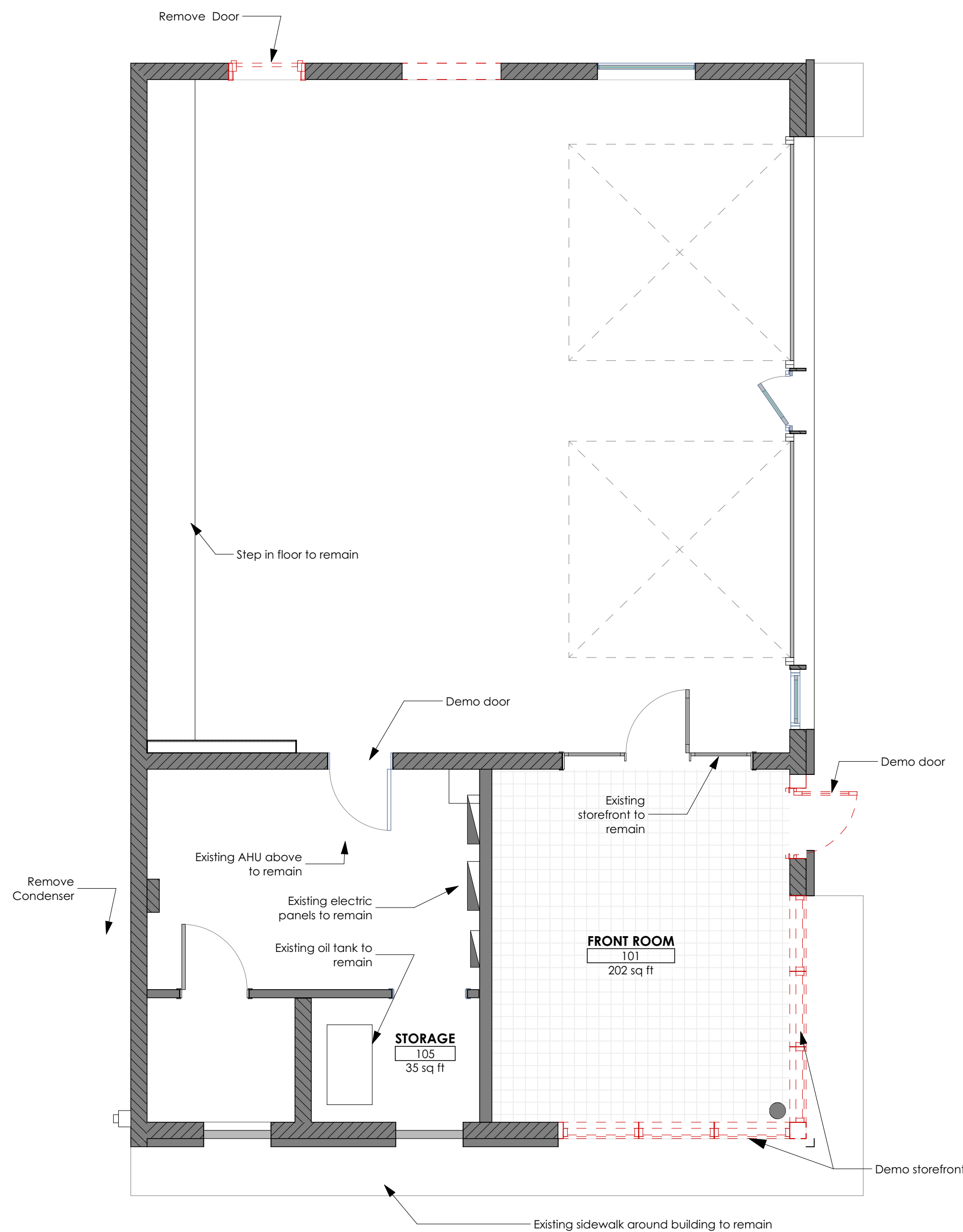
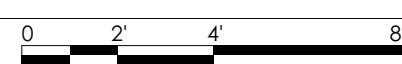


DEMOLITION SYMBOL LEGEND:

- Wall to be Demolished
- Existing Wall to Remain
- Room/ Area to be Guttled, See Additional Notes
- Door to be Demolished
- Fixture/ Object to be Demolished



2 DEMOLITION 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"



SYMBOL LEGEND

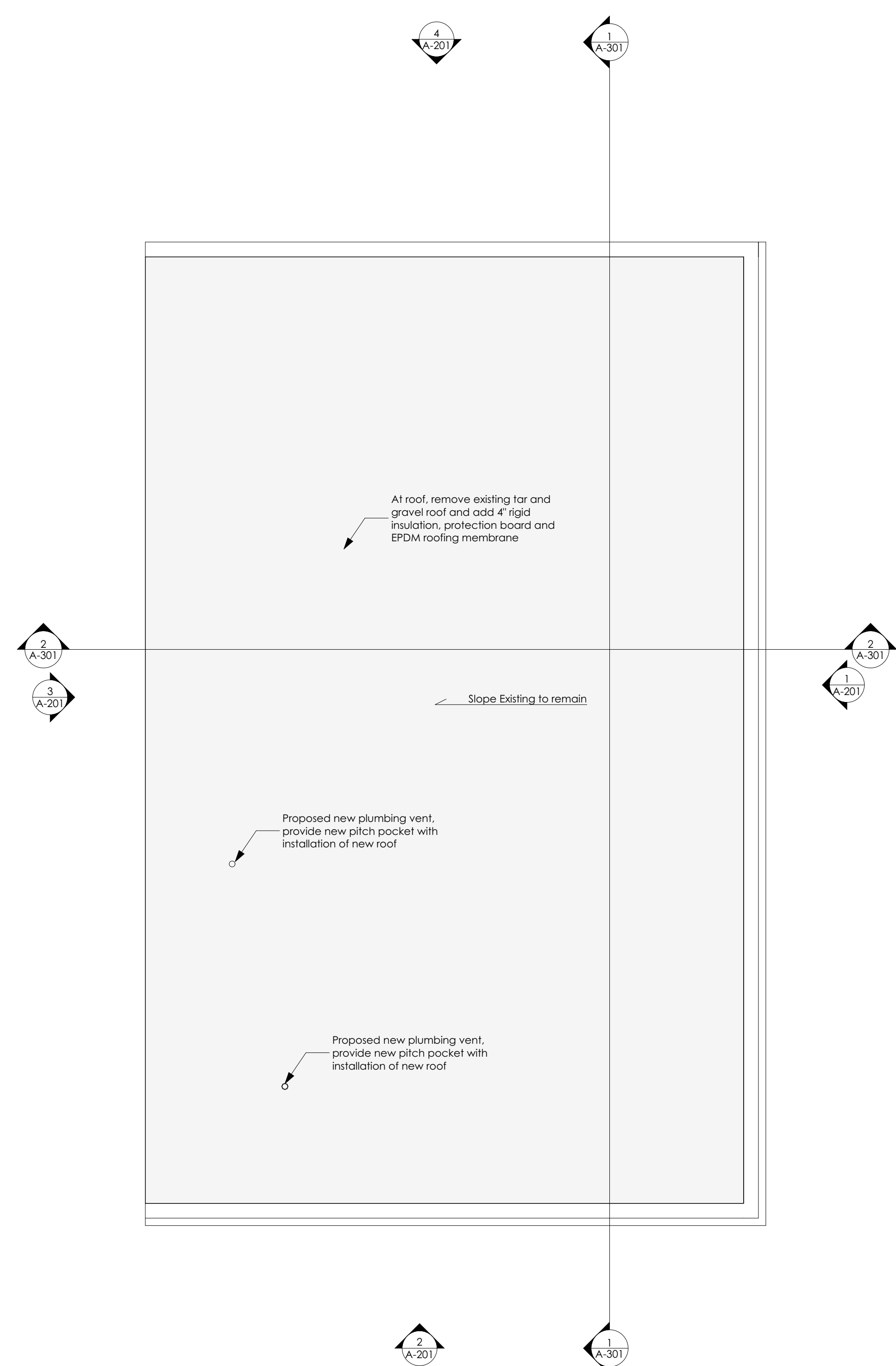
- Property Line
- Story Elevation Marker
- Floor Height Above Datum
- Grid Line
- SECTION/DETAIL MARKER
Drawing Number
Sheet Number
- ELEVATION MARKER
- DETAIL BUBBLE
- INTERIOR ELEVATION MARKER
Drawing Number
Sheet Number
- DIMENSION LINE
- NORTH ARROW
- BREAK LINE

PROJECT TAGS
Refer to Schedules

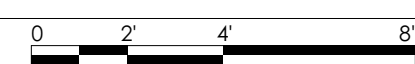
- DOOR TAG
- WINDOW TAG
- WALL TAG
- PLUMBING TAG
- EQUIPMENT TAG
- FINISH TAG
- ROOM MARKER
Room Name
Room Number
Net Interior Area
- DETAIL MARKER
Drawing Number
Sheet Number

MATERIAL LEGEND

- Brick - Elevation
- Brick - Section
- Concrete - Block
- Concrete - CIP
- Earth
- Gravel
- Gypsum
- Gypsum - Fire Rating
- Insulation - Batt
- Insulation - Rigid
- Metal - Aluminum
- Metal - Steel
- Not in Contract
- Plywood
- Vegetation
- Wood - End Grain



3 PROPOSED ROOF
SCALE: 1/4" = 1'-0"

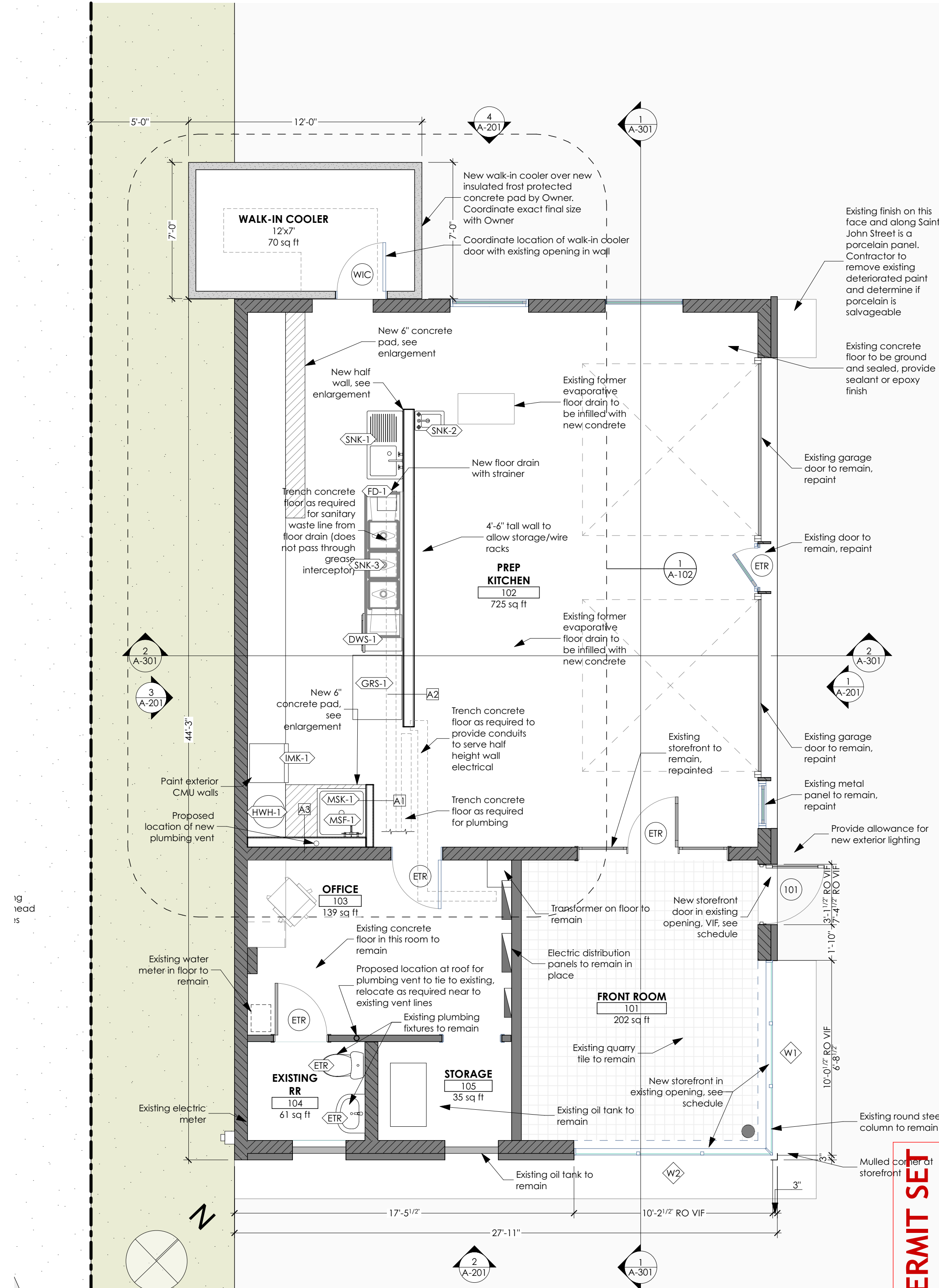


FLOOR PLAN GENERAL NOTES

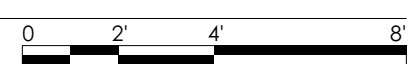
1. These Drawings constitute a design progress set. Additional information, dimensions and specifications will be provided by the Architect and/or Owner at a later date or as requested with estimate for clarification.
2. Dimensions on these 1/4" floor plans are from face of finish exterior material or to grid. Wall composition materials are shown on larger scale floor plans, refer to wall types.
3. Contractor will review all drawings and specifications and confirm any unclear information with the Architect before proceeding. Sheets are not to be separated when distributed to subcontractors in order to maintain contextual information.
4. Contractor is responsible for the construction of a complete weather tight building within the scope of the construction documents. If contractor feels conformance with the construction documents is in conflict with this goal he shall discuss conflicts with Architect.
5. Contractor is responsible for coordinating and supervising all sub-contractors. Workmanship standards shall be those generally accepted for high-end commercial construction. Contractor warrants all work for a minimum of one year from final completion of job. Other explicit warranties may be in addition to above.

FLOOR PLAN GENERAL NOTES, CONT.

6. MEP: Mechanical, Electrical and Plumbing work is to be design build by the Contractor. The Architect and Mechanical Engineer have provided design-build performance specifications and has made basic assumptions for size and space requirements and locations for incoming service. Contractor is to review and bring to the Architect's attention if additional information is required.
7. Electrical Scope Narrative: Electrical contractor shall upgrade back of house lighting with new LED tubes that are shatter resistant as well as add motion sensors. Electrical contractor shall also feed circuits and make final connections for dishwasher, icemaker, water heater, freezer, refrigerator and service receptacles where shown on Drawings. Electrical contractor shall also supply and install new exterior light fixtures as shown on Drawings. Electrical contractor shall install (2) new Nema R3 enclosures with a breaker and receptacle in site for food truck charging as shown on site plan.
8. Automatic Sprinkler System: None Existing, Not Required with Project Use and Scope.
9. Fire alarm systems, emergency lighting, smoke detection, etc are design-build by the fire alarm subcontractor, refer to Life Safety sheets, locations TBD, quantities by FA subcontractor.
10. Finishes including exterior and interior painting is by Owner. Design Intent of exterior has been shown on these drawings.
11. Contractor to provide shop drawings for: storefront windows, storefront doors before procurement



1 PROPOSED 1ST FLOOR
SCALE: 1/4" = 1'-0"



PERMIT SET



CALEB JOHNSON
STUDIO
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DRAFTSPERSON:
Patrick Boehme, AIA
DATE OF ISSUE:
PROJECT STATUS:
PreDesign

Mainely Burgers Food Truck Co-op
Mainely Burgers
108 St John Street Portland ME 04101

PROPOSED 1ST FLOOR, ROOF
AND DEMO PLAN
A-101