

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0689	Issue Date:	CBL: 068 D009001
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Location of Construction: 82 St John St	Owner Name: Barber Foods	Owner Address: 84 St. John Street	Phone: 772-1934
Business Name:	Contractor Name: Allied/Cook Construction	Contractor Address: PO Box 1396 Portland	Phone: 2077722888
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: IMb

Past Use: Barbaer Foods- Processing/Commercial	Proposed Use: Barber Foods-Processing-Dry Storage	Permit Fee: \$632.00	Cost of Work: \$87,000.00	CEO District: 3
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: 51 Type: 3A	

Proposed Project Description:
Interior Tenant Fit Up for Dry Storage Area

Signature: *[Signature]* Signature: *[Signature]*
 PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
 Action: Approved Approved w/Conditions Denied
 Signature: _____ Date: _____

Permit Taken By: gad	Date Applied For: 06/16/2003	Zoning Approval		
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>6/17/03</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0689	Date: PERMIT ISSUED JUL 25 2003	CBL: 068 D009001
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Proposed Project Description: Interior Tenant Fit Up for Dry Storage Area	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:	Date:	

Permit Taken By: gad	Date Applied For: 06/16/2003	Zoning Approval	
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SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

Permit Number: 030689

Please Read Application And Notes, If Any, Attached

PERMIT

This is to certify that Barber Foods/Allied/Cook Construction
has permission to Interior Tenant Fit Up for Dry Storage Area
AT 82 St John St 068 D009001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is started or work resumed-in-
HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

[Signature] 2/24/03
Director - Building Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit

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Permit No: 03-0689	Date Applied For: 06/16/2003	CBL: 068 D009001
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Location of Construction: 82 St John St	Owner Name: Barber Foods	Owner Address: 84 St. John Street	Phone: () 772-1934
Business Name:	Contractor Name: Allied/Cook Construction	Contractor Address: PO Box 1396 Portland	Phone: (207) 772-2888
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Barber Foods-Processing-Dry Storage	Proposed Project Description: Interior Tenant Fit Up for Dry Storage Area
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Dept: Zoning	Status: Approved	Reviewer: Marge Schmuckal	Approval Date: 06/17/2003
Note:			Ok to Issue: <input checked="" type="checkbox"/>
Dept: Building	Status: Pending	Reviewer: Mike Nugent	Approval Date:
Note:			Ok to Issue: <input type="checkbox"/>
Dept: Fire	Status: Approved	Reviewer: Lt. MacDougal	Approval Date: 06/17/2003
Note:			Ok to Issue: <input checked="" type="checkbox"/>

Comments:
06/27/2003-mjn: need certification forms, faxed to designer

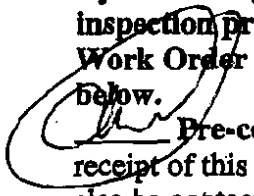
BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initialzing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.



Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- Footing/Building Location Inspection:** Prior to pouring concrete
- Re-Bar Schedule Inspection:** Prior to pouring concrete
- Foundation Inspection:** Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling
- Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Bill Bernard
Signature of applicant/designee

7/25/03
Date

[Signature]
Signature of Inspections Official

7/25/03
Date

CBL: 068 D 009 Building Permit #: 03 0689

03-0689

All Purpose Building Permit Application

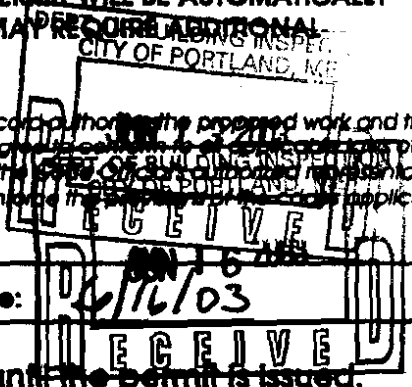
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>84 ST. JOHN STREET</u>		
Total Square Footage of Proposed Structure <u>EXISTING</u>	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>068</u> Block# <u>D</u> Lot# <u>009</u>	Owner: <u>BARBER FOODS</u>	Telephone: <u>772-1934</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>ALLIED/COOK CONSTRUCTION</u> <u>P.O. Box 1396</u> <u>FORTLAND ME 04104</u>	Cost Of Work: \$ <u>87,000</u> Fee: \$ <u>632</u>
Current use: <u>VACANT / STORAGE</u>		
If the location is currently vacant, what was prior use: <u>CENTURY TIME SERVICE BAYS</u>		
Approximately how long has it been vacant: <u>1 YEAR</u>		
Proposed use: <u>DRY STORAGE</u>		
Project description: <u>INTERIOR TENANT FIT-UP FOR PORTION OF BLDG.</u>		
Contractor's name, address & telephone: <u>ALLIED/COOK CONSTRUCTION</u> <u>PO Box 1396 FORTLAND ME 04104</u>		
Who should we contact when the permit is ready: <u>PETER J. PELLETIER</u>		
Mailing address: <u>SAME AS CONTRACTOR'S ADV.</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>772-2888</u>		

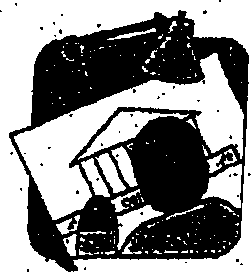
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorized the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to pay the fee of \$632.00 for this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the City of Building Inspectors shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the Code applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>2/16/03</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



To: JIM THIBODEAU
PE: BARBER
FEWES

CITY OF PORTLAND MAINE

389 Congress St., Rm 315
Portland, ME 04101
Tel. - 207-874-8704
Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

FROM DESIGNER: ASSOCIATED DESIGN PARTNERS INC.
80 LEIGHTON RD. FALM. ME 04105

DATE: 7.15.03

Job Name: BARBER FEWES STORAGE EXPANSION

Address of Construction: 84 ST. JOHN ST.

THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION
Construction project was designed according to the building code criteria listed below:

Building Code and Year 1999 BOCA Use Group Classification(s) _____
Type of Construction 3A Bldg. Height 24' Bldg. Sq. Footage 36,600
Seismic Zone CAT. "C" Group Class 1
Roof Snow Load Per Sq. Ft. 60 PSF GROUND Dead Load Per Sq. Ft. 15 PSF
Basic Wind Speed (mph) 85 mph Effective Velocity Pressure Per Sq. Ft. 20 PSF
Floor Live Load Per Sq. Ft. 250 PSF SLABS AND GRADE / 75 PSF UPPER FLOOR
Structure has full sprinkler system? Yes No _____ Alarm System? Yes _____ No
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building: Yes _____ No

If mixed use, what subsection of 313 is being considered N/A

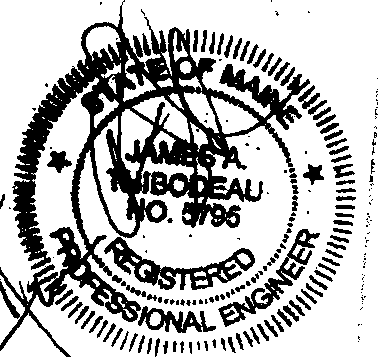
List Occupant loading for each room or space, designed into this Project.

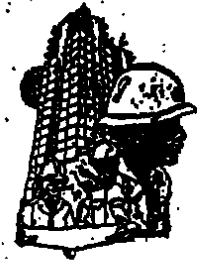
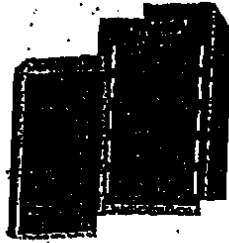
20 PEOPLE TOTAL
5 PER AREA

PSH:6/07/K

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME (Designers Stamp & Signature)
JUL 22 2003
RECEIVED

878178





CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Rm 315
Portland, ME 04101

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: _____

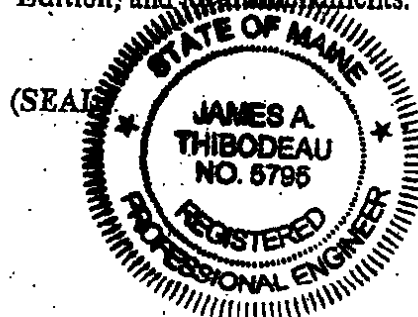
RE: Certificate of Design

DATE: 7.15.03

These plans and/or specifications covering construction work on:

84 St. John St.
BARBER FOODS STORAGE EXPANSION.

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and local amendments.



Signature James A. Thibodeau

Title PRESIDENT

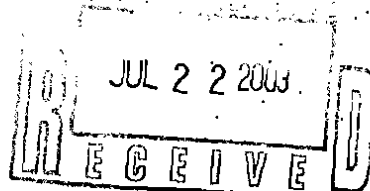
Firm ASSOCIATED DESIGN PARTNERS INC.

Address 80 LEIGHTON RD
FALM. ME 04105

As per Maine State Law:

\$50,000.00 or more in new construction; repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

ESH 6/20/01





CITY OF PORTLAND
ACCESSIBILITY CERTIFICATE

Designer: JAMES A. THIBODEAU P.E. ASSOC. DESIGN PARTNERS INC.

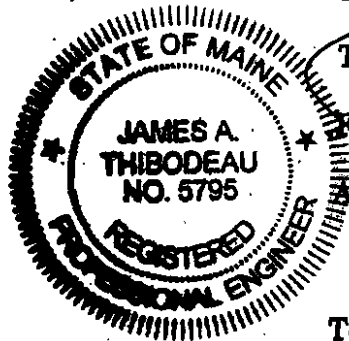
Address of Project: 84 ST. JOHN ST.

Nature of Project: RENOVATE 84 ST. JOHN ST.
FOR STORAGE OF DRY GOODS

Date: 7.15.03

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

(SEAL)



Signature: [Handwritten Signature]

Title: PRESIDENT

Firm: ASSOC. DESIGN PARTNERS INC.

Address: 80 LEIGHTON RD
FAIRM, ME 04105

Telephone: 878-1751

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

JUL 22 2003

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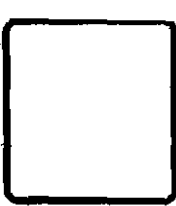
Proposed Use: Barber Foods-Processing-Dry Storage	Proposed Project Description: Interior Tenant Fit Up for Dry Storage Area
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Dept: Zoning	Status: Approved	Reviewer: Marge Schmuckal	Approval Date: 06/17/2003
Note:	Ok to Issue: <input checked="" type="checkbox"/>		

Dept: Building	Status: Approved with Conditions	Reviewer: Mike Nugent	Approval Date: 07/24/2003
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<p>1) The Doors that protect the loading dock type opening must be clearly marked to inform employees of the 7'5" level difference on the other side and cannot be openable from the higher side. The final design of the doors must be submitted and approved prior to installation. Discussed the concept w/ICC engineer 7/23/03 and advised that with proper caution signage that the concept was acceptable.</p>			

Dept: Fire	Status: Approved	Reviewer: Lt. MacDougal	Approval Date: 06/17/2003
Note:	Ok to Issue: <input checked="" type="checkbox"/>		

Comments: 6/27/2003-mjn: need certification forms, faxed to designer got em on 7/22/03



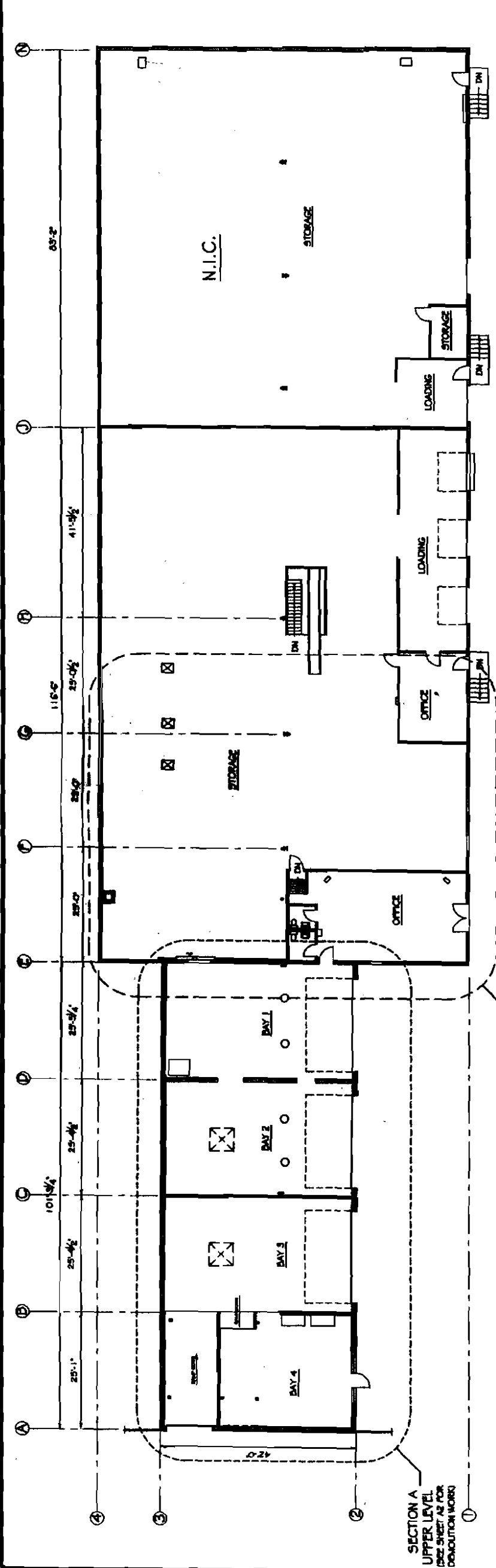
ASSOCIATED DESIGN PARTNERS INC.
 100 Franklin Street
 Portland, ME 04101
 Tel: 603.633.1234
 Fax: 603.633.1235
 www.associateddesign.com



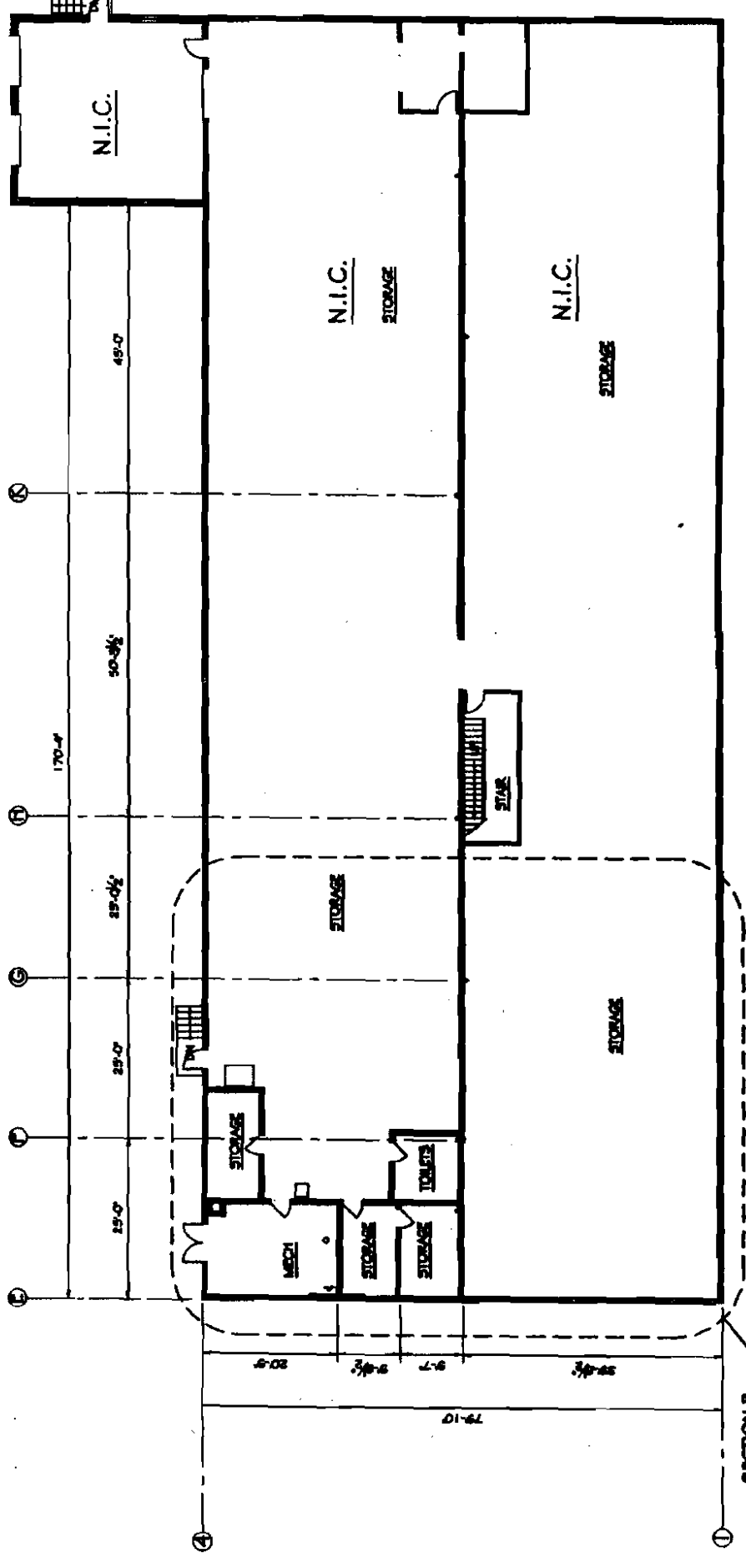
STORAGE EXPANSION
 100 FRANKLIN STREET, PORTLAND, ME 04101
 PROJECT NO. 02163
 DATE: 05/11/06
 DRAWN BY: J. J. [unreadable]
 CHECKED BY: [unreadable]
 APPROVED BY: [unreadable]

NO.	DATE	DESCRIPTION
1	05/11/06	ISSUED FOR PERMITS
2	05/11/06	ISSUED FOR CONSTRUCTION
3	05/11/06	ISSUED FOR CONSTRUCTION
4	05/11/06	ISSUED FOR CONSTRUCTION
5	05/11/06	ISSUED FOR CONSTRUCTION
6	05/11/06	ISSUED FOR CONSTRUCTION
7	05/11/06	ISSUED FOR CONSTRUCTION
8	05/11/06	ISSUED FOR CONSTRUCTION
9	05/11/06	ISSUED FOR CONSTRUCTION
10	05/11/06	ISSUED FOR CONSTRUCTION

PROJECT NO. 02163
 SHEET NO. A1 OF 12



SECTION B UPPER LEVEL EXISTING CONDITIONS
 SOUTH ELEVATION
 SCALE: 3/8" = 1'-0"



SECTION B LOWER LEVEL EXISTING CONDITIONS
 SOUTH ELEVATION
 SCALE: 3/8" = 1'-0"

UPPER LEVEL KEY PLAN

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME

LOWER LEVEL KEY PLAN
 JUN 16 2006
 WALL TYPE KEY

02163
 A1 OF 12



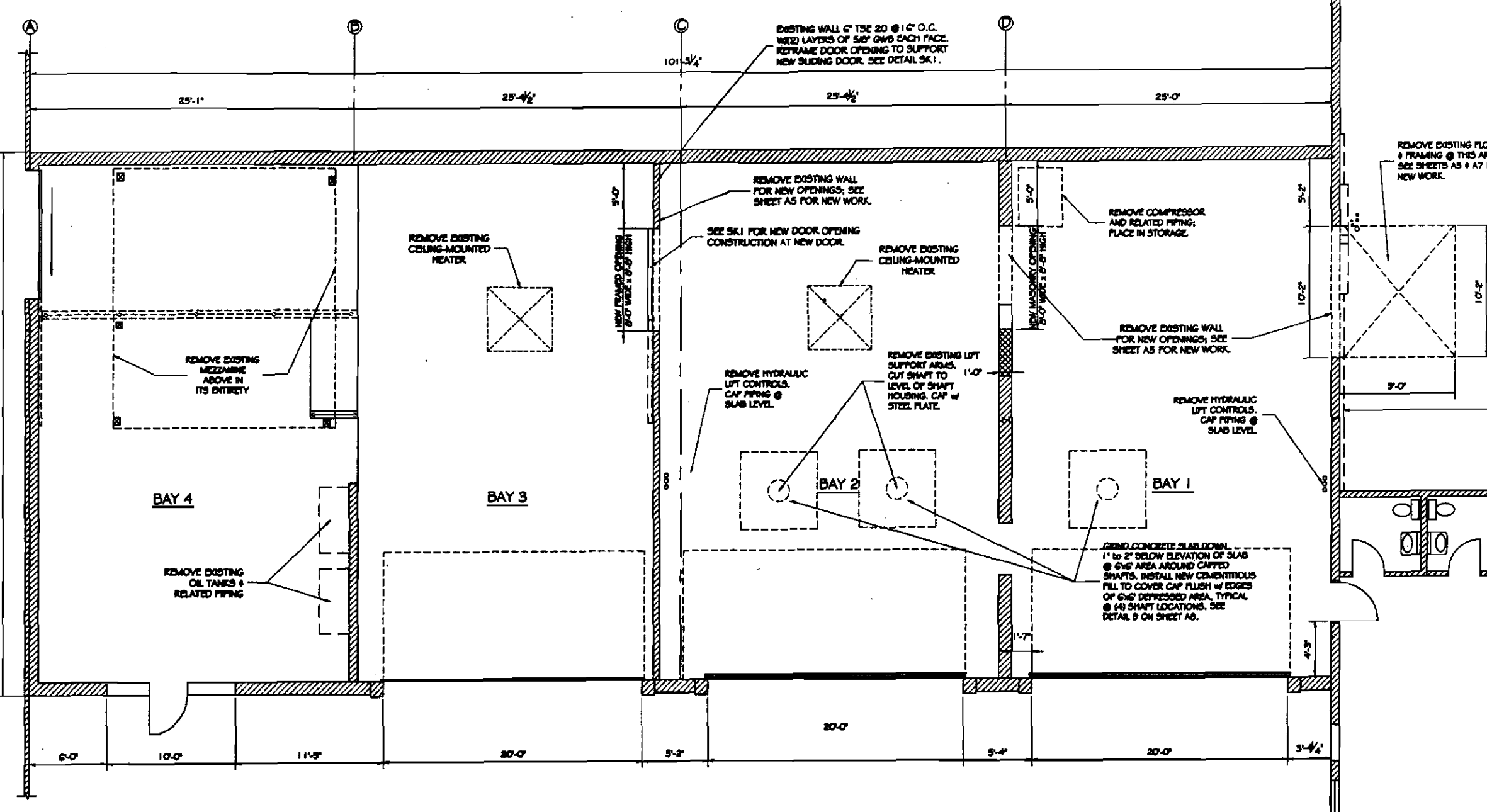
ASSOCIATED DESIGN PARTNERS INC.
 OFFICE: 500 12TH ST. S.W.
 SEASIDE, OREGON 97138
 PHONE: (503) 251-1111
 FAX: (503) 251-1112
 WWW: www.adpartners.com

DATE: 05/15/2003
 DRAWN BY: JAC
 CHECKED BY: JAC
 PROJECT NO.: 02163

PROJECT: STORAGE EXPANSION
 CENTURY TIRE EXISTING CONDITIONS AND DEMOLITION PLAN, SECTION A

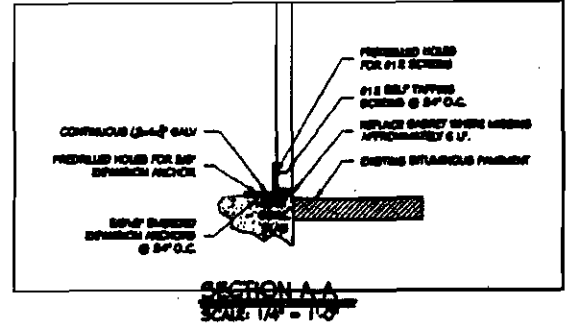
NO.	DESCRIPTION	DATE	BY

DATE: 05/15/2003	SCALE: 1/4" = 1'-0"
DRAWN BY: JAC	CHECKED BY: JAC
PROJECT NO.: 02163	SHEET NO. OF 12



EXISTING CONDITIONS/DEMOLITION PLAN, SECTION A
 SCALE: 1/4" = 1'-0"

- GENERAL NOTES:**
1. FILL ALL VOIDS @ ALL MASONRY CMU WALLS w/ EXPANDABLE FILLER OR SEALANT TO USDA REQUIREMENTS.
 2. INSTALL BLOCK FILLER COAT @ ALL CMU BLOCK WALLS PRIOR TO PAINTING (BAYS 3 & 4).
 3. POWER WASH ALL FLOORS, WALLS & CEILING/ROOFED STRUCTURE PRIOR TO PAINT PREP.
 4. SCRAPE ALL PEELED PAINT NOT REMOVED BY POWER WASH PROCESS PRIOR TO PAINT PREP.
 5. REMOVE ALL PIPING AND FIXTURES RELATED TO ELECTRICAL AND HEATING SYSTEMS. EXISTING SPRINKLER AND ROOF DRAIN SYSTEMS SHALL REMAIN INTACT AND OPERATIONAL.
 6. ALTERNATE #1: REMOVE (2) OVERHEAD DOORS & FRAMES. INFILL w/ PARTITION TYPE A - SEE SHEET AS OF I.S.
 7. REFER TO SHEET AS OF I.2 FOR LOCATION OF NEW WORK RELATED TO DEMOLITION ACTIVITY.



DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ORE.
WALL TYPE KEY
 JUN 16 2003
 EXISTING WALLS
 DEMO WALLS
 RECEIVED



ASSOCIATED DESIGN PARTNERS INC.
1000 Exchange Street
Portland, ME 04101
TEL: 857-1234
FAX: 857-5678



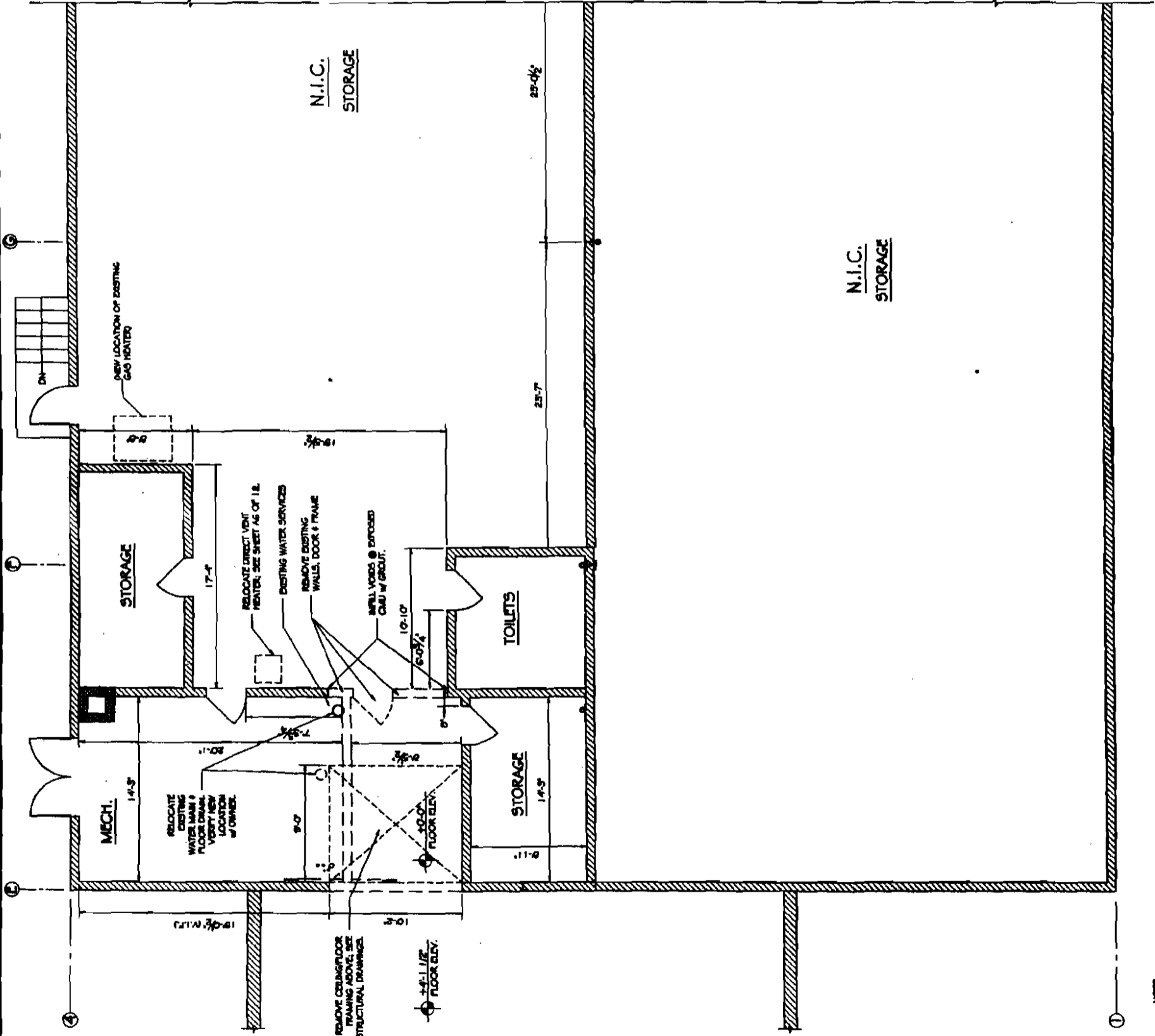
STORAGE EXPANSION
CENTURY TRAIL EXISTING CONDITIONS AND DEMOLITION PLAN, SECTION B LOWER LEVEL

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	05-15-03
2	REVISED PER COMMENTS	05-20-03
3	ISSUED FOR CONSTRUCTION	06-01-03

PROJECT NUMBER: 02183
DATE: JUN 16 2003
SCALE: 1/4" = 1'-0"

A3 of 12

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
JUN 16 2003
SET PLAN
WALL-DOTE KEY
EXISTING WALLS
DEMOL WALLS



N.I.C.
STORAGE

N.I.C.
STORAGE

EXISTING CONDITIONS/DEMOLITION PLAN, SECTION B LOWER LEVEL
SCALE: 1/4" = 1'-0"

NOTE:
REFER TO SHEET A6 OF I.B. FOR LOCATION OF NEW WORK
RELATED TO DEMOLITION ACTIVITY.



ASSOCIATED DESIGN PARTNERS INC.
 1000 BROADWAY
 PORTLAND, ME 04103
 TEL: 603.733.1111
 FAX: 603.733.1112

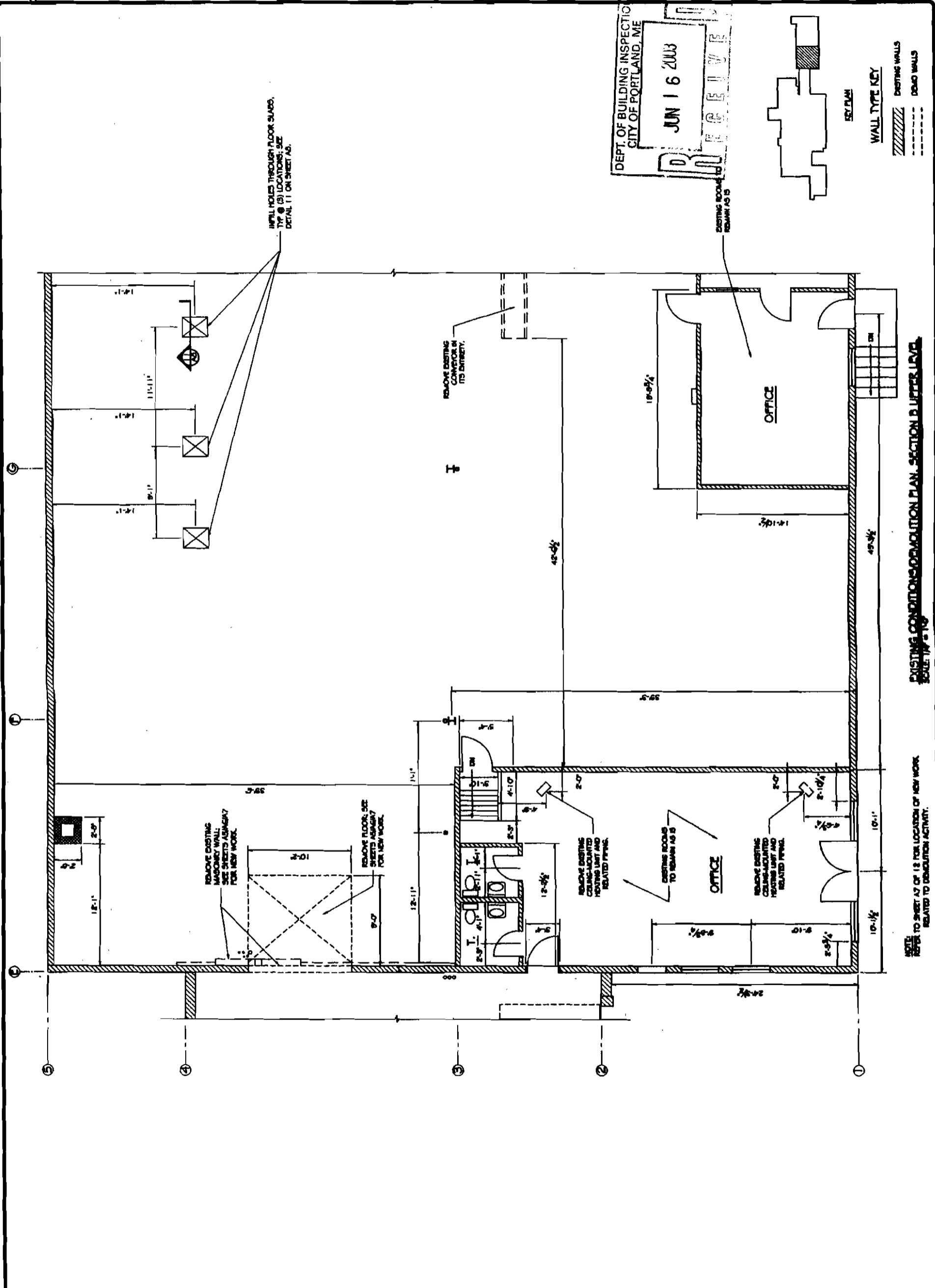
STORAGE EXPANSION
 DEMOLITION PLAN, SECTION B UPPER LEVEL
 DATE: 06/16/03
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: [Name]

SCALE: 1/8" = 1'-0"

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 JUN 16 2003
 RECEIVED

DATE: 06/16/03
 SCALE: 1/8" = 1'-0"
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: [Name]

02163
 A4 12



EXISTING CONDITIONS DEMOLITION PLAN, SECTION B UPPER LEVEL
 SCALE: 1/8" = 1'-0"

NOTE: REFER TO SHEET A7 OF 12 FOR LOCATION OF NEW WORK RELATED TO DEMOLITION ACTIVITY.

WALL TYPE KEY
 --- EXISTING WALLS
 - - - - - DEMO WALLS

KEY PLAN



INSTALL HOLES THROUGH FLOOR SLABS, TYPE (B) LOCATIONS, SEE DETAIL 11 ON SHEET A6.

REMOVE EXISTING CONVEYOR IN THIS ENTRYWAY.

REMOVE EXISTING MASONRY WALL. SEE SHEETS A6/A7 FOR NEW WORK.

REMOVE FLOOR. SEE SHEETS A6/A7 FOR NEW WORK.

REMOVE EXISTING CEILING-MOUNTED HEATING LIGHT AND RELATED PIPING.

REMOVE EXISTING CEILING-MOUNTED HEATING LIGHT AND RELATED PIPING.

EXISTING ROOMS TO REMAIN AS IS

EXISTING ROOMS TO REMAIN AS IS



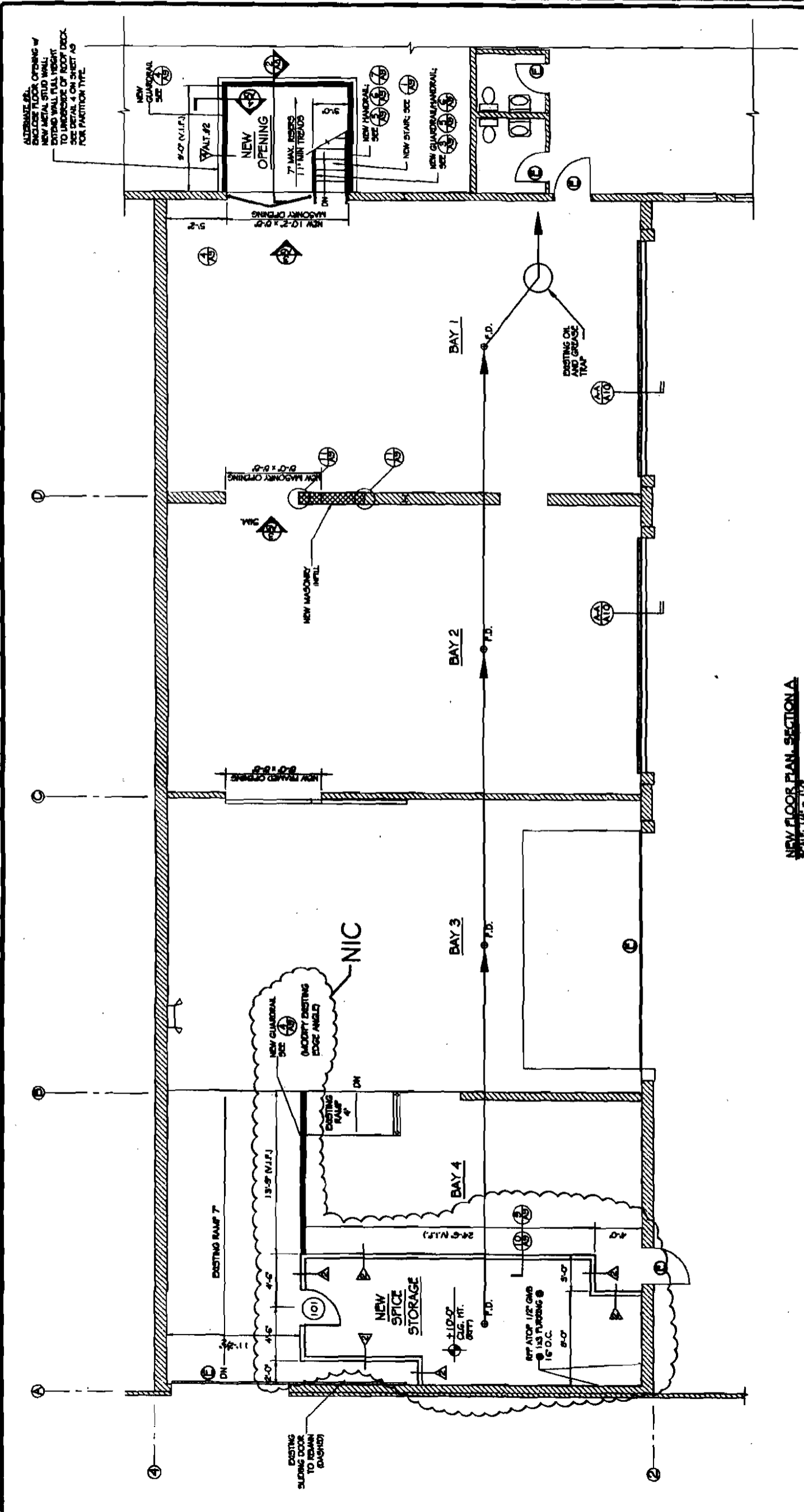
ASSOCIATED DESIGN PARTNERS INC.
 1000 N. W. 10th St.
 Ft. Lauderdale, FL 33304
 Phone: (954) 562-1000

PROJECT:
 STORAGE EXPANSION
 FOR BAY 1, BAY 2, BAY 3, BAY 4
 1000 N. W. 10th St.
 Ft. Lauderdale, FL 33304

NEW FLOOR PLAN, SECTION A

NO.	REVISION	DATE
1	ISSUED FOR PERMITS	05/14/12
2	REVISED PER COMMENTS	05/14/12
3	REVISED PER COMMENTS	05/14/12
4	REVISED PER COMMENTS	05/14/12
5	REVISED PER COMMENTS	05/14/12
6	REVISED PER COMMENTS	05/14/12
7	REVISED PER COMMENTS	05/14/12
8	REVISED PER COMMENTS	05/14/12
9	REVISED PER COMMENTS	05/14/12
10	REVISED PER COMMENTS	05/14/12
11	REVISED PER COMMENTS	05/14/12
12	REVISED PER COMMENTS	05/14/12
13	REVISED PER COMMENTS	05/14/12
14	REVISED PER COMMENTS	05/14/12
15	REVISED PER COMMENTS	05/14/12
16	REVISED PER COMMENTS	05/14/12
17	REVISED PER COMMENTS	05/14/12
18	REVISED PER COMMENTS	05/14/12
19	REVISED PER COMMENTS	05/14/12
20	REVISED PER COMMENTS	05/14/12

02163
A5 12



**DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND**

JUN 16 2012

RECEIVED

KEY PLAN

WALL TYPE KEY

- EXISTING WALLS
- DEMO WALLS
- NEW WALLS (FULL HEIGHT)
- NEW CMU WALLS

NEW FLOOR PLAN, SECTION A
 SCALE: 1/4" = 1'-0"

- GENERAL NOTES:**
1. FILL ALL VOIDS @ ALL MASONRY CMU WALLS w/ EXPANDED FILLER OR SEALANT TO UTM REQUIREMENTS.
 2. INSTALL BLOCK FILLER CONT @ ALL CMU BLOCK WALLS PRIOR TO PAINTING BAYS 3 & 4.
 3. POWER WASH ALL FLOORS, WALLS & CEILING/SOFSOBS STRUCTURE PRIOR TO PAINT PREP.
 4. SCRAPE ALL PEELED PAINT NOT REMOVED BY POWER WASH PROCESS PRIOR TO PAINT PREP.
 5. REMOVE ALL PIPING AND FITTINGS RELATED TO ELECTRICAL AND HEATING SYSTEMS. EXISTING SPRINKLER AND ROOF DRAIN SYSTEMS SHALL REMAIN INTACT AND OPERATIONAL.
 6. ALTERNATE #1: REMOVE (2) OVERSIZED ROOMS & RUNNER. REPAIR w/ PARTITION TYPE A. -SEE SHEET AS OF 12.
 7. REFER TO SHEET AS OF 12 FOR LOCATION OF NEW WORK RELATED TO DEMOLITION ACTIVITY.
 8. PAINT CEILING AND ROOF STRUCTURE w/ GEM-PALL TYPE PAINT (WHITE).
 9. ALL NEW WALL/CORNER PAINT SHALL BE (2) COATS WHITE ACETIC LATEX OVER (1) COAT PRIMER (WHITE). PAINT ALL WALLS, DOORS & FRAMES AT SECTION A.

- SPACE ROOM GENERAL NOTES:**
1. FITCH NEW REEF SLAB TO NEW FLOOR DRAIN.
 2. CONNECT NEW FLOOR DRAIN TO EXISTING PLANT TREATMENT SEWER SYSTEM. PROVIDE ELECTOR PLAN.
 3. ALL WALLS AND CEILING TO BE CMU w/ WHITE, PEBBLE FINISH. WHITE REINFORCED FIBERGLASS PLASTIC PANELS SIMILAR TO .08' REHABILITATION GLASSBOARD PANELS (800-439-0080).
 4. LIGHTING SHALL BE DESIGN-BUILD BY OWNER.
 5. PROVIDE INTAKE AND EXHAUST OPENINGS @ CEILING HVAC SYSTEMS.
 6. COORDINATE w/ OWNER FOR SECURED ACCESS DOOR HARDWARE @

ALTERNATE #1:
 ENLARGE FLOOR OPENING w/
 NEW METAL STUD WALL;
 EXTEND WALL FULL HEIGHT
 TO UNDERSIDE OF ROOF DECK.
 SEE DETAIL 4 ON SHEET AS
 OF 12 FOR PARTITION TYPE.

EXISTING DOOR
 SLIDING DOOR
 TO REMAIN
 (SHOWN)

NIC

877 ATOP 1/2" GAB
 @ 13' FLOORING @
 16" O.C.

NEW OFFICE
 STORAGE

EXISTING RAIF 7

NEW CLAMORAL
 SEE (A)
 MODIFY EXISTING
 EDGE ANGLE

NEW MASONRY
 INFILL

EXISTING OIL
 AND GREASE
 TRAP

NEW GUARDRAIL
 SEE (A)

NEW GUARDRAIL
 SEE (A)

NEW GUARDRAIL
 SEE (A)

NEW GUARDRAIL
 SEE (A)

NEW GUARDRAIL
 SEE (A)

NEW GUARDRAIL
 SEE (A)

NEW GUARDRAIL
 SEE (A)

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 SEE (A)

NEW GUARDRAIL
 SEE (A)

NEW GUARDRAIL
 SEE (A)

NEW GUARDRAIL
 SEE (A)

NEW GUARDRAIL
 SEE (A)

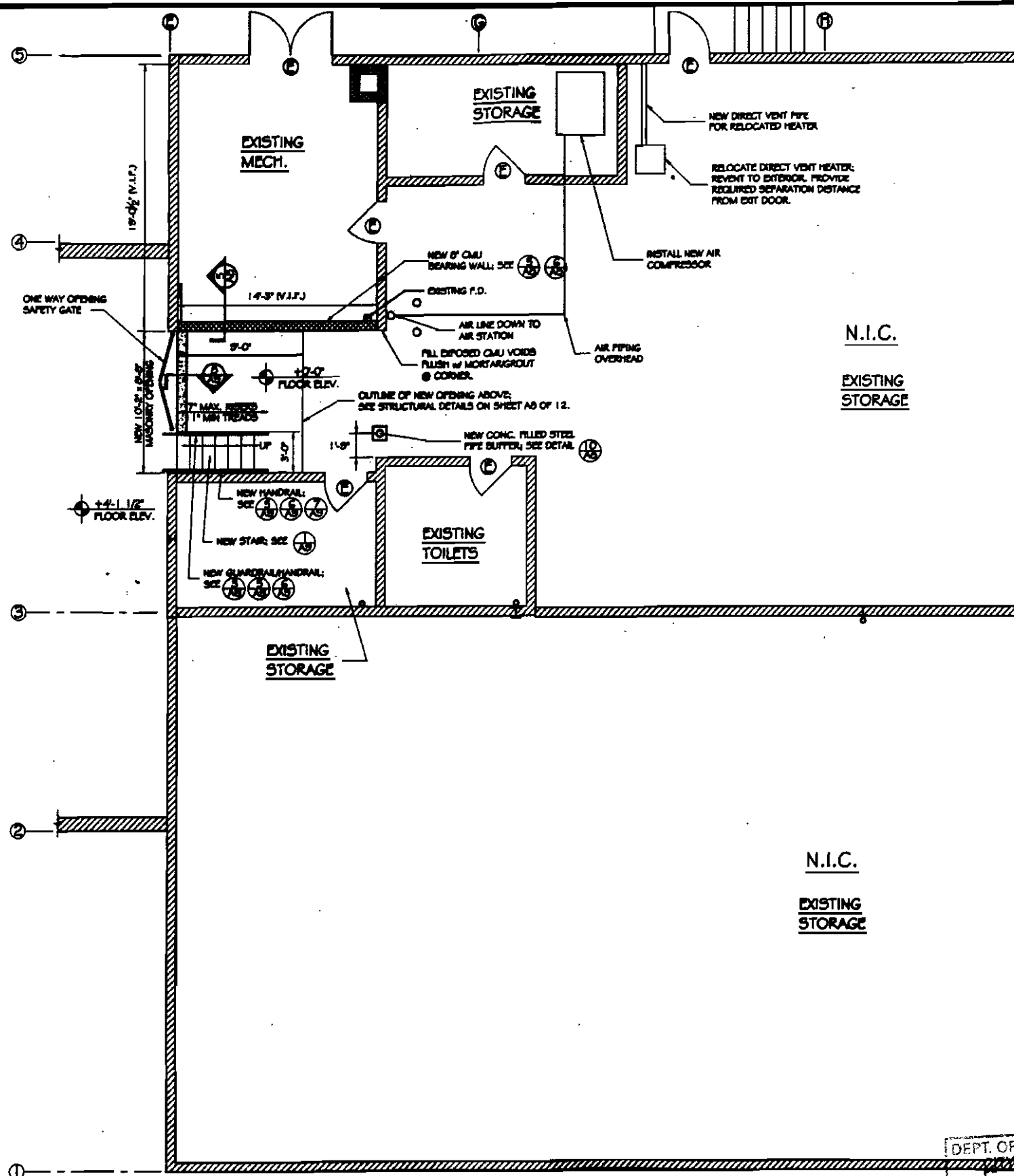
NEW GUARDRAIL
 SEE (A)

NEW GUARDRAIL
 SEE (A)

NEW GUARDRAIL
 SEE (A)

NEW GUARDRAIL
 SEE (A)

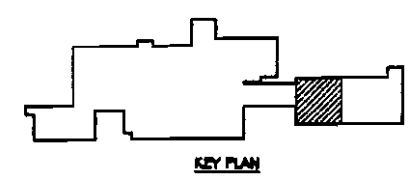
NEW GUARDRAIL
 SEE (A)



NEW FLOOR PLAN, SECTION B LOWER LEVEL
 SCALE 1/4" = 1'-0"

N.I.C.
 EXISTING STORAGE

N.I.C.
 EXISTING STORAGE



WALL TYPE KEY

	EXISTING WALLS
	DEMOL WALLS
	NEW WALLS (FULL HEIGHT)
	NEW CMU WALLS

DEPT. OF BUILDING
 2024 JUN 16 2003

RECEIVED



ASSOCIATED DESIGN PARTNERS INC.
 OFFICE: 600 10th Ave
 PHOENIX, ARIZONA 85001
 TEL: 602 254-1111
 FAX: 602 254-1112

PROJECT NO.	02163
DATE	05/15/03
DRAWN BY	AKC
CHECKED BY	AKC
DATE	05/15/03

STORAGE EXPANSION
 NEW FLOOR PLAN, SECTION B LOWER LEVEL

NO.	DESCRIPTION	DATE
1	ISSUED FOR CONSTRUCTION	05/15/03
2	REVISION	
3	REVISION	

PROJECT NUMBER: 02163
 SHEET NO. A6 OF 12



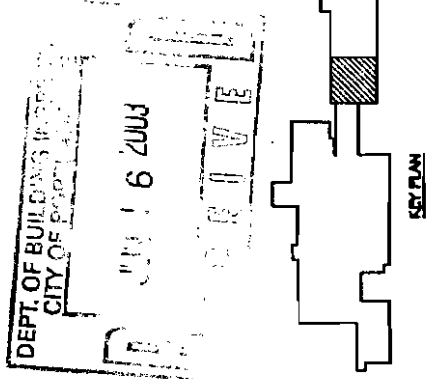
ASSOCIATED DESIGN PARTNERS INC.
 10000 S. LA BREA BLVD
 LOS ANGELES, CALIF. 90045
 714 953-8118

PROJECT: STORAGE EXPANSION
 PREPARED BY: JEFFREY A. HARRIS, P.E.
 DATE: 01/16/12

NEW FLOOR PLAN, SECTION B
 UPPER LEVEL

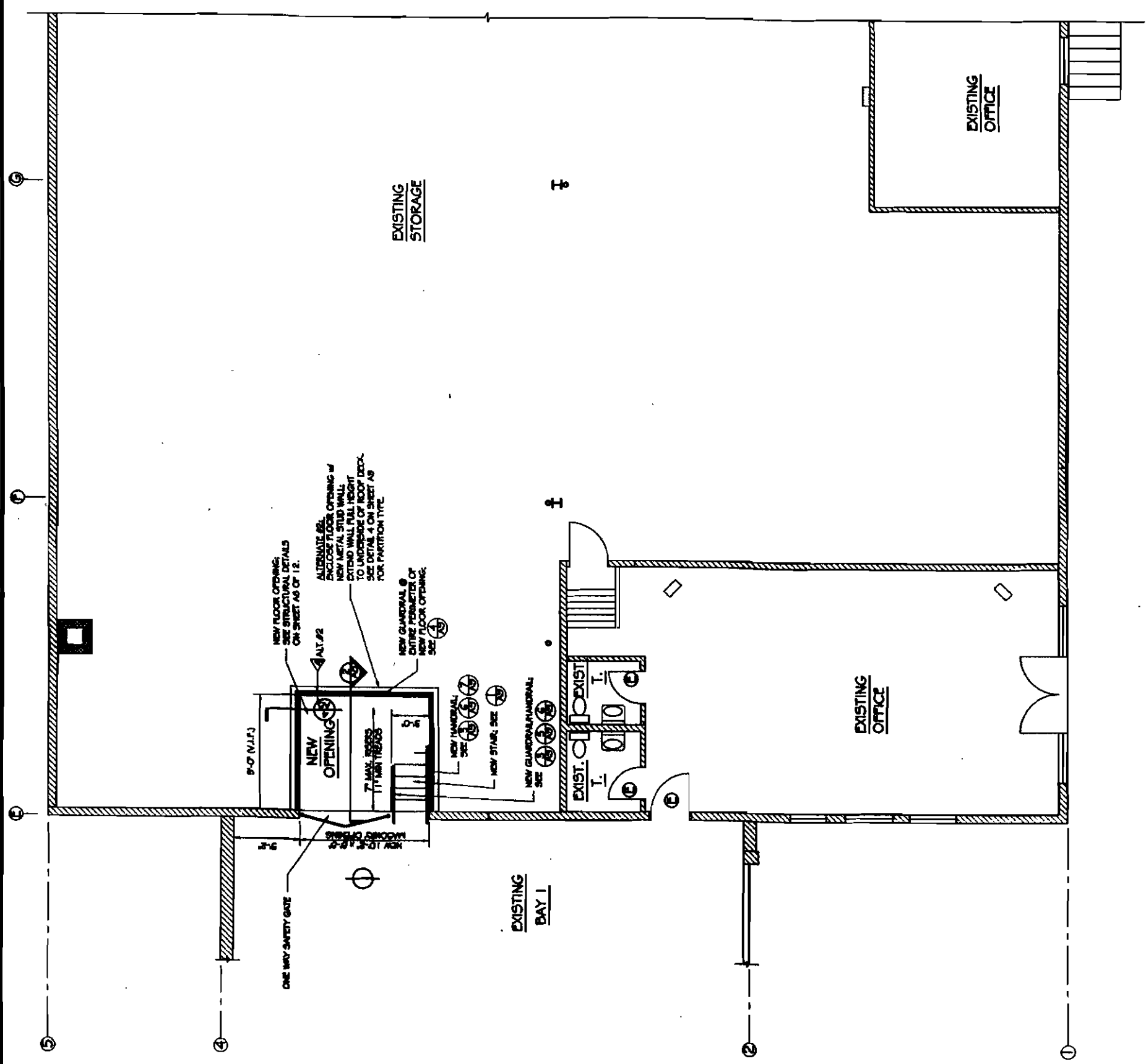
DATE	01/16/12
SCALE	1/4" = 1'-0"
PROJECT	STORAGE EXPANSION
SECTION	NEW FLOOR PLAN, SECTION B
LEVEL	UPPER LEVEL

PROJECT NO. 02163
 SHEET NO. A7 OF 12



WALL TYPE KEY

- EXISTING WALLS
- DEMO WALLS
- NEW WALLS (FULL HEIGHT)
- NEW CURB WALLS

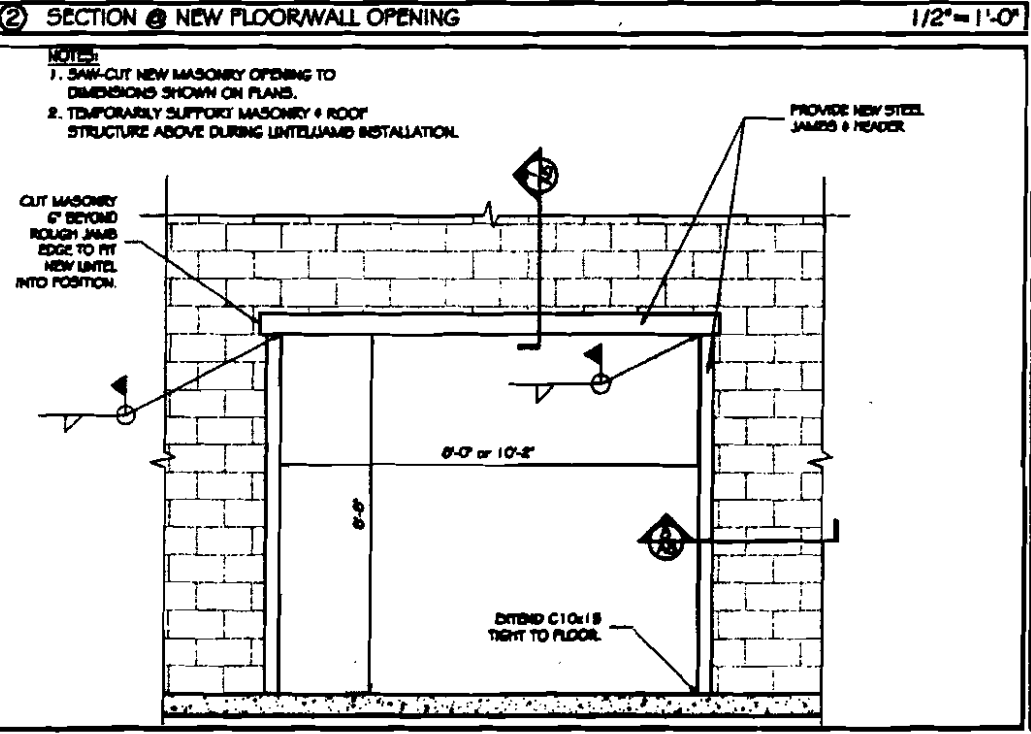
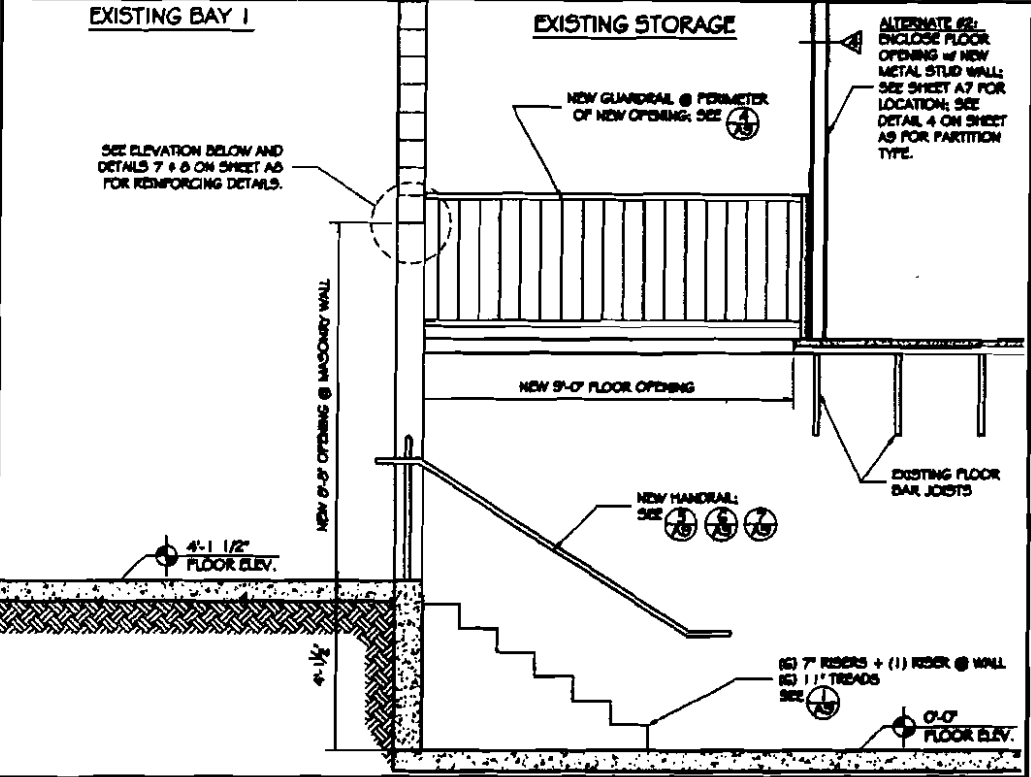


NEW FLOOR PLAN, SECTION B, UPPER LEVEL
 SHEET A7 OF 12

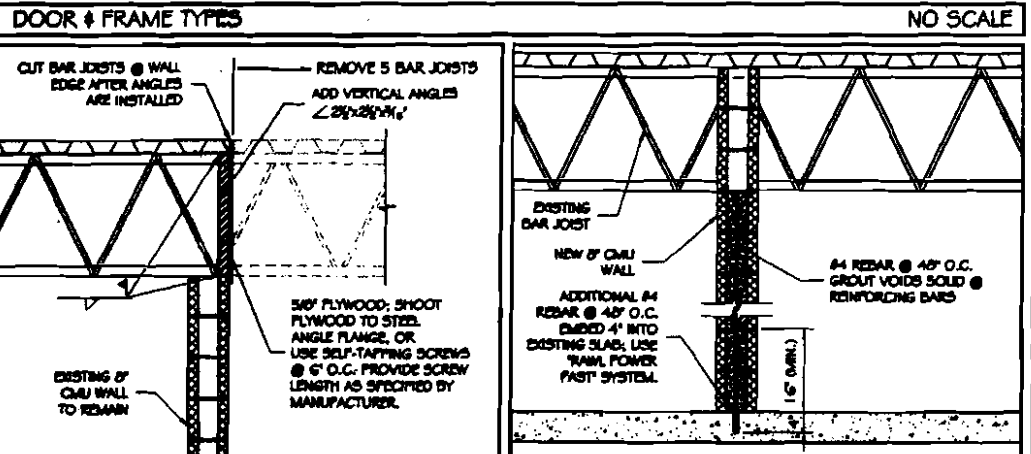
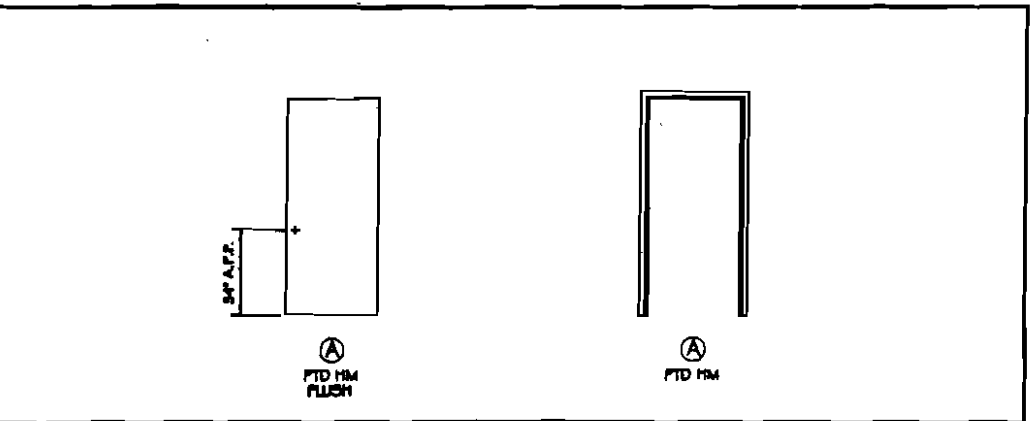
DOOR SCHEDULE

ABBREVIATIONS	
PTD	PRECAST TILT UP CONCRETE
HM	HOLLOW METAL
DW	DOUBLE WALL
FR	FRAMING
INS	INSULATION
NO	NONE

DOORS										FRAMES			THRESHOLDS						
NO.	TYPE	SIZE (WxH)	THK	INSUL	HOWE	FR	TO REMAIN	AS IS	REMARKS	TYPE	FR	PROFILE	DETAILS	HEAD	JAMB	MATERIAL	DETAILS	SLAB	THR.
E	EXISTING	DOOR	3/4"	NO	PASSAGE	B	NONE	NONE		A	B	DW	1/A6	1/A6	NONE				
001	A	3070	1 3/4"	NO	PASSAGE	B	NONE	NONE		A	NO	DW	1/A6	1/A6	NONE				
101	A	3070	1 3/4"	YES	PASSAGE	NO	NONE	NONE		A	NO	DW	1/A6	1/A6	NONE				

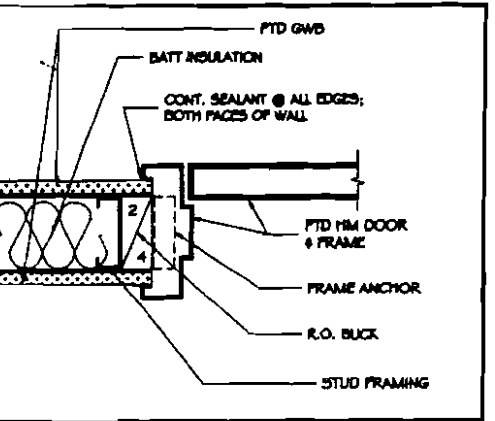


3) TYP. NEW MASONRY OPENING 1/2" = 1'-0"

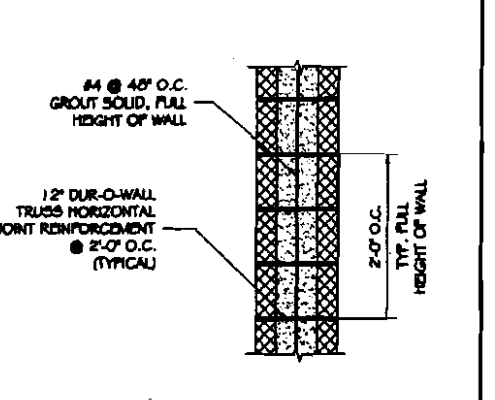


4) DETAIL 3/4" = 1'-0"

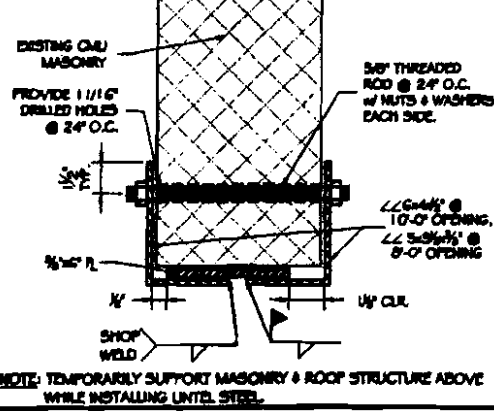
5) SECTION @ NEW WALL 3/4" = 1'-0"



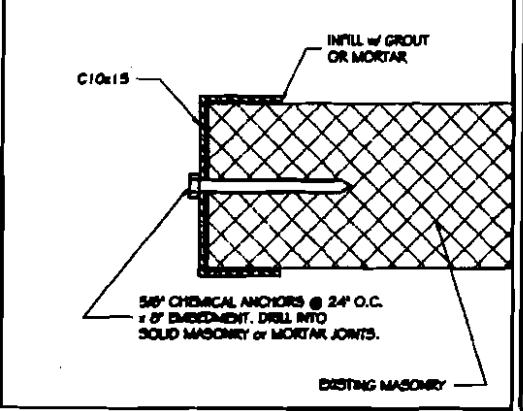
1) TYP. HM DOOR JAMB (HD.SIM.) 3/4" = 1'-0"



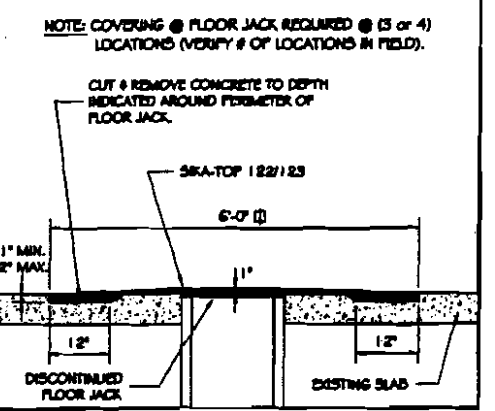
6) TYP. 8" MASONRY WALL REINF. 1" = 1'-0"



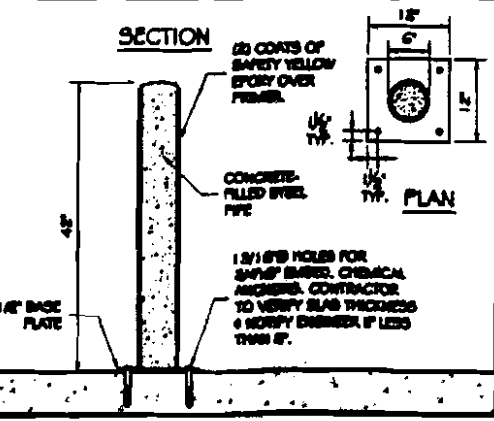
7) SECTION @ LINTEL 3" = 1'-0"



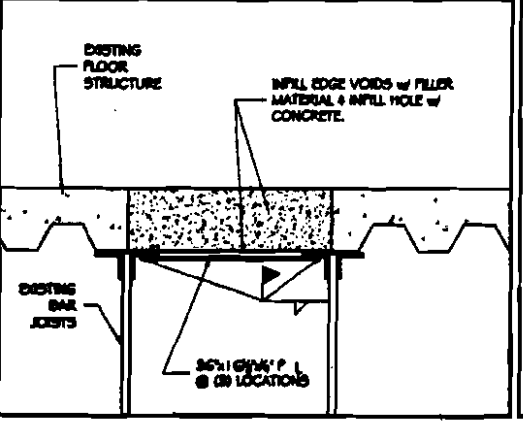
8) SECTION @ JAMB 3" = 1'-0"



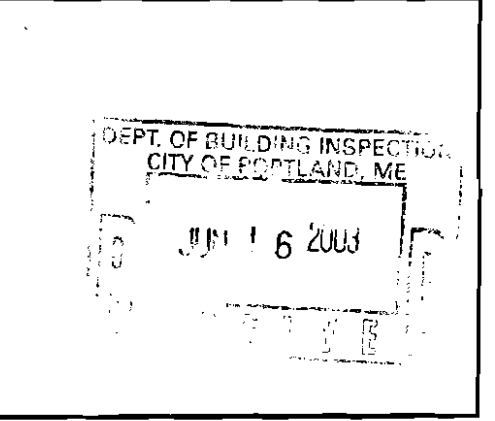
9) COVERING @ FLOOR JACK 3/4" = 1'-0"



10) DETAIL SCALE



11) SECTION @ FLOOR INFILL 1 1/2" = 1'-0"



12) DETAIL SCALE



ASSOCIATED DESIGN PARTNERS INC.

1000 SW 3rd Ave., Suite 2000
Portland, ME 04105

PHONE: (603) 233-1111
FAX: (603) 233-1112

PROJECT: STORAGE EXPANSION

CLIENT: DEPT. OF BUILDING INSPECTION, CITY OF PORTLAND, ME

DESIGNER: ASSOCIATED DESIGN PARTNERS INC.

DATE: JUN 16 2003

NO.	DATE	DESCRIPTION
1	06/16/03	ISSUED FOR PERMIT
2	06/16/03	ISSUED FOR PERMIT
3	06/16/03	ISSUED FOR PERMIT

SCALE: AS NOTED

DRAWN BY: SAJ

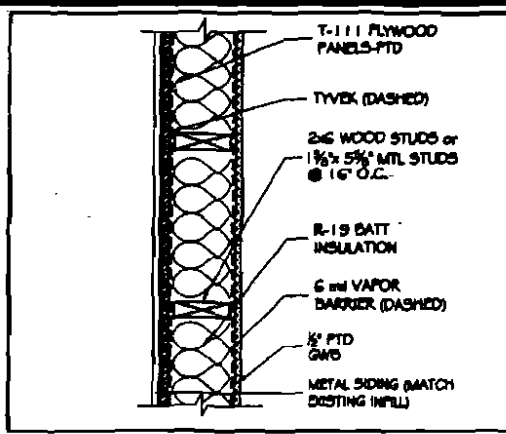
CHECKED BY: SAJ

PROJECT NO.: 02163

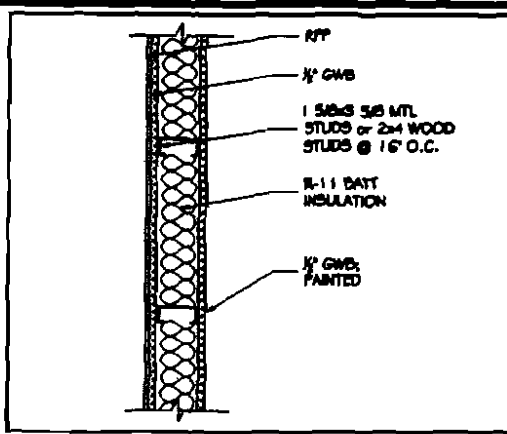
DATE: JUN 16 2003

02163

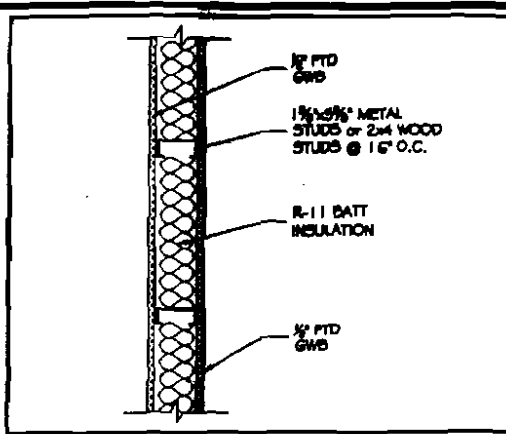
A8 12



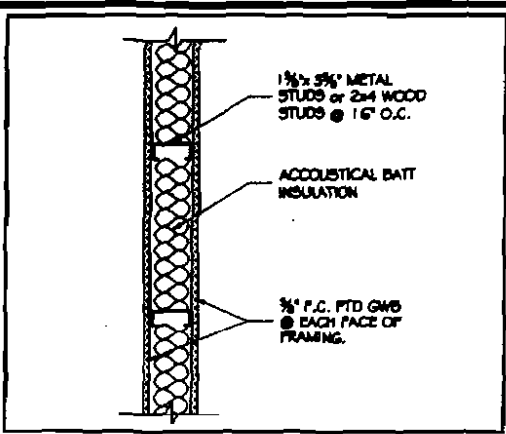
EXTERIOR PARTITION (ALT.1) 1 1/2" = 1'-0"



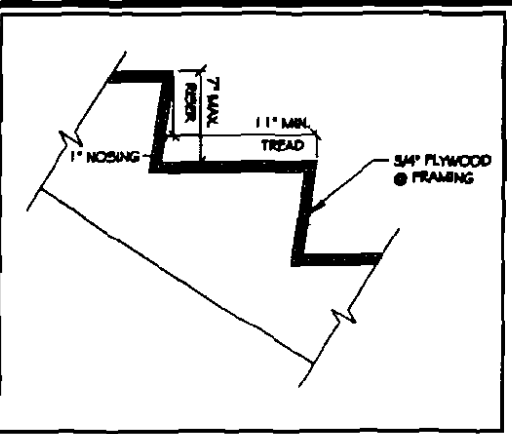
INTERIOR PARTITION 1 1/2" = 1'-0"



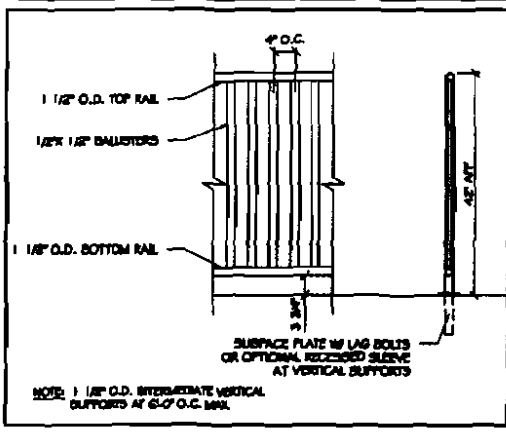
INTERIOR PARTITION 1 1/2" = 1'-0"



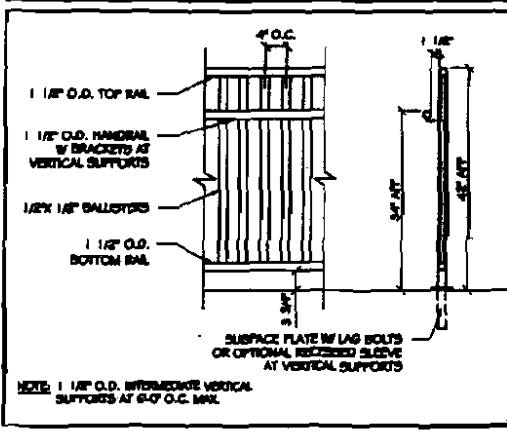
RATED INTERIOR PARTITION 1 1/2" = 1'-0"



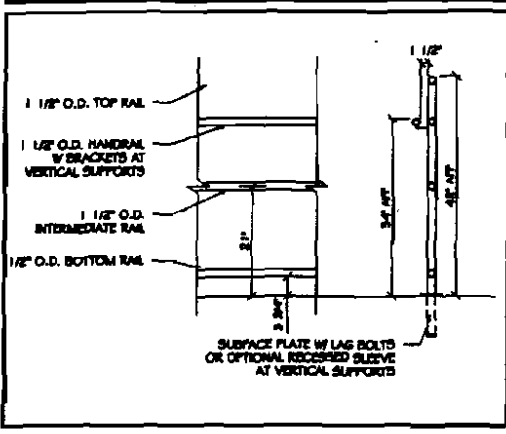
TYPICAL STAIR TREAD/RISER N.T.S.



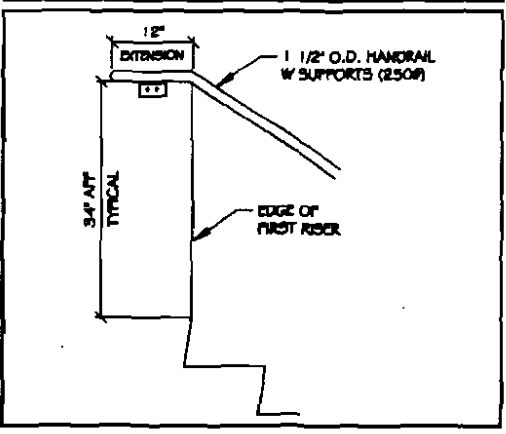
TYPICAL GUARDRAIL 3/4" = 1'-0"



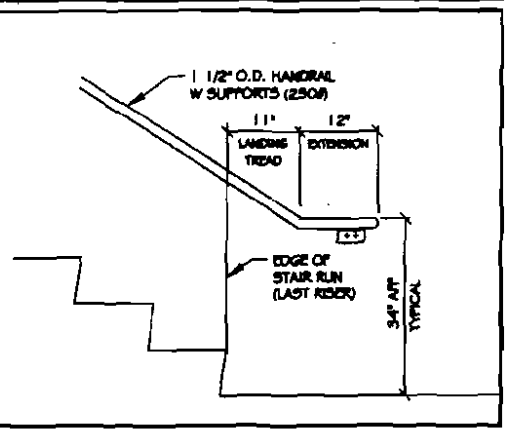
TYP. HANDRAIL @ GUARDRAIL 3/4" = 1'-0"



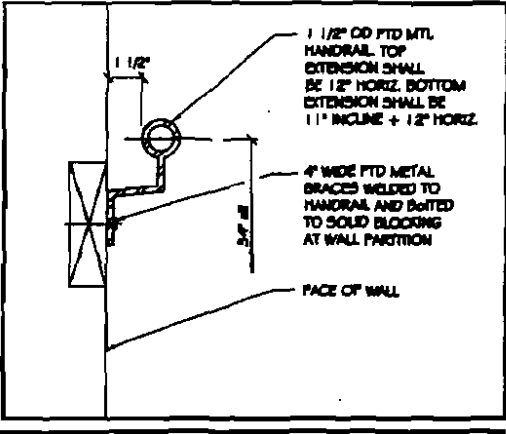
TYP. IND. HNDRL @ GUARDRAIL 3/4" = 1'-0"



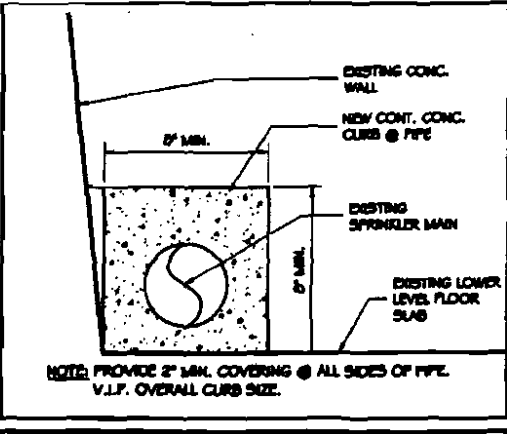
HANDRAIL EXTENSION @ TOP N.T.S.



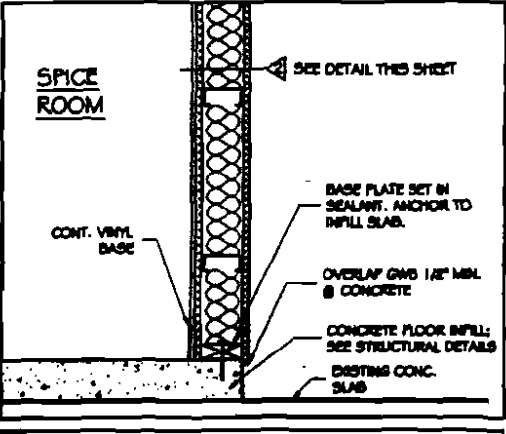
HANDRAIL EXTENSION @ BOTTOM N.T.S.



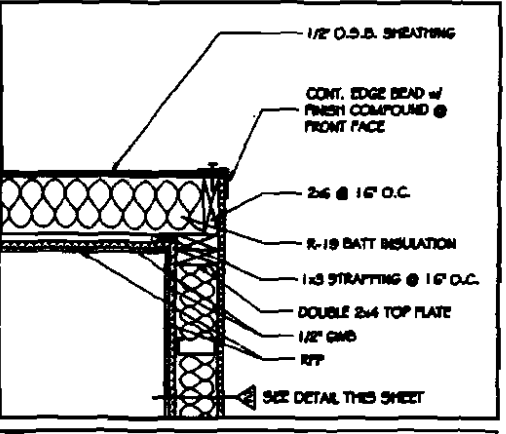
STAIR HANDRAIL DETAIL @ WALL 3" = 1'-0"



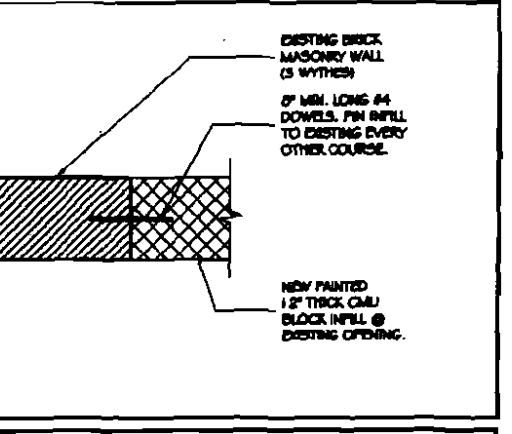
CURB @ EXISTING PIPE 3" = 1'-0"



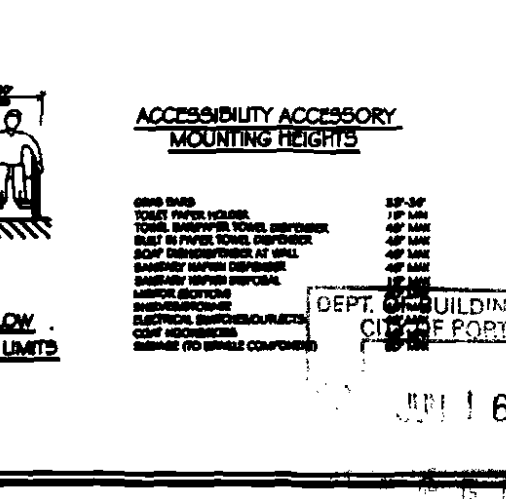
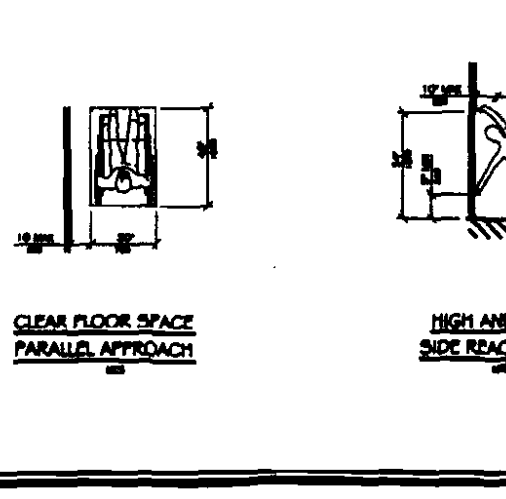
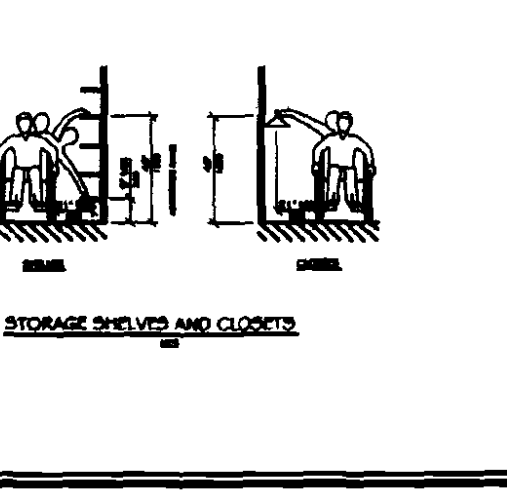
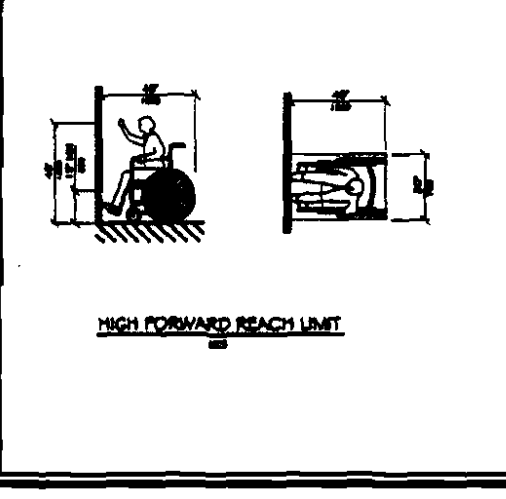
SPICE ROOM WALL DETAIL 1 1/2" = 1'-0"



SPICE ROOM WALL DETAIL 1 1/2" = 1'-0"



MASONRY INFILL DETAIL 1 1/2" = 1'-0"



ACCESSIBILITY GENERAL NOTES

- DOORWAYS SHALL HAVE A MINIMUM CLEAR WIDTH OF 32" WITH THE DOOR OPEN 90 DEGREES. MEASURED BETWEEN THE FACE OF THE DOOR AND THE OPPOSITE STOP.
- ALL DOORS SHALL HAVE LEVER HANDLE HARDWARE, EXCEPT AT SECURED STORAGE ROOMS, MECHANICAL ROOMS, AND ELEVATOR MACHINE ROOMS.
- ALL CLOSURES SHALL BE 2 1/8" MINIMUM AT DOORS RELAPSED WITH LEVER HANDLE HARDWARE.
- ALL DOORS WITH CLOSERS SHALL HAVE 1 1/2" CLEARANCE FROM THE BOTTOM OF THE OPENING TO ANY ADJACENT WALL OR FLOOR FINISH ON THE FULL SIDE OF THE OPENING.
- ALL DOORS WITH CLOSERS SHALL HAVE 1 1/2" CLEARANCE FROM THE TOP OF THE OPENING TO ANY ADJACENT WALL OR CEILING FINISH ON THE FULL SIDE OF THE OPENING.
- ALL SWITCHES SHALL BE MOUNTED 50" A.F.F. TO BRASS COMPONENT AT UNCLIMBABLE WALL OF DECKS AND OPENINGS.

ACCESSIBILITY ACCESSORY MOUNTING HEIGHTS

GWB BASE	58" MAX
TOILET PAPER HOLDER	58" MAX
TOILET BRUSH/TOILET DISPENSER	58" MAX
BUILT IN PAPER TOWEL DISPENSER	58" MAX
SOAP DISPENSER/TOILET AT WALL	58" MAX
SHOWER SEAT/SHOWER DISPENSER	58" MAX
SHOWER SEAT/SHOWER DISPENSER	58" MAX
MIRROR/SHOWER DISPENSER	58" MAX
INTERCOM/PHONE	58" MAX
ELECTRICAL SWITCHES/SWITCHES	58" MAX
CONF. ROOMS	58" MAX
SEATING (NO SHELL COMPONENT)	58" MAX
58"-59"	
18" MIN	
48" MAX	
48" MAX	
48" MAX	
48" MAX	
48" MAX	
48" MAX	
48" MAX	
48" MAX	

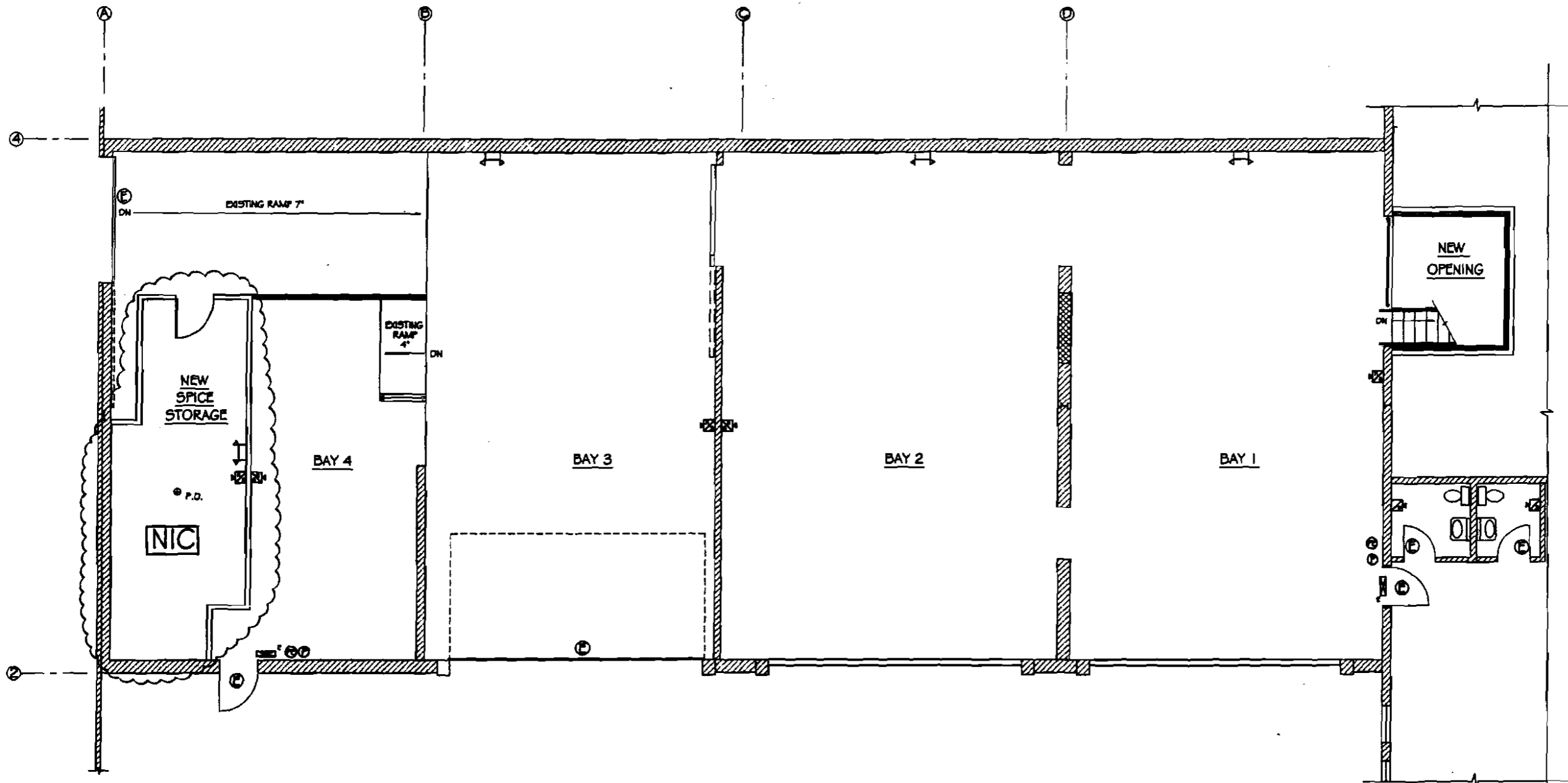
DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
JUN 16 2003

ASSOCIATED DESIGN PARTNERS INC.
21 Adams Street, Suite 200
Portland, Maine 04103
Tel: 603 876-1111
Fax: 603 876-1112
www.associateddesign.com

STORAGE EXPANSION
WALL, STAIR AND ACCESSIBILITY DETAILS

DATE	DESCRIPTION

DATE: 06/16/03
SCALE: AS SHOWN
DRAWN BY: MJK
CHECKED BY: MJK
PROJECT NO.: 02163
SHEET NO.: A9 OF 12



NITA PLAN, SECTION A
SCALE 1/4" = 1'-0"

SPICE ROOM GENERAL NOTES:

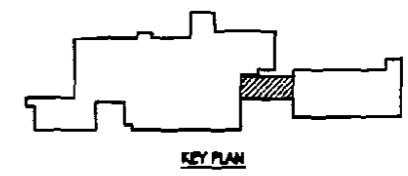
1. PITCH NEW INFILL SLABS TO NEW FLOOR DRAIN.
2. CONNECT NEW FLOOR DRAIN TO EXISTING PLANT TREATMENT SEWER SYSTEM. PROVIDE EJECTOR PUMP.
3. ALL WALLS AND CEILINGS TO BE CLAD w/ WHITE, PEBBLE FINISH, MATTE REINFORCED FIBERGLASS PLASTIC PANELS SIMILAR TO .037" KEMITE GLASSBOARD PANELS (800-435-0000).
4. LIGHTING SHALL BE DESIGN-BUILD BY OWNER.
5. PROVIDE INTAKE AND EXHAUST OPENINGS @ CEILING HVAC SYSTEM.
6. COORDINATE w/ OWNER FOR SECURED ACCESS DOOR HARDWARE @

GENERAL NOTES:

1. FILL ALL VOIDS @ ALL MASONRY CMU WALLS w/ EXPANDABLE FILLER OR SEALANT TO USDA REQUIREMENTS.
2. INSTALL BLOCK FILLER COAT @ ALL CMU BLOCK WALLS PRIOR TO PAINTING (BAYS 3 & 4).
3. POWER WASH ALL FLOORS, WALLS & CEILING/EXPOSED STRUCTURE PRIOR TO PAINT PREP.
4. SCRAPE ALL PEELED PAINT NOT REMOVED BY POWER WASH PROCESS PRIOR TO PAINT PREP.
5. REMOVE ALL PIPING AND FIXTURES RELATED TO ELECTRICAL AND HEATING SYSTEMS. EXISTING SPRINKLER AND ROOF DRAIN SYSTEMS SHALL REMAIN INTACT AND OPERATIONAL.
6. ALTERNATE #1: REMOVE (2) OVERHEAD DOORS & FRAMES. INFILL w/ PARTITION TYPE A - SEE SHEET AS OF 1.2.
7. REFER TO SHEET AS OF 1.2 FOR LOCATION OF NEW WORK RELATED TO DEMOLITION ACTIVITY.
8. MECHANICAL & ELECTRICAL SYSTEMS SHALL BE DESIGN-BUILD BY OWNER.
9. INTEGRATE NEW ALARM SYSTEM w/ EXISTING SPRINKLER & ALARM SYSTEMS.

NFFA LEGEND

- EMERGENCY LIGHT
- EXIT LIGHT
- 110 CANELLA 15 @ HORNSTRODE UNIT
- 110 CANELLA STRODE UNIT
- ALARM PULL STATION
- 1 OF ABC FIRE EXTINGUISHER w/ BRACKET
- SMOKE DETECTOR



DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

JUN 16 2003

- ALL TYPE KEY**
- EXISTING WALLS
 - DEAD WALLS
 - NEW WALLS (FULL HEIGHT)
 - NEW CMU WALLS

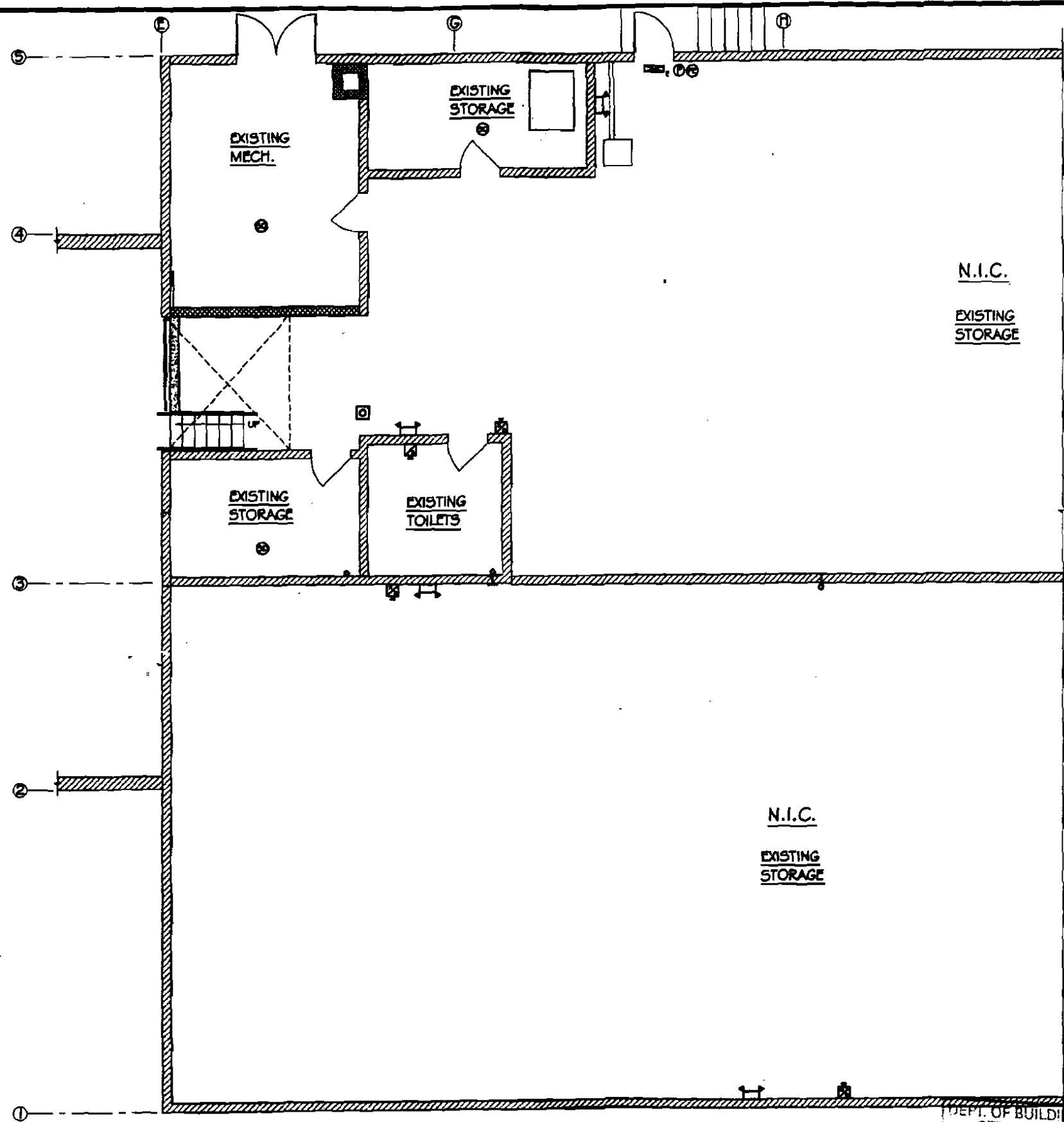


ASSOCIATED DESIGN PARTNERS INC.
1000 GARDEN ST., PORTLAND, ME 04103
TEL: 603.761.1111
FAX: 603.761.1112
WWW.ASSOCIATEDDESIGNPARTNERS.COM

STORAGE EXPANSION
NFFA PLAN, SECTION A

DATE	05/08
SCALE	1/4" = 1'-0"
DESIGNER	AS
CHECKER	AS
PROJECT NUMBER	02163

02163
A10 12



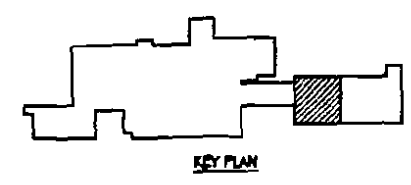
NFPA PLAN, SECTION B LOWER LEVEL
SCALE: 1/4" = 1'-0"

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
JUN 16 2003

NOTES:
1. MECHANICAL & ELECTRICAL SYSTEMS SHALL BE DESIGN-BUILD BY OWNER.
2. INTEGRATE NEW ALARM SYSTEM w/ EXISTING SPRINKLER & ALARM SYSTEMS.

NFPA LEGEND

- EMERGENCY LIGHT
- EXIT LIGHT
- 110 CANDELLA 15' HD HORNSTROEM UNIT
- 110 CANDELLA STROBE UNIT
- ALARM PULL STATION
- 10# ABC FIRE DITCHER w/ BRACKET
- SMOKE DETECTOR



WALL TYPE KEY

- EXISTING WALLS
- DEMO WALLS
- NEW WALLS (FULL HEIGHT)
- NEW CMU WALLS



ASSOCIATED DESIGN PARTNERS INC.
1100 Commercial Street
Portland, ME 04101
Tel: 603.761.1111
Fax: 603.761.1112

PROJECT NO. 02163
DATE: 06/16/03

STORAGE EXPANSION
NFPA PLAN, SECTION B LOWER LEVEL

DATE:	06/16/03
SCALE:	1/4" = 1'-0"
DESIGNED BY:	...
DRAWN BY:	...
CHECKED BY:	...
PROJECT NO.:	02163

02163
A11 12



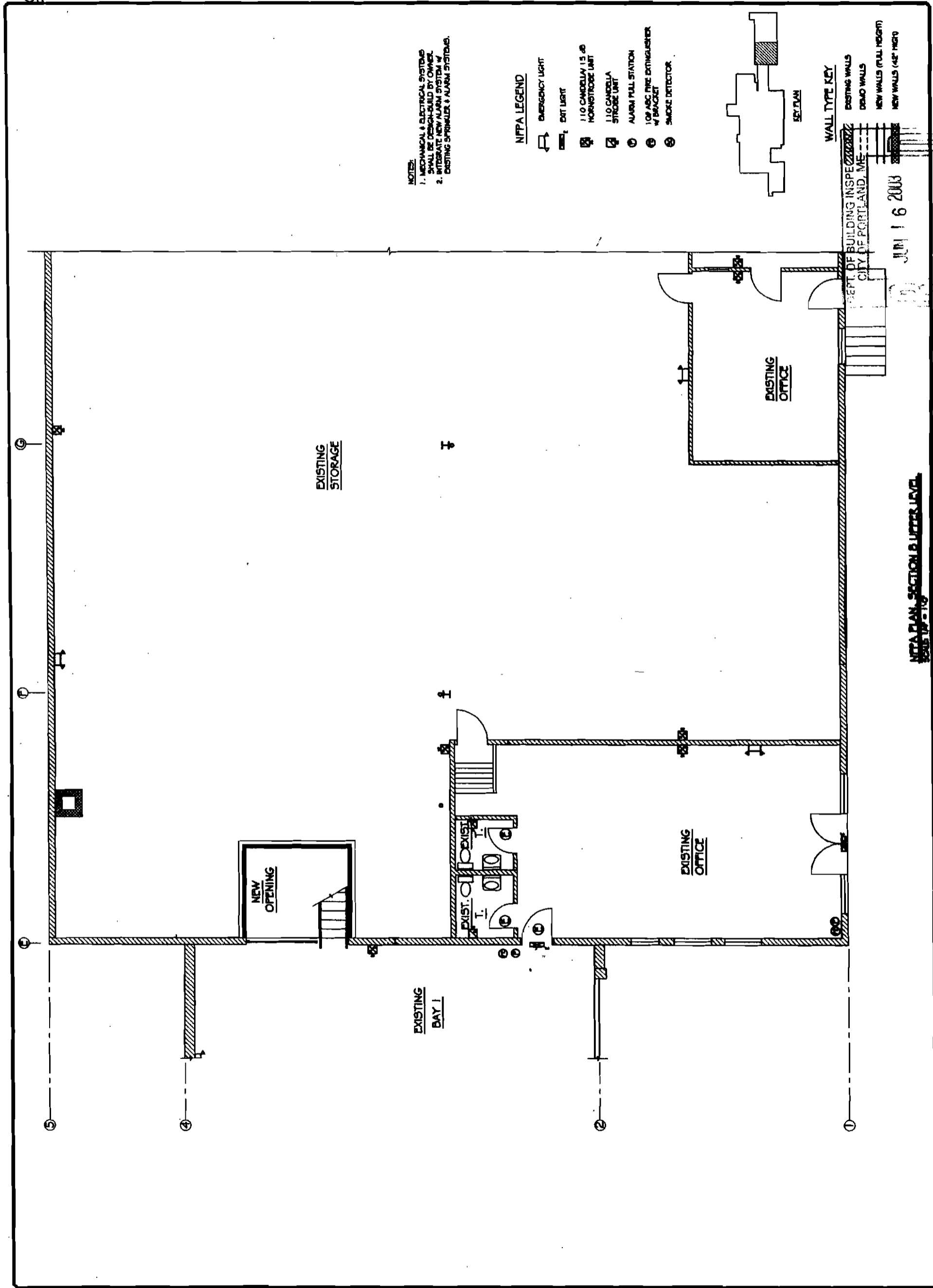
ASSOCIATED DESIGN PARTNERS INC.
 1000 NE Oregon Street
 Portland, OR 97232
 Phone: 503.255.1234
 Fax: 503.255.5678

DATE: 06/16/2003
 DRAWN BY: J. [Name]
 CHECKED BY: [Name]

STORAGE EXPANSION
 UPPER LEVEL
 NPPA PLAN SECTION B

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	06/16/2003
2	ISSUED FOR CONSTRUCTION	06/16/2003

PROJECT NO.: 02163
 SHEET NO.: A12 OF 12



NOTES:
 1. MECHANICAL & ELECTRICAL SYSTEMS SHALL BE DESIGN-BUILD BY OWNER.
 2. INTEGRATE NEW ALARM SYSTEM W/ EXISTING SPRINKLER & ALARM SYSTEMS.

NPPA LEGEND

- EMERGENCY LIGHT
- EXIT LIGHT
- 110 CANDELLA 15 LB HORNSTROKE UNIT
- 110 CANDELLA STROBE UNIT
- ALARM PULL STATION
- 10' ABC FIRE EXTINGUISHER W/ BAGGNET
- SMOKE DETECTOR

WALL TYPE KEY

- EXISTING WALLS
- DRUM WALLS
- NEW WALLS (FULL HEIGHT)
- NEW WALLS (42" HIGH)

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 JUN 16 2003

NPPA PLAN SECTION B UPPER LEVEL