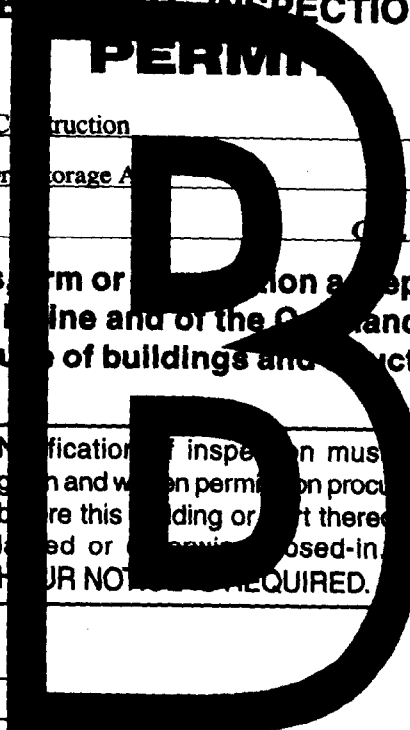


DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

BUILDING INSPECTION

Permit Number: 030689

Please Read
Application And
Notes, If Any,
Attached



This is to certify that Barber Foods/Allied/Cook Construction
has permission to Interior Tenant Fit Up for Drive Storage Area
AT 82 St John St 068 D009001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is leased or occupied. **24 HOUR NOTICE REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

[Signature] 2/25/03
Director - Building Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0689	Issue Date:	CBL: 068 D009001
-----------------------	-------------	---------------------

Location of Construction: 82 St John St	Owner Name: Barber Foods	Owner Address: 84 St. John Street	Phone: 772-1934
Business Name:	Contractor Name: Allied/Cook Construction	Contractor Address: PO Box 1396 Portland	Phone: 2077722888
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: IMb

Past Use: Barbaer Foods- Processing/Commercial	Proposed Use: Barber Foods-Processing-Dry Storage	Permit Fee: \$632.00	Cost of Work: \$87,000.00	CEO District: 3
Proposed Project Description: Interior Tenant Fit Up for Dry Storage Area		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: 51 Type: 3A 7/24/03	
		Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: gad	Date Applied For: 06/16/2003	Zoning Approval
-------------------------	---------------------------------	------------------------

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>6/17/03</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
--	---	--	---

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0689	Date Applied For: 06/16/2003	CBL: 068 D009001
------------------------------	--	----------------------------

Location of Construction: 82 St John St	Owner Name: Barber Foods	Owner Address: 84 St. John Street	Phone: () 772-1934
Business Name:	Contractor Name: Allied/Cook Construction	Contractor Address: PO Box 1396 Portland	Phone: (207) 772-2888
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Barber Foods-Processing-Dry Storage	Proposed Project Description: Interior Tenant Fit Up for Dry Storage Area
---	---

Dept: Zoning	Status: Approved	Reviewer: Marge Schmuckal	Approval Date: 06/17/2003
Note:			Ok to Issue: <input checked="" type="checkbox"/>
Dept: Building	Status: Pending	Reviewer: Mike Nugent	Approval Date:
Note:			Ok to Issue: <input type="checkbox"/>
Dept: Fire	Status: Approved	Reviewer: Lt. MacDougal	Approval Date: 06/17/2003
Note:			Ok to Issue: <input checked="" type="checkbox"/>

Comments:
06/27/2003-mjn: need certification forms, faxed to designer

03-0689

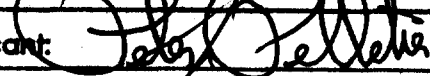
All Purpose Building Permit Application

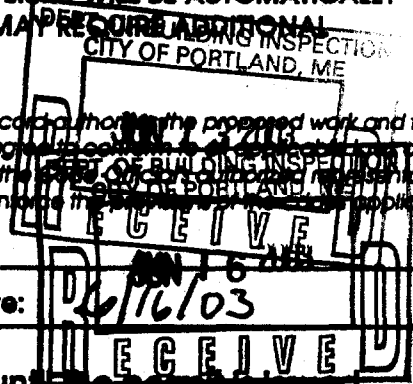
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 84 ST. JOHN STREET		
Total Square Footage of Proposed Structure EXISTING	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# 068 Block# D Lot# 009	Owner: BARBER FOODS	Telephone: 772-1934
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: ALLIED/COOK CONSTRUCTION PO. Box 1396 PORTLAND ME 04104	Cost Of Work: \$ 87,000 Fee: \$ 632
Current use: VACANT / STORAGE RETAIL		
If the location is currently vacant, what was prior use: CENTURY TIRE SERVICE BAYS		
Approximately how long has it been vacant: 1 YEAR		
Proposed use: DRY STORAGE		
Project description: INTERIOR TENANT FIT-UP FOR PORTION OF BLDG.		
Contractor's name, address & telephone: ALLIED/COOK CONSTRUCTION PO. Box 1396 PORTLAND ME 04104		
Who should we contact when the permit is ready: PETER J. PELLETIER		
Mailing address: SAME AS CONTRACTOR'S ADV.		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 772-2888		

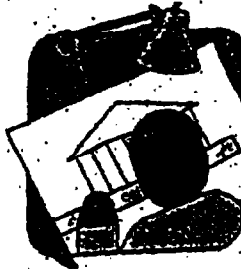
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorized the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to accept the jurisdiction of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the City of Portland representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions applicable to this permit.

Signature of applicant: 	Date: 12/16/03
---	-----------------------



This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



CITY OF PORTLAND MAINE

389 Congress St., Rm 315
Portland, ME 04101
Tel. - 207-874-8704
Fax - 207-874-8716

To: JIM THIBODEAU
PE: BARBER
FOODS

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

FROM DESIGNER: ASSOCIATED DESIGN PARTNERS INC.
80 LEIGHTON RD. FALM. ME 04103

DATE: 7.15.03

Job Name: BARBER FOODS STORAGE EXPANSION

Address of Construction: 84 ST. JOHN ST.

THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION
Construction project was designed according to the building code criteria listed below:

Building Code and Year 1999 BOCA Use Group Classification(s)

Type of Construction 3A Bldg. Height 24' Bldg. Sq. Footage 36,600

Seismic Zone CAT. "C" Group Class 1

Roof Snow Load Per Sq. Ft. 60 PSF GROUND Dead Load Per Sq. Ft. 15 PSF

Basic Wind Speed (mph) 85 mph Effective Velocity Pressure Per Sq. Ft. 20 PSF

Floor Live Load Per Sq. Ft. 250 PSF SLABS AND GRADE / 75 PSF UPPER FLOOR

Structure has full sprinkler system? Yes No Alarm System? Yes No
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

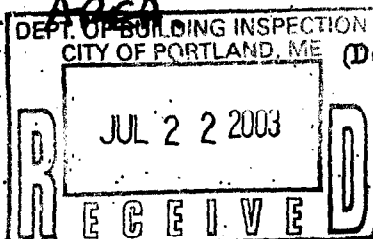
Is structure being considered unlimited area building: Yes No

If mixed use, what subsection of 313 is being considered N/A

List Occupant loading for each room or space, designed into this Project.

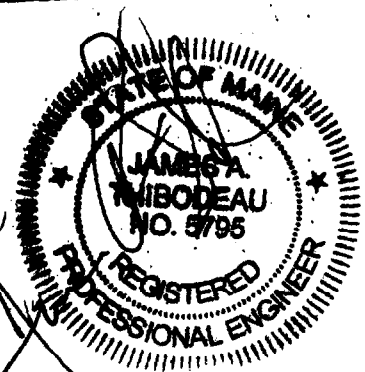
20 PEOPLE TOTAL
5 PER AREA

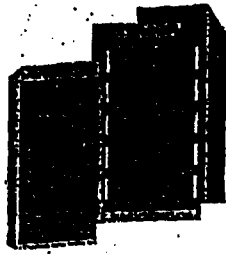
PSH 6/07/K



(Designers Stamp & Signature)

8781788





**CITY OF PORTLAND
BUILDING CODE CERTIFICATE**
389 Congress St., Rm 315
Portland, ME 04101

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: _____

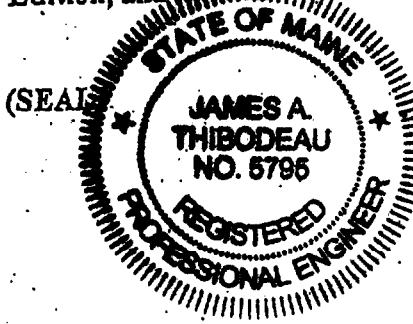
RE: Certificate of Design

DATE: 7.15.03

These plans and/or specifications covering construction work on:

84 ST. JOHN ST.
BARBER FOODS STORAGE EXPANSION.

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and local amendments.



Signature [Handwritten Signature]

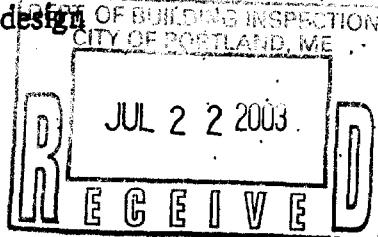
Title PRESIDENT

Firm ASSOCIATED DESIGN PARTNERS INC.

Address 80 LEIGHTON RD
FALM. ME 04105

As per Maine State Law:

\$50,000.00 or more in new construction; repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.



BSH 6/20/2k



CITY OF PORTLAND
ACCESSIBILITY CERTIFICATE

Designer: JAMES A. THIBODEAU P.E. Assoc. DESIGN PARTNERS INC.

Address of Project 84 ST. JOHN ST.

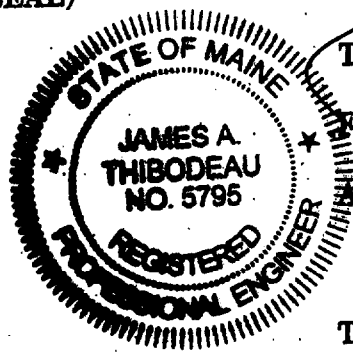
Nature of Project RENOVATE 84 ST. JOHN ST.

FOR STORAGE OF DRY GOODS

Date 7.15.03

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

(SEAL)



Signature: [Handwritten Signature]

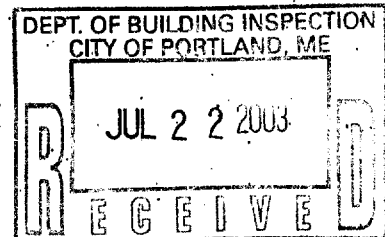
Title PRESIDENT

Firm ASSOC. DESIGN PARTNERS INC.

Address 80 LEIGHTON RD

FALM. ME 04105

Telephone 878-1751





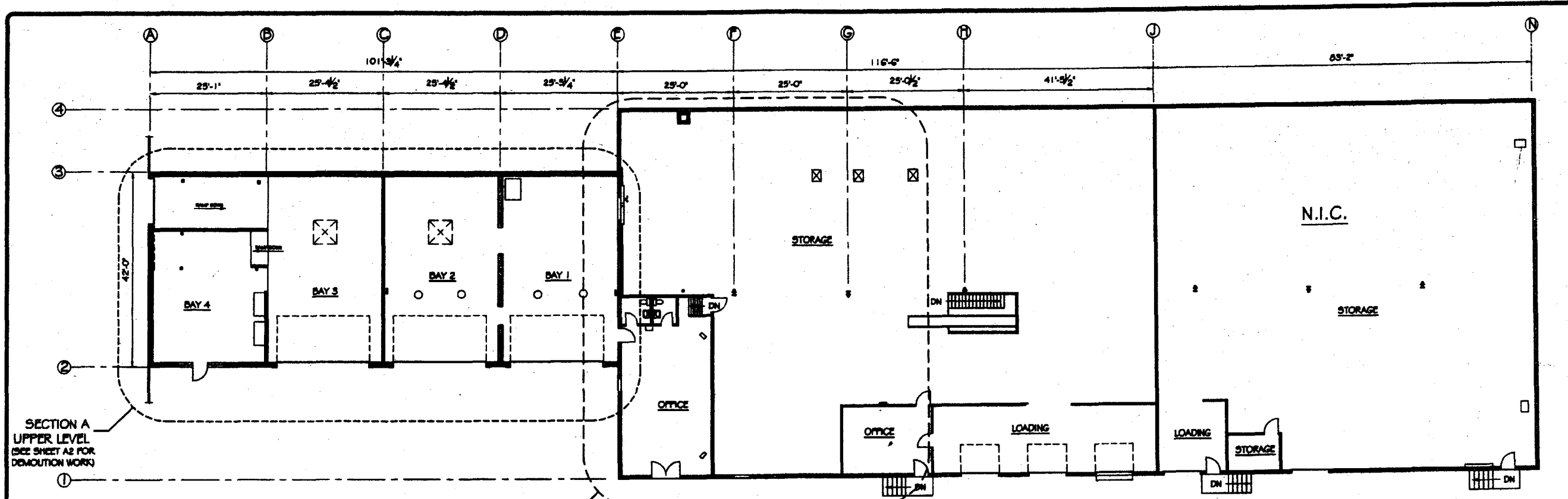
ASSOCIATED DESIGN PARTNERS INC.
 100 Commercial Street
 Portland, Maine 04101
 Tel: 603.761.1111
 Fax: 603.761.1112

PROJECT: STORAGE EXPANSION
 SHEET: A1 12

STORAGE EXPANSION
 CENTURY TIRE EXISTING CONDITIONS
 AND DEMOLITION PLAN, SECTION A

NO.	DESCRIPTION	DATE
1	ISSUED FOR CONSTRUCTION	05/16/03
2	ISSUED FOR PERMITS	05/16/03
3	ISSUED FOR PERMITS	05/16/03
4	ISSUED FOR PERMITS	05/16/03
5	ISSUED FOR PERMITS	05/16/03
6	ISSUED FOR PERMITS	05/16/03
7	ISSUED FOR PERMITS	05/16/03
8	ISSUED FOR PERMITS	05/16/03
9	ISSUED FOR PERMITS	05/16/03
10	ISSUED FOR PERMITS	05/16/03

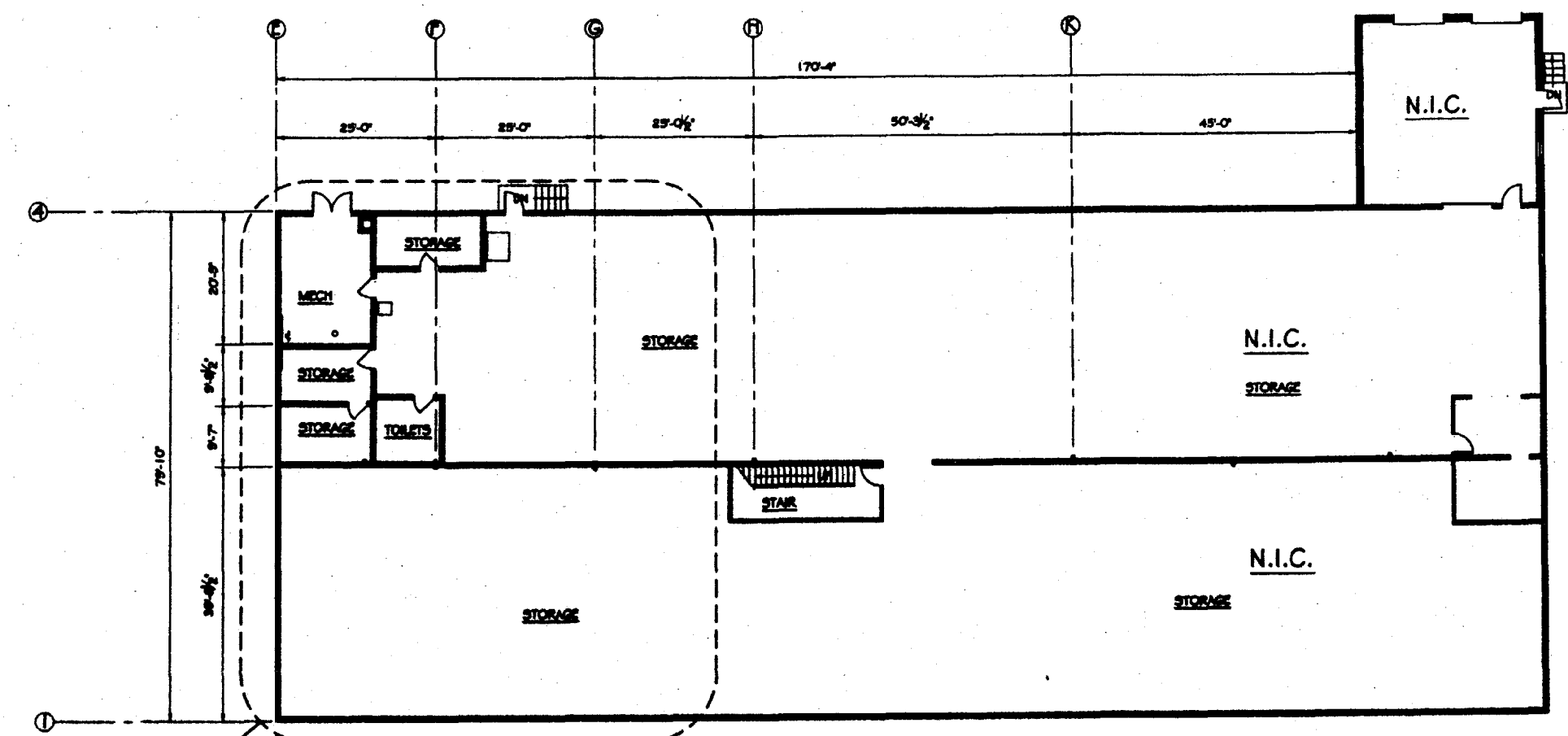
DATE: 05/16/03
 SCALE: 1/8" = 1'-0"
 DRAWING NO. 02163
 PROJECT NO. 02163
 02163
 A1 12



SECTION A
 UPPER LEVEL
 (SEE SHEET A2 FOR
 DEMOLITION WORK)

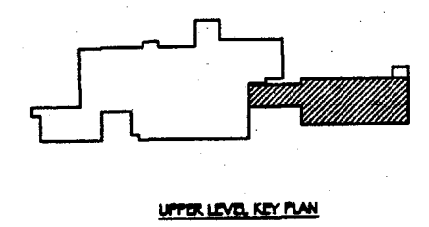
SECTION B
 UPPER LEVEL
 (SEE SHEET A4 FOR
 DEMOLITION WORK)

CENTURY TIRE UPPER LEVEL EXISTING CONDITIONS
 SCALE: 3/32" = 1'-0"



SECTION B
 LOWER LEVEL
 (SEE SHEET A5 FOR
 DEMOLITION WORK)

CENTURY TIRE LOWER LEVEL EXISTING CONDITIONS
 SCALE: 3/32" = 1'-0"



DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME

LOWER LEVEL FLOOR PLAN
 WALL TYPE KEY

JUN 16 2003

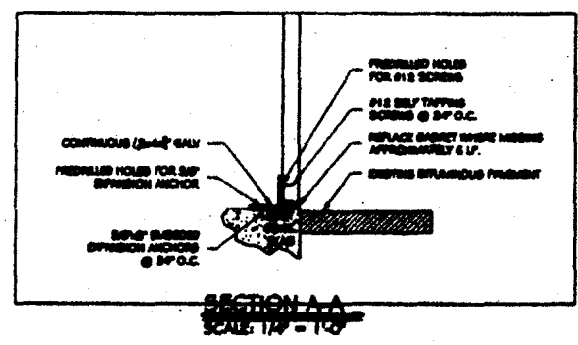
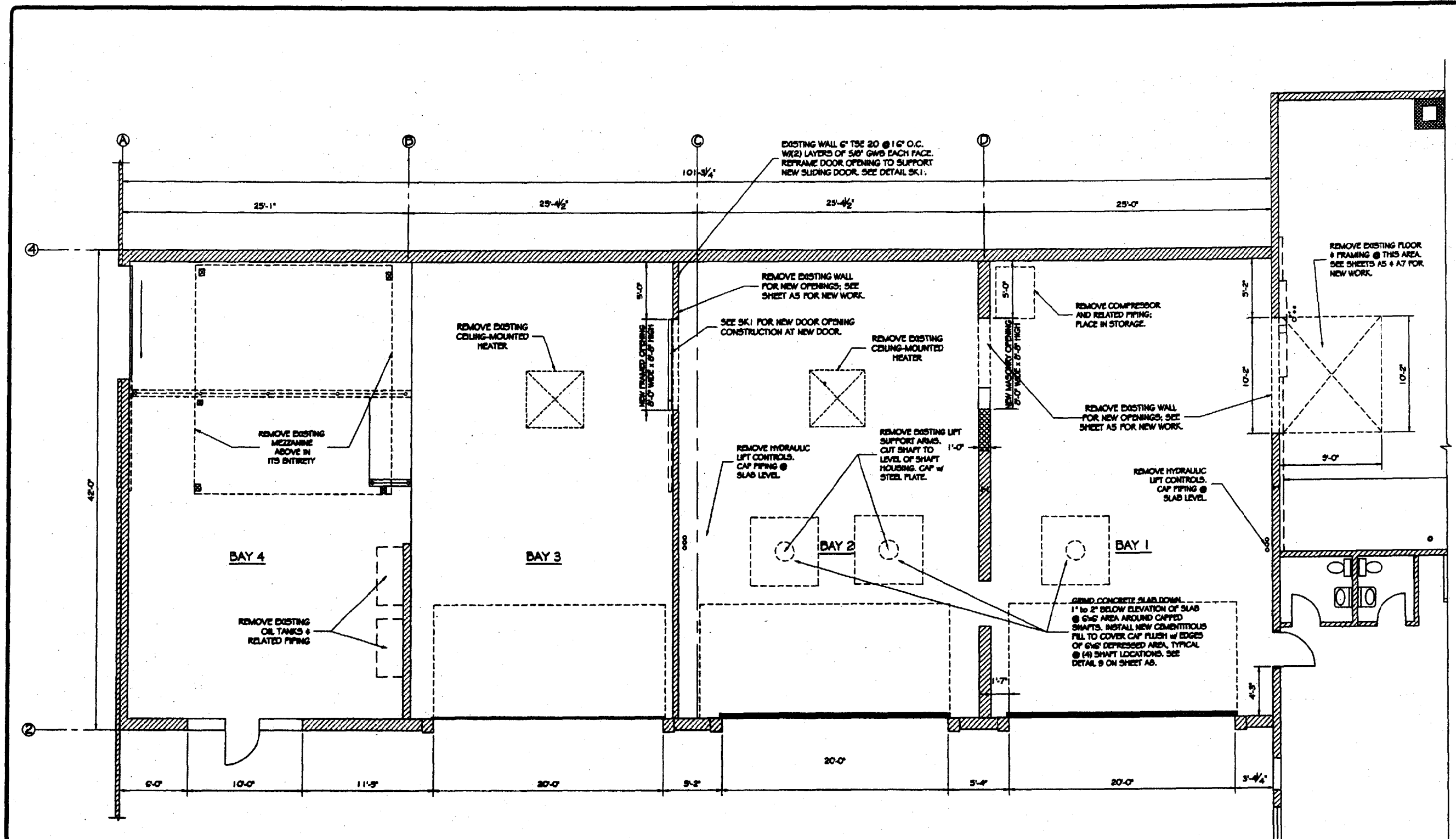
RECEIVED



ASSOCIATED DESIGN PARTNERS INC.
 100 Water Street
 Portland, ME 04101
 Tel: 603.761.1234
 Fax: 603.761.1235
 www.associateddesign.com

PROJECT: STORAGE EXPANSION
 SHEET: A2 12

STORAGE EXPANSION
 CENTURY TIRE EXISTING CONDITIONS AND DEMOLITION PLAN, SECTION A



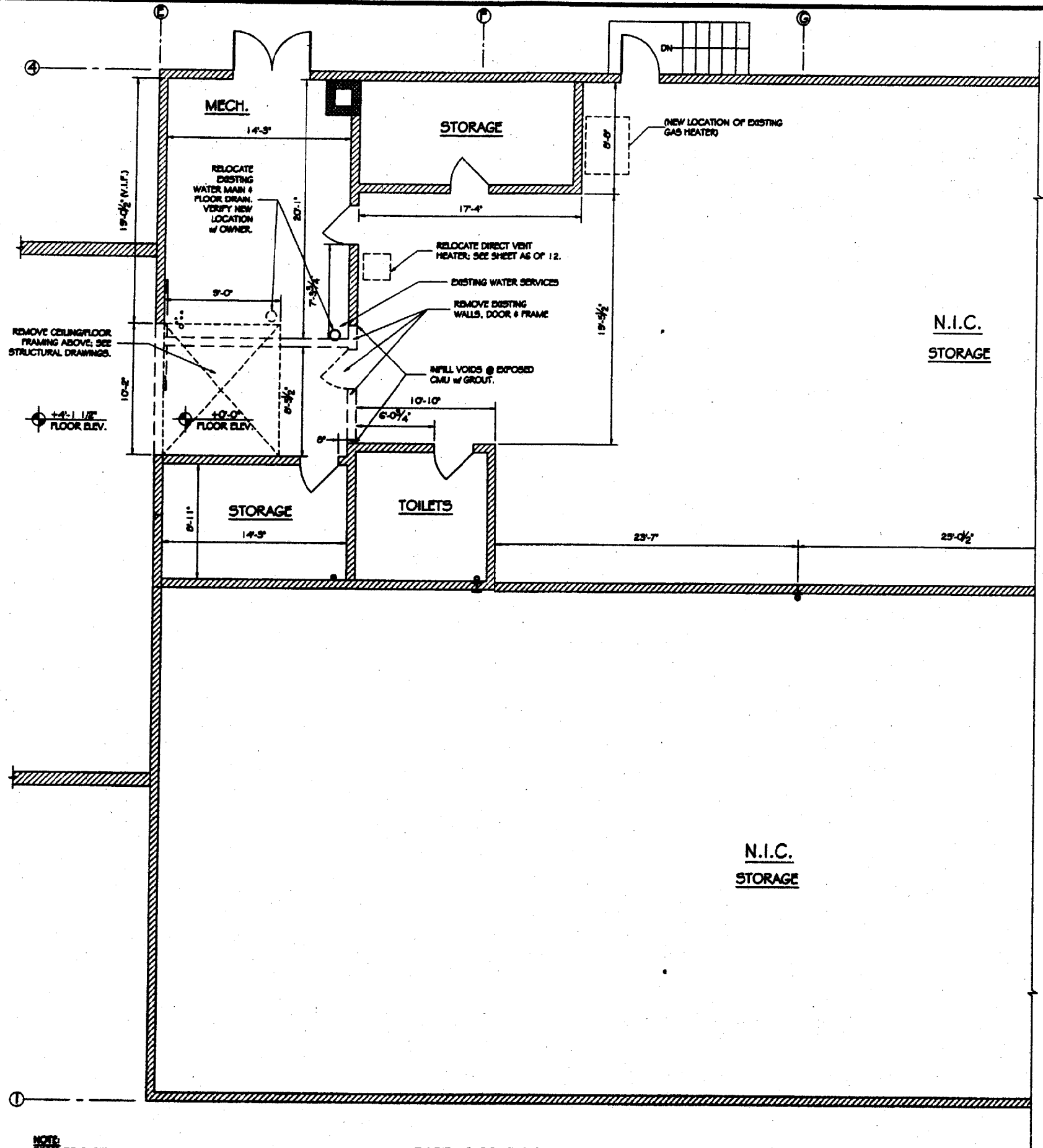
EXISTING CONDITIONS/DEMOLITION PLAN, SECTION A
 SCALE: 1/4" = 1'-0"

- GENERAL NOTES:**
1. FILL ALL VOIDS @ ALL MASONRY CMU WALLS w/ EXPANDABLE FILLER OR SEALANT TO USDA REQUIREMENTS.
 2. INSTALL BLOCK FILLER COAT @ ALL CMU BLOCK WALLS PRIOR TO PAINTING (BAYS 3 & 4).
 3. POWER WASH ALL FLOORS, WALLS & CEILING/EXPOSED STRUCTURE PRIOR TO PAINT PREP.
 4. SCRAPE ALL PEELED PAINT NOT REMOVED BY POWER WASH PROCESS PRIOR TO PAINT PREP.
 5. REMOVE ALL PIPING AND FIXTURES RELATED TO ELECTRICAL AND HEATING SYSTEMS. EXISTING SPRINKLER AND ROOF DRAIN SYSTEMS SHALL REMAIN INTACT AND OPERATIONAL.
 6. ALTERNATE #1: REMOVE (2) OVERHEAD DOORS & FRAMES. INFILL w/ PARTITION TYPE A - SEE SHEET A8 OF 12.
 7. REFER TO SHEET AS OF 12 FOR LOCATION OF NEW WORK RELATED TO DEMOLITION ACTIVITY.

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 WALL TYPE KEY
 JUN 16 2003
 RECEIVED

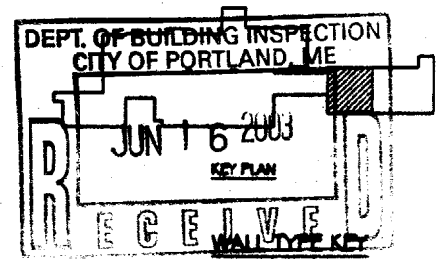
DATE	12/16/03
SCALE	1/4" = 1'-0"
DESIGNED BY	SEE SHEET A5
DRAWN BY	SEE SHEET A5
FILE NO.	02163
PROJECT NO.	02163

A2 12

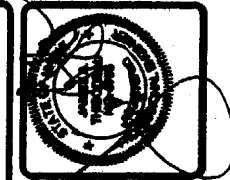


NOTE:
REFER TO SHEET AS OF 1 B FOR LOCATION OF NEW WORK
RELATED TO DEMOLITION ACTIVITY.

EXISTING CONDITIONS/DEMOLITION PLAN, SECTION B LOWER LEVEL
SCALE: 1/4" = 1'-0"



EXISTING WALLS
DEMO WALLS



ASSOCIATED DESIGN PARTNERS INC.
1000 BROAD ST., SUITE 200
PORTLAND, ME 04102
TEL: 603-771-1111
FAX: 603-771-1112
WWW.ADPARTNERS.COM

PROJECT NO. 02163
SHEET NO. A3-12

STORAGE EXPANSION
BY: JAMES B. PETERSON, M.A.S.
FOR ASSOCIATED DESIGN PARTNERS, INC.
CENTURY TIRE EXISTING CONDITIONS AND DEMOLITION PLAN, SECTION B LOWER LEVEL

DATE:	JUN 16 2003
SCALE:	1/4" = 1'-0"
PROJECT NO.:	02163
SHEET NO.:	A3-12
PROJECT NAME:	STORAGE EXPANSION
CLIENT:	CENTURY TIRE
ARCHITECT:	ASSOCIATED DESIGN PARTNERS, INC.
ENGINEER:	JAMES B. PETERSON, M.A.S.

DATE: JUN 16 2003
SCALE: 1/4" = 1'-0"
PROJECT NO: 02163
SHEET NO: A3-12



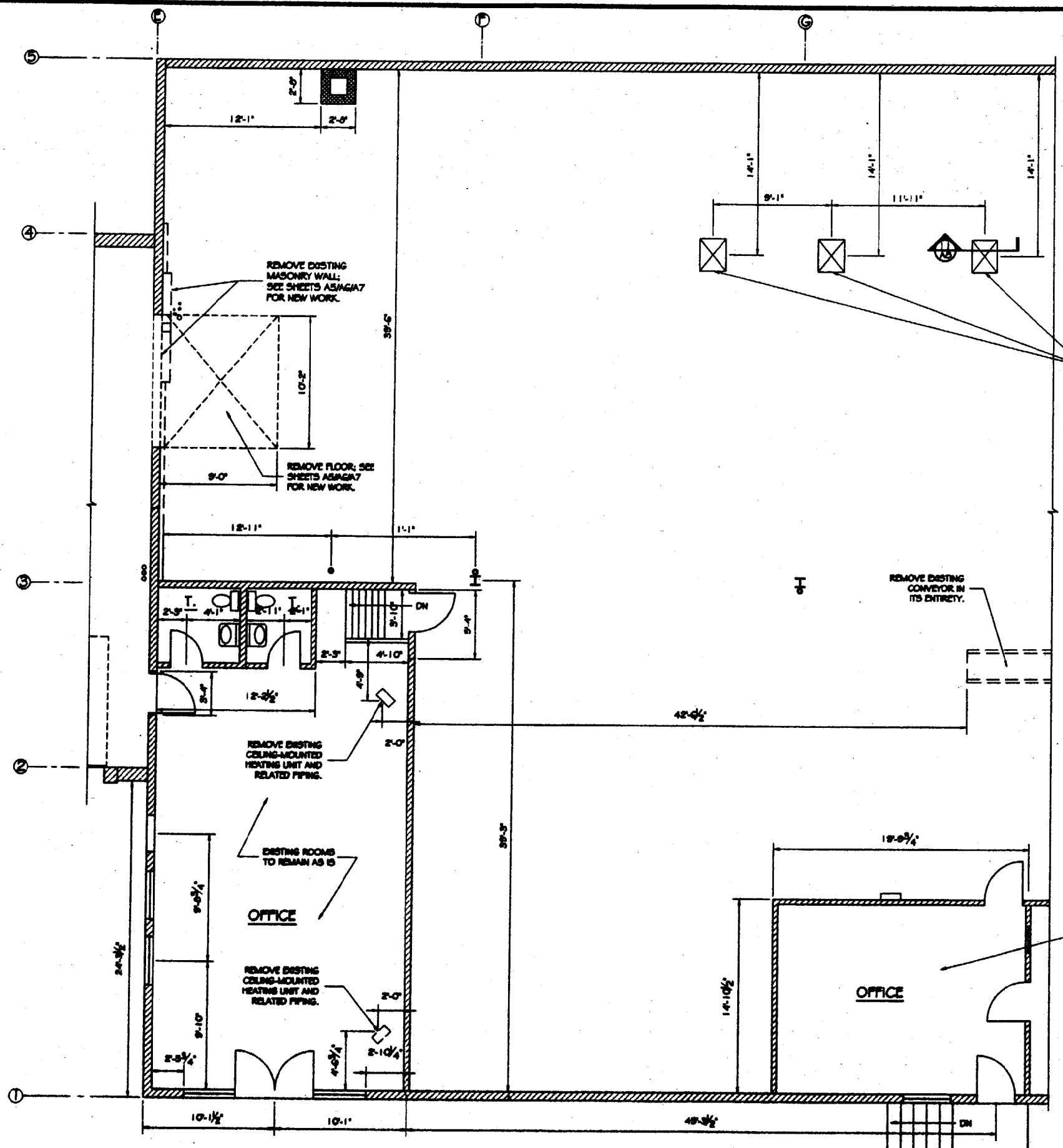
ASSOCIATED DESIGN PARTNERS INC.
 1000 Congress Street
 Portland, ME 04102
 Tel: 603.761.1111
 Fax: 603.761.1112

DATE: 05/14/03
 DRAWN BY: JAS
 CHECKED BY: JAS
 PROJECT NO: 02163

STORAGE EXPANSION
 CENTURY TIRE EXISTING CONDITIONS AND DEMOLITION PLAN, SECTION B UPPER LEVEL

NO.	DATE	DESCRIPTION

DATE: 05/14/03
 SCALE: 1/4" = 1'-0"
 DRAWN BY: JAS
 CHECKED BY: JAS
 PROJECT NO: 02163
 SHEET NO: A4 12



INFILL HOLES THROUGH FLOOR SLABS, TYP @ (3) LOCATIONS; SEE DETAIL 1.1 ON SHEET A6.

REMOVE EXISTING CONVEYOR IN ITS ENTIRETY.

REMOVE EXISTING MASONRY WALL; SEE SHEETS ASAGA7 FOR NEW WORK.

REMOVE FLOOR; SEE SHEETS ASAGA7 FOR NEW WORK.

REMOVE EXISTING CEILING-MOUNTED HEATING UNIT AND RELATED PIPING.

REMOVE EXISTING CEILING-MOUNTED HEATING UNIT AND RELATED PIPING.

EXISTING ROOMS TO REMAIN AS IS

OFFICE

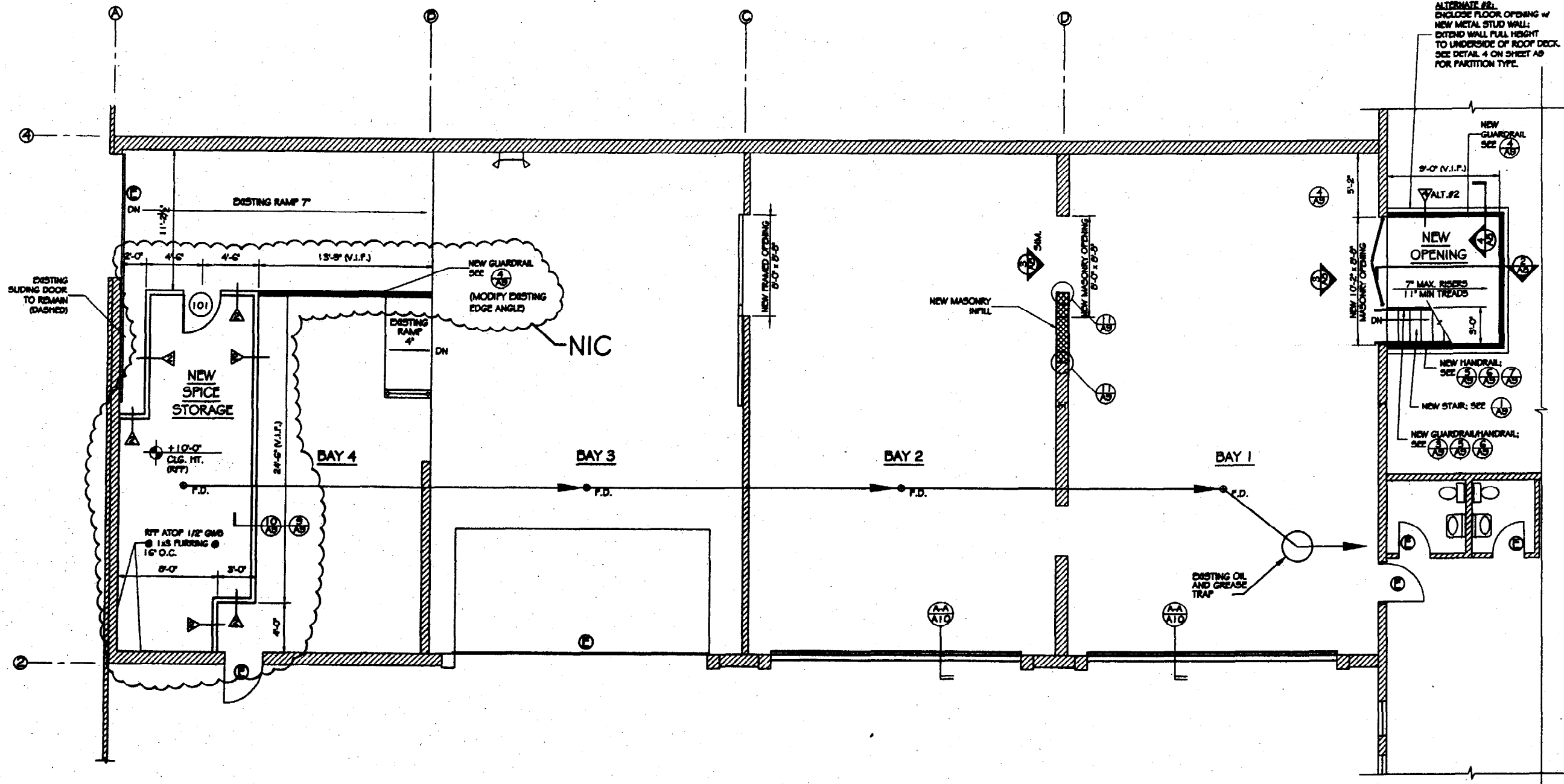
OFFICE

NOTE: REFER TO SHEET A7 OF 12 FOR LOCATION OF NEW WORK RELATED TO DEMOLITION ACTIVITY.

EXISTING CONDITIONS/DEMOLITION PLAN, SECTION B UPPER LEVEL
 SCALE: 1/4" = 1'-0"

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 JUN 16 2003
 RECEIVED

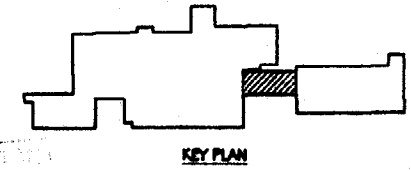
KEY PLAN
 WALL TYPE KEY
 --- EXISTING WALLS
 - - - - - DEMO WALLS



NEW FLOOR PLAN, SECTION A
SCALE: 1/4" = 1'-0"

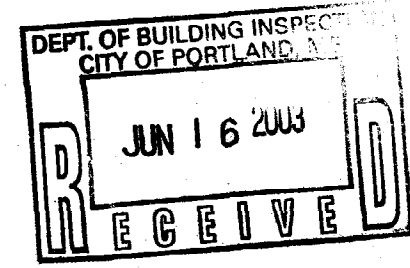
- SPICE ROOM GENERAL NOTES:**
1. FITCH NEW INFILL SLAB TO NEW FLOOR DRAIN.
 2. CONNECT NEW FLOOR DRAIN TO EXISTING PLANT TREATMENT SEWER SYSTEM. PROVIDE EJECTOR PUMP.
 3. ALL WALLS AND CEILING TO BE CLAD w/ WHITE, FIBREGLASS FINISH, MATTE REINFORCED FIBERGLASS PLASTIC PANELS SIMILAR TO .08" KEMULITE GLASSBOARD PANELS (800-433-0080).
 4. LIGHTING SHALL BE DESIGN-BUILD BY OWNER.
 5. PROVIDE INTAKE AND EXHAUST OPENINGS @ CEILING HVAC SYSTEM.
 6. COORDINATE w/ OWNER FOR SECURED ACCESS DOOR HARDWARE @

- GENERAL NOTES:**
1. FILL ALL VOIDS @ ALL MASONRY CMU WALLS w/ EXPANDABLE FILLER OR SEALANT TO USDA REQUIREMENTS.
 2. INSTALL BLOCK FILLER COAT @ ALL CMU BLOCK WALLS PRIOR TO PAINTING (BAYS 3 + 4).
 3. POWER WASH ALL FLOORS, WALLS + CEILING/EXISTING STRUCTURE PRIOR TO PAINT PREP.
 4. SCRAPE ALL PEELED PAINT NOT REMOVED BY POWER WASH PROCESS PRIOR TO PAINT PREP.
 5. REMOVE ALL PIPING AND FIXTURES RELATED TO ELECTRICAL AND HEATING SYSTEMS. EXISTING SPRINKLER AND ROOF DRAIN SYSTEMS SHALL REMAIN INTACT AND OPERATIONAL.
 6. ALTERNATE #1: REMOVE (2) OVERHEAD DOORS + FRAMES. INFILL w/ PARTITION TYPE A. -SEE SHEET AS OF 1.2.
 7. REFER TO SHEET AS OF 1.2 FOR LOCATION OF NEW WORK RELATED TO DEMOLITION ACTIVITY.
 8. PAINT CEILING AND ROOF STRUCTURE w/ DRY-FALL TYPE PAINT (WHITE).
 9. ALL NEW WALL/DOORFRAME PAINT SHALL BE (2) COATS VENT. ACRYLIC LATEX OVER (1) COAT PRIMER (WHITE). PAINT ALL WALLS, DOORS + FRAMES AT SECTION A.



WALL TYPE KEY

	EXISTING WALLS
	DEMO WALLS
	NEW WALLS (FULL HEIGHT)
	NEW CMU WALLS

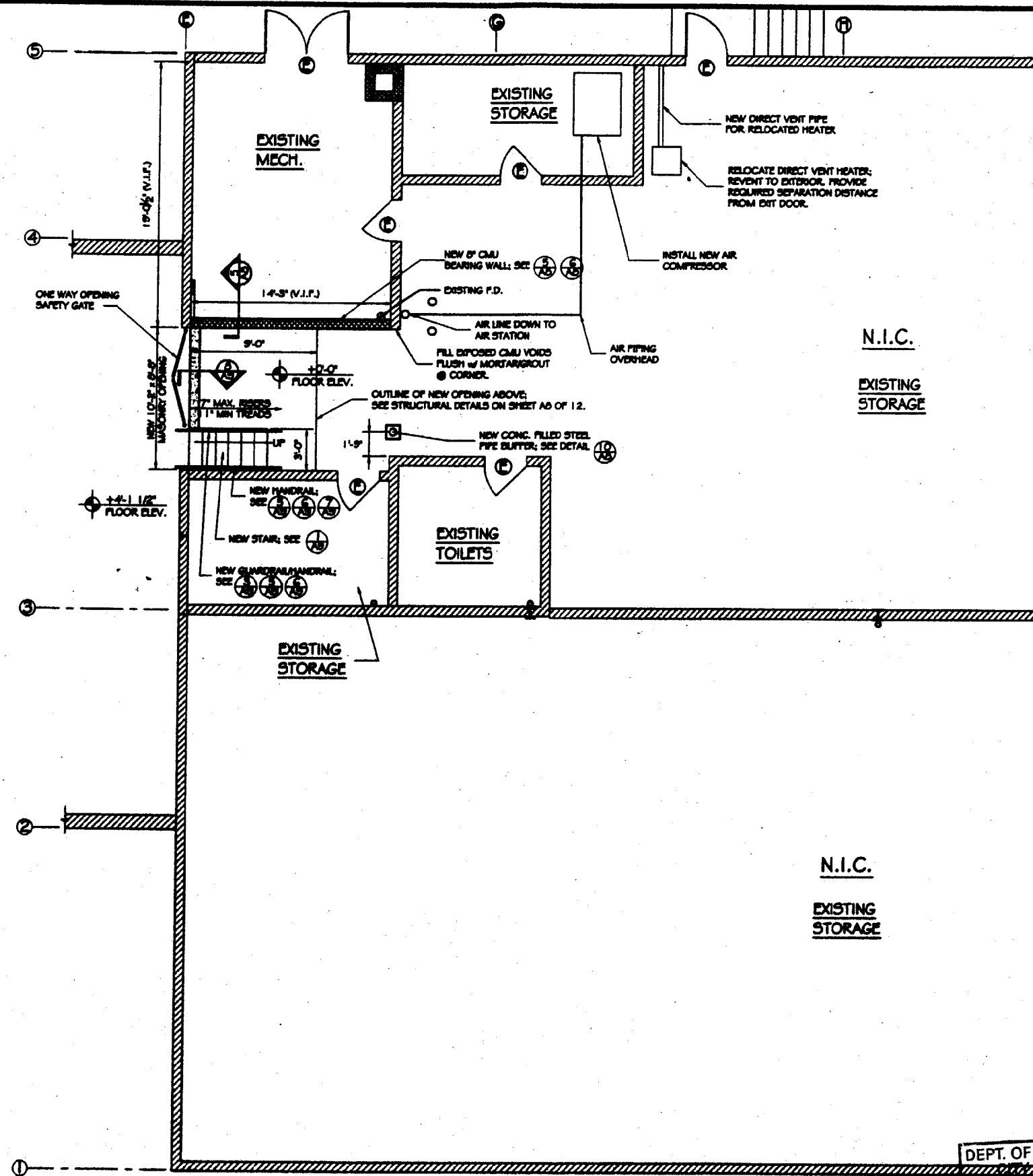


ASSOCIATED DESIGN PARTNERS INC.
12140 NE 12th Ave, Suite 200, Portland, OR 97230
Phone: 503.281.1111
Fax: 503.281.1112

PROJECT: STORAGE EXPANSION
BY: [Name]
FOR: [Name]

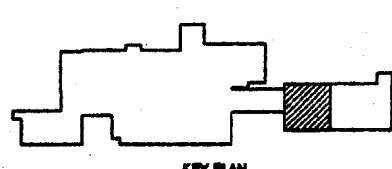
SHEET TITLE: NEW FLOOR PLAN, SECTION A

DATE:	05/20/03
SCALE:	1/4" = 1'-0"
DESIGNER:	EST
DRAWN BY:	EST
CHECKED BY:	EST
PROJECT NUMBER:	02163
SHEET:	A5 12




NEW FLOOR PLAN, SECTION B LOWER LEVEL
SCALE 1/4" = 1'-0"

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
JUN 16 2003
RECEIVED



- WALL TYPE KEY**
- EXISTING WALLS
 - DEMO WALLS
 - NEW WALLS (FULL HEIGHT)
 - NEW CMU WALLS

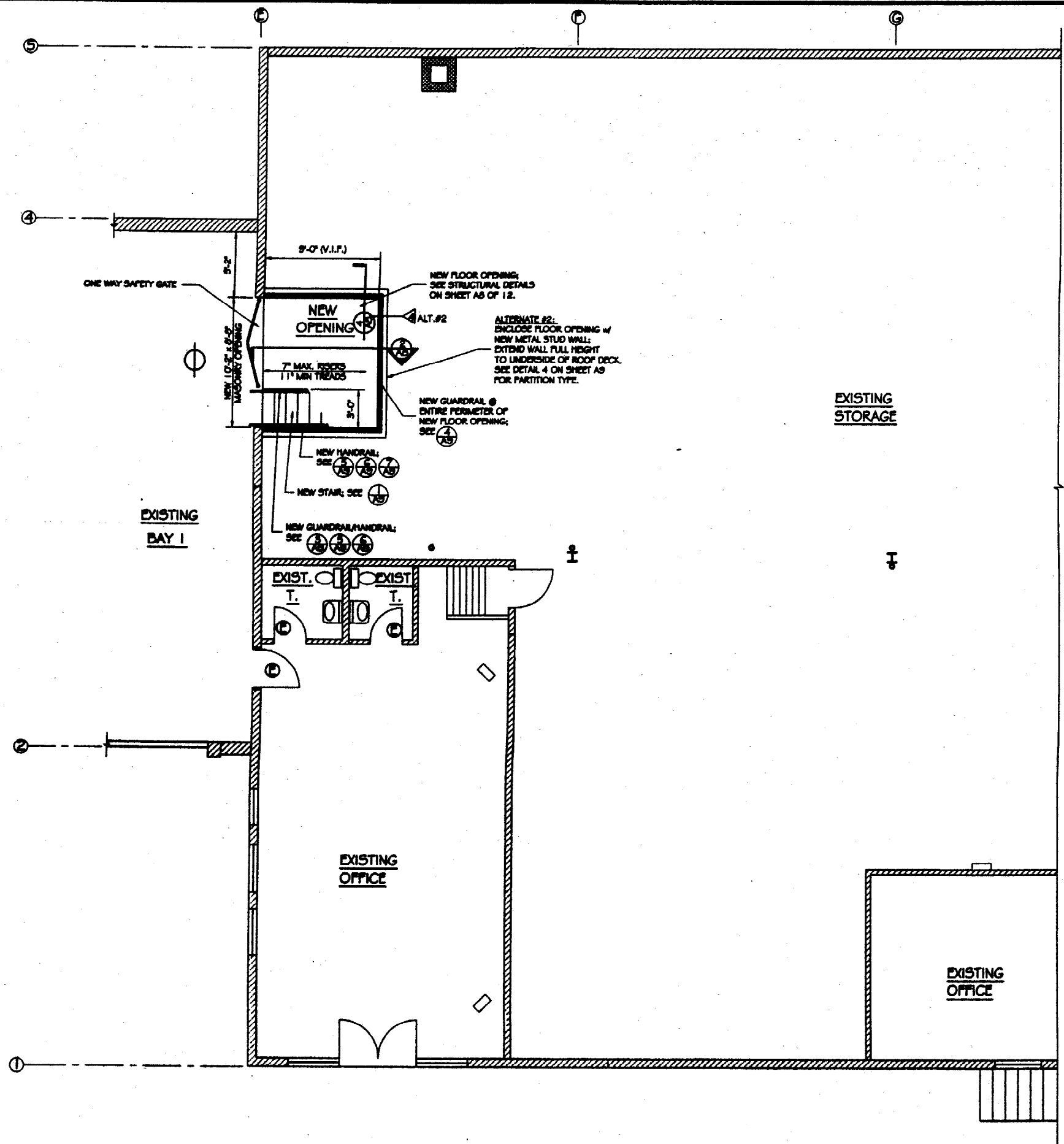


ASSOCIATED DESIGN PARTNERS INC.
1000 W. 10TH ST. SUITE 200
PORTLAND, ME 04106
PHONE: 603.762.1234
FAX: 603.762.1235
WWW.ADPARTNERS.COM

PROJECT: **STORAGE EXPANSION**
1000 W. 10TH ST. SUITE 200
PORTLAND, ME 04106

CLIENT: **NEW FLOOR PLAN, SECTION B LOWER LEVEL**

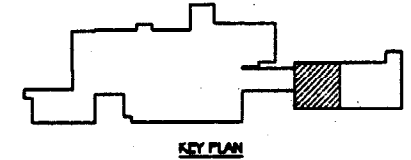
DATE: 05/20/03	DRAWN BY: JCP
CHECKED BY: JCP	SCALE: 1/4" = 1'-0"
PROJECT NO: 02163	FILE NO: 02163-010
02163	
A6 12	



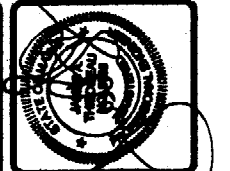
DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

JUN 16 2003

RECEIVED



- WALL TYPE KEY**
- EXISTING WALLS
 - DEMO WALLS
 - NEW WALLS (FULL HEIGHT)
 - NEW CMU WALLS



ASSOCIATED DESIGN PARTNERS INC.

ONE OF THE
2000-2001
BEST OF
PORTLAND
AWARDS WINNERS

OFFICE: 603.764.1200
FAX: 603.764.1201
www.associateddesign.com

PROJECT: STORAGE EXPANSION
DATE: 05/2003
DRAWN BY: JHE
CHECKED BY: JHE
SCALE: 1/4" = 1'-0"

PROJECT: STORAGE EXPANSION
DATE: 05/2003
DRAWN BY: JHE
CHECKED BY: JHE
SCALE: 1/4" = 1'-0"

NEW FLOOR PLAN, SECTION B
UPPER LEVEL

NO.	DESCRIPTION	DATE
1	ISSUED FOR CONSTRUCTION	05/2003
2	REVISION	
3	REVISION	
4	REVISION	
5	REVISION	
6	REVISION	
7	REVISION	
8	REVISION	
9	REVISION	
10	REVISION	

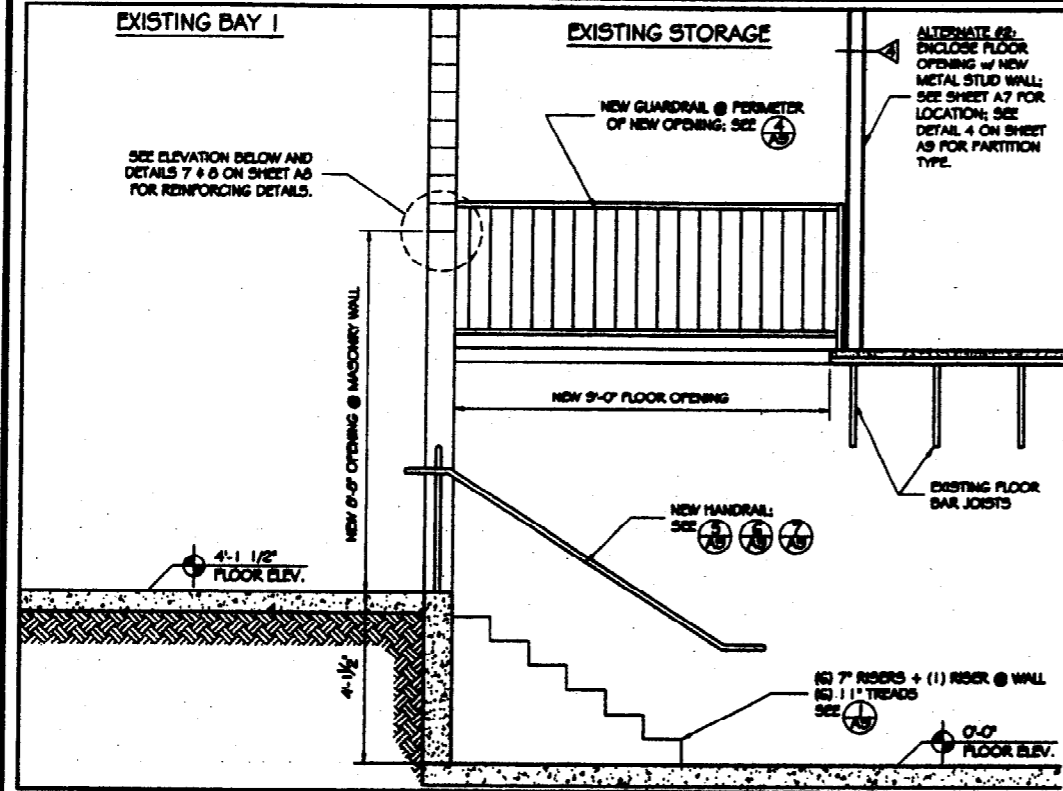
DATE: 05/2003
SCALE: 1/4" = 1'-0"
PROJECT NO.: 02163
PROJECT NUMBER: 02163
SHEET NO.: A7 OF 12

DOOR SCHEDULE

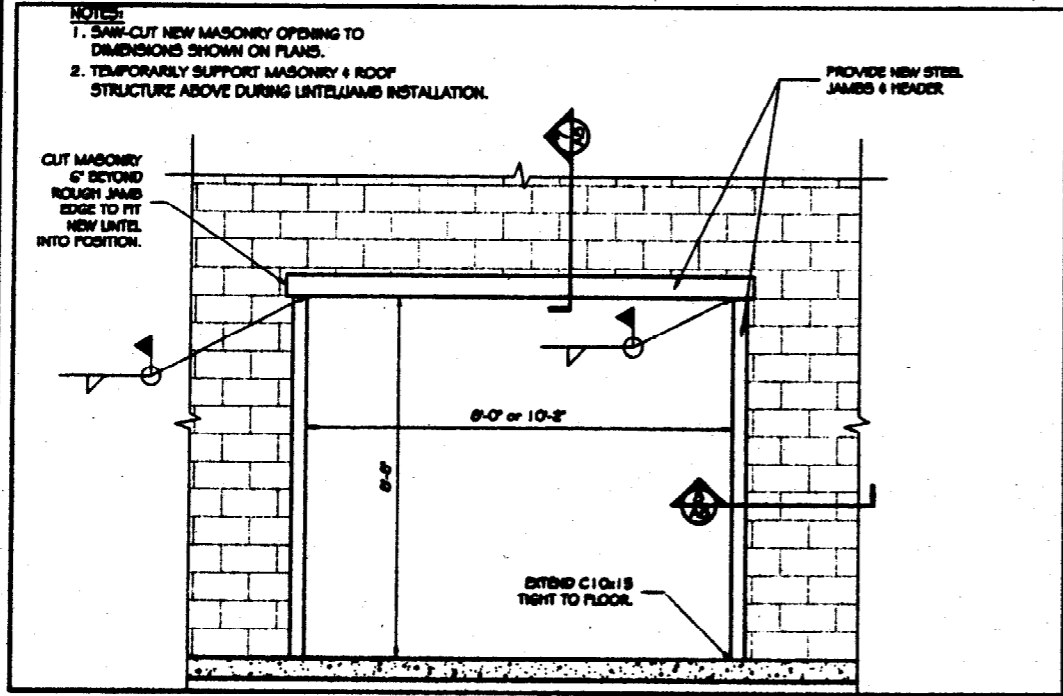
ABBREVIATIONS

NO.	TYPE	SIZE (WxH)	THK	INSUL	HDWE	FR	GLASS	REMARKS	TYPE	FR	PROFILE	DETAILS	MATERIAL	DETAILS
E	EXISTING DOOR	4'0" x 7'0"	1 3/4"	NO	PASBARI	B	NONE		A	B	DW	1/A5	1/A5	NONE
101	A	3'0" x 7'0"	1 3/4"	YES	PASBARI	NO	NONE		A	NO	DW	1/A5	1/A5	NONE

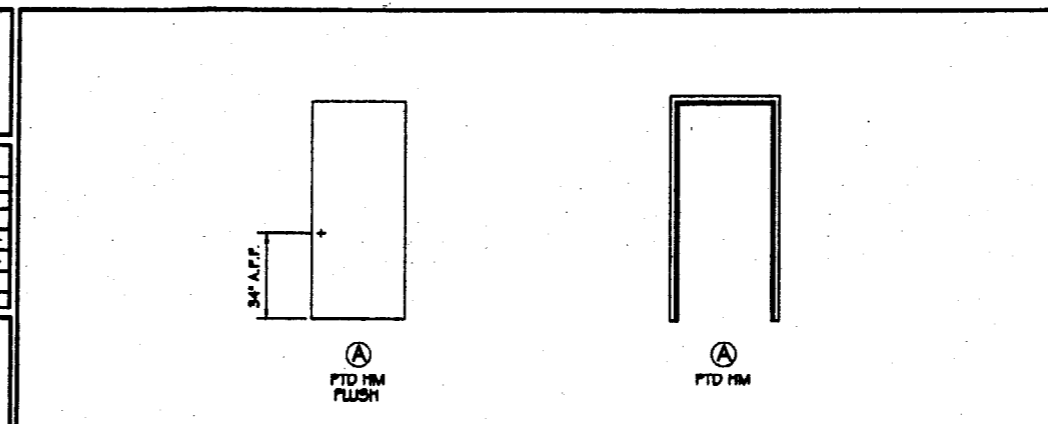
DOORS									FRAMES				THRESHOLDS	
NO.	TYPE	SIZE (WxH)	THK	INSUL	HDWE	FR	GLASS	REMARKS	TYPE	FR	PROFILE	DETAILS	MATERIAL	DETAILS
E	EXISTING DOOR	4'0" x 7'0"	1 3/4"	NO	PASBARI	B	NONE		A	B	DW	1/A5	1/A5	NONE
101	A	3'0" x 7'0"	1 3/4"	YES	PASBARI	NO	NONE		A	NO	DW	1/A5	1/A5	NONE



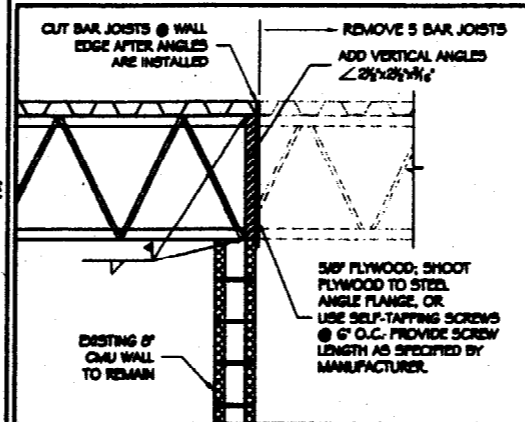
(2) SECTION @ NEW FLOORWALL OPENING 1/2" = 1'-0"



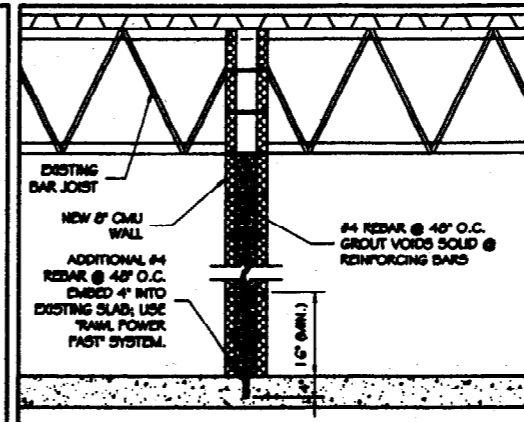
(3) TYP. NEW MASONRY OPENING 1/2" = 1'-0"



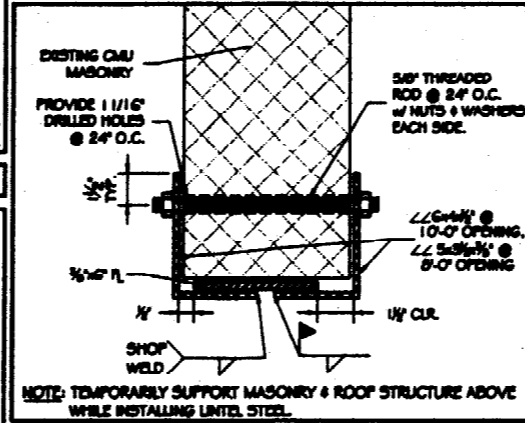
DOOR & FRAME TYPES NO SCALE



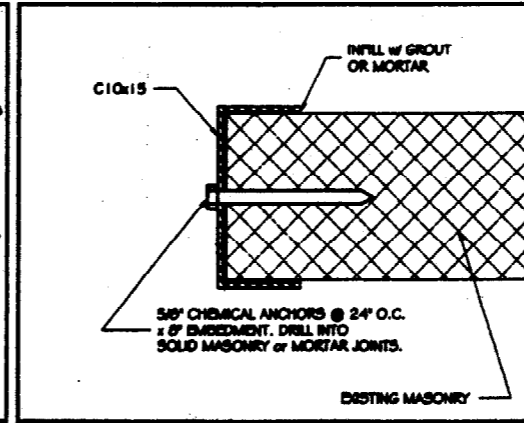
(4) DETAIL 3/4" = 1'-0"



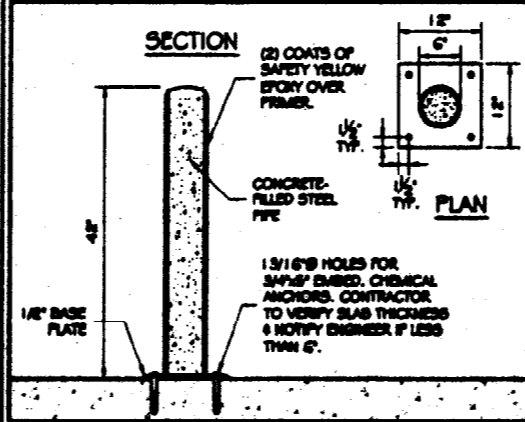
(5) SECTION @ NEW WALL 3/4" = 1'-0"



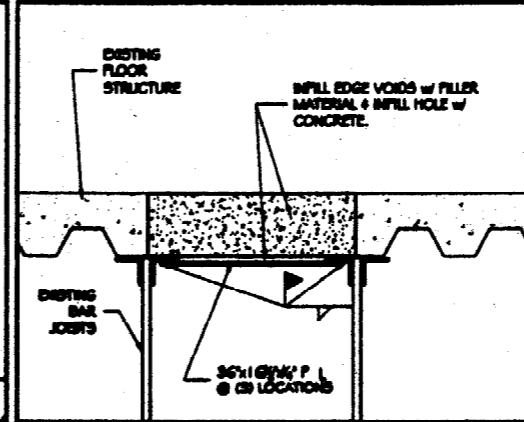
(7) SECTION @ LINTEL 3" = 1'-0"



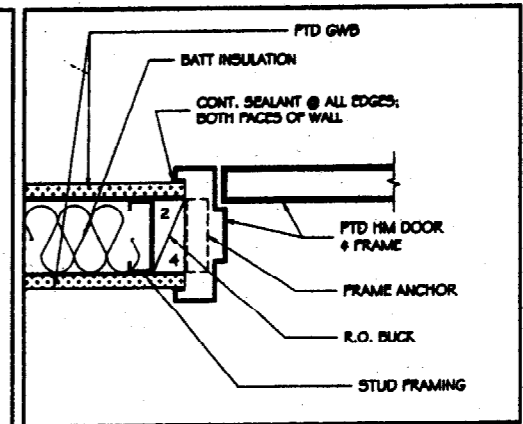
(8) SECTION @ JAMB 3" = 1'-0"



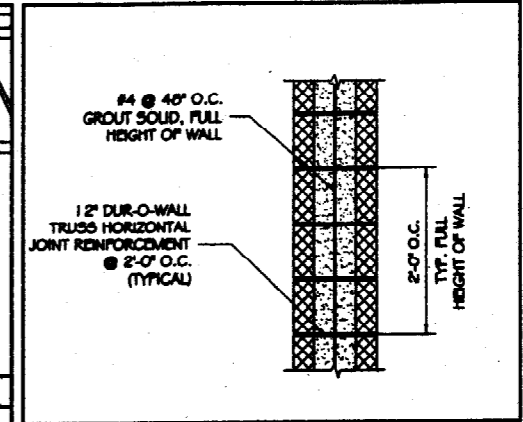
(9) DETAIL SCALE



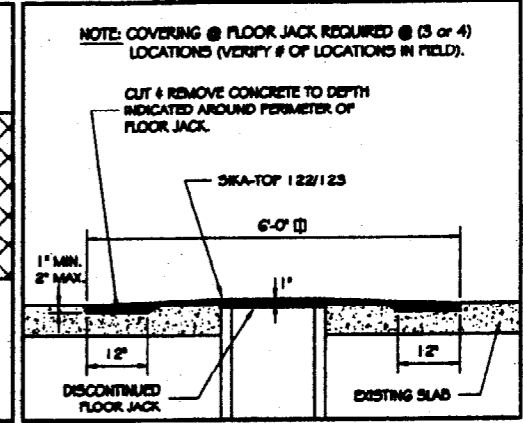
(10) SECTION @ FLOOR INFILL 1 1/2" = 1'-0"



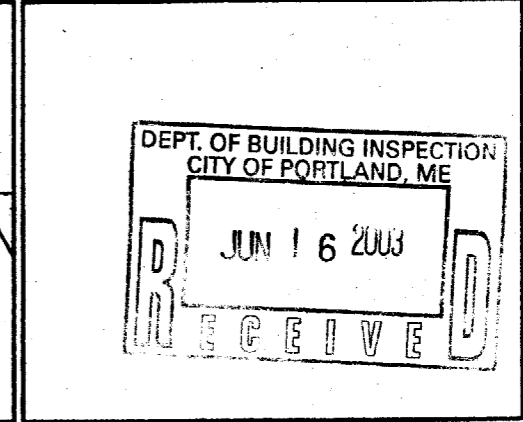
(1) TYP. HM DOOR JAMB (HD.SIM.) 3" = 1'-0"



(6) TYP. 8" MASONRY WALL REINF. 1" = 1'-0"



(9) COVERING @ FLOOR JACK 3/4" = 1'-0"



(11) DETAIL SCALE

ASSOCIATED DESIGN PARTNERS INC.

1000 Broadway, Suite 410
Portland, ME 04102

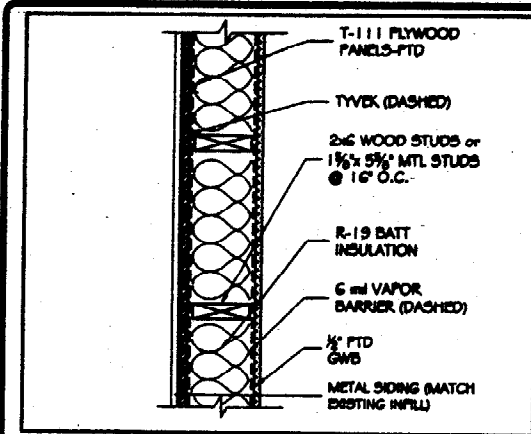
PHONE: 603-761-1212
FAX: 603-761-1213
WWW: www.adpinc.com

STORAGE EXPANSION

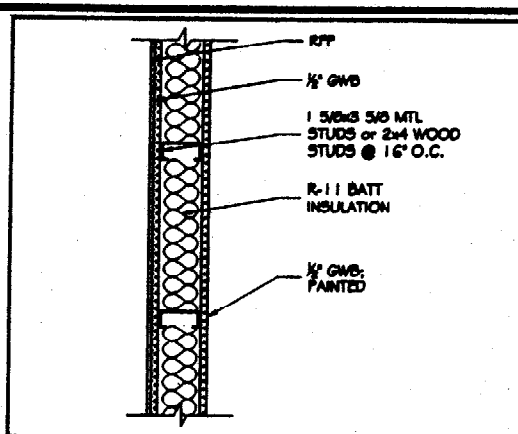
DOOR SCHEDULE, DETAILS AND STRUCTURAL DETAILS

PROJECT NO: 02163

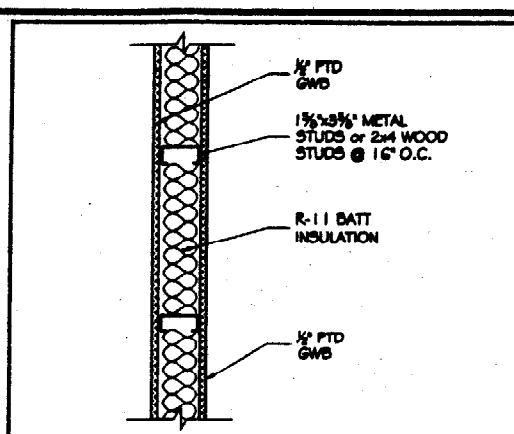
A8 12



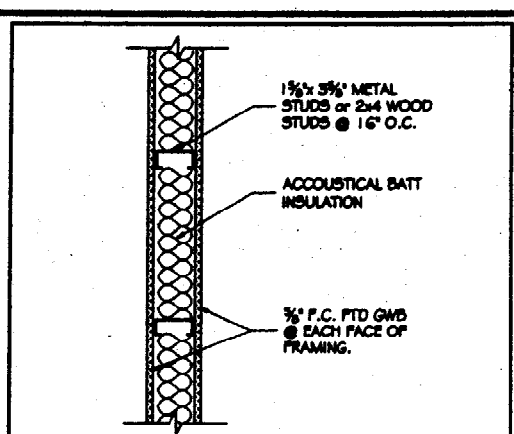
EXTERIOR PARTITION (ALT.1) 1 1/2" = 1'-0"



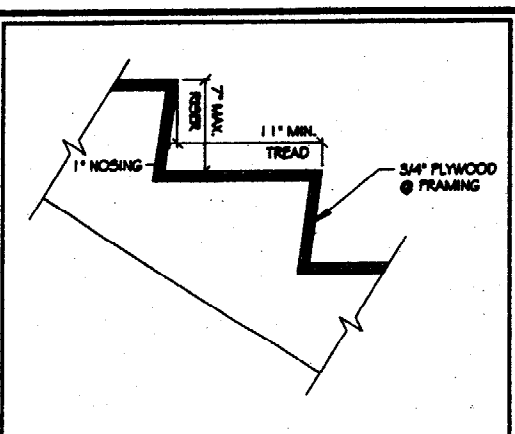
INTERIOR PARTITION 1 1/2" = 1'-0"



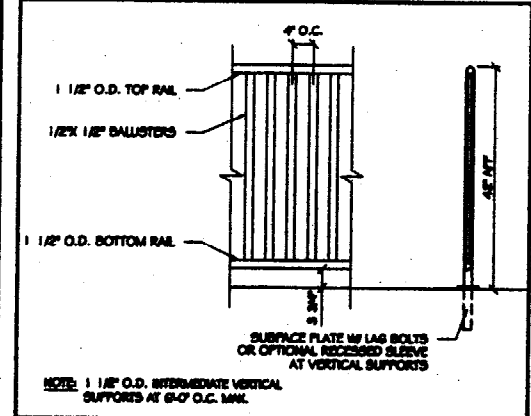
INTERIOR PARTITION 1 1/2" = 1'-0"



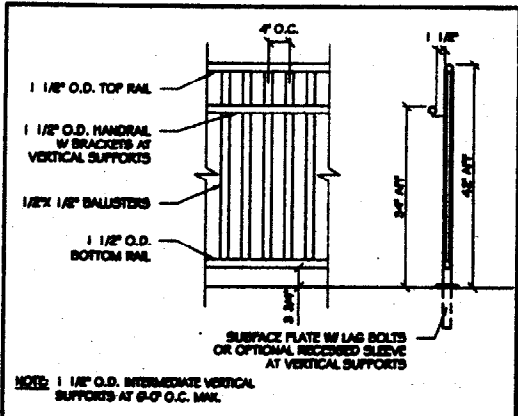
RATED INTERIOR PARTITION 1 1/2" = 1'-0"



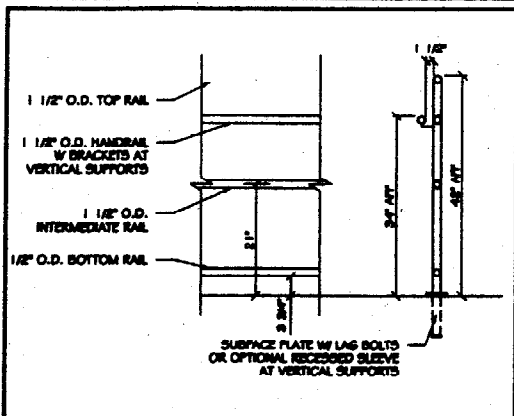
TYPICAL STAIR TREAD/RISER N.T.S.



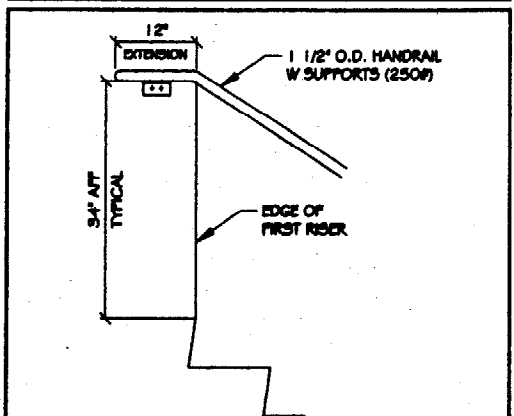
TYPICAL GUARDRAIL 3/4" = 1'-0"



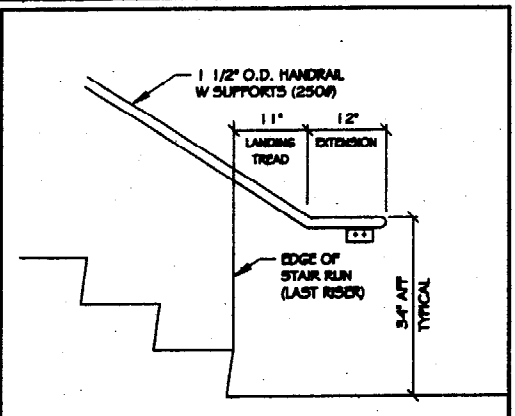
TYP. HANDRAIL @ GUARDRAIL 3/4" = 1'-0"



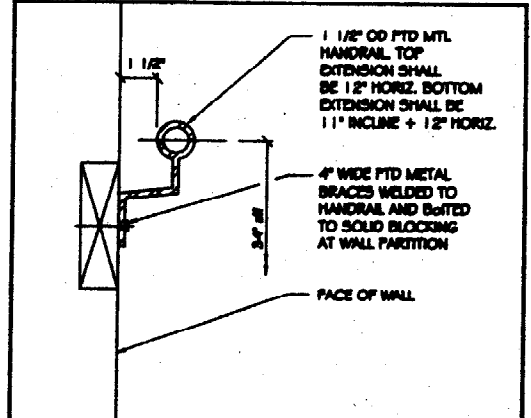
TYP. IND. HNDRL @ GUARDRAIL 3/4" = 1'-0"



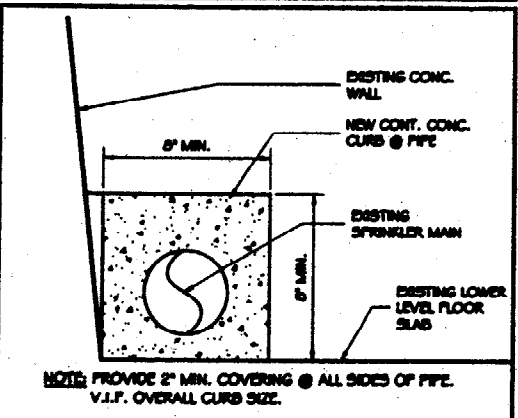
HANDRAIL EXTENSION @ TOP N.T.S.



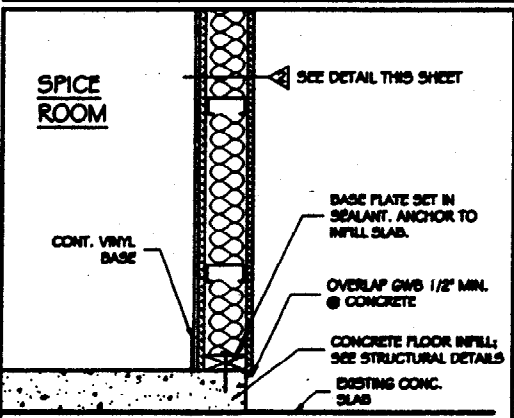
HANDRAIL EXTENSION @ BOTTOM N.T.S.



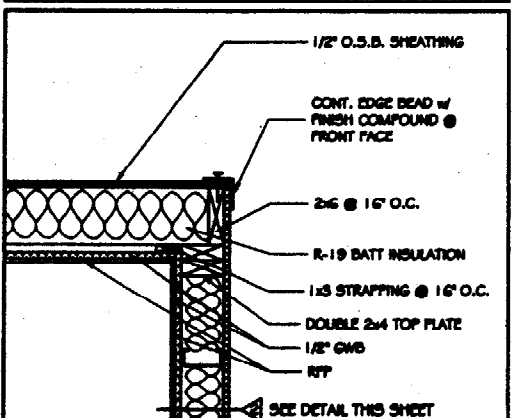
STAIR HANDRAIL DETAIL @ WALL 3" = 1'-0"



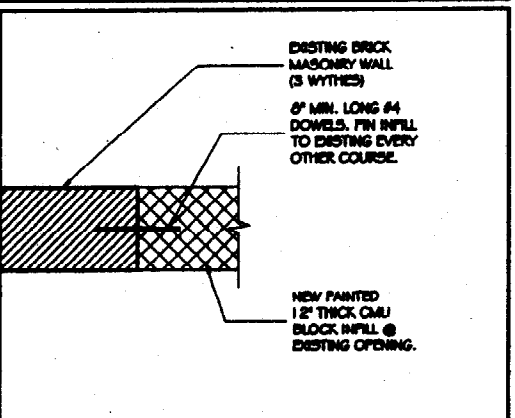
CURB @ EXISTING PIPE 3" = 1'-0"



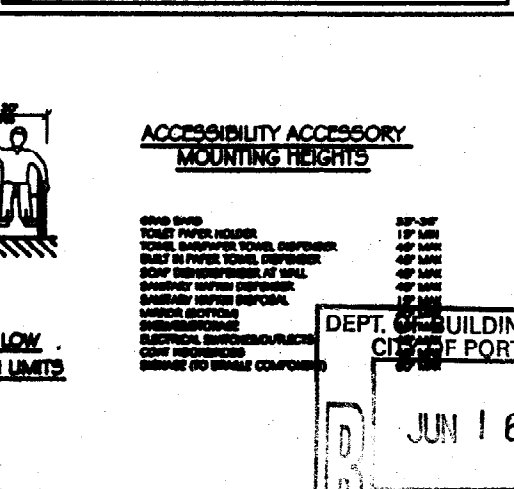
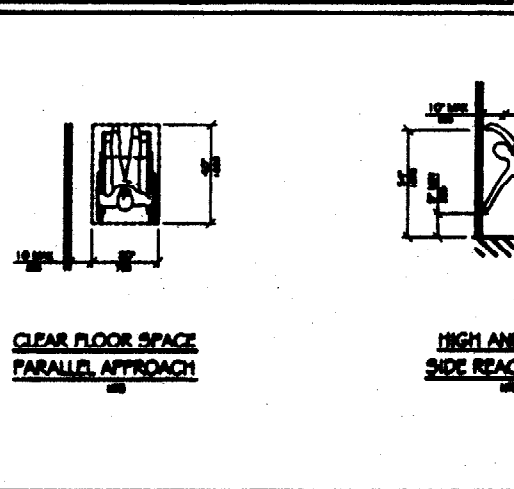
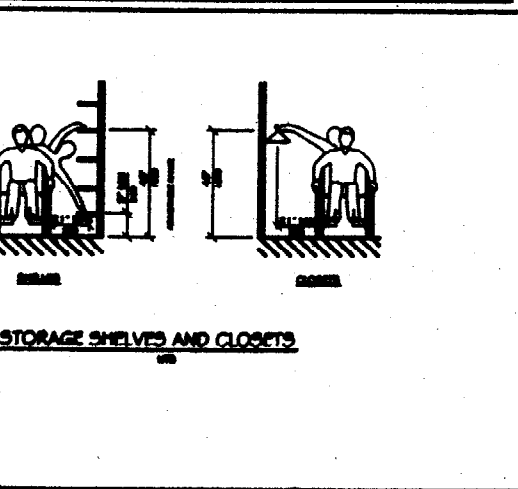
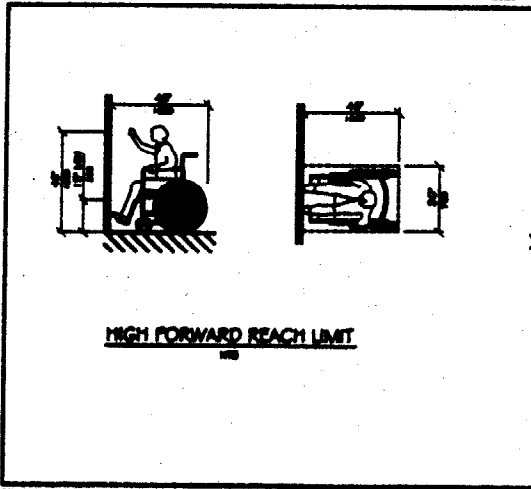
SPICE ROOM WALL DETAIL 1 1/2" = 1'-0"



SPICE ROOM WALL DETAIL 1 1/2" = 1'-0"



MASONRY INFILL DETAIL 1 1/2" = 1'-0"



ACCESSIBILITY GENERAL NOTES

- DOORWAYS SHALL HAVE A MINIMUM CLEAR WIDTH OF 32" WITH THE DOOR OPEN 90 DEGREES, MEASURED BETWEEN THE FACE OF THE DOOR AND THE OPPOSITE STOP.
- ALL DOORS SHALL HAVE LEVER HANDLE HARDWARE, EXCEPT AT SECURED STORAGE ROOMS, MEDICAL ROOMS, AND ELEVATOR MACHINE ROOMS.
- ALL CLOSERS SHALL BE FULL MINIMUM AT DOORS EQUIPPED WITH LEVER HANDLE HARDWARE.
- ALL DOORS WITH CLOSERS SHALL HAVE 18" CLEAR DISTANCE FROM THE LEADING EDGE OF THE CLOSING TO ANY ADJACENT WALL OR OBSTRUCTION ON THE PUSH SIDE OF THE OPENING.

ACCESSIBILITY ACCESSORY MOUNTING HEIGHTS

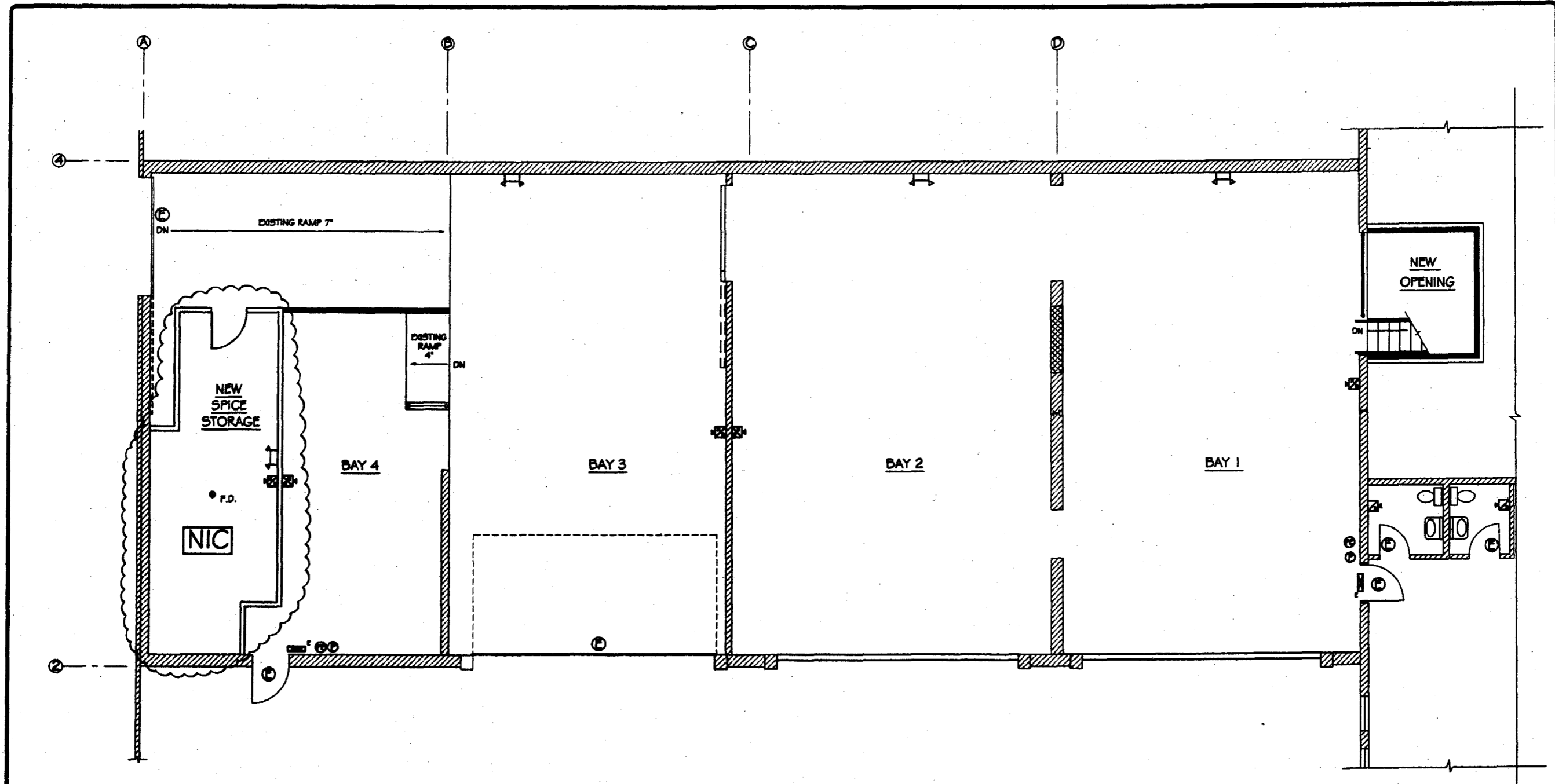
GRAB BARS	38"-48"
TOILET PAPER HOLDERS	15" MIN.
TOWEL DISPENSERS/TOWEL DISPENSER BUILT IN PAPER TOWEL DISPENSER	48" MAX.
SOAP DISPENSERS/AT WALL	48" MAX.
SANITARY NAPKIN DISPENSER	48" MAX.
HANDRAILS (BOTTOM)	34" MIN.
ELECTRICAL SWITCHES/OUTLETS	15" MIN.
STORAGE (NO STRAP COMPARTS)	30" MIN.

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
JUN 16 2005
RECEIVED

ASSOCIATED DESIGN PARTNERS INC.
31 Jackson Road
Portland, Maine 04108
Phone: 603-884-1234
Fax: 603-884-1234

STORAGE EXPANSION WALL, STAIR AND ACCESSIBILITY DETAILS

PROJECT: 02163
SCALE: AS SHOWN
DESIGN BY: JST
DRAWN BY: JST
DATE: 05/15/05
02163
A9 12



NPPA PLAN, SECTION A
SCALE: 1/4" = 1'-0"

SPICE ROOM GENERAL NOTES:

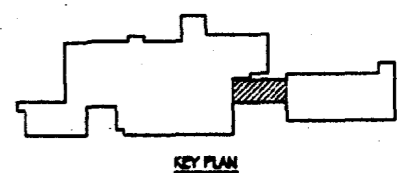
1. FITCH NEW INFILL SLABS TO NEW FLOOR DRAIN.
2. CONNECT NEW FLOOR DRAIN TO EXISTING PLANT TREATMENT SEWER SYSTEM. PROVIDE EJECTOR PUMP.
3. ALL WALLS AND CEILINGS TO BE CLAD W/ WHITE, FIBBLE FINISH, MATTE REINFORCED FIBERGLASS PLASTIC PANELS SIMILAR TO .08" KEMULTE GLASSBOARD PANELS (800-485-0080).
4. LIGHTING SHALL BE DESIGN-BUILD BY OWNER.
5. PROVIDE INTAKE AND EXHAUST OPENINGS @ CEILING HVAC SYSTEM.
6. COORDINATE W/ OWNER FOR SECURED ACCESS DOOR HARDWARE @ ②

GENERAL NOTES:

1. FILL ALL VOIDS @ ALL MASONRY CMU WALLS W/ EXPANDABLE FILLER OR SEALANT TO USDA REQUIREMENTS.
2. INSTALL BLOCK FILLER COAT @ ALL CMU BLOCK WALLS PRIOR TO PAINTING (BAYS 3 & 4).
3. POWER WASH ALL FLOORS, WALLS & CEILING/POSED STRUCTURE PRIOR TO PAINT PREP.
4. SCRAPE ALL PEELED PAINT NOT REMOVED BY POWER WASH PROCESS PRIOR TO PAINT PREP.
5. REMOVE ALL PIPING AND FIXTURES RELATED TO ELECTRICAL AND HEATING SYSTEMS. EXISTING SPRINKLER AND ROOF DRAIN SYSTEMS SHALL REMAIN INTACT AND OPERATIONAL.
6. ALTERNATE #1: REMOVE (2) OVERHEAD DOORS & FRAMES. INFILL W/ PARTITION TYPE A -SEE SHEET AS OF 1.2.
7. REFER TO SHEET AS OF 1.2 FOR LOCATION OF NEW WORK RELATED TO DEMOLITION ACTIVITY.
8. MECHANICAL & ELECTRICAL SYSTEMS SHALL BE DESIGN-BUILD BY OWNER.
9. INTEGRATE NEW ALARM SYSTEM W/ EXISTING SPRINKLER & ALARM SYSTEMS.

NPPA LEGEND

- EMERGENCY LIGHT
- EXIT LIGHT
- 110 CANDELLA 15 J8 HORNSTROBE UNIT
- 110 CANDELLA STROBE UNIT
- ALARM PULL STATION
- 1 OF ABC FIRE EXTINGUISHER W/ BRACKET
- SMOKE DETECTOR



KEY PLAN

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

DATE: 06/16/03
TIME: 10:15 AM
PROJECT: 02163
DRAWN BY: [Signature]
CHECKED BY: [Signature]



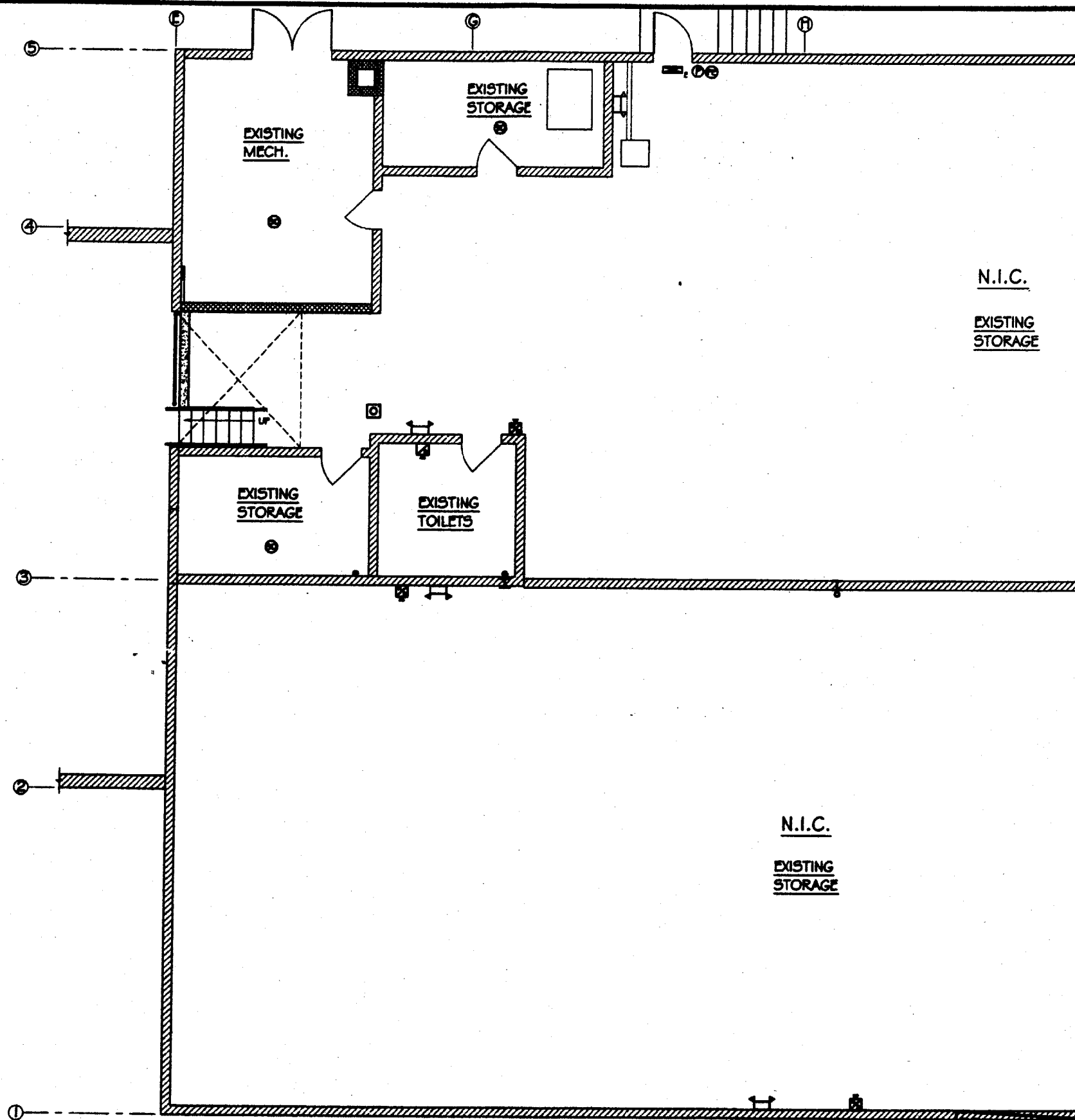
ASSOCIATED DESIGN PARTNERS INC.
1000 SW 15TH AVE
PORTLAND, ME 04104
TEL: 503.251.1111
FAX: 503.251.1112

PROJECT: STORAGE EXPANSION
SHEET NO. NPPA PLAN, SECTION A

NO.	DESCRIPTION	DATE
1	ISSUED FOR CONSTRUCTION	06/16/03

NO.	DESCRIPTION	DATE
1	ISSUED FOR CONSTRUCTION	06/16/03

DATE: 06/16/03
TIME: 10:15 AM
PROJECT: 02163
DRAWN BY: [Signature]
CHECKED BY: [Signature]

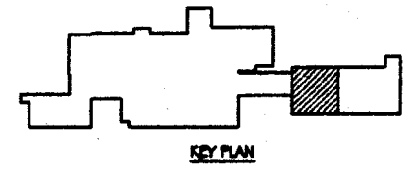


NFPA PLAN, SECTION B LOWER LEVEL
SCALE 1/4" = 1'-0"

NOTES:
 1. MECHANICAL + ELECTRICAL SYSTEMS SHALL BE DESIGN-BUILD BY OWNER.
 2. INTEGRATE NEW ALARM SYSTEM W/ EXISTING SPRINKLER + ALARM SYSTEMS.

NFPA LEGEND

- EMERGENCY LIGHT
- EXIT LIGHT
- 110 CANDELLA 15' HD HORNSTRODE UNIT
- 110 CANDELLA STRODE UNIT
- ALARM PULL STATION
- 10# ABC FIRE EXTINGUISHER W/ BRACKET
- SMOKE DETECTOR



WALL TYPE KEY

- EXISTING WALLS
- DEMO WALLS
- NEW WALLS (FULL HEIGHT)
- NEW CMU WALLS

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 JUN 16 2003
 RECEIVED



ASSOCIATED DESIGN PARTNERS INC.
 OFFICE: 600 100-100
 PORTLAND, MAINE 04101

PROJECT: STORAGE EXPANSION
 100 JAMES ST., PORTLAND, MAINE
 FOR PORTLAND, ME
 PROJECT TITLE: NFPA PLAN, SECTION B LOWER LEVEL

DATE:	05/20/03
SCALE:	1/4" = 1'-0"
PROJECT NO.:	02163
DATE:	05/20/03
PROJECT NO.:	02163
DATE:	05/20/03
PROJECT NO.:	02163

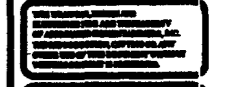
PROJECT: STORAGE EXPANSION
 100 JAMES ST., PORTLAND, MAINE
 FOR PORTLAND, ME
 PROJECT TITLE: NFPA PLAN, SECTION B LOWER LEVEL

DATE:	05/20/03
SCALE:	1/4" = 1'-0"
PROJECT NO.:	02163
DATE:	05/20/03
PROJECT NO.:	02163
DATE:	05/20/03
PROJECT NO.:	02163

PROJECT: STORAGE EXPANSION
 100 JAMES ST., PORTLAND, MAINE
 FOR PORTLAND, ME
 PROJECT TITLE: NFPA PLAN, SECTION B LOWER LEVEL



ASSOCIATED DESIGN PARTNERS INC.
 1000 SW 15TH AVE. SUITE 200
 PORTLAND, ME 04104
 TEL: 603.761.1111
 FAX: 603.761.1112



STORAGE EXPANSION
 DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME

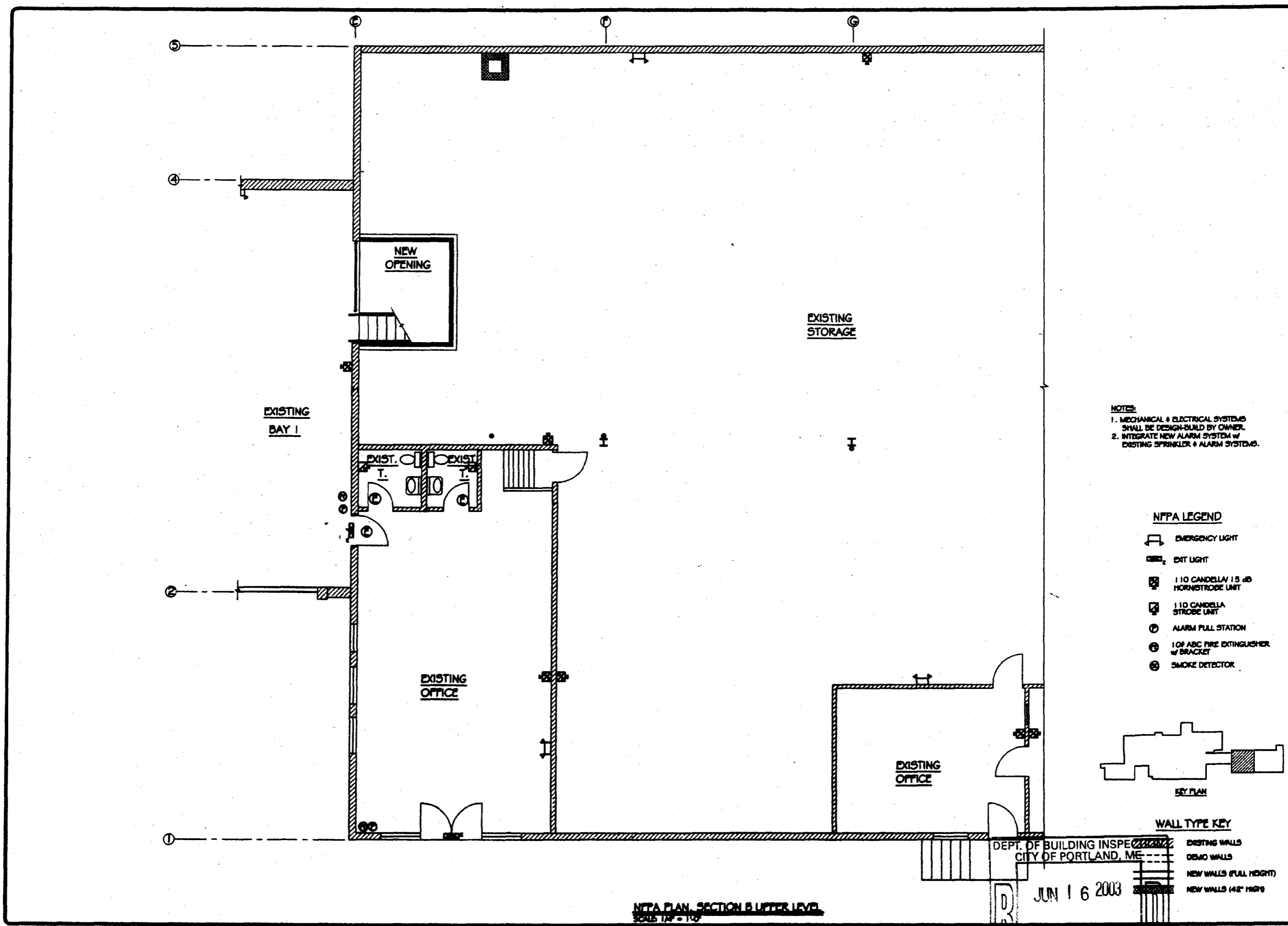
NFFA PLAN, SECTION B UPPER LEVEL

DATE	12/10/02
BY	WJ
CHECKED BY	WJ
PROJECT NO.	02163
FILE NO.	02163.002
SCALE	AS SHOWN

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME

RECEIVED
 JUN 16 2003

02163
 A12 12



EXISTING STORAGE

EXISTING BAY I

NEW OPENING

EXISTING OFFICE

EXISTING OFFICE

NOTES:
 1. MECHANICAL & ELECTRICAL SYSTEMS SHALL BE DESIGN-BUILD BY OWNER.
 2. INTEGRATE NEW ALARM SYSTEM w/ EXISTING SPRINKLER & ALARM SYSTEMS.

NFFA LEGEND

- EMERGENCY LIGHT
- EXIT LIGHT
- 110 CANDELLA 1.5 dB HORNSTROBE UNIT
- 110 CANDELLA STROBE UNIT
- ALARM PULL STATION
- 10# ABC FIRE EXTINGUISHER w/ BRACKET
- SMOKE DETECTOR

WALL TYPE KEY

- DISTING WALLS
- DEMO WALLS
- NEW WALLS (FULL HEIGHT)
- NEW WALLS (42" HIGH)

NFFA PLAN, SECTION B UPPER LEVEL
 SCALE 1/4" = 1'-0"