

Greater Portland METRO

Transit District

Portland, ME

October 31, 2016

PROJECT CONTACTS

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TYPICAL ABBREVIATIONS

AND	DWG	DRAWING
ANG	E	EAST
@	EA	EACH
ADA	EJ	EXPANSION JOINT
ADJ	ELEC	ELECTRIC
AFT	ELEV	ELEVATION
ALUM	EMP	EMPLOYEE
ARCH	ENCL	ENCLOSE
AVG	ENT	ENTRY or ENTRANCE
BD	EQ	EQUAL
BLDG	EQUIP	EQUIPMENT
BLDG	ENG	ELECTRIC WATER COOLER
BLOCKING	EXH	EXHAUST
BM	EXIST	EXISTING
BO	EXT	EXPANSION
BTM	EXT	EXTERIOR
BY	FBO	FURNISHED BY OWNER
CAB	FDN	FOUNDATION
CLG	FT	FINISH FLOOR
CLR	FT	FINISH FLOOR ELEVATION
CMU	FE	FINISH FLOOR
CONR	FIN	FINISH
COL	FIN	FINISH FLOOR ELEVATION
CONC	FLX	FLUXURE
CONT	FLG	FLOORING
COORD	FLR	FLOOR
COR	FLU	FLUORESCENT
COR	FT	FOOT or FEET
CPT	GA	GAUGE
CR	GA	GALVANIZED
DBL	GEN	GENERAL CONTRACTOR
DEG	GL	GLASS
DHW	GMB	Gypsum WALL BOARD
DIA	HGT	HEIGHT
DM	HM	HOLLOW METAL
DN	HRZ	HORIZONTAL
DR	HR	HOOR
DS	HR	HEATING, VENTILATION & AIR CONDITION
DW	HYAC	

IBC	INSTALLED BY CONTRACTOR
IN	INCHES
INSUL	INSULATION
INT	INTERIOR
JT	JOINT
LAM	LAMINATED
LB	POUNDS
LF	LINEAR FEET
LL	LIVE LOAD
LWC	EQUAL
MAX	MAXIMUM
MECH	MECHANICAL
MFG	MANUFACTURE
MH	MAN HOLE
ML	MILLIMETER
EXP	EXPANSION
EXT	EXTERIOR
MSB	MAIN SWITCH BOARD
MSB	FOUNDTION
MWD	FINISH FLOOR
MTL	MOUNTED
MIN	MINIMUM
N	NORTH
N/A	NOT APPLICABLE
NAT	NATURAL
NAT	NATURAL
NC	NOT IN CONTRACT
#	NUMBER
NIS	NOT TO SCALE
OC	ON CENTER
OH	OVER HEAD
PAR	PARALLEL
P/C	PRECAST CONCRETE
PERF	PREFORATED
PERP	PERPENDICULAR
PL	PLATE
P-LAM	PLASTIC LAMINATE
PLAS	PLASTER
PLG	PLUMBING

S	SOUTH
SAI	SUSPENDED ACOUSTICAL TILE
SCHED	SCHEDULE
SD	STORM DRAIN
SECT	SECTION
SF	SQUARE FEET
SM	SIMLAR
SP	SHELL PACKAGE
SPEC	SPECIFICATIONS
SS	STAINLESS STEEL
SQ	SQUARE
STD	STANDARD
STL	STRUCTURAL
STRUC	STRUCTURAL
SUSP	SUSPENDED
SWM	SWAMPY
T	THERMOSTAT
T & B	TOP AND BOTTOM
TEL	TELEPHONE
TEL	TELEPHONE
THICK	THICK
TI	TENANT IMPROVEMENTS
T.O.	TOP OF
T.O.	TOP OF JOIST
TOS	TOP OF STEEL
TYP	TYPICAL
UL	UNDERWRITERS LABORATORIES, INC
UNO	UNLESS NOTED OTHERWISE
VB	VINYL BASE
VERT	VERTICAL
VCT	VINYL COMPOSITE TILE
VERIF	VERIFY IN FIELD
W	WIDE or WEST
WD	WOOD
WC	WATER COOLER
W/	WITH
W/O	WITHOUT
X	EXISTING

LEGEND

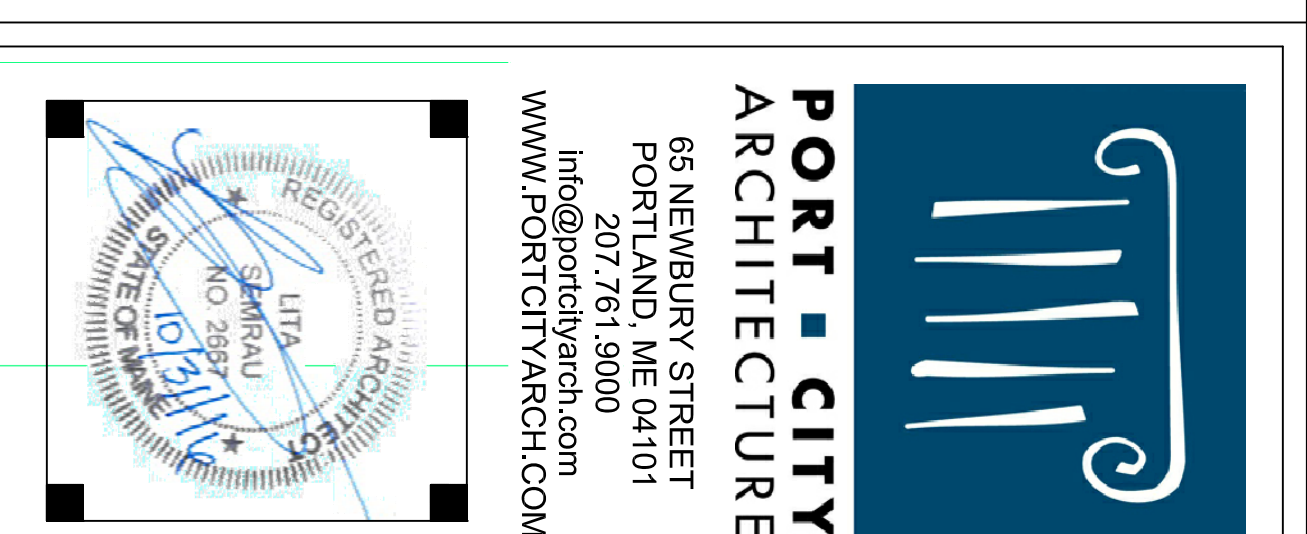
	DETAIL NUMBER
	SHEET WHERE DETAIL IS DRAWN
	SHEET WHERE DETAIL IS TAKEN
	INDICATES BUILDING SECTION OR BUILDING ELEVATION
	BUILDING SECTION LETTER
	SHEET WHERE BUILDING SECTION IS DRAWN
	SHEET WHERE BUILDING SECTION IS TAKEN
	INTERIOR ELEVATION NUMBER
	SHEET WHERE ELEVATION IS DRAWN
	DEMO WALL FINISH
	EXISTING EXTERIOR WALL
	EXISTING WALL TO BE REMOVED
	EXISTING INTERIOR WALL
	LOBBY
	ROOM NAME AND NUMBER
	KEY NOTE
	DOOR NUMBER
	COLUMN GRID LINE
	ELEVATION TARGET
	WALL TYPE
	WINDOW TYPE

GENERAL NOTES

1. ALL MATERIALS, COMPONENTS, AND WORK ARE NEW AND SHALL BE PROVIDED IN THIS CONTRACT BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
2. ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT.
3. IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC. TO OBTAIN A COMPLETE JOB TO INDUSTRY STANDARD IN A PROFESSIONAL WORKMANLIKE MANNER.
4. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCY(ES) IMMEDIATELY TO THE ARCHITECT.
5. AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A NEAT AND CLEAN MANNER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS WHICH ARE REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK AND FOR PAYING ALL FEES, HOOK UP CHARGES, ETC. (STATE FIRE MARSHAL PERMIT BY OWNER)
7. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER FOR THE SEQUENCE AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. AREAS FOR STAGING ETC. MUST BE APPROVED BY THE OWNER.
8. THE CONTRACTOR SHALL DISPOSE OF AND / OR RECYCLE ANY CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY THE STATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DISPOSAL PERMITS WHICH ARE REQUIRED. CONSTRUCTION DEBRIS FROM THE PROJECT SITE SHALL BE DISPOSED OF IN A STATE APPROVED LANDFILL.
9. ROOM NUMBERS ON THE DRAWING ARE FOR COORDINATION PURPOSES AND DO NOT NECESSARILY CORRESPOND TO ACTUAL ROOM NUMBERS.
10. DUTY OF COOPERATION: RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, THE CONTRACTOR, THE ARCHITECT AND HIS CONSULTANTS. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO NOTIFY THE OWNER COMPOUNDS MISUNDERSTANDING AND MAY INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE OWNER SHALL RELIEVE THE OWNER AND THE ARCHITECT FROM RESPONSIBILITY FROM ALL COSTS.
11. THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
12. ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL PAYMENT.
13. ALL DOORS SHOULD HAVE ADA COMPLIANT LEVER HANDLES.

RENOVATION GENERAL NOTES

1. REMOVE WALLS AS NOTED ON PLANS. VERIFY THAT WALLS TO BE REMOVED ARE NON-LOAD BEARING. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. BEFORE PENETRATION, JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS, CONSULT WITH THE ARCHITECT FOR APPROVAL.
2. UNLESS OTHERWISE NOTED, REMOVE DOORS, BASE, TRIM, ELECTRICAL ITEMS, SURFACE MOUNTED ITEMS AND INTERIOR WINDOWS WITHIN WALLS TO BE REMOVED. UNLESS NOTED OTHERWISE, REMOVE WALLS TO THEIR FULL HEIGHT WHERE THEY ARE INDICATED FOR REMOVAL.
3. CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SYSTEMS AND SURFACES TO REMAIN. ALL DAMAGE RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS APPROVED BY THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
4. WHERE REMOVALS OCCUR, PATCH HOLES AND AREAS OF MISSING FINISH (IE EXPOSED STUD AREAS WHERE WALLS ARE REMOVED, FLOOR FINISHES, ETC. TO MATCH EXISTING ADJACENT SURFACE). PROVIDE A SMOOTH CONTINUOUS SURFACE FREE OF SHADOW LINES.
5. WHERE NEW WALLS OR INFILLS ABOUT OR INTERSECT EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING WALLS. ALIGN NEW FINISH WITH EXISTING FINISH AND FINISH JOINTS AT INTERSECTIONS SMOOTH AND CONTIGUOUS.



CONSULTANTS

No.	Description	Date
1	Addendum 1	10/13/2016
2	Addendum 2	10/24/2016
3	Addendum 3	10/24/2016

PERMIT SET -FOR CONSTRUCTION-

No.	Description	Date
1	Addendum 1	10/13/2016
2	Addendum 2	10/24/2016
3	Addendum 3	10/24/2016

GREATER PORTLAND METRO OFFICE RENOVATIONS

TITLE SHEET

Project Number: 16403
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Drawn by: TS
Checked by: LAS

T1.1

IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

