

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Please Read Application And Notes, If Any, Attached

Permit Number **020546**
ISSUED
MAY 30 2007
CITY OF PORTLAND

This is to certify that Prosser Alan/Applicant
has permission to Addition of 960 sq ft Storage Building
AT 193 St John St

068 A01000

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must given and when permission procured before this building or part thereof laid or closed-in.
HEAVY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. U.M.W.
Health Dept. _____
Appeal Board _____
Other _____

Department Name

[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED

Permit No: 02-0546
 Issue Date: OCT 30 2002

CITY OF PORTLAND

Location of Construction: 193 St John St	Owner Name: Prosser Alan	Owner Address: 195 St John St	CBL: 068 A010001
Business Name:	Contractor Name: Applicant	Contractor Address: Portland	Phone: 775-0968
Lessee/Buyer's Name:	Phone:	Permit Type: Additions - Commercial	Zone: B-2

Past Use: Auto Storage	Proposed Use: Auto Storage	Permit Fee: \$163.00	Cost of Work: \$20,000.00	CEO District: 3	
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: 51 Type: 5A 10/29/02		

Proposed Project Description:
 Addition of 960 sq ft Storage Building - 2 story
 1920 total

Signature: *[Signature]*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: gad	Date Applied For: 05/21/2002	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland <i>NA</i></p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone <i>Panel 13 Zone C</i></p> <p><input type="checkbox"/> Subdivision</p> <p><input checked="" type="checkbox"/> Site Plan #2002-0126</p> <p>Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <i>9/26/02</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>[Signature]</i></p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

1/7/04 - Starts to area steps (fire escape) to high - will
contact design professional on : rating of insulation, Asbestos
on park glass windows, rating between floors, and diagonal building.
guards on overhead door on second floor. GO - from - to electric
at this time - not okay to close in -

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

AA ✓ **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

AA ✓ **Footing/Building Location Inspection:** Prior to pouring concrete

Re-Bar Schedule Inspection: Prior to pouring concrete

Foundation Inspection: Prior to placing ANY backfill

DA ✓ **Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

AA ✓ **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

AA ✓ **If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

AA ✓ **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

Amanda Schuster
Signature of applicant/designee

11/6/02
Date

Ben McNeill
Signature of Inspections Official

11/6/02
Date

CBL: 068 A 010 Building Permit #: 0 2 0546

2-0546

Zoning

Approved with Conditions

Marge Schmuckal

193 St John St

09/26/2002

05/28/2002



Marge Schmuckal

09/26/2002

05/22/2002

gad

09/26/2002

mes

Prmt

11068

New

02-0546

193

St John St

Hold

Additions - Commercial

068 A010001

3

\$20,000.00

09/30/2002

ON HOLD UNTIL PLANNING BOARD APPROVAL

lolinea

10/10/2002

Structurals need modfaction to provide 125 psf floor system, second means of egress from se floor must be type 5A construction to be two story

mjn

gqad

05/22/2002

mjn

10/10

2-0546

Building

Approved with Conditions

Mike Nugent



10/29/2002

10/08/2002



Mike Nugent

10/29/2002



All construction mst comply with the Plans submitted by Daniel Chase P.E. Dated 10/17/2002

05/22/2002

gad

10/29/2002

mjn

02-0546

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 193 ST. JOHN ST. REAR

Total Square Footage of Proposed Structure <u>960 FOOT PRINT / 2 FLOORS</u>	Square Footage of Lot: <u>25,000</u>
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Tax Assessor's Chart, Block & Lot Chart# <u>68</u> Block# <u>A</u> Lot#/ <u>0</u>	Owner: <u>ALAN AUTO / BAS INC.</u>	Telephone: <u>7750968</u>
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Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>ALAN PROSSER 7750968</u>	Cost Of Work: \$ <u>20,000</u> approx won't know until I don't Fee: \$ <u>143-</u>
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Current use: AUTO STORAGE

If the location is currently vacant, what was prior use: _____

Approximately how long has it been vacant: _____

Proposed use: AUTO STORAGE

Project description: - ATTACHED STORAGE BUILDING

Contractor's name, address & telephone: ALAN PROSSER (SEE BELOW)


Who should we contact when the permit is ready: ALAN PROSSER

Mailing address: 195 ST JOHN ST
PORTLAND ME, 04102

Phone: _____

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>5/20/02</u>
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This is not a permit, you may not commence ANY work until the permit is issued

Applicant: Alan Prosser

Date: 6/10/02

Address: 193 St John St & Wey St C-B-L: 068-A-10

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New Addition 02-0546

Zone Location - B-2

Interior or corner lot -

Proposed Use/Work - Auto Storage on 1st floor for Auto Service Station 1920 sq total
No current plans to use the 2nd floor area

Sewage Disposal -

Lot Street Frontage - 50' min

Front Yard - N/A

Rear Yard - 10' required - 37' shown

Side Yard - None except where it abuts a 1st floor residential zone of use -> 10' req
side yard on side of - 10' - 55' & 50' shown

Width of Lot -

Height - 45' MAX - 36' scaled

Lot Area - 10000 sq min 25,000 sq per assessors

Lot Coverage/ Impervious Surface - 80% MAX -> not given
dl 17/02 given see letter
 $\frac{17,400}{25000} = 69.6\%$

Area per Family - N/A

Off-street Parking - ^{New} for car storage -

Loading Bays -

Site Plan - minor site plan - conditional use appeal - expansion of Auto Service Station
2062-0126

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 13 - Zone C

Note: ~~Stairway should be shown on site plan~~ -> That is existing in dd section

Alan Prosser

7/17/02

6/17/02

Jonathan Spence
Planning Dept.
City of Portland
Portland, Me.

Dear Jonathan,

Here's some answers for you :

Total Site
is 25,000 sq

1. Impervious area on entire lot equals 16,700 square feet approx. Proposed impervious area would be 17,400 square feet and would be only increased by the footprint of the building. Some other considerations along this line are a. the fact that most all the other buildings on this lot are guttered and plumbed into a dry well. This system connects to a catch basin which handles all the water falling on the front portion of the property. b. The rear portion of the lot (along Valley St.) is primarily unpaved and has 4700 square feet of pervious surface. The proposed building would only lessen that amount by 780 square feet.
- 2.
3. As this was a requirement for a used parts dealer license the area between Valley St. and my property is appropriately screened albeit the rosa rugosas planted there took a beating when the City installed sidewalks recently. I have enclosed picture (A) for your benefit.
4. My long-range plan is to put all vehicles located in the back yard (next to Valley St.) undercover. This would include two groups of vehicles 1) service vehicles (fork truck, tool van, dump truck, and the like) and 2) parts cars. The building under current consideration is designed to accommodate four service vehicles.
5. This question peeks my interest in Staff's concerns. As you may be able to see from the enclosed photos (B and C) what might be construed as a "pile" by a casual glance is in fact the last remnant of the original landscape in this area. To wit there are at least 20 varieties of trees growing on that site. As this space is also our snow dump debris is added to and subtracted from it over time; but the net berm stays pretty much the same volume. It has been suggested by others that I have it leveled and gain more building space. I have resisted this as it and its indigenous vegetation offer added visual buffering to the rear of the property.

Sincerely,

Alan Prosser,
Boss

From: Marge Schmuckal
To: Jonathan Spence
Subject: 193 St. John St. - Alan Prosser

This property is located within a B-2 zone. The rear and side setbacks as given are well under the requirements of 10 feet each.

The maximum height limit is 45 feet and I scaled the new building to be 36 feet high at the maximum.

The use is an expansion of the conditional use of auto service station which is reviewed by the Planning Board.

I have seen no figures submitted that discuss the impervious surface ratio. The B-2 zone has a maximum of 80% impervious surface. The applicant will need to submit the calculations for impervious surface so that compliance can be determined.

Marge Schmuckal
Zoning Administrator
6/10/02

→ I Need -
See 7/17/02
letter from ALAN

CC: ALEX JAEGERMAN

From: Marge Schmuckal
To: Jonathan Spence
Date: Wed, Jul 24, 2002 9:13 AM
Subject: 193 St John Street - Alan Proser Project

Jonathan,

In addition to the previous memo concerning this project, I have received information from you concerning the impervious surface square footage. Based on that information, the was submitted, the proposed impervious surface ratio is approximately 70% which is under the 80% maximum.

Based on all the submittals, this proposal is meeting the B-2 regulations

Marge Schmuckal
Zoning Administrator
7/24/02

From: Marge Schmuckal
To: Jonathan Spence
Date: Wed, Jul 24, 2002 11:25 AM
Subject: 193 St. John Street - Alan Prosser Project

Jonathan,

This memo is to clarify the question of nonconformity. This proposed project is not creating an expansion of a nonconformity. The new addition is meeting all the required dimensionall standards within the existing B-2 zone. There is nothing in our current zoning ordinance that forbids an legal expansion of a building that has existing nonconformities (as long as the existing nonconformities themselves are NOT expanded) .

I hope this answers some of the questions concerning this project.

Marge Schmuckal
Zoning Administrator

From: Marge Schmuckal
To: Jonathan Spence
Date: Thu, Aug 15, 2002 12:19 PM
Subject: 193 St John St. - Alan Prosser

Jonathan,

This memo is meant to clarify nonconforming structures and this project.

Presently, there is a structure on this property which is legally nonconforming as to the B-2 zone setbacks. The zoning ordinance does not preclude an owner from building a new addition as long as such does not increase any existing nonconformity.

If a proposed addition is meeting all the present zoning requirements, it is NOT increasing an existing nonconformity. The proposed addition is shown to meet all existing B-2 zone requirements. It is not increasing any existing nonconformities.

Please note that this area used to be an Industrial Zone (I-2b and then I-Mb) in the near past. However, during the rewriting and acceptance of the Business Zones in July, 1999, this side of "D" Street was changed to be a B-2 Business Zone.

I hope this is helpful to the Board.

Marge Schmuckal
Zoning Administrator
8/15/02

CC: Sarah Hopkins

5/20/02
ALAN AUTO/BAS INC.
195 ST. JOHN ST.
PORTLAND, ME.

DEPT. OF BUILDING INSPECTIONS
CITY HALL
CITY OF PORTLAND
PORTLAND, ME.

RE: APPLICATION FOR A BUILDING PERMIT TO CONSTRUCT A STORAGE BUILDING
ADDITION AT THE REAR OF 195 ST. JOHN ST.

THE NEED/INTENTION FOR THIS ADDITION IS TO STORE SERVICE VEHICLES USED IN MY
AUTO REPAIR BUSINESS. SERVICE VEHICLES WITH HYDRAULIC SYSTEMS SUCH AS
LOADERS AND FORK LIFTS TEND TO LEAK HYDRAULIC FLUID ; SO THERE ARE
ENVIRONMENTAL BENEFITS TO HAVING THEM IN ENCLOSED STORAGE. WHEN STORED
OUTSIDE THESE TYPES OF VEHICLES REQUIRE MORE FREQUENT SERVICE AND OR
REPLACEMENT . THESE VEHICLES ARE VERY EXPENSIVE ; AND THIS POSES AN
ECONOMIC HARDSHIP ON MY COMPANY. THERE ARE AESTHETIC BENEFITS TO THE
COMMUNITY HAVING THIS EQUIPMENT STORED OUT OF SIGHT.

BECAUSE OF THE WEIGHT (OVER 10K LBS. NET) OF SOME OF THIS EQUIPMENT A VERY
STRONG FLOOR WAS CHOSEN: MONOLITHIC DESIGN, 5000 LB. CONCRETE, STEEL
REINFORCED.

GALVANIZED STEEL EXTERIOR PANELS WILL BE USED FOR WALLS AND ROOF. THIS IS IN
KEEPING WITH THE EXISTING BUILDING AND IS LOW MAINTANENCE. ALSO THE ROOF
WILL CLEAR EASILY. A 6/12 ROOF PITCH WAS CHOOSEN TO AID IN ROOF CLEARING AND
TO GIVE THE BUILDING A VISUALLY PLEASANTER /LOWER PROFILE LOOK THAN THE 30
FOOT WALL THAT EXISTED THERE PREVIOUSLY.

NO CHANGES WILL BE MADE IN GRADING AS THE CONSTRUCTION AREA IS CURRENTLY
ALMOST FLAT PITCHING SLIGHTLY (6") FROM NORTH TO SOUTH. THE NATIVE SOIL IN
BANK RUN GRAVEL TO AT LEAST 6 FEET DEEP (BASED UPON PREVIOUS DIGGING
EXPERIENCE) . THE TOP FOOT (APPROX.) IS CRUSHED STONE WHICH HAS BEEN BROUGHT
IN OVER TIME TO MAKE A COMPACTABLE SURFACE. HISTORICALLY WATER HAS NEVER
STOOD ON THE SURFACE .

I DO NOT CURRENTLY HAVE A NEED FOR OR PLAN ANY UTILITES IN THIS BUILDING.
ACCESS TO THE VEHICLE STORAGE AREA IS BY OVERHEAD DOORS. WHEN THEY ARE
OPEN SUFFICIENT NATURAL LITE ILLUMINATES THE BUILDING. THERE ARE NO CURRENT
PLANS TO USE THE SECOND FLOOR STORAGE AREA. LIGHTS WILL BE INSTALLED BEFORE
THIS AREA IS USED. WINDOWS FOR THE SECOND FLOOR STORAGE AREA ARE ALL
(EXCEPT THE LARGER MIDDLE WINDOW) OUTSWING THERMAL PANE VINYL. THE PASS
DOOR WILL BE A COMMERCIAL STEEL 2'8" DOOR.

I WILL ACT AS MY OWN GENERAL CONTRACTOR AS I HAVE ON ALL OTHER PROJECTS
I'VE BUILT IN THE CITY. AS ALWAYS I WILL HIRE LICENCED PROFESSIONALS AND
EXPERIENCED TRADESPEOPLE TO DO THE WORK.

RESPECTFULLY SUBMITTED


ALAN PROSSER

5/20/02
ALAN AUTO/BAS INC.
195 ST. JOHN ST.
PORTLAND, ME.

DEPT. OF BUILDING INSPECTIONS
CITY HALL
CITY OF PORTLAND
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EXPERIENCED TRADESPEOPLE TO DO THE WORK.

RESPECTFULLY SUBMITTED



ALAN PROSSER

DEPARTMENT DIRECTOR
Lee D. Urban



DIVISION DIRECTORS
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman
Planning

John N. Lufkin
Economic Development

DEPARTMENT OF PLANNING AND DEVELOPMENT

12/12/02

Allan Prosser
195 St. John St.
Portland, ME 04102

RE: Floor Trusses/Permit #020546

Dear Allan,

Please refer to the attached copies of your approved plans. The design professional should make the final determination as to the suitability of any materials specified in his plans. Any variation will require review and resubmittal.

Sincerely,


Mike Nugent
Manager Of Inspection Services

STORAGE/GARAGE

NEW WOOD TRUSSES APPLIED BETWEEN
EXISTING WOOD FLOOR TRUSSES TO
CREATE A 8' 0" SPACING AND TO MEET
LOADS IN TABLE

STORAGE

APPLY 1/2" CDX PLYWOOD
2x6 WOOD STUDS ABOVE
SPAN OF LVL FROM COL. TO
W. 8d NAILS AT 3' OC ALON
AND 12" OC ON STUDE. PRI
BLOCKING AS REQUIRED AT

15'- $\frac{1}{2}$ '

15'-0"

SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

NOTE:

STRUCTURAL DESIGN BY DANIEL CHASE P.E. ME. # 4016, DRAFTING BY SBM ASSOCIATES INC.

R E V I S I O N

GENERAL FRAMING NOTES

1. ALL TRUSSES SHALL BE HANDLED AND ERECTED IN STRICT ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS
2. CONTRACTOR SHALL FOLLOW TRUSS MANUFACTURERS DESIGN FOR ALL BRACING AND ANCHORAGE OF TRUSSES
3. FINAL TRUSS DESIGN AND LAYOUT BY THE MANUFACTURER/SUPPLIER SHALL BE SEALED BY A MAINE REGISTERED ENGINEER
4. ALL MEMBERS SHALL BE CUT TO BEAR
5. ALL PLATE CONNECTORS SHALL HAVE AN EFFECTIVE AREA 20% GREATER THAN THAT REQUIRED BY DESIGN BY USING THE MAXIMUM DESIGN CAPACITY
6. ROOF TRUSS UNIFORM LOADING (MIN. REQUIREMENT EXCLUDING WEIGHT OF TRUSS)

TOP CHORD:

LIVE LOAD.....60 PSF

DEAD LOAD.....15 PSF

BOTTOM CHORD:

LIVE LOAD..... 0 PSF

DEAD LOAD.....15 PSF

7. TRUSS DESIGNER/ENGINEER SHALL TAKE INTO ACCOUNT THE LATEST B.O.C.A. CODE REQUIREMENTS FOR ROOF SNOW LOADINGS AND DESIGN
8. PROVIDE AND INSTALL 'SIMPSON STRONGTIE' A-35 FRAMING ANCHORS ON EA. END OF EA. ROOF TRUSS UNLESS OTHERWISE NOTED
9. PROVIDE AND INSTALL MIN. 2 - 2 x 6 HEADERS IN 2 x 4 INTERIOR STUD WALLS AND MIN. 3 - 2 x 10 HEADERS IN EXTERIOR STUD WALLS UNLESS OTHERWISE NOTED
10. ALL TRUSSES SHALL B E SPACED AT 24' OC UNLESS OTHERWISE NOTED
11. ALL FLOOR JOISTS SHALL B E MIN. $f_b = 1000$ PSI UNLESS OTHERWISE NOTED
12. ALL STEEL COLUMNS SHALL BE 4' DIA. STD STEEL WITH 1/2' CAP PLATES AND 1/2' BASE PLATES WELDED TO COLUMN. ANCHOR COLUMNS TO CONCRETE
13. FLOOR TRUSS UNIFORM LOADING (MIN. REQUIREMENT EXCLUDING WEIGHT OF TRUSS)

TOP CHORD:

LIVE LOAD.....150 PSF

DEAD LOAD.....10 PSF

BOTTOM CHORD:

LIVE LOAD..... 0 PSF

DEAD LOAD.....5 PSF

14. FLOOR TRUSSES AND ROOF TRUSS DESIGN BY SUPPLIER
15. STRUCTURAL DESIGN AS PROVIDED BY DANIEL S. CHASE, P.E., 210 ST JOHN STREET PORTLAND, MAINE 04102 TEL. 799-9087

ADDITION FOR ALAN AUTO VOLVO SERVICE

195 ST JOHN STREET

PORTLAND MAINE 04103

COMM.

DANIEL S. CHASE, P. E.
Structural and Construction Engineering
210 St. John St.
Portland, ME 04102
(207) 799-9087 / Fax: 799-0325

068-A 010

March 3, 2004

Mr. Alan Prosser
Alan Auto
195 St. John St.
Portland, ME 04102

Re: Building addition - overhead door guard.

Dear Alan,

Your proposal is to utilize a heavy duty steel folding gate, as manufactured by Illinois Engineered Products, as a guardrail system for the second floor overhead door. According to the city building code, which references the ASCE 7 standard, guardrail systems must be capable of resisting, and transferring to the supporting structure:

- 1) simultaneous vertical and horizontal loads of 50 lbs. per foot along the top, and
- 2) a single concentrated load of 200 lbs. at any point along the top.

While I cannot do load bearing calculations per se, I have discussed this issue with the manufacturers' representative, and inspected both your gate, and a similar gate installed elsewhere. In my opinion, the gate is adequate to support the required loading.

Should you have questions, or require additional information, please contact me.

Yours truly,

Daniel Chase, P. E.

fax copy: Jodeen, City of Portland, Building Inspection Dept., 874-8716

Fax Transmittal Cover Sheet

To: Jodeen , - City of Portland, Building Insp

From: Daniel Chase, Daniel Chase, P. E.

Fax Number: 207-799-0325

Date: Fri, Mar 5, 2004 • 9:07 AM

Pages, including cover: 2

If there is difficulty with this transmission, please call: 207-799-9087

Note:

To Jodeen

Sent at the request of Alan Prosser, Alan Auto.

Daniel Chase

3/17/04 81W DAN CHASE WILL STAMP.

DANIEL S. CHASE, P. E.
Structural and Construction Engineering
210 St. John St
Portland, ME 04102
(207) 799-9087 / Fax: 799-0325

February 10, 2004

Mr. Alan Prosser
Alan Auto
195 St. John St.
Portland, ME 04102

Re: Building addition framing.

Dear Alan,

I inspected the as-built framing of the addition with you on January 12th. The purpose of the inspection was to investigate a question raised about the headers over the new windows. The headers are triple 2 X 6's, spanning approximately 36 inches.

My subsequent analysis shows that the headers are adequate to support the loads required by the building code.

Should you have questions, or require additional information, please contact me.

Yours truly,

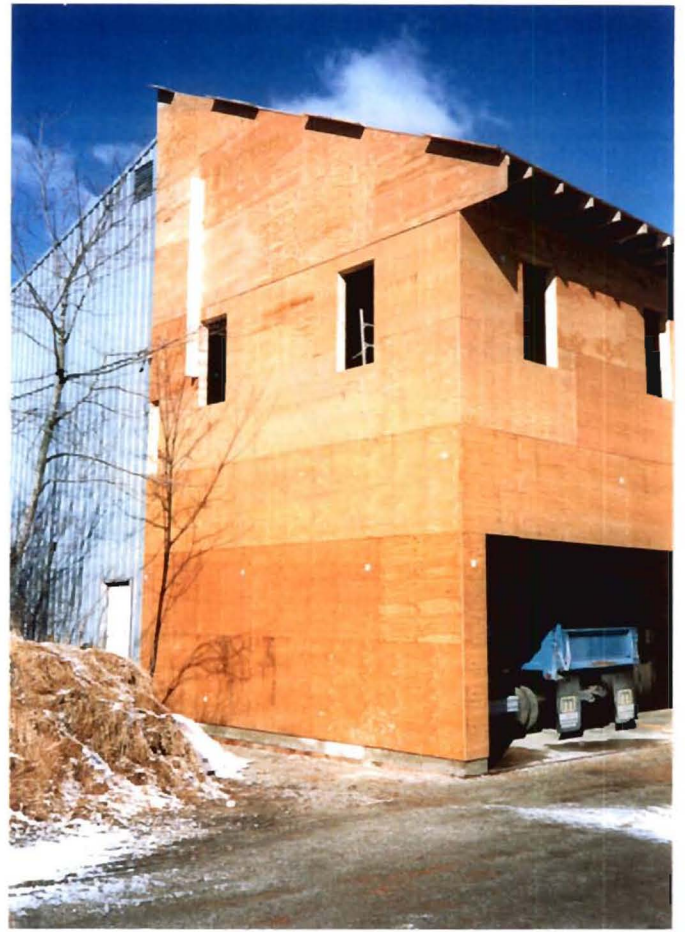


Daniel Chase, P. E.

fax copy: Jodeen, City of Portland, Building Inspection Dept., 874-8716



BEFORE

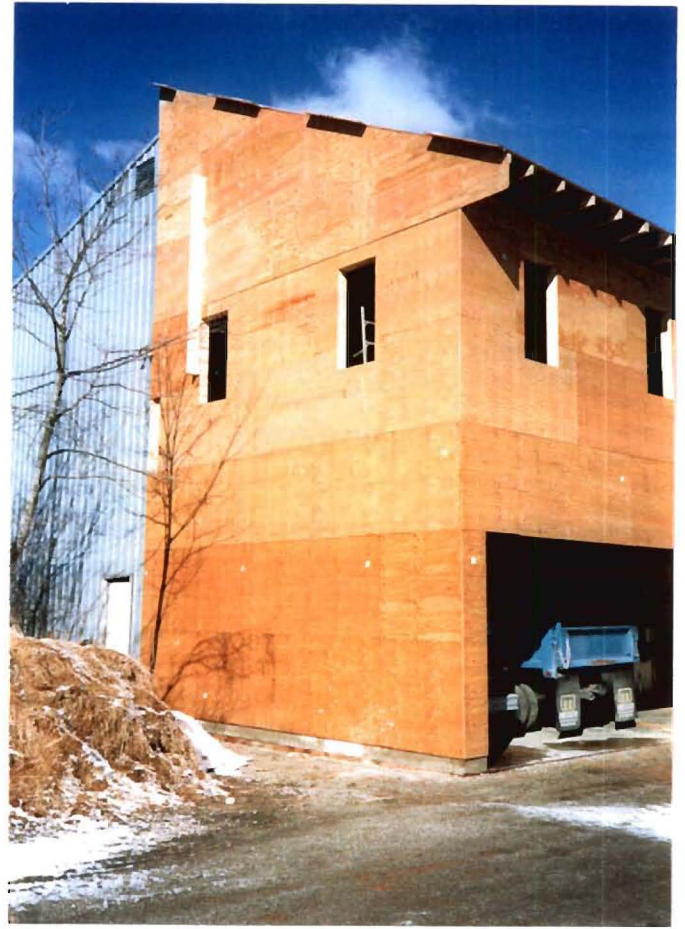


AFTER





BEFORE



AFTER



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Planning Copy**

2002-0126
Application I. D. Number

5/20/02
Application Date

Addition to Auto Storage Facility
Project Name/Description

Prosser Alan
Applicant
195 St John St, Portland, ME 04102
Applicant's Mailing Address

195 - 195 St John St, Portland, Maine
Address of Proposed Site
068 A010001
Assessor's Reference: Chart-Block-Lot

Consultant/Agent
Applicant Ph: (207) 775-0968 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify)

960 sq. Ft. B2
Proposed Building square Feet of Site Zoning

Check Review Required:

- Site Plan (major/minor) Streets Review 14-403 Streets Review
- Flood Hazard Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Other

Fees Paid: Site Plan review Date 5/22/02

Planning Approval

Approved Denied Jonathan Spence

Approval Date 10/8/02 Additional Sheets Attached

OK to Issue Building Permit Jonathan Spence signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	<u>10/8/02</u> date	<u>\$165.00</u> amount	<u> </u> expiration date
<input type="checkbox"/> Inspection Fee Paid	<u> </u> date	<u> </u> amount	
<input type="checkbox"/> Building Permit Issue	<u> </u> date		
<input type="checkbox"/> Performance Guarantee Reduced	<u> </u> date	<u> </u> remaining balance	<u> </u> signature
<input type="checkbox"/> Temporary Certificate of Occupancy	<u> </u> date	<input type="checkbox"/> Conditions (See Attached)	<u> </u> expiration date
<input type="checkbox"/> Final Inspection	<u> </u> date	<u> </u> signature	
<input type="checkbox"/> Certificate Of Occupancy	<u> </u> date		
<input type="checkbox"/> Performance Guarantee Released	<u> </u> date	<u> </u> signature	
<input type="checkbox"/> Defect Guarantee Submitted	<u> </u> submitted date	<u> </u> amount	<u> </u> expiration date
<input type="checkbox"/> Defect Guarantee Released	<u> </u> date	<u> </u> signature	



PLANNING BOARD

Jaimey Caron, Chair
Deborah Krichels, Vice Chair
Mark Malone
Orlando E. Delogu
Sarah Luck
Kevin Beal
Lee Lowry III

September 11, 2002

Mr. Alan Prosser
195 St. John Street
Portland, ME 04102

RE: Addition for Auto Storage-195 St. John Street

CBL: 68-A-1001

Dear Mr. Prosser:

On September 10, 2002, the Portland Planning Board voted 5-0, (Lowry abstaining, Malone absent) to approve the site plan for the addition to the rear of your business located in the vicinity of 195 St. John Street. The approval was granted for the project with the following condition(s):

- i. *That the site plan be revised to include two (2), 2.25" catipar 'Crusgali' Thornléss Hawthorns along the Valley Street frontage to be placed with the assistance of the City Arborist.*

The approval is based on the submitted site plan and the findings related to site plan review standards as contained in Planning Report # 54-02.

Please note the following provisions and requirements for all site plan approvals:

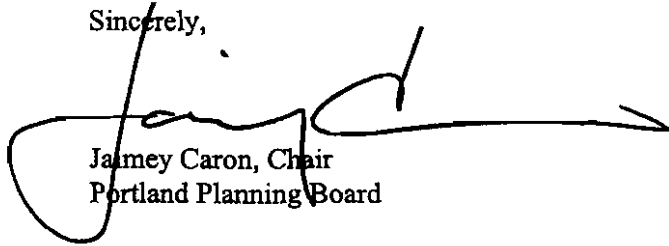
1. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount (but not less than \$300.00) and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.
2. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.

4. Prior to construction, a preconstruction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the preconstruction meeting.
5. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Department at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Jonathan Spence at 756-8083.

Sincerely,



Jaimey Caron, Chair
Portland Planning Board

cc: Lee D. Urban, Planning and Development Department Director
Alexander Jaegerman, Planning Division Director
Sarah Hopkins, Development Review Program Manager
Jonathan Spence, Planner
Jay Reynolds, Development Review Coordinator
✓ Marge Schmuckal, Zoning Administrator
Jodine Adams, Inspections
William Bray, Director of Public Works
Larry Ash, Traffic Engineer
Tony Lombardo, Project Engineer
Eric Labelle, City Engineer
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
Don Hall, Appraiser, Assessor's Office
Approval Letter File
Correspondence File

CITY OF PORTLAND, MAINE
PLANNING BOARD

Jaimy Caron, Chair
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195 St. John Street
Portland, ME 04102

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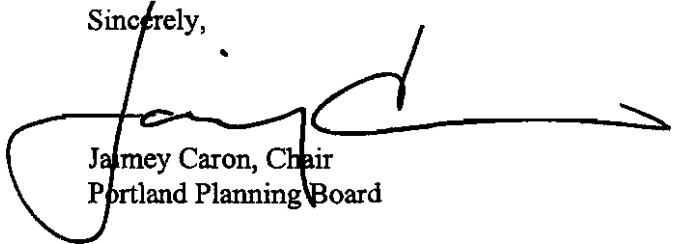
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Don Hall, Appraiser, Assessor's Office
Approval Letter File
Correspondence File

Department of Planning & Development
Lee D. Urban, Director



CITY OF PORTLAND

Division Directors
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP
Planning

John N. Lufkin
Economic Development

November 5, 2003

Mr. Alan Prosser
195 St. John Street
Portland, ME 04102

RE: Amendment to Auto Storage-195 St. John Street
(ID# 2003-0218, CBL#68-A-001)

Dear Mr. Prosser:

Thank you for your application for an amendment to your site plan. Upon review, the City has the following comments:

1. The location of the storage area does not appear to meet the zoning requirement with regards to setbacks (10' rear).
2. The inspections department has stated that the proposal would require a building permit.
3. It appears that the height of the vehicle storage would make these vehicles visible from Valley Street. Please provide adequate landscaping along the Valley Street right-of-way to ensure proper screening.
4. The narrative provided in your application refers to fluid leakage from these vehicles. Are there any on-site collection system(s) in place to properly manage this? Also, will the proposed pavement direct these spills to a containment system?

If you have any questions, please do not hesitate to contact me at 874-8632.

Sincerely,

Jay Reynolds
Development Review Coordinator

CC: Sarah Hopkins, Development Review Services Manager
Michael Nugent, Inspection Services Manager
Marge Schmuckal, Zoning Administrator

O:\PLAN\DEVREVW\StJohn195\amendment-03\review11-03.doc

STATE OF MAINE
CUMBERLAND, ss.

NINTH DISTRICT COURT
CIVIL ACTION
Docket No. _____

CITY OF PORTLAND, a body politic)
and corporate, located in the County)
of Cumberland and the State of Maine)

Plaintiff)

v.)

ALAN PROSSER)

Defendant)

CONSENT DECREE

1. Description of Property.

This Consent Decree relates to property owned by the Defendant and situated at 195 St. John Street in Portland.

2. Code Violation.

The City of Portland charged the Defendant with violation of the 1999 BOCA Building Code (failure to obtain building permit) which is more fully described in the Rule 80K complaint which forms the basis for this action.

3. Admission of Violation.

The Defendant admits the violation. He agrees to pay a civil penalty in the amount of \$2,500.00, plus a filing fee in the amount of \$100.00. Payments shall be made, as follows:

(i) \$1,500 at the time the signing of this Decree; and

(ii) \$100 per month, for ten consecutive months thereafter, commencing on May 1, 2002, until the balance of the civil penalty has been paid in full.

4. Violations Existing After Deadline.

The Defendant agrees that within 15 days from the date that both parties have executed this Decree (the "Deadline") he will file for, and thereafter diligently prosecute,

applications for the permits and approvals required for his project under Portland's Land Use Code.

If the Defendant should fail to comply with this Decree after the deadline, he will be required to pay a civil penalty in the amount of One Hundred Dollars (\$100) per day for each day such violation continues.

5. Contempt.

In addition to the imposition of civil penalties referred to above, the Defendant may be found in contempt for any violation of this Order.

6. Attorney's Fees and Costs.

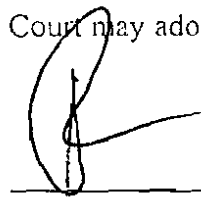
The Defendant will also be liable to pay attorney's fees and costs, pursuant to 30-A M.R.S.A. §4452(3)(D), related to any action taken by the City of Portland to enforce this Order.

7. Access to Property.

The Defendant will provide City Inspectors with full and free access to the property which is the subject of this Order at reasonable times, until sixty (60) days following the issuance of the Certificate of Occupancy, so that they may verify compliance with its terms and conditions.

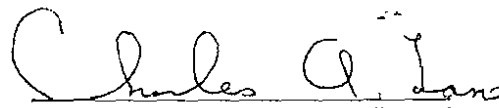
8. Submission to Court.

This Consent Decree is submitted to the Court by the parties jointly so that the Court may adopt it as its own Order.



Alan Prosser

Beth Prosser, witness



Charles A. Lane, Esq. Bar# 1040
Associate Corporation Counsel
Attorney for Plaintiff

The foregoing Consent Order is hereby adopted as the Order of the Court this
____ day of _____, 2002.

Judge, Ninth District Court

Corporation Counsel
Gary C. Wood



CITY OF PORTLAND

Associate Counsel
Charles A. Lane
Elizabeth L. Boynton
Donna M. Katsiaficas
Penny Littell

May 1, 2002

68-A-10

Natalie L. Burns, Esq.
Jensen, Baird, Gardner & Henry
Ten Free Street
P.O. Box 4510
Portland, ME 04112-4510

RE: Alan Prosser d/b/a Alan Auto – Consent Decree

Dear Natalie:

I have just learned that the Defendant has neither returned an executed consent decree to me nor applied for the permits required for the work. It was anticipated that the required permits would have been applied for by mid-April.

Although Mr. Prosser has paid the initial installment of \$1,500 as well as the first monthly installment of \$100.00, in my view, he is in breach of the agreement which is reflected in the unexecuted consent decree.

Unless I receive the consent decree signed either by Mr. Prosser or yourself as his counsel by noontime on Wednesday, May 8th, and unless Mr. Prosser has applied for the requisite permits by the same time, then I will commence a Rule 80K action against him.

I have enclosed a copy of the consent decree which was previously faxed to you on April 2, 2002.

Very truly yours,

Charles A. Lane
Associate Corporation Counsel

CAL:ses

CC: Michael J. Nugent, Manager of Inspection Services.
O:\OFFICE\CHARLIE\LTR\Burns Prosser 05-01-02.doc

STATE OF MAINE
CUMBERLAND, ss.

NINTH DISTRICT COURT
CIVIL ACTION
Docket No. _____

CITY OF PORTLAND, a body politic)
and corporate, located in the County)
of Cumberland and the State of Maine)
Plaintiff)
V.)
ALAN PROSSER)
Defendant)

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8. Submission to Court.

This Consent Decree is submitted to the Court by the parties jointly so that the Court may adopt it as its own Order.

Alan Prosser

Charles A. Lane, Esq. Bar# 1040
Associate Corporation Counsel
Attorney for Plaintiff

The foregoing Consent Order is hereby adopted as the Order of the Court this _____ day of _____, 2002.

Judge, Ninth District Court

68-A-10

City Of Portland
Inspection Services
RETURN OF SERVICE

On the 6th day of March 2002, I made service of A Stop Work Order Notice dated March 6, 2002 upon, The Owner, at 195 St. John Street

- By delivering a copy in hand.
- By leaving copies at the individual's dwelling house or usual place of abode with a person of suitable age or discretion who resides therein and whose name is _____
- By delivering a copy to an agent authorized to receive service of process, and whose name is _____
- By (describe other manner of service) _____

DATED: 3/6/02

[Signature]
Signature of Person Making Service
Code Enforcement Officer
Title CEO

I have received the above referenced documents

[Signature]
Person Receiving Service

owner: alan prosser

- Refused to sign
- Unable to sign



CITY OF PORTLAND
STOP WORK NOTICE

March 6, 2002

Alan Prosser
195 St. John Street
Portland, Maine 04102

RE: 195 St. John Street
CBL: 068-A-010

HAND DELIVER

Dear Alan Prosser:

An evaluation of the property at 195 St. John Street revealed that the property fails to comply with Section 107.1 of the 1999 BOCA Building Code of the City of Portland. Section 107.1 states that *"An application shall be submitted to the code official for the following activities, and these activities shall not commence without a permit being issued in accordance with Section 108.0 (107.1.1 Construct or alter a structure.)"*.

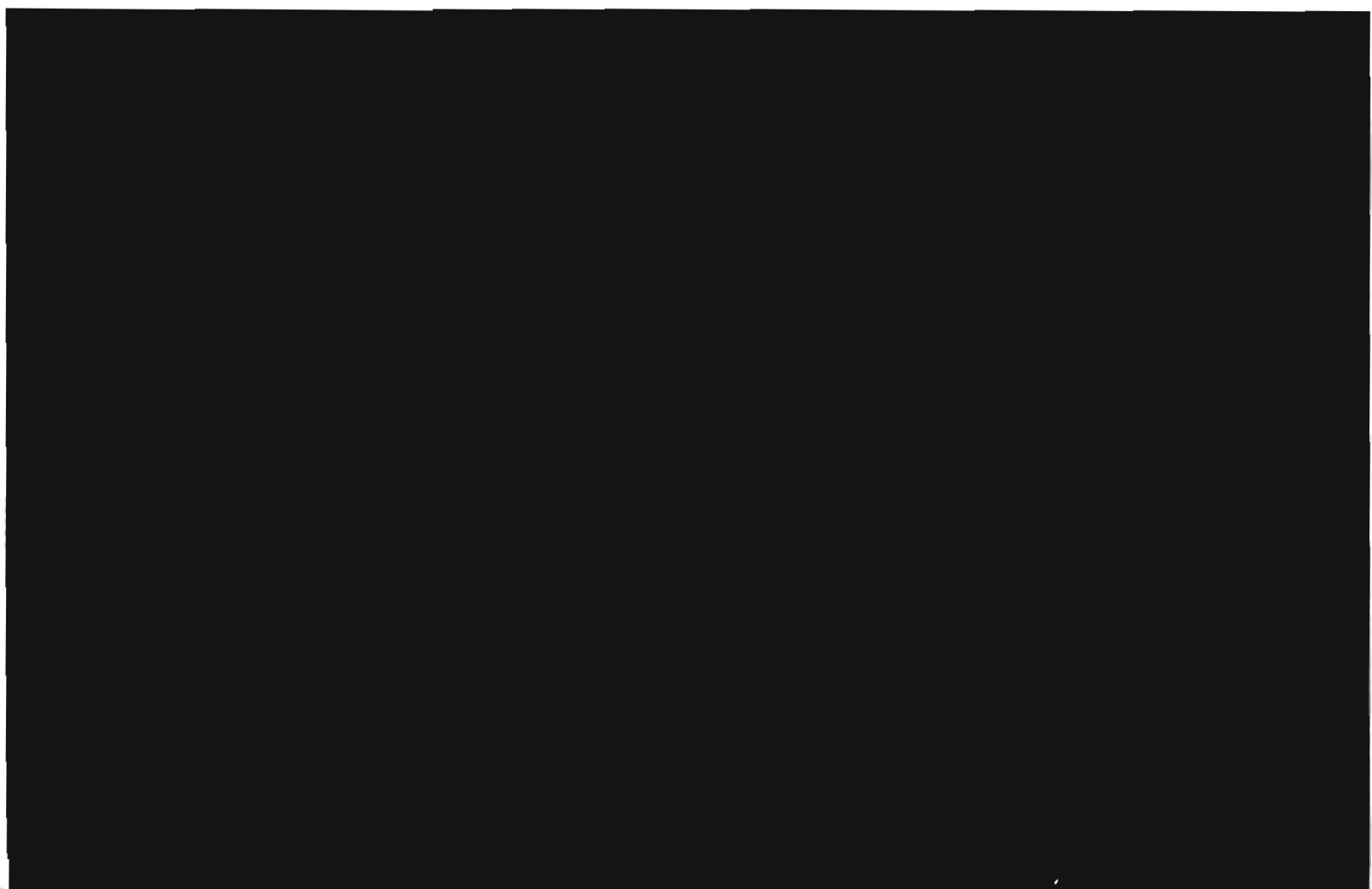
This is a **STOP WORK ORDER** pursuant to Section 117.1 of the 1999 BOCA Building Code. All construction activity at the above referenced property must **STOP** immediately.

Construction may begin after the amendment to your building permit application has been issued and this order has been lifted.

Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in Section 1-15 of the Code and in Title 30-A M.R.S.A. Ss 4452. This constitutes an appealable decision pursuant to Section 1-16.(2) of the City of Portland Code of Ordinances. Please feel free to contact me at 874-8697, if you wish to discuss the matter or have any questions.

Sincerely,

Arthur Rowe
Code Enforcement Officer



**ALAN AUTO
195 ST. JOHN STREET
PORTLAND, ME 04102
775-0968**

March 11, 2002

Mike Nugent
Head of Inspection Services
City of Portland
Portland, Me 04102

Dear Mr. Nugent:

I am terribly sorry for not having obtained a permit before starting to add to the rear of 195 St. John Street. After my conversation with you, I realize that to build without a permit is a serious matter. It was never my intent to do anything malicious. Could you please take a few minutes to consider the facts before throwing the book at me? I'll try to elaborate herein on what I touched on in our phone conversation, what lead to my impulsive action.

BUILDING HISTORY: The renovation projects I have done in the City of Portland since I established my business here in 1978 - 161 St. John St/167 St John St/195 St. John St/ 3 C St/ 133 Frost St - have all started with vacant and/or dilapidated structures. My training as an industrial designer (Syracuse University) plus having worked in my family's construction business gave me enough experience to be able to successfully complete some projects before the city required architecture/engineer certification. If anything, all my projects have been over-built and have needed little or no repairs after their completion. My project at the corner of C and Valley Street, the Victorian house, was catalytic in turning around a blighted neighborhood.

ALAN AUTO:It's taken years of hard work and most of my income reinvested in my property to make it what it is today, a pleasant and healthful work environment. The current facility at 195 St. John St., designed and built by me, is a model for the auto repair business and helped Alan Auto win the Governor's Award in 1997. My company is featured in DEP literature; I serve on the DEP business advisory panel; I served on the panel which helped draft the current mercury bill; and I am a company selected to participate in the DEP Step-up program for companies who go beyond environmental compliance. Through these activities my contact with the DEP has increased considerably as of late.

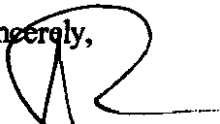
DEP: This Dedicated Environmental Proactivity brings with it intense albeit constructive Departmental scrutiny. Having a licensed salvage yard with its potential for environmental disaster is an uncomfortable contradiction in my relations with the Department. Over time this adjunct (but absolute necessity) to my business has come to cause me increasing concern. Vehicles have the

potential to leak their unsavory, and in some cases hazardous fluids (including our current arch nemesis, mercury) onto the ground at any time. Besides ,although old cars to me have a degree of charm , a group of them isn't always considered to be art by the public. As part of the permitting process we have complied with screening and do attempt to use current best practices with regard to environmental impacts. However, the only really sure-fire way of handling this issue is containment/enclosure.To get an idea of the gravity of this problem look at the pavement where vehicles stop at toll booths My plan was to first make a concrete pad for service vehicles and later for salvage vehicles. This would allow complete containment of any spills from these vehicles and of course allay any fears regarding the environmental impact of this aspect of my business. I have already done this successfully in the service area of Alan Auto.

RIGHT THING/WRONG WAY: I have always tried to do the right thing - I guess I did the right thing in the wrong way. Perhaps the foregoing has given you some idea of the motivation behind my hasty actions. The enclosed pictures tell the story. Before the building the area was unsightly and poorly suited to car storage. I had hoped this project would be an asset not only to my business but to the environment and to the community as well .

Again I apologize for not having followed procedure. If given an opportunity I will. I appeal to your office for assistance .Is it not the intent of the code to ensure that safe ,well constructed, attractive buildings are built to benefit the occupants and the community ? If that is even remotely so, could you please help me in this pursuit instead of taking any action to in any way hinder this?

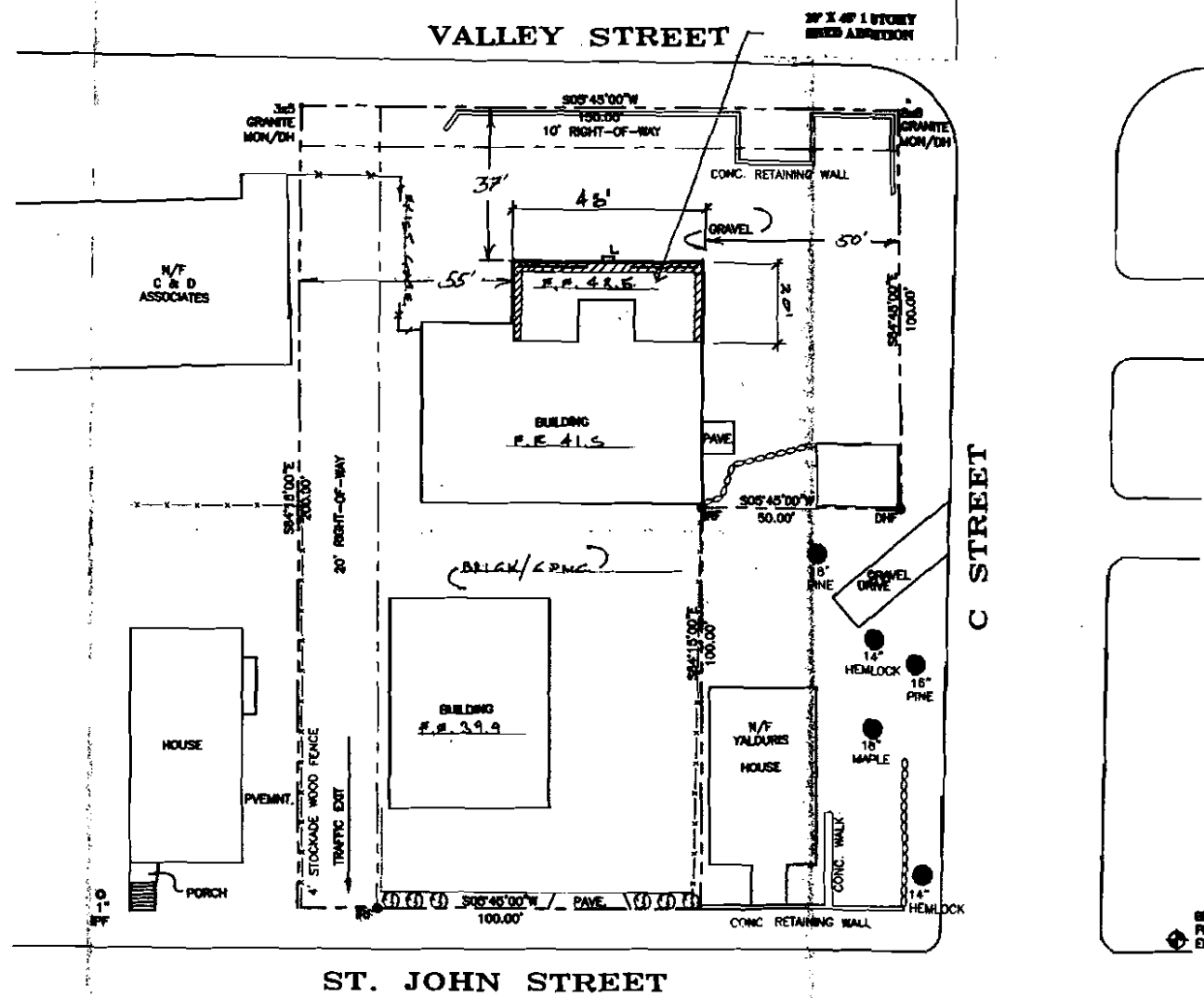
Sincerely,



Alan R. Prosser
Alan Auto







LOCATION MAP
(NOT TO SCALE)

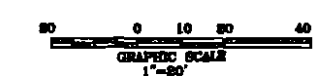
NOTES:

- (1) DEED REFERENCE: DEED BOOK 100, PAGE 100
CUMBERLAND COUNTY REGISTRY OF DEEDS
- (2) TAX MAP REFERENCE: TAX MAP 66 A LOT 10
- (3) PLAN REFERENCES:
 - (A) FIRST PLAN REFERENCE
 - (B) SECOND PLAN REFERENCE
 - (C) THIRD.....

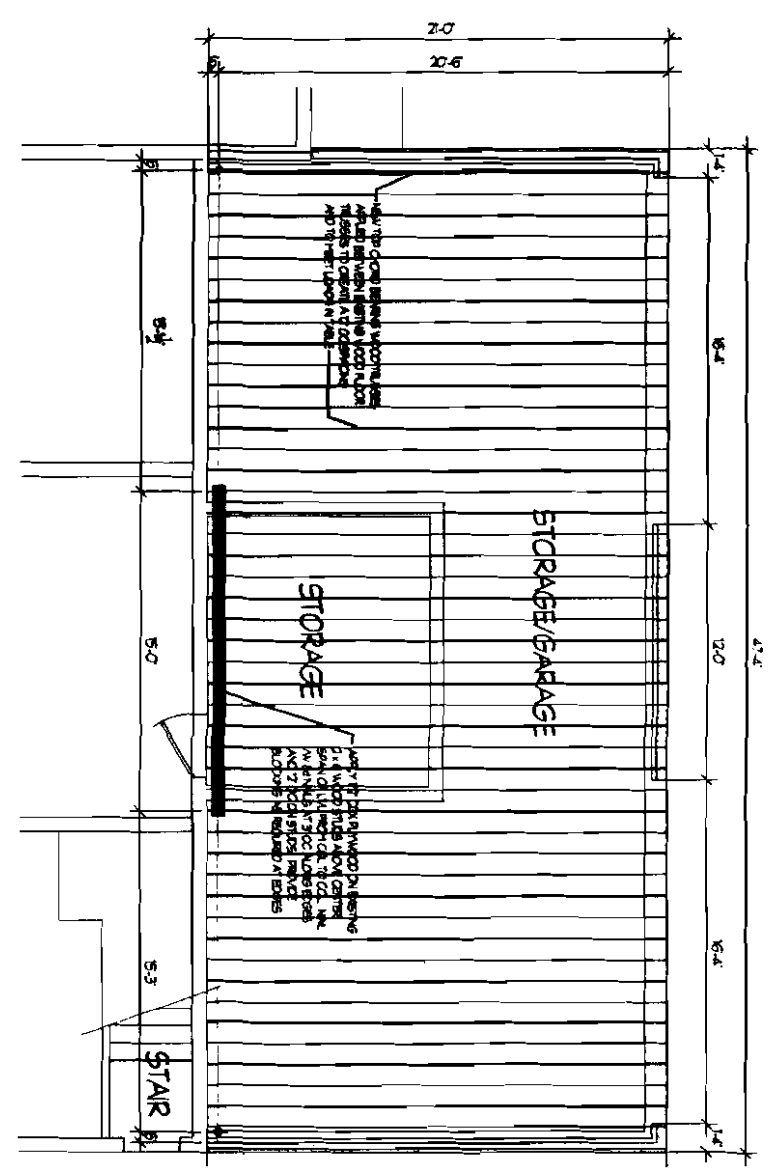
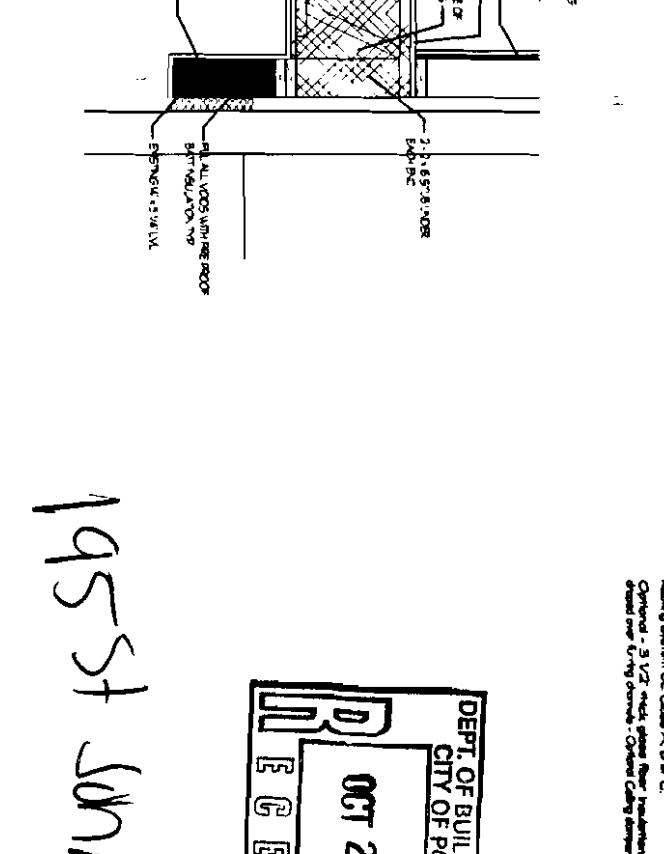
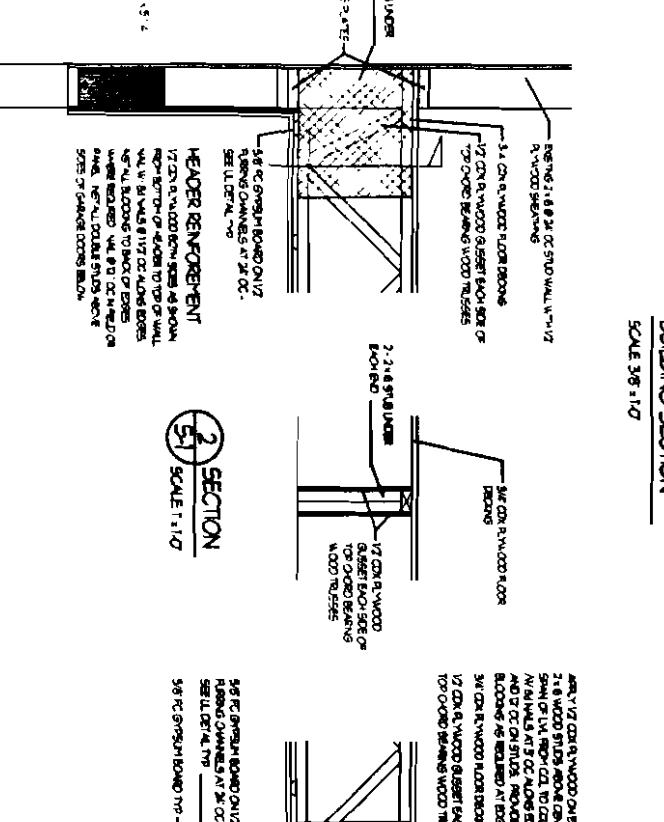
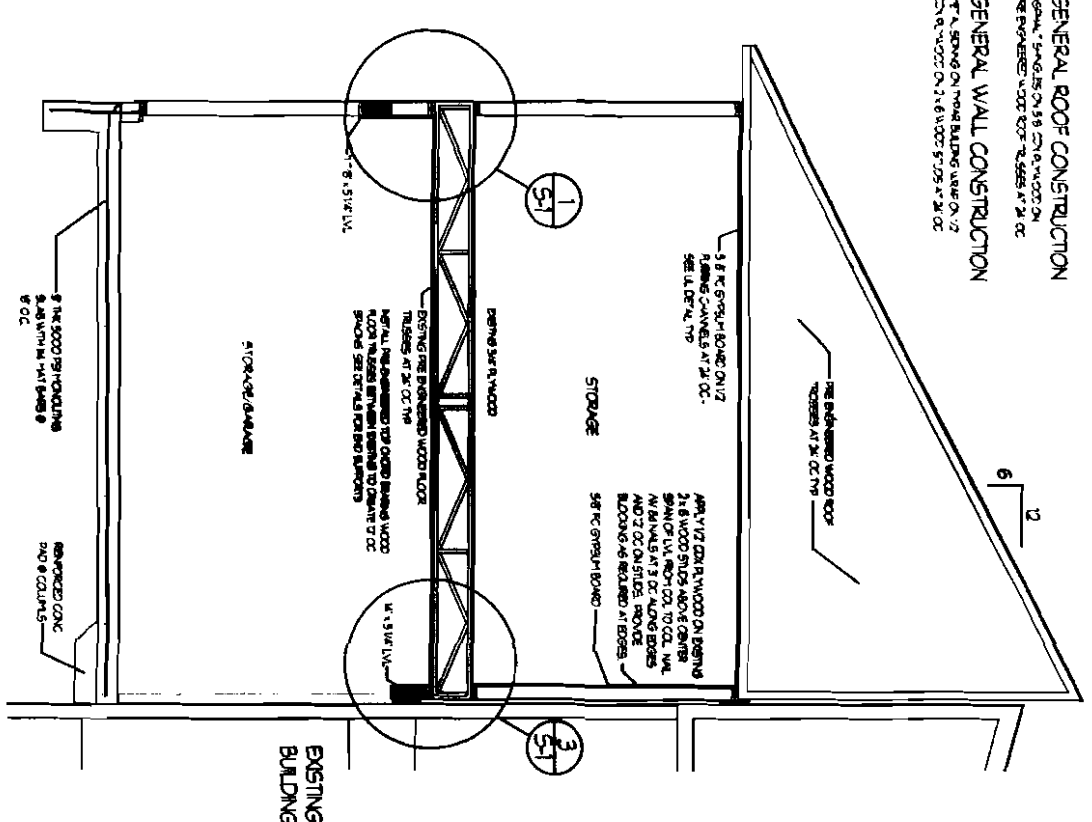
ADDITION TO AUTO STORAGE FACILITY
ALAN AUTO
 156 ST. JOHN STREET, FORTLAND, ME
PLANNING / DESIGN ASSOCIATES
 PLANNERS REAL ESTATE DEVELOPMENT CONSULTANTS
 P.O. BOX 89, 25 PARKER ROAD, WINDHAM, ME 207-873-2640

BENCH MARK
 FLANGE BOLT
 ELEV. 40.81

- LEGEND:
- IRON PIN FOUND
 - NO. 5 REBAR SET
 - UTILITY POLE
 - N/F NOW OR FORMERLY
 - 123/45 DEED BOOK / PAGE
 - STONE WALL
 - EXISTING STRUCTURE
 - CHAIN LINK FENCE
 - STOCKADE WOOD FENCE



GENERAL ROOF CONSTRUCTION
 GENERAL WALL CONSTRUCTION



NO.	DESCRIPTION	DATE
1	ADD	10/17/02
2	REVISE	10/17/02
3	REVISE	10/17/02
4	REVISE	10/17/02
5	REVISE	10/17/02

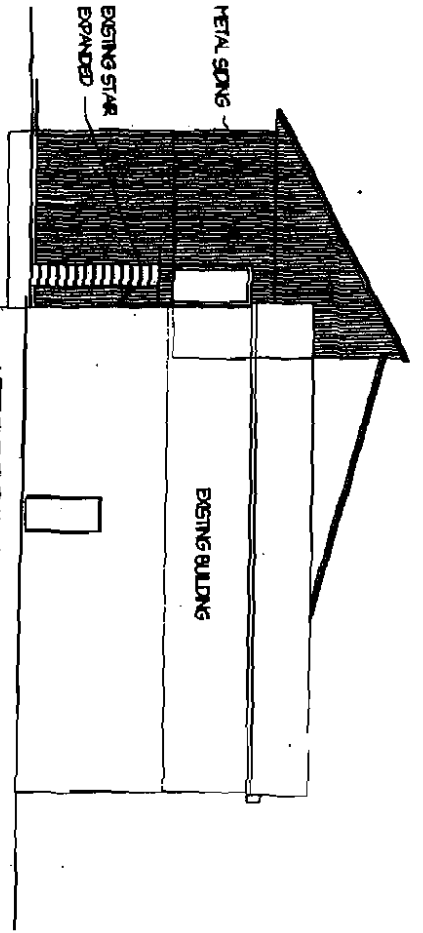
GENERAL FRAMING NOTES

1. ALL TRUSSES SHALL BE HANDLED AND BRACKETED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
2. CONTRACTOR SHALL FOLLOW TRUSS MANUFACTURER'S DESIGN FOR ALL BRACKETS AND ANCHORAGE OF TRUSSES.
3. RAFTERS, TRUSS DESIGN AND LAYOUT BY THE MANUFACTURER SHALL BE SEaled BY A LICENSED REGISTERED ENGINEER.
4. ALL TRUSSES SHALL BE CUT TO BEAR.
5. ALL RAFTER CONNECTIONS SHALL HAVE AN EFFECTIVE AREA 20% GREATER THAN THAT REQUIRED BY DESIGN BY USING THE MANUFACTURER'S DESIGN WEIGHT OF TRUSS.
6. ROOF TRUSS UNIFORM LOADING (175 LB REAR-BENT EXCLUDING WEIGHT OF TRUSS) TO BE USED.
7. TRUSS DESIGNER SHALL TAKE INTO ACCOUNT THE LATEST BOCA CODE REQUIREMENTS FOR ROOF SNOW LOADINGS AND DESIGN.
8. PROVIDE AND INSTALL 5/8" X 10" STRONGITE ANCHORS AND DESIGN OF EA ROOF TRUSS UNLESS OTHERWISE NOTED.
9. PROVIDE AND INSTALL 2x4 ANCHORS IN 2x4 INTERIOR STUD WALLS AND 2x4 3x2x10 HEADERS IN EXTERIOR STUD WALLS UNLESS OTHERWISE NOTED.
10. ALL TRUSSES SHALL BE SPACED AT 24" OC UNLESS OTHERWISE NOTED.
11. ALL FLOOR JOISTS SHALL BE 2x10 UNLESS OTHERWISE NOTED.
12. ALL STEEL COLUMNS SHALL BE 4x4 A536 STEEL WITH 1/2" CAP PLATES AND 1/2" BASE PLATES WELDED TO COLUMN ANCHOR COLUMNS TO CONCRETE.
13. FLOOR TRUSS UNIFORM LOADING (175 LB REAR-BENT EXCLUDING WEIGHT OF TRUSS) TO BE USED.
14. FLOOR TRUSSES AND ROOF TRUSSES DESIGN BY SUPPLIER.
15. STRUCTURAL DESIGN AS PROVIDED BY DANIEL S CHASE, P.E., 70 ST JOHN STREET PORTLAND, MAINE 04102 TEL: 799-9087.

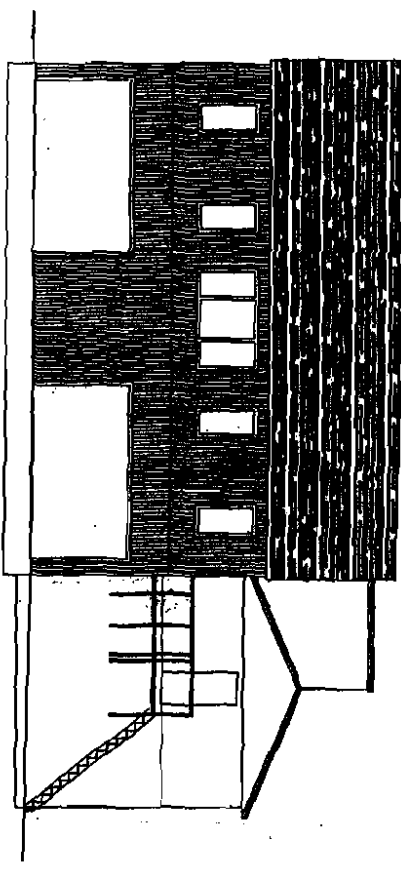
DEPT. OF BUILDING
 CITY OF PORTLAND
 OCT 22 2002
 REGISTERED

195 St John

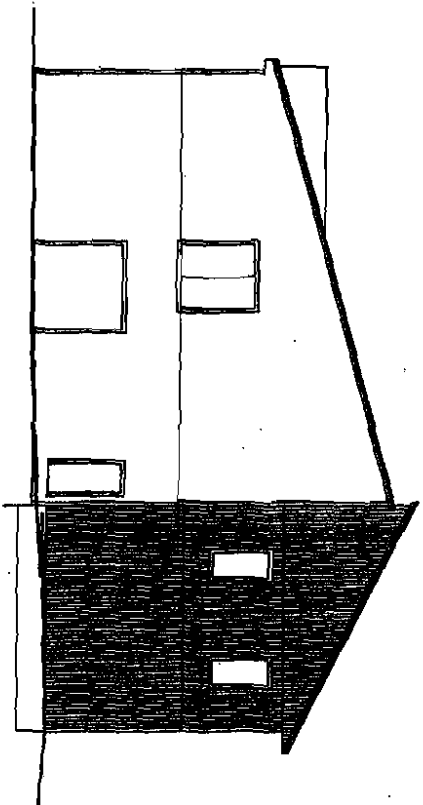




LEFT END ELEVATION
SCALE 1/8" = 1'-0"



REAR ELEVATION
SCALE 1/8" = 1'-0"



RIGHT END ELEVATION
SCALE 1/8" = 1'-0"

GENERAL NOTES

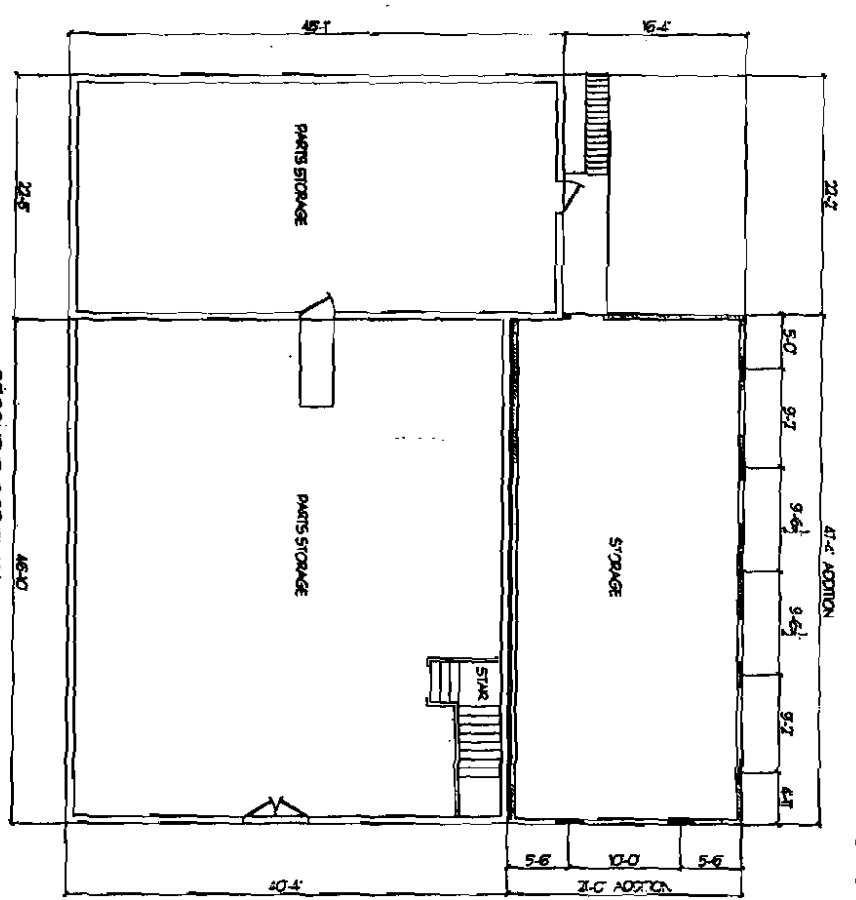
1. GENERAL CONTRACTOR SHALL REVIEW ALL DRAWINGS AND SPECIFICATIONS BEFORE PROCEEDING WITH ANY WORK.
2. GENERAL CONTRACTOR SHALL NOTIFY OWNER OF ANY DISCREPANCY OF ANY DRAWINGS OR SPECIFICATIONS BEFORE PROCEEDING WITH WORK.
3. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND COORDINATE NEW CONDITIONS WITH EXISTING BEFORE PROCEEDING WITH WORK.
4. ALL WORK DONE BY SUBCONTRACTORS SHALL BE DONE IN AN OPENLY AND PROFESSIONAL MANNER. THE GENERAL CONTRACTOR SHALL COORDINATE THEIR WORK.
5. CONTRACTORS SHALL CONFORM TO ALL STATE AND LOCAL CODES.
6. SEE SPECIFICATIONS FOR OWNER SUPPLIED CONTRACTOR INSTALLED EQUIPMENT.
7. CONTRACTOR SHALL VERIFY ALL PLACEMENT AND RIGGING OF EMBLEM FOR EQUIPMENT AND/OR MILLWORK SUPPLIED BY OTHERS.

GENERAL CODE REQUIREMENTS

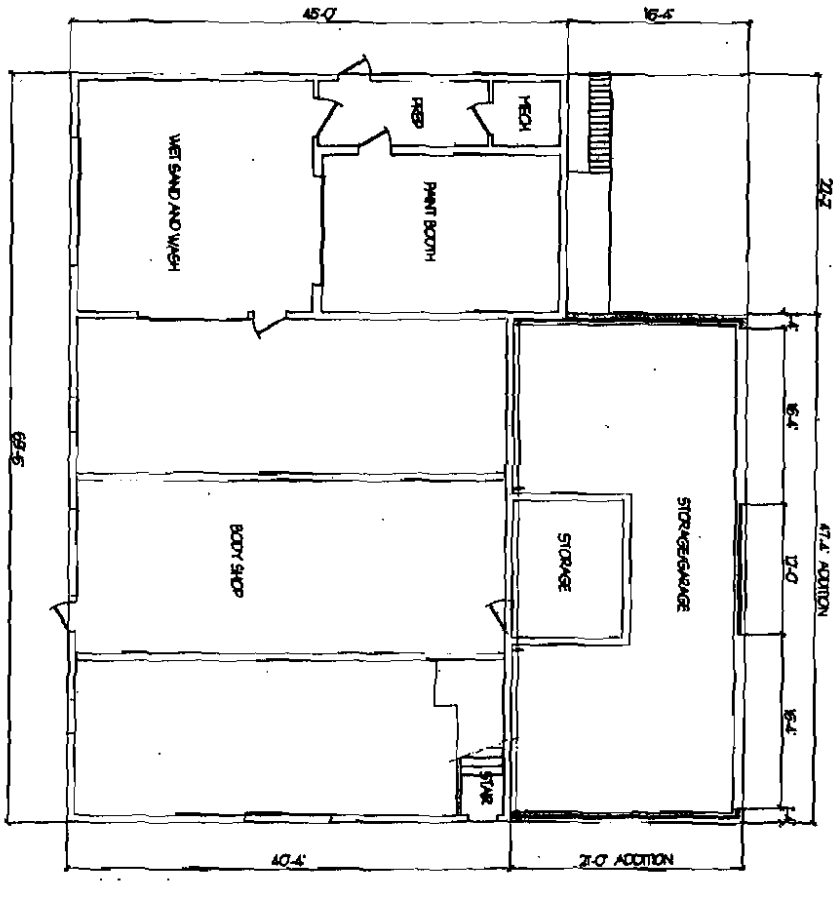
REFERENCE 8899 BOCA
 USE GROUP SECTION 510 HOBBSVILLE HAZARDOUS STORAGE. USE GROUP 54
 CONSTRUCTION TYPE SECTION 602.0 TYPE 5B CONSTRUCTION. COMBUSTIBLE UNPROTECTED.
 GENERAL BUILDING LIMITATIONS TABLE 502A HEIGHT AND AREA LIMITATIONS 5B UNPROTECTED 5A1 STORY 20' 4000 SF.
 NOTE: GENERAL ELECTIONS SECTION 504.2 ALLOWABLE HEIGHT INCREASE DUE TO AUTOMATIC SPRINKLER SYSTEM INSTALLATION.
 SOLID WITH AN AUTOMATIC SPRINKLER SYSTEM. LANCE USE ONE STORY AND 20 FEET.
 NOTE: ALL AUTOMATIC SPRINKLER SYSTEMS SHALL BE INSTALLED AS REQUIRED BY CODE. EXISTING BUILDINGS CURRENTLY NOT SPRINKLED AT THIS TIME.

FOUNDATION NOTES

1. ALL CONCRETE FOR WALLS AND FOOTINGS SHALL BE PER 8000 PSI @ 28 DAYS.
2. ALL FOUNDATION WALL FOOTINGS SHALL BEAR ON VIBRATED SAND AND BE A MINIMUM OF 30" BELOW FINISH GRADE.
3. ALL EXISTING SLABS SHALL BE A MINIMUM 6" THICKNESS AND SHALL HAVE A MINIMUM OF 4" REINFORCING BARS.
4. ALL FILL UNDER SLABS AND/OR FOOTINGS SHALL BE SELECT GRANULAR MATERIAL AND BE COMPACTED TO A MINIMUM 95%.
5. ALL EXISTING CONCRETE FLOORS SHALL BE HEAVILY REINFORCED RUBBERED CONSTRUCTION SHALL CHECK WITH ALL THINGS TO VERIFY CORRECT LOCATION, SIZE LINE AND BEHAVIOR OF ALL SLEEVES, BOND OVERS, ETC. REQUIRED IN CONCRETE WALLS AND FLOORS.
7. SLAB CONTROL JOINTS SHALL BE PLACED WHERE SHOWN ON PLANS.
8. PROVIDE MIN. 7" RIGID INSULATION INSTALLATION.
9. PROVIDE 1" DIA. x 6" RES. STAIRS LUGS AT 48" OC MAX FOR WOOD STUD WALL PLATE AND STORAGE TYPICAL.



SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"



FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"

COMM. A-1 SCALE 1/8" = 1'-0"	ADDITION FOR ALAN AUTO VOLVO SERVICE 195 ST JOHN STREET PORTLAND, MAINE 04102	REVISIONS 1. REVISED DRAWING TO SHOW EXISTING CONDITIONS AND TO BE USED FOR PERMITS AND CONSTRUCTION.	SBM ARCHITECTS INC. ARCHITECT 351 Pine Street • Gorham, Maine • Telephone 371-639-3420
	FLOOR PLANS AND ELEVATIONS	DATE 5/16/02 BY HES	

GENERAL ROOF CONSTRUCTION

ASPHALT SHINGLES ON 5/8" CDX PLYWOOD ON
PRE-ENGINEERED WOOD ROOF TRUSSES AT 24" O.C.

GENERAL WALL CONSTRUCTION

METAL SIDING ON TYPAR BUILDING WRAP ON 1/2"
CDX PLYWOOD ON 2x6 WOOD STUDS AT 24" O.C.

PRE-ENGINEERED WOOD ROOF
TRUSSES AT 24" O.C. TYP.

STORAGE

EXISTING BUILDING

PRE-ENGINEERED WOOD FLOOR
TRUSSES AT 24" O.C. TYP.

11 7/8" x 5 1/4" LVL

14" x 5 1/4" LVL

STORAGE/GARAGE

9" THK 5000 PSI MONOLITHIC
SLAB WITH #4 MAT BARS @
18" O.C.

REINFORCED CONC
PAD @ COLUMNS

BUILDING SECTION

SCALE: 1/2" = 1'-0"

SELF-TAPPING CONCRETE
LAGS AT 48" O.C. MAX.

2x8 PT PLATE
CONTINUOUS

#4 DOWELS AT
18" O.C.

CONC FILLED 8"
MASONRY BLOCK

2x2x1/4" CONT
CURB ANGLE

9" THK 5000 PSI MONOLITHIC
SLAB WITH #4 MAT BARS @
18" O.C.

BUILDING SECTION

SCALE: 1" = 1'-0"

GENERAL FRAMING NOTES

- ALL TRUSSES SHALL BE HANDLED AND ERECTED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS
- CONTRACTOR SHALL FOLLOW TRUSS MANUFACTURER'S DESIGN FOR ALL BRACING AND ANCHORAGE OF TRUSSES
- FINAL TRUSS DESIGN AND LAYOUT BY THE MANUFACTURER/SUPPLIER SHALL BE SEALED BY A MAINE REGISTERED ENGINEER
- ALL MEMBERS SHALL BE CUT TO BEAR
- ALL PLATE CONNECTORS SHALL HAVE AN EFFECTIVE AREA 20% GREATER THAN THAT REQUIRED BY DESIGN BY USING THE MANUFACTURER'S DESIGN CAPACITY
- ROOF TRUSS UNIFORM LOADINGS (MIN. REQUIREMENT EXCLUDING WEIGHT OF TRUSS):
TOP CHORD:
LIVE LOAD: _____ 60 PSF
DEAD LOAD: _____ 15 PSF
BOTTOM CHORD:
LIVE LOAD: _____ 0 PSF
DEAD LOAD: _____ 15 PSF
- TRUSS DESIGNER/ENGINEER SHALL TAKE INTO ACCOUNT THE LATEST B.O.C.A. CODE REQUIREMENTS FOR ROOF SNOW LOADINGS AND DESIGN
- PROVIDE AND INSTALL "SIMPSON STRONGTIE" A-305 FRAMING ANCHORS ON EA. END OF EA. ROOF TRUSS UNLESS OTHERWISE NOTED
- PROVIDE AND INSTALL MIN. 2x6 HEADERS IN 2x4 INTERIOR STUD WALLS AND MIN. 3x2x10 HEADERS IN EXTERIOR STUD WALLS UNLESS OTHERWISE NOTED
- ALL TRUSSES SHALL BE SPACED AT 24" O.C. UNLESS OTHERWISE NOTED
- ALL FLOOR JOISTS SHALL BE MIN. 1/2" x 1000 PSI UNLESS OTHERWISE NOTED
- ALL STEEL COLUMNS SHALL BE 4" DIA. STD STEEL WITH 1/2" CAP PLATES AND 1/2" BASE PLATES WELDED TO COLUMN. ANCHOR COLUMNS TO CONCRETE
- FLOOR TRUSS UNIFORM LOADINGS (MIN. REQUIREMENT EXCLUDING WEIGHT OF TRUSS):
TOP CHORD:
LIVE LOAD: _____ 100 PSF
DEAD LOAD: _____ 15 PSF
BOTTOM CHORD:
LIVE LOAD: _____ 0 PSF
DEAD LOAD: _____ 10 PSF
- FLOOR TRUSSES AND ROOF TRUSS DESIGN BY SUPPLIER
- STRUCTURAL DESIGN AS PROVIDED BY DANIEL S. CHASE P.E., 200 ST. JOHN STREET, PORTLAND, MAINE 04102, TEL. 799-9087

SBM
CONSTRUCTION INC.
ARCHITECT
288 1/2th Street • Gorham, Maine • Telephone 237-6559-3400

REVISIONS

ADDITION FOR ALAN AUTO VOLVO SERVICE
1981 ST. JOHN STREET
PORTLAND, MAINE 04102

SCALE AS NOTED

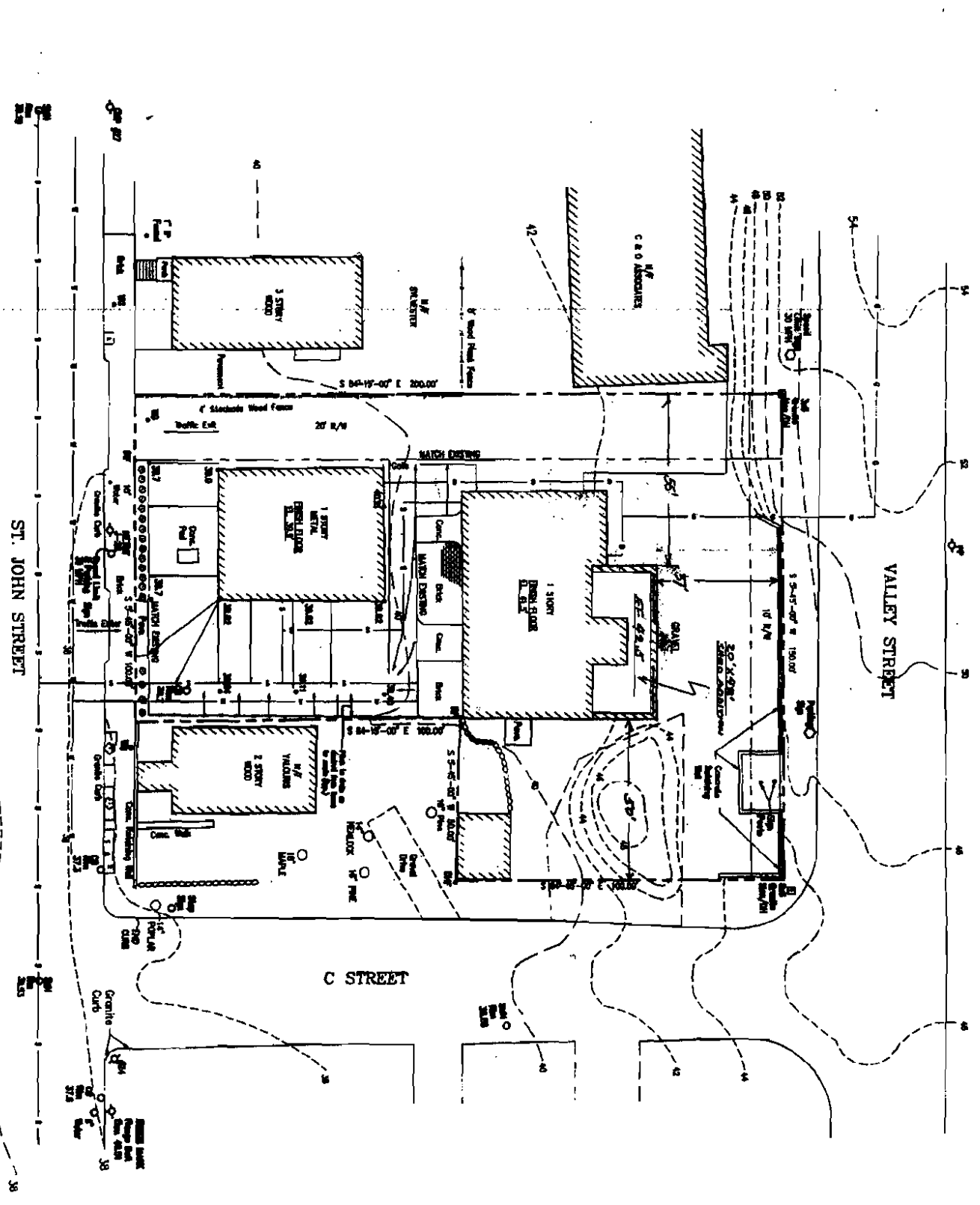
DATE 5/16/02
BY HES

A-2

N
MAG. 1989

LEGEND

(Symbol: Chain Link Fence)	CHAIN LINK FENCE
(Symbol: Wood Plank Fence)	WOOD PLANK FENCE
(Symbol: Building)	BUILDINGS
(Symbol: Property Line)	PROPERTY LINE
(Symbol: Right of Way)	RIGHT OF WAY
(Symbol: Pavement)	PAVEMENT
(Symbol: Curb/Counter Line)	COUNTER LINE
(Symbol: Sewer Line)	SEWER LINE
(Symbol: Water Line)	WATER LINE
(Symbol: Gas Line)	GAS LINE
(Symbol: Director of Drainage)	DIRECTOR OF DRAINAGE



NOTES

1. DOWNGRANT TRUCK TRAILER PLAN OF PROPERTY OF ALAN PROSSER BY DONALD B. BATES DATED SEPTEMBER, 1988 CONFORMING TO CATEGORY 1, CONDITION B.
2. TOTAL AREA OF PROPERTY EQUALS 24,000 SF.
3. THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ARE APPROXIMATE.
4. ALL ELEVATIONS SHOWN ARE TOP OF FINISHED.
5. ALL R. L. P. IS SHOWN AT GARAGE FLOOR DRIFT. THE C.M. R. BASED TO LEVEL OR ABOVE IF SO DESIGN.
6. PAVING WILL CONSIST OF CORBEL STONES & CONCRETE.
7. ZONE I-2-B / SET BACK REQUIREMENTS MET

PLAN APPROVED BY CITY OF PORTLAND PLANNING BOARD
DATE _____

<p>JAMES A. MULLEN 200 PROSPECT ST. PORTLAND, ME 04103 (503) 773-1200</p>		<p>SCALE: 1" = 30' DATE: 10/11/88 DES. BY: J. MULLEN DWG. BY: J. MULLEN</p>	<p>PROJECT NO. 979.05.08 SHEET OF 1</p>	<p>DRAWING NO. S-1</p>
<p>ALAN PROSSER 57 ST. JOHN STREET PORTLAND, ME</p>		<p>SITE PLAN - ALAN AUTO ST. JOHN STREET PORTLAND, ME</p>		