

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that EDMUNDS GARDNER

Located At 149 WESTERN PROMENADE

Job ID: 2011-06-1426-ALTR

CBL: 069 - - A - 008 - 001 - - - -

has permission to make interior renovations to the existing kitchen.

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

06/27/2011

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
 - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
 - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Close-In: (Electrical, Plumbing, Framing)
 2. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-06-1426-ALTR

Located At: 149 WESTERN
PROMENADE

CBL: 069 - - A - 008 - 001 - - - -

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. During its existence, all aspects of the Home Occupations criteria, Section 14-410, shall be maintained.
3. ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
4. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
5. This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals. It is understood that current work is within the existing kitchen and would not be adding a separate, new kitchen.

Building

1. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. A photoelectric Carbon Monoxide (CO) detector shall be installed in each area within or giving access to bedrooms. That detection must be powered by the electrical service (plug-in or hardwired) in the building and battery.
3. Hardwired photoelectric interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level. A field inspection will verify the current smoke detector arraignments and City's minimal code requirements.
4. Follow the Engineer's specification for beam replacement.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-06-1426-ALTR	Date Applied: 6/14/2011	CBL: 069 - - A - 008 - 001 - - - - -	
Location of Construction: 149 WESTERN PROMENADE	Owner Name: EDMUND S GARDNER III	Owner Address: 149 WESTERN PROM PORTLAND, ME - MAINE 04102	Phone: 653-6974
Business Name:	Contractor Name: King Builders LLC – Geoff King	Contractor Address: 102 Baxter Blvd, Portland, ME 04101	Phone: 653-6974
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-4
Past Use: Single Family Dwelling	Proposed Use: Same: Single Family Dwelling – to make interior alterations in kitchen area	Cost of Work: \$2000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: R3 Type: 5B IRC, 2009 Signature:
Proposed Project Description: remove pantry wall		Pedestrian Activities District (P.A.D.)	

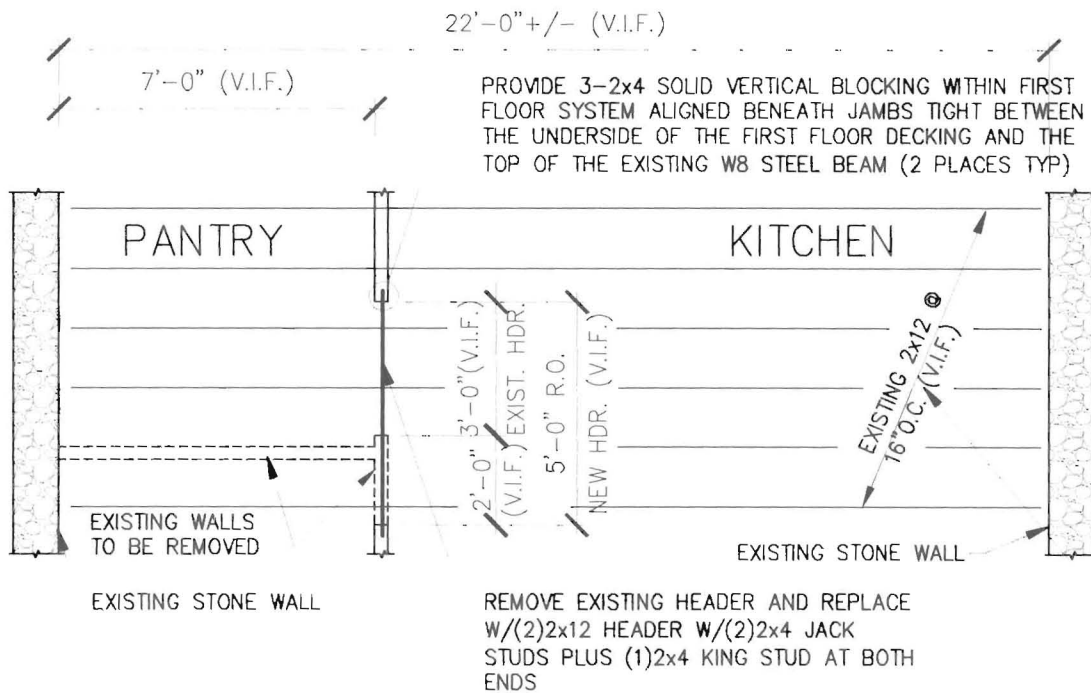
Permit Taken By: Gayle	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.</p>	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan _ Maj _ Min _ MM Date: <i>OK with conditions</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <i>w/Review</i> <input type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>Any exterior work requires a separate review & approval</i>
	CERTIFICATION <i>6/16/11</i>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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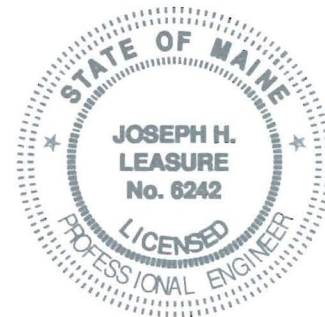
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHON
---------------------------------------------	------	------



G.C. SHALL VERIFY SIZE AND DIRECTION OF EXISTING JOISTS PRIOR TO PROCEEDING WITH THE AFFECTED PORTION OF THE WORK. (TYP)

PARTIAL 2nd FLOOR FRAMING PLAN

1/4" = 1'-0"



2010-065

designed by:	JHL
drawn by:	AKB
checked by:	JHL
scale:	AS NOTED
date:	5-25-11/REV. 6-6-11

GARDNER RESIDENCE
149 WESTERN PROMENADE AVE.
PORTLAND, MAINE

PARTIAL 2nd FLOOR FRAMING PLAN

L & L STRUCTURAL
ENGINEERING SERVICES, INC.
SIX Q STREET
SOUTH PORTLAND, MAINE 04106

PHONE: (207) 767-4830
FAX: (207) 799-5432

S-2

GENERAL NOTES:

1. The notes on the drawings are not intended to replace specifications. in addition to general notes. See specifications for requirements
2. Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult, openings, chases, inserts, reglets, sleeves, depressions, and other details not shown on structural drawings.
3. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
4. Do not scale plans.
5. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
6. All proprietary products shall be installed in accordance with the manufacturers written instructions.
7. The structure is designed to be self supporting and stable after the erection is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tiedowns. Such material shall remain the property of the contractor after completion of the project.
8. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

DESIGN LOADS:

1. Building code: IRC (2009) International Residential Building Code.
2. Design Live Loads: (Ground Snow load = 60 psf)
 Roof 45 psf + drift as applicable
 Living areas 40 psf
3. Design wind loads are based on exposure C using 100 mph basic wind speed.
4. Seismic Design Utilizes a Bearing wall system: Light frame walls with shear panels – wood structure panels/sheet steel panels. Analysis Procedure shall be equivalent Lateral Force Procedure per IRC 2009.

TIMBER FRAMING:

1. All Timber framing shall be in accordance with the AITC timber construction manual or the national design specification (NDS) – latest edition
2. Individual timber framing members shall be visually graded, minimum grade #2 Spruce-Pine-Fir (SPF), kiln dried to 19% maximum moisture content.
3. Nailing not specified shall conform with IRC 2009. All nails in contact with pressure treated timber shall be stainless steel.



2011-065

designed by: JHL	GARDNER RESIDENCE 149 WESTERN PROMENADE AVE. PORTLAND, MAINE	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX Q STREET SOUTH PORTLAND, MAINE 04106 PHONE: (207) 767-4830 FAX: (207) 799-5432
drawn by: AKB		
checked by: JHL		
scale: AS NOTED		
date: 5-25-11/REV. 6-6-11		
GENERAL NOTES		S-1

Visa \$50.00 received PDF
47975

2011 06 1426

received PDF + Entered

6/16/11



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>149 Western Promenade Ave.</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>069</u> Block# <u>A</u> Lot# <u>008</u> <u>SF</u>	Applicant * must be owner, Lessee or Buyer * Name <u>Edmund Gardner III</u> Address <u>149 Western Promenade Ave</u> City, State & Zip	Telephone: <u>653-6974</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>2000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Single Family</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>R-4</u>		RECEIVED JUN 14 2011 Dept. of Building Inspections City of Portland Maine
Contractor's name: <u>Remove wall in pantry</u> <u>King Builders LLC</u> Address: <u>102 Baxter Blvd.</u> City, State & Zip: <u>Portland, ME 04101</u> Who should we contact when the permit is ready: <u>Groff King</u> Mailing address: <u>102 Baxter Blvd. Portland, ME</u>		

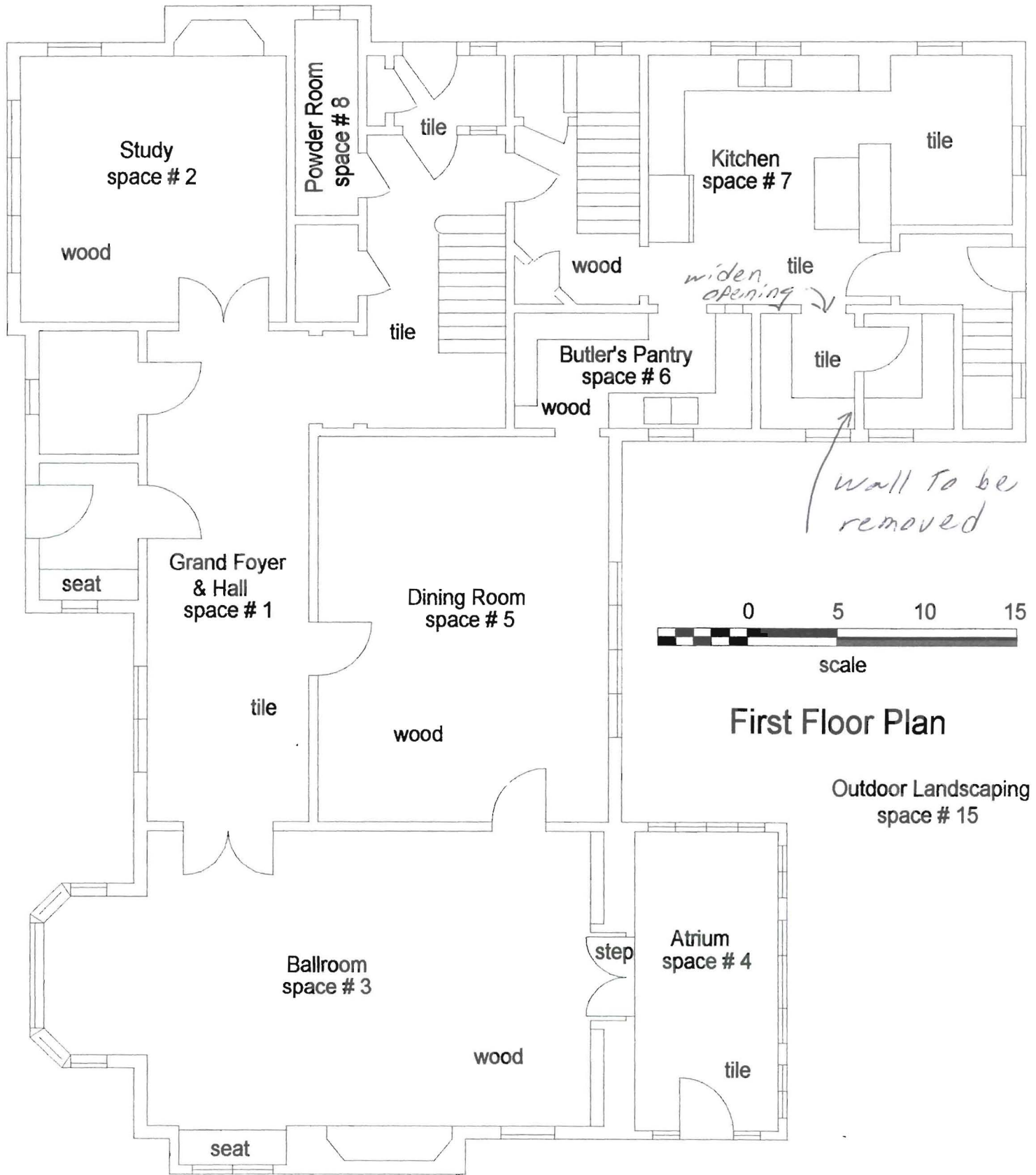
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit

Signature: Groff King Date: 6/13/2011

This is not a permit, you may not commence ANY work until the permit is issue



First Floor Plan

Outdoor Landscaping space # 15



066A E 010

Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at www.portlandmaine.gov, in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams
- Detail any new walls or permanent partitions
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- Window and door schedules
- Foundation plans w/required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separation/sound transmission ratings (if applicable)
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IEEC 2003
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Reduced plans or electronic files in pdf format are also required if original plans are larger than 11" x 17"
- Proof of ownership is required if it is inconsistent with the assessors records

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

June 14 20 11

Received from King Builders

Location of Work 149 W. Riverside

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: _____

Building (IL) Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 069 A005

*Verse 50.00
given to 10.00 cash
check*

Check #: _____ Total Collected \$ 40.00

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy