

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 189 St. John Street 04102		Owner: Robert Moldaver		Phone: 773-2966		Permit No: 990543			
Owner Address: 60 Helen Street 04101 Portland, Maine		Lessee/Buyer's Name:		Phone:		BusinessName:			
Contractor Name: to do work		Address:		Phone:		Permit Issued: MAY 27 1999			
Past Use: 1-Family		Proposed Use: Same		COST OF WORK: \$ 37,000		PERMIT FEE: \$ 205.00			
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: Type:			
				Signature:		Signature:			
Proposed Project Description: Repair porch, remove exterior staircase and other interior renovations, As Per Plans.				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/> Signature: Date:				Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: SF		Date Applied For: 5-20-99				Zone: CBL:068-A-005			

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

5-20-99

SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

PERMIT ISSUED
MAY 27 1999
CITY OF PORTLAND

Zoning Appeal
 Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation
 Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:
 Approved
 Approved with Conditions
 Denied

Date: _____

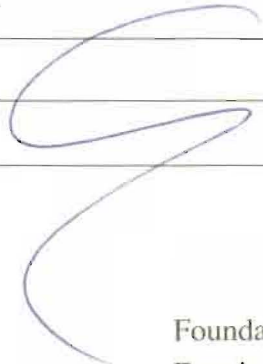
CEO DISTRICT **3**

COMMENTS

6/27/99 Met with owner on site checked
Plumbing, oil tank installation new walls
on 2nd Floor, Front Porch stairs & railings
Not yet installed on front.
Funding

12/8/99 - No Handrails on front steps - guardrail measures 28 1/2 inches (2-3 min 30")
Sides of porch must have rails + Ballusters (open rail) - fence is 19 FT from apex of
corner and 8 1/2 FT from edge of side street - check with zoning as owner says he called
and did what he was told was correct. NO COFO until these issues resolved

12/10/99 checked fence again and found it within zoning requirements - Handrails
and ballusters put on and correct. TMM Close out



Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

Inspection Services
Michael J. Nugent
Manager

Department of Urban Development
Joseph E. Gray, Jr.
Director



CITY OF PORTLAND

December 13, 1999

Robert Moldaver
189 St. John St.
Portland, ME 04102

Dear Mr. Moldaver,

Construction activity prescribed in Building Permit # 990543 for the above location has been completed in substantial compliance with the approval conditions.

Sincerely,

Marland Wing
Code Enforcement Officer

ESTIMATED FHA 203(k) REHAB COST FOR PROPERTY LOCATE AT: 189 St. John Street, Portland, Maine, 04101

203(k) Consultant: Peter W. Hudson

Category

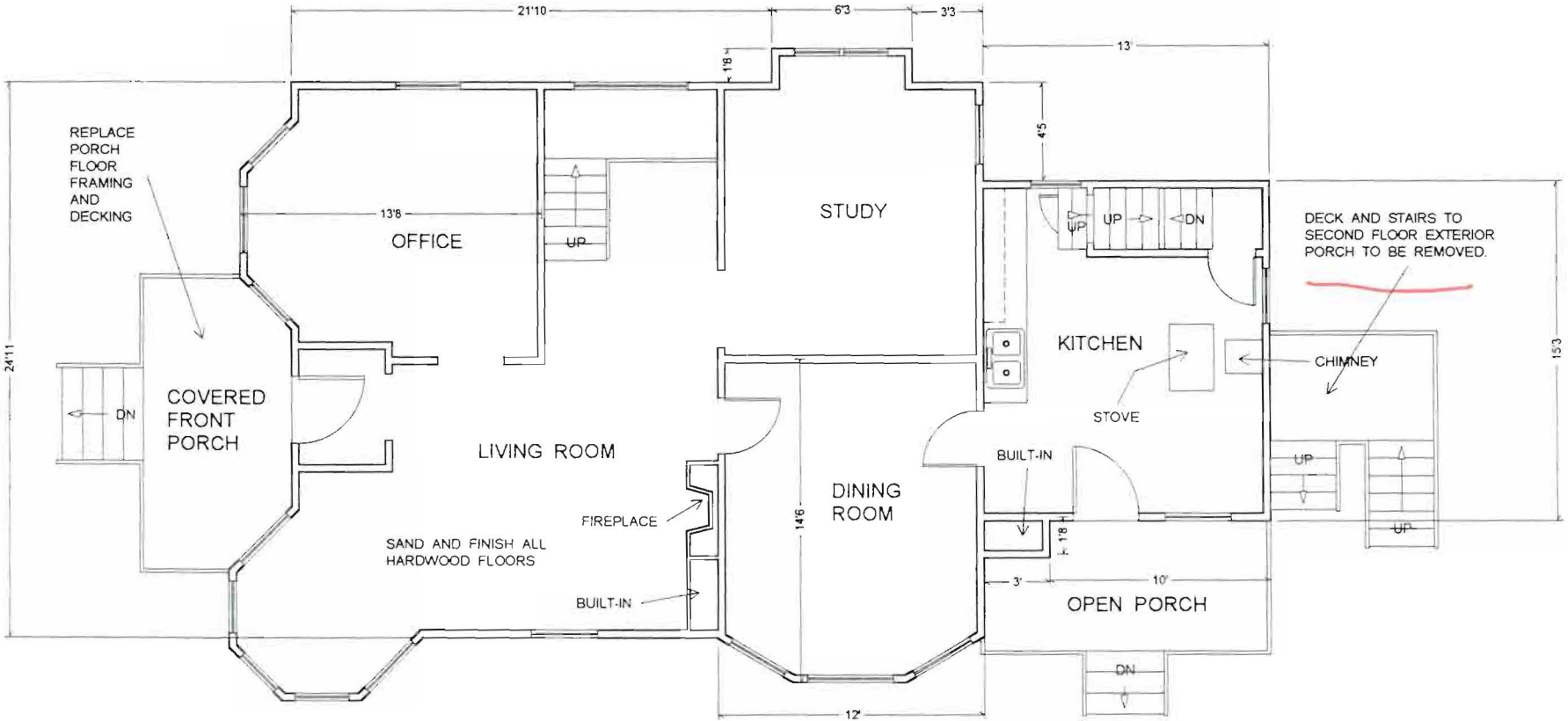
Categories:	No.	Type:	Item:	Specifications:	Units:	Unit Cost:	Sub-Totals
(1) Masonry	6	R	L	Support front porch roof, man-hrs	4	\$25.00	\$100.00
(2) Siding	6	R	L	Demo front deck and stairs, hrs	4	\$25.00	\$100.00
(3) Gutters/Downs	6	R	L	Demo rear deck to 2nd floor, hrs	2	\$25.00	\$50.00
(4) Roof	6	R	L	Build rails, 2nd floor, man-hrs	8	\$25.00	\$200.00
(5) Shutters	6	R	L	Build front porch, man-hrs	16	\$25.00	\$400.00
(6) Exteriors	6	R	L	Build rails, front porch, man-hrs	8	\$25.00	\$200.00
(7) Walks	6	R	L	Install lattice, front porch, hrs	2	\$25.00	\$50.00
(8) Driveways	6	R	M	2nd floor deck rail allowance	1	\$100.00	\$100.00
(9) Ext. Painting	6	R	M	Joists, 2x8's P.T., 14 feet pcs.	3	\$16.50	\$49.50
(10) Caulking	6	R	M	Joists, 2x8's P.T., 8 feet pcs.	14	\$7.50	\$105.00
(11) Fencing	6	R	M	4x4 P.T., 8 feet pcs	2	\$6.75	\$13.50
(12) Grading	6	R	M	5/4" P.T. decking, lin-ft.	350	\$.70	\$245.00
(13) Windows	6	R	M	2x12 P.T., Stringers, 12 feet pcs	2	\$21.00	\$42.00
(14) Weatherstripping	6	R	M	Rail/lattice, Ft porch, allowance	1	\$400.00	\$400.00
(15) Exterior Doors	6	R	M	Rail, 2x4 P.T., lin-ft	112	\$.33	\$36.96
(16) Interior Doors	6	R	M	Misc. nails, screws; allowance	1	\$75.00	\$75.00
(17) Partition Walls	6	R	M	Sales tax	1,067	\$.055	\$58.68
(18) Plaster/drywall							
(19) Decorating							
(20) Wood Trim							
				Deck Exteriors Sub-Total			\$2,225.64
(21) Stairs	11	D	L	Build/install custom fence, hrs	74	\$25.00	\$1,850.00
(22) Closets	11	D	M	6'x8' panel, 1x4 Jamestown, pcs	15	\$130.00	\$1,950.00
(23) Wood Floors	11	D	M	6'to 4' x 8 Reducers, pcs	2	\$350.00	\$700.00
(24) Finished Floors	11	D	M	4'x6' long panel, pcs	2	\$85.00	\$170.00
(25) Ceramic Tile	11	D	M	5x5x10' Pyramid cap post, pcs	15	\$80.00	\$1,200.00
(26) Bath Accessories	11	D	M	5x5x8' Pyramid cap post, pcs	5	\$70.00	\$350.00
(27) Plumbing	11	D	M	3'-6" Moon gate, pcs	2	\$250.00	\$500.00
(28) Electrical	11	D	M	Custom entry gate & hardware, pcs	1	\$350.00	\$350.00
(29) Heating	11	D	M	Sales tax	5,220	\$.055	\$287.10
(30) Insulation							
(31) Cabinetry							
				Fencing Sub-Total			\$7,357.10
(32) Appliances							
(33) Basements							
(34) Clean-up							
(35) Miscellaneous							

TYPES: (R) Required
 (PR) Professionally Recommended
 (D) Desired by Borrower

ITEMS: (L) Labor only
 (M) Material only
 (B) Both Labor and Material included

Peter W. Hudson, 203(k) Consultant

EXHIBIT "A" FIRST FLOOR PLAN



Peter W. Hudson, 203(k) Consultant

EXHIBIT "C" SECOND FLOOR PLAN "AS PROPOSED"

Peter W. Hudson, 203(k) Consultant

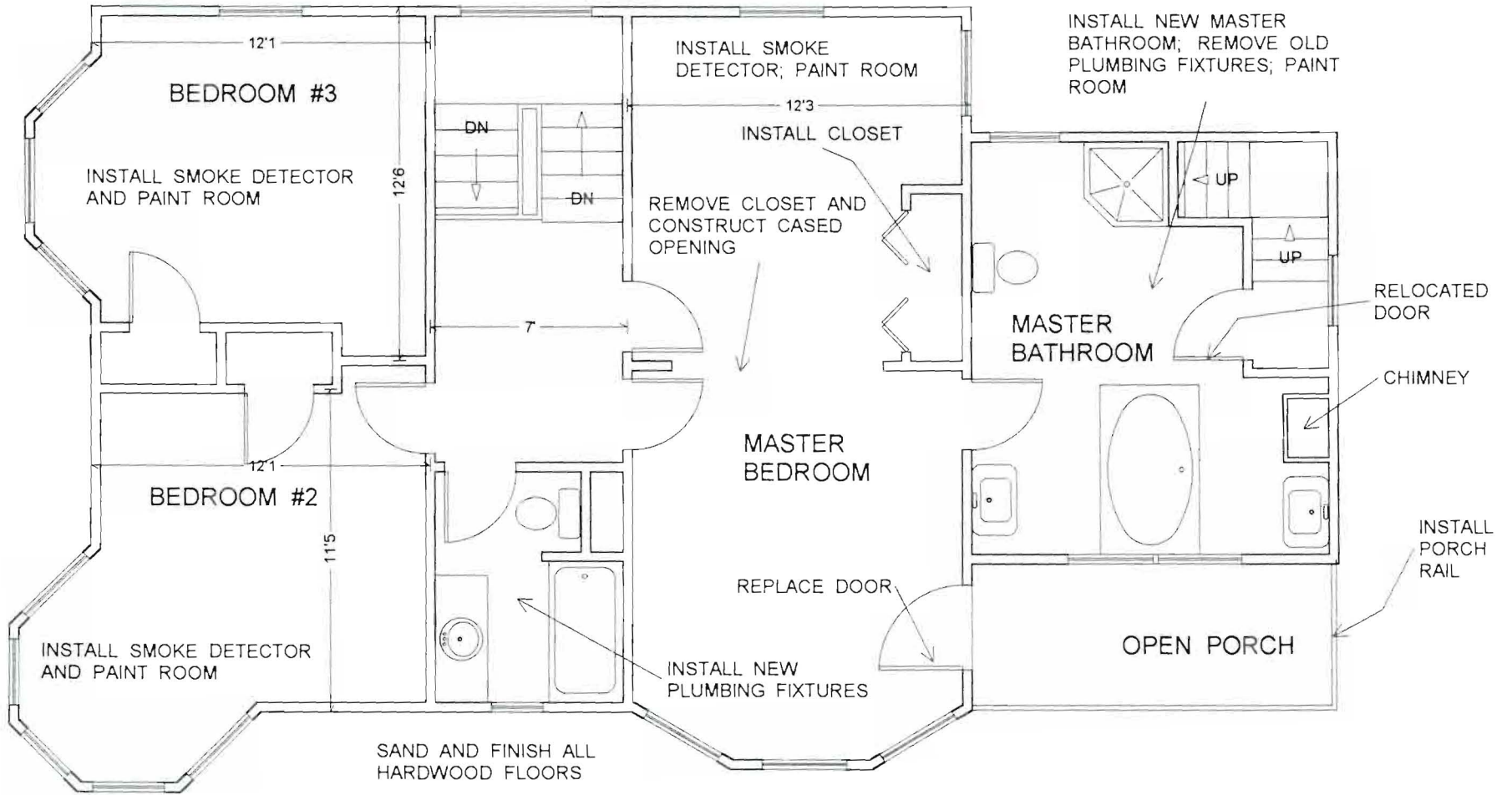
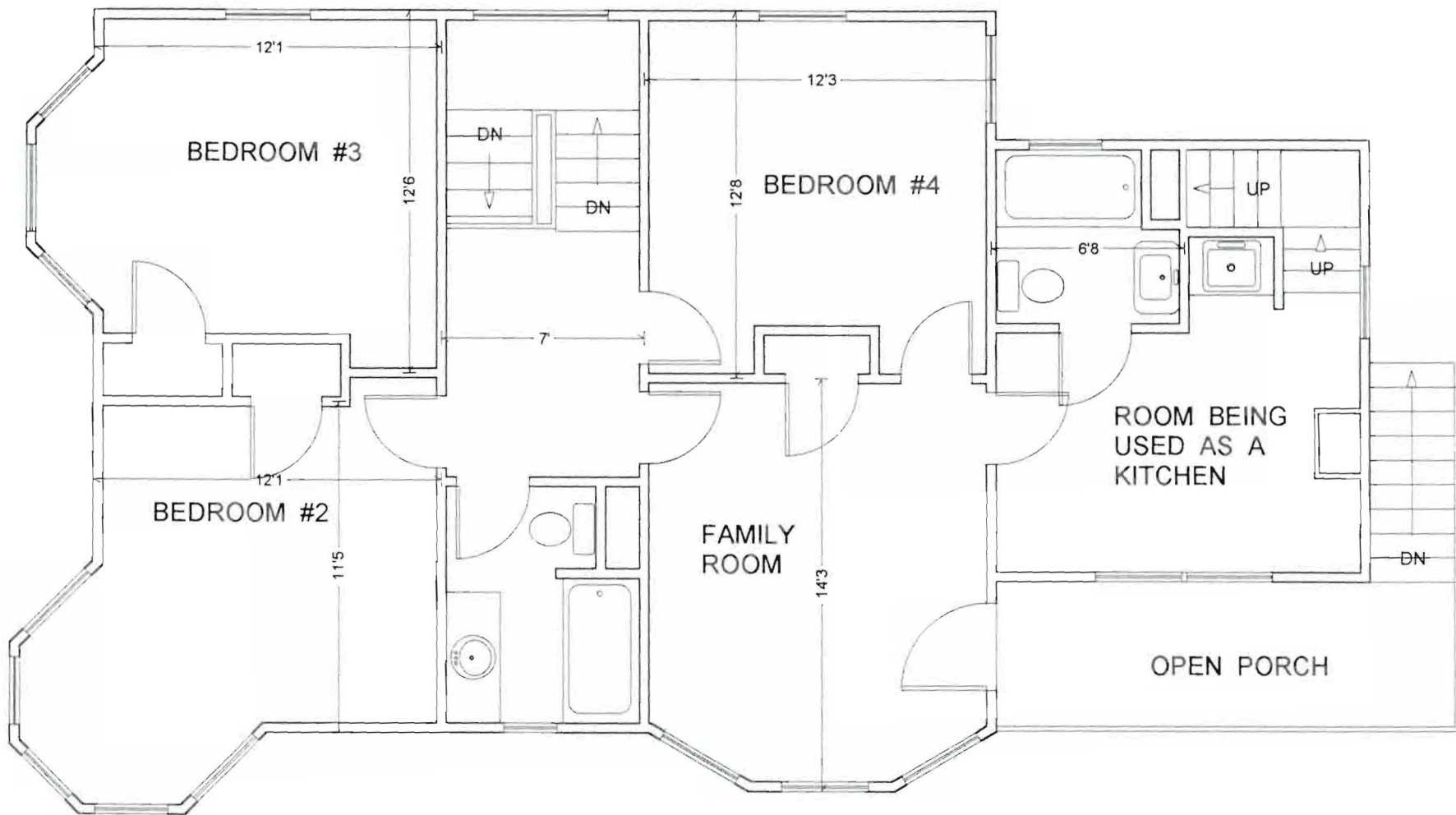


EXHIBIT "B" SECOND FLOOR PLAN "AS IS"

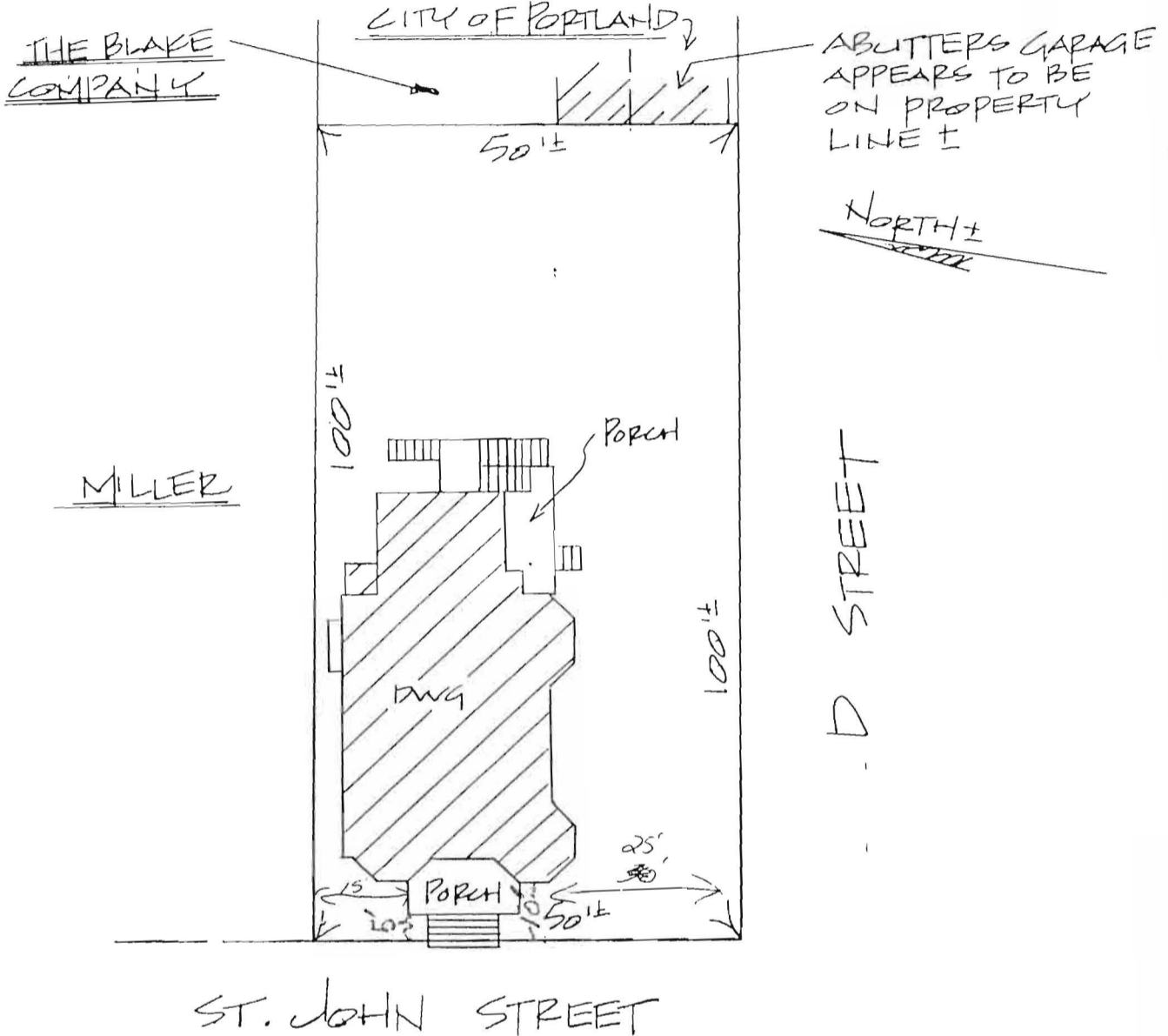
Peter W. Hudson, 203(k) Consultant



FOR MORTGAGE LENDER USE ONLY

GENERAL NOTES: (1) DISTANCES SHOWN ARE TAKEN FROM PROVIDED TITLE REFERENCES SHOWN BELOW. (2) THIS INSPECTION EXAMINES DWELLING AND ACCESSORY STRUCTURE COMPLIANCE WITH RESPECT TO MUNICIPAL ZONING SETBACK REQUIREMENTS ONLY. (3) A STANDARD BOUNDARY SURVEY SHOULD BE PERFORMED TO RENDER A PROFESSIONAL OPINION AS TO ACTUAL PROPERTY LINE LOCATIONS. (4) THIS INSPECTION DEPICTS ALL VISIBLE STRUCTURAL ENCROACHMENTS WITH RESPECT TO APPARENT PROPERTY LINES AND RECOGNIZES ONLY THOSE EASEMENTS & RIGHTS OF WAIVS STATED OR SHOWN IN BELOW PROVIDED TITLE REFERENCES AND DOES NOT REVEAL ANY CONFLICTS WITH ABUTTING DEEDS. (5) FLOOD HAZARD DETERMINATION IS MADE BY SCALING DISTANCES ON BELOW REFERENCED FEMA MAP. (6) THIS INSPECTION IS TO BE USED ONLY BY BELOW LISTED LENDER, TITLE COMPANY &/OR ATTORNEY AND ITS TITLE INSURER

ADDRESS: 189-191 ST. JOHN ST INSPECTION DATE: 4-27-99
PORTLAND, ME SCALE: 1" = 20'



SEE PROVIDED TITLE REFERENCES FOR APPLICABLE APPURTENANCES, IF ANY.


APPLICANT: MALDOVER/HAINOY REQUESTING PARTY: LEETE & LEMIEUX
 OWNER: MAJKA ATTORNEY: JAMES R. LEMIEUX
 LENDER: _____ FILE No. 995933

TITLE REFERENCES:
 DEED BOOK: 1263 PAGE: 98
 PLAN BOOK: _____ PAGE: _____ LOT: _____
 COUNTY: CUMBERLAND

MUNICIPAL REFERENCE:
 MAP: _____ BLOCK: _____ LOT: _____

THE DWELLING DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE PER FEMA COMMUNITY MAP No. 22009 PANEL: 2013B ZONE: C DATE: 12-8-79

THE DWELLING WAS IN COMPLIANCE WITH MUNICIPAL ZONING SETBACK REQUIREMENTS AT THE TIME OF CONSTRUCTION.

COMMENTS:


NADEAU & LODGE, INC.
 PROFESSIONAL LAND SURVEYORS

844 STEVENS AVENUE
 PORTLAND, ME 04103
 (207) 878-7870

232 CLARKS WOODS ROAD
 LYMAN, ME 04002
 (207) 499-2358

James D. Walden

THIS IS NOT A BOUNDARY SURVEY - NOT FOR RECORDING

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Pre-Application
Additions/Alterations/Accessory Structures
To Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: <u>189 St. John St</u> <u>04102</u>

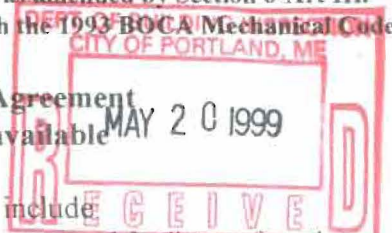
Tax Assessor's Chart, Block & Lot Number Chart# <u>0608</u> Block# <u>A</u> Lot# <u>005</u>		Owner: <u>Robert Moldaver</u>	Telephone#: <u>773-2966</u>
Owner's Address: <u>60 Mellen St</u> <u>04101</u>		Lessee/Buyer's Name (If Applicable)	Cost Of Work: <u>\$37,000</u> Fee: <u>\$205</u>
Proposed Project Description: (Please be as specific as possible) <u>Remodel bath, repair porch, remove exterior staircase</u> <u>other remodeling interior as per plans</u>			
Contractor's Name, Address & Telephone <u>Robert Moldaver</u> <u>60 Mellen</u> <u>04101</u> <u>773-2966</u>		Rec'd By: <u>RF</u>	

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must Include the following with you application.

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)



If there is expansion to the structure, a complete plot plan (Site Plan) must include:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and required zoning district setbacks.

4) Building Plans (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>5/20/99</u>
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Building Permit Fee: \$25.00 for the 1st \$1000. cost plus \$5.00 per \$1,000.00 construction cost thereafter.

SHORT FORM WARRANTY DEED

Catherine E. Shyka (formerly known as Catherine E. Majka) of 189 St. John Street, Portland, ME 04102, FOR CONSIDERATION PAID, grants to **Robert E. Moldaver and Jeanne M. Handy** of 60 Mellen Street, Portland, ME 04101, as joint tenants and not as tenants in common, with WARRANTY COVENANTS, the following described real property located in the City of Portland, County of Cumberland and State of Maine:

A certain lot or parcel of land, with the buildings thereon, situated in the City of Portland, County of Cumberland and State of Maine, being bounded and described as follows:

Beginning at the corner formed by the intersection of the easterly side of St. John Street with the northerly side of D Street; thence

Easterly by said northerly side of D Street, a distance of one hundred (100) feet, more or less, to land now or formerly of the City of Portland; thence

Northerly by said City land, a distance of thirteen (13) feet, more or less, to the southeasterly line of the Storer lot, so-called; thence

Northerly by land conveyed as the second parcel in a deed from Ethel M. Miller to The Blake Company dated June 26, 1973 and recorded in the Cumberland County Registry of Deeds in Book 3420, Page 32, a distance of thirty-seven (37) feet more or less, to a point on the southerly line of land conveyed to Wilfred L. Miller, et al, by J. B. Brown & Sons, by deed dated November 22, 1917 and recorded in the said Registry of Deeds in Book 999, Page 386, being the land conveyed to the Blake Company; thence

Westerly by said Blake Company land, a distance of one hundred (100) feet, more or less to the easterly sideline of said St. John Street; thence

Southerly along said easterly side of St. John Street, a distance of fifty (50) feet more or less, to the point of beginning.

The premises are conveyed together with and subject to any and all easements or appurtenances of record, insofar as the same are in force and applicable.

This conveyance is made subject to unpaid real estate taxes for the current tax year, if any, which the Grantees herein, by acceptance of this deed, assume and agree to pay.

Meaning and intending to convey and hereby conveying the same premises conveyed to the Grantor herein by deed of Susanne Willard and James Yalouris dated July 24, 1996 and recorded in the Cumberland County Registry of Deeds in Book 12631, Page 98. Reference is hereby made to Abstract of Divorce Decree, dated February 22, 1999, to be recorded in the Cumberland County Registry of Deeds prior hereto.

LAND USE - ZONING REPORT

ADDRESS: 189 St. John St DATE: 5/26/99

REASON FOR PERMIT: repair porch, remove exterior (rear) staircase & interior renovations

BUILDING OWNER: Robert Moldaver C-B-L: 68-A-5

PERMIT APPLICANT: owner

APPROVED: with conditions DENIED: _____

#1, #3, #6, #11

CONDITION(S) OF APPROVAL

I-Mb Zone
This is a legal Non-conforming use

- 1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2. During its existence, all aspects of the Home Occupation criteria, Section 14-410, shall be maintained.
- 3. The footprint of the existing front porch shall not be increased during maintenance reconstruction.
- 4. All the conditions placed on the original, previously approved, permit issued on _____ are still in effect for this amendment.
- 5. Your present structure is legally nonconforming as to rear and side setbacks. If you were to demolish the building on your own volition, you will **not** be able to maintain these same setbacks. Instead you would need to meet the zoning setbacks set forth in today's ordinances. In order to preserve these legally non-conforming setbacks, you may only rebuild the _____ in place and in phases.
- 6. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 7. Our records indicate that this property has a legal use of _____ units. Any change in this approved use shall require a separate permit application for review and approval.
- 8. Separate permits shall be required for any signage.
- 9. Separate permits shall be required for future decks, sheds, pool(s), and/or garage.
- 10. This is **not** an approval for an additional dwelling unit. You **shall not** add any additional kitchen equipment, such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals.

11. Other requirements of condition Please understand that since you use is legally non conforming, any structure such as the rear exterior staircase, that you remove, shall not be allowed to be replaced later on. You will lose any "grandfathered" right to rebuild in the future.

Marge Schmuckal, Zoning Administrator

... have any questions on this.

Marge Schmuckal

BUILDING PERMIT REPORT

DATE: 27/may/99 ADDRESS: 189 St. John St. CBL: 068-A-005
 REASON FOR PERMIT: - Interior renovations - Removing exterior stairs.
 BUILDING OWNER: Robert Moldauer
 PERMIT APPLICANT: _____ / Contractor Owner
 USE GROUP R-3 BOCA 1996 CONSTRUCTION TYPE 503

CONDITION(S) OF APPROVAL


This permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: *1, *11, *13, *19, *29, *31, *32, *33

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
 2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
 3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
 4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' o.c. between bolts. (Section 2305.17)
 5. Waterproofing and damp proofing shall be done in accordance with Section 1813.0 of the building code.
 6. Precaution must be taken to protect concrete from freezing. Section 1908.0
 7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
 8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1996)
 9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
 10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
 11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2, M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 3e4" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0) - Handrails shall be on both sides of stairway. (Section 1014.7)
 12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
 13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
 14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
 15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1018.6)
 16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
- closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) (Section 110.0)

18. The boiler shall be protected by enclosing with (1)hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)
- X 19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
 In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2.
20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
21. The Fire Alarm System shall maintained to NFPA #72 Standard.
22. The Sprinkler System shall maintained to NFPA #13 Standard.
23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1996)
24. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
26. Ventilation shall meet the requirements of Chapter 12 Sections 1210.0 of the City's Building Code. (Crawl spaces & attics).
27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- X 28. All requirements must be met before a final Certificate of Occupancy is issued.
- X 29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (the BOCA National Building Code/1996).
30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- X 31. Please read and implement the attached Land Use Zoning report requirements.
- X 32. Boring, cutting and notching shall be done in accordance with Sections 2305.4.4, 2305.5.1 and 2305.5.3 of the City's Building Code.
- X 33. Glass and glazing shall meet the requirements of Chapter 24 of the building code.
- 34.

35. _____
36. _____


 P. Samuel Hoffses, Building Inspector
 cc: M. McDougall, PFD
 Marge Schmuckal, Zoning Administrator

**On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.