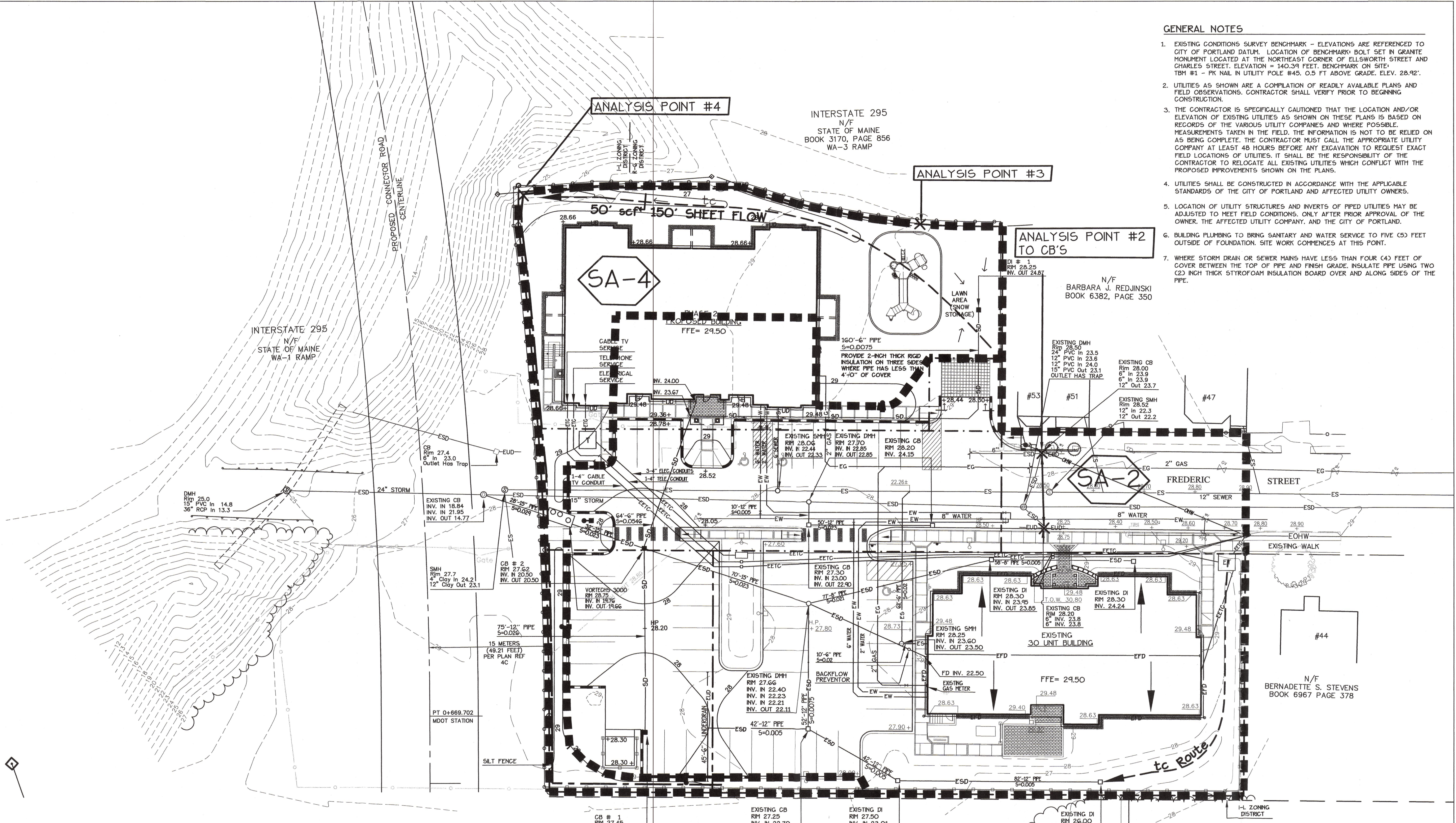


Prepared For:  
 Applicant:  
**AVESTA FORE RIVER HOUSING, LP**  
 307 Cumberland Avenue  
 Portland, Maine 04101  
 Tel: (207) 553-7777

Prepared By:  
**MITCHELL & ASSOCIATES**  
 Landscape Architects  
 The Staples School  
 70 Center Street  
 Portland, Maine 04101  
 Tel: (207) 774-4427

**GENERAL NOTES**

- EXISTING CONDITIONS SURVEY BENCHMARK - ELEVATIONS ARE REFERENCED TO CITY OF PORTLAND DATUM. LOCATION OF BENCHMARK BOLT SET IN GRANITE MONUMENT LOCATED AT THE NORTHEAST CORNER OF ELLSWORTH STREET AND CHARLES STREET. ELEVATION = 140.39 FEET. BENCHMARK ON SITE: TBM #1 - PK NAIL IN UTILITY POLE #45, 0.5 FT ABOVE GRADE. ELEV. 28.92'.
- UTILITIES AS SHOWN ARE A COMPILATION OF READILY AVAILABLE PLANS AND FIELD OBSERVATIONS. CONTRACTOR SHALL VERIFY PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE STANDARDS OF THE CITY OF PORTLAND AND AFFECTED UTILITY OWNERS.
- LOCATION OF UTILITY STRUCTURES AND INVERTS OF PIPED UTILITIES MAY BE ADJUSTED TO MEET FIELD CONDITIONS, ONLY AFTER PRIOR APPROVAL OF THE OWNER, THE AFFECTED UTILITY COMPANY, AND THE CITY OF PORTLAND.
- BUILDING PLUMBING TO BRING SANITARY AND WATER SERVICE TO FIVE (5) FEET OUTSIDE OF FOUNDATION. SITE WORK COMMENCES AT THIS POINT.
- WHERE STORM DRAIN OR SEWER MAINS HAVE LESS THAN FOUR (4) FEET OF COVER BETWEEN THE TOP OF PIPE AND FINISH GRADE, INSULATE PIPE USING TWO (2) INCH THICK STYROFOAM INSULATION BOARD OVER AND ALONG SIDES OF THE PIPE.



**LEGEND**

	EXISTING	PROPOSED		EXISTING	PROPOSED
PROPERTY LINE	---	---	CURBING	---	---
IRON PIPE/ROD FOUND	⊙	⊙	CHANLINK FENCE	—○—	—○—
GRANITE MONUMENT	⊠	⊠	WOOD FENCE	—□—	—□—
CAPPED REBAR	⊙	⊙	GUARD RAIL	—▬—	—▬—
UTILITY POLE	⊕	⊕	SIGN	—T—	—T—
LIGHT FIXTURE	⊕	⊕	CONTOUR	—76—	—76—
MANHOLE	⊙	⊙	WATER	—EW—	—W—
VALVE	⊕	⊕	OVERHEAD UTILITY WIRE	—EOW—	—OW—
CATCH BASIN	⊕	⊕	SANITARY SEWER	—ES—	—S—
FIRE HYDRANT	⊕	⊕	UNDERGROUND ELECTRIC	—ETC—	—ETC—
DECIDUOUS TREE/SHRUB	⊙	⊙	STORM DRAIN	—ESD—	—SD—
EVERGREEN TREE/SHRUB	⊙	⊕	GAS	—EG—	—G—
TREE LINE	⊕	⊕	UNDERDRAIN	—EUD—	—UD—

**FORE RIVER APARTMENTS**  
 Portland, Maine  
 63 Frederic Street

Date:  
**OCTOBER 26, 2004**

Revisions:  
 DEC 2, 2004: Staff Comments  
 DEC 20, 2004: Staff Comments

Reproduction or reuse of this document without the expressed written consent of Mitchell & Associates is prohibited.

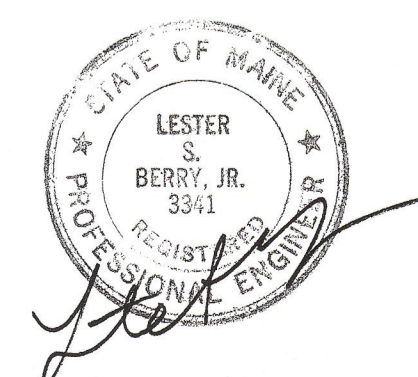
Title:  
**POST DEVELOPMENT DRAINAGE PLAN**

Scale: 1"=20'

North:

Sheet No.: **7**

CITY OF PORTLAND  
 APPROVED SITE PLAN  
 Subject to Dept. Conditions  
 Date of Approval: *12/25/05*



N/F  
 PORTLAND TERMINAL COMPANY  
 BOOK 523, PAGE 1

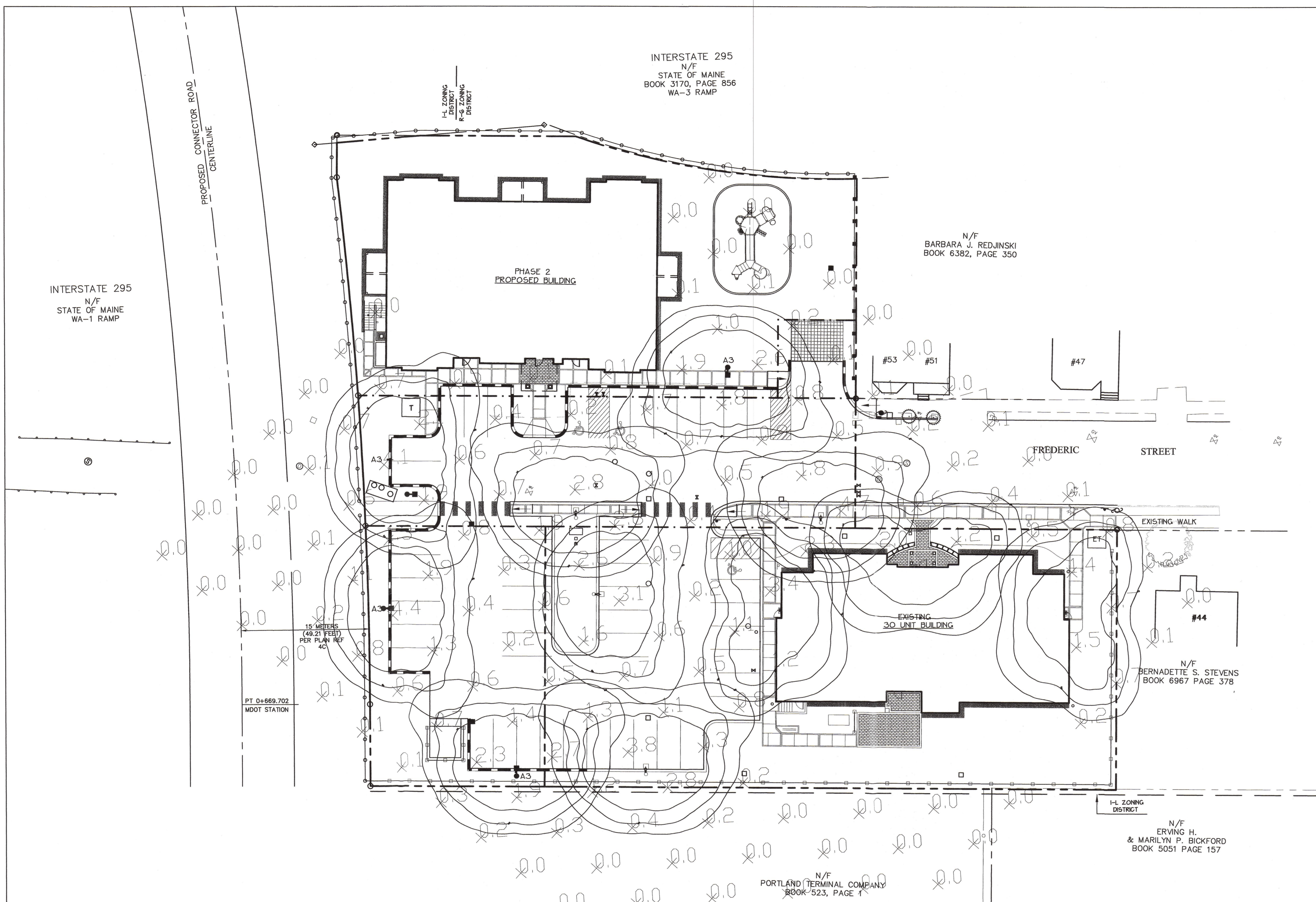
N/F  
 ERVING H. & MARILYN P. BICKFORD  
 BOOK 5051 PAGE 157

N/F  
 BARBARA J. REDJINSKI  
 BOOK 6382, PAGE 350

N/F  
 BERNADETTE S. STEVENS  
 BOOK 6967 PAGE 378

INTERSTATE 295  
 N/F  
 STATE OF MAINE  
 BOOK 3170, PAGE 856  
 WA-3 RAMP

INTERSTATE 295  
 N/F  
 STATE OF MAINE  
 WA-1 RAMP



INTERSTATE 295  
N/F  
STATE OF MAINE  
WA-1 RAMP

INTERSTATE 295  
N/F  
STATE OF MAINE  
BOOK 3170, PAGE 856  
WA-3 RAMP

N/F  
BARBARA J. REDJINSKI  
BOOK 6382, PAGE 350

N/F  
BERNADETTE S. STEVENS  
BOOK 6967 PAGE 378

N/F  
ERVING H.  
& MARILYN P. BICKFORD  
BOOK 5051 PAGE 157

N/F  
PORTLAND TERMINAL COMPANY  
BOOK 523, PAGE 1

**LEGEND**

	EXISTING	PROPOSED		EXISTING	PROPOSED
PROPERTY LINE			CURBING		
IRON PIPE/ROD FOUND			CHAINLINK FENCE		
GRANITE MONUMENT			WOOD FENCE		
CAPPED REBAR			GUARD RAIL		
UTILITY POLE			SIGN		
MANHOLE			LIGHT FIXTURE		
VALVE			BUILDING MOUNTED LIGHT		
CATCH BASIN					
FIRE HYDRANT					
DECIDUOUS TREE/SHRUB					
EVERGREEN TREE/SHRUB					
TREE LINE					

**GENERAL NOTES**

- EXTERIOR POLE MOUNTED LIGHT FIXTURES SHALL BE 100 WATT METAL HALIDE, MINI-AEROLINE MODEL, AS MANUFACTURED BY USA ARCHITECTURAL LIGHTING. POLE LIGHTS ARE ON 15 FOOT POLES. THE BUILDING MOUNTED LIGHTS SHALL BE 100 WATT METAL HALIDE, GREENLEE LIGHTING WGS SERIES, AS MANUFACTURED BY LSI INDUSTRIES, INC.
- AREA STATISTICS\* (PARKING AREA ONLY)  
AVE: 1.22 MAX: 4.35 MIN: 0.20 AVE/MIN: 6.14-1 MAX/MIN: 21.81-1

**LIGHTING FIXTURE SCHEDULE**

TYPE	DESCRIPTION	LAMP QUANTITY + TYPE
A3	AERM-II-100MH-MT-S123-BKM	4-SINGLE HEAD ASSEMBLY

Prepared For:  
Applicant:  
**AVESTA FORE RIVER HOUSING, LP**  
307 Cumberland Avenue  
Portland, Maine 04101  
Tel: (207) 553-7777

Prepared By:  
**MITCHELL & ASSOCIATES**  
Landscape Architects  
The Staples School  
70 Center Street  
Portland, Maine 04101  
Tel: (207) 774-4427

**FORE RIVER APARTMENTS**  
Portland, Maine  
63 Frederic Street

Date:  
OCTOBER 26, 2004

Revisions:  
DEC 20, 2004: Staff Comments

Reproduction or reuse of this document without the expressed written consent of Mitchell & Associates is prohibited.

Title:  
**PHOTOMETRICS PLAN**

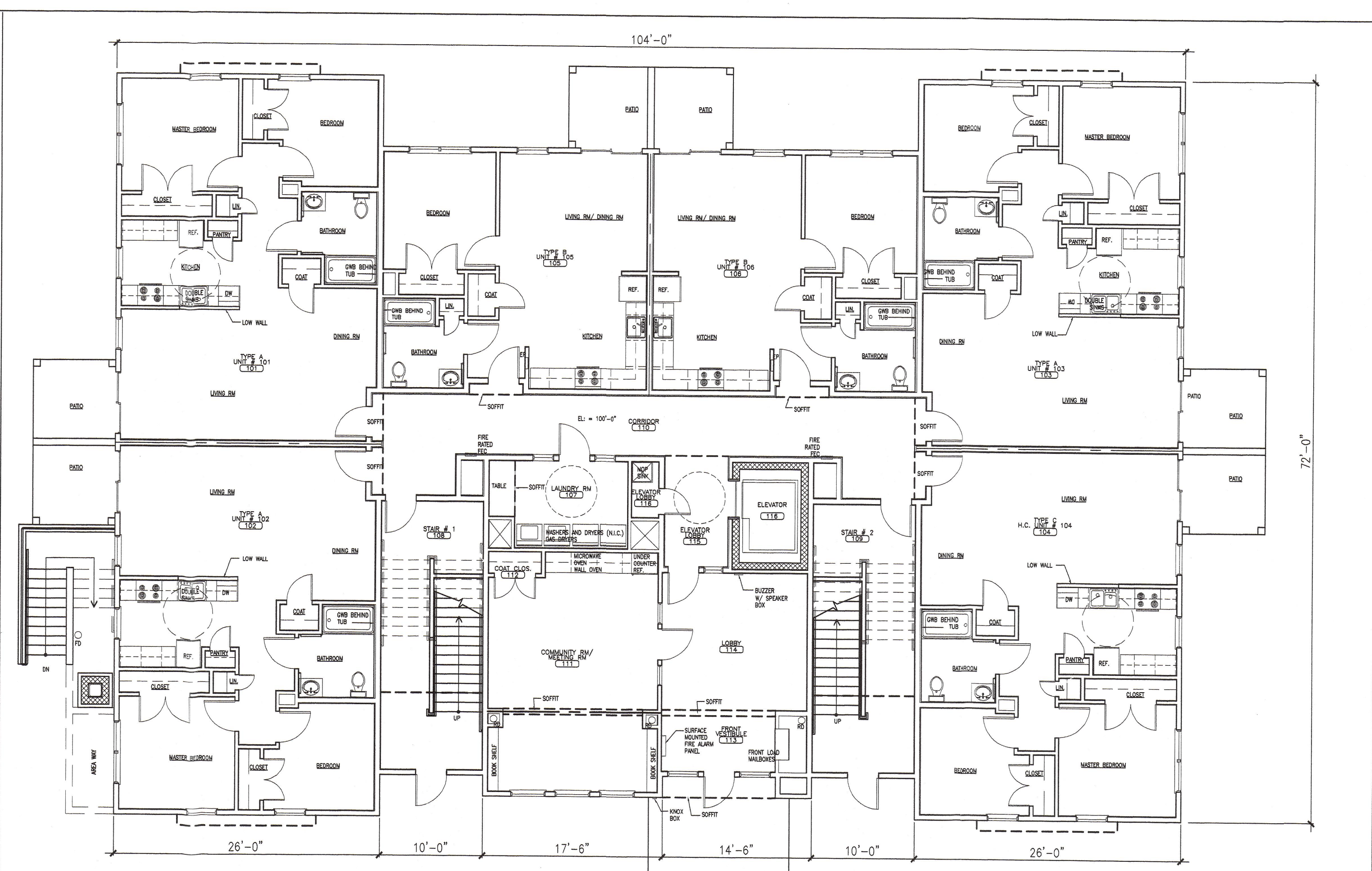
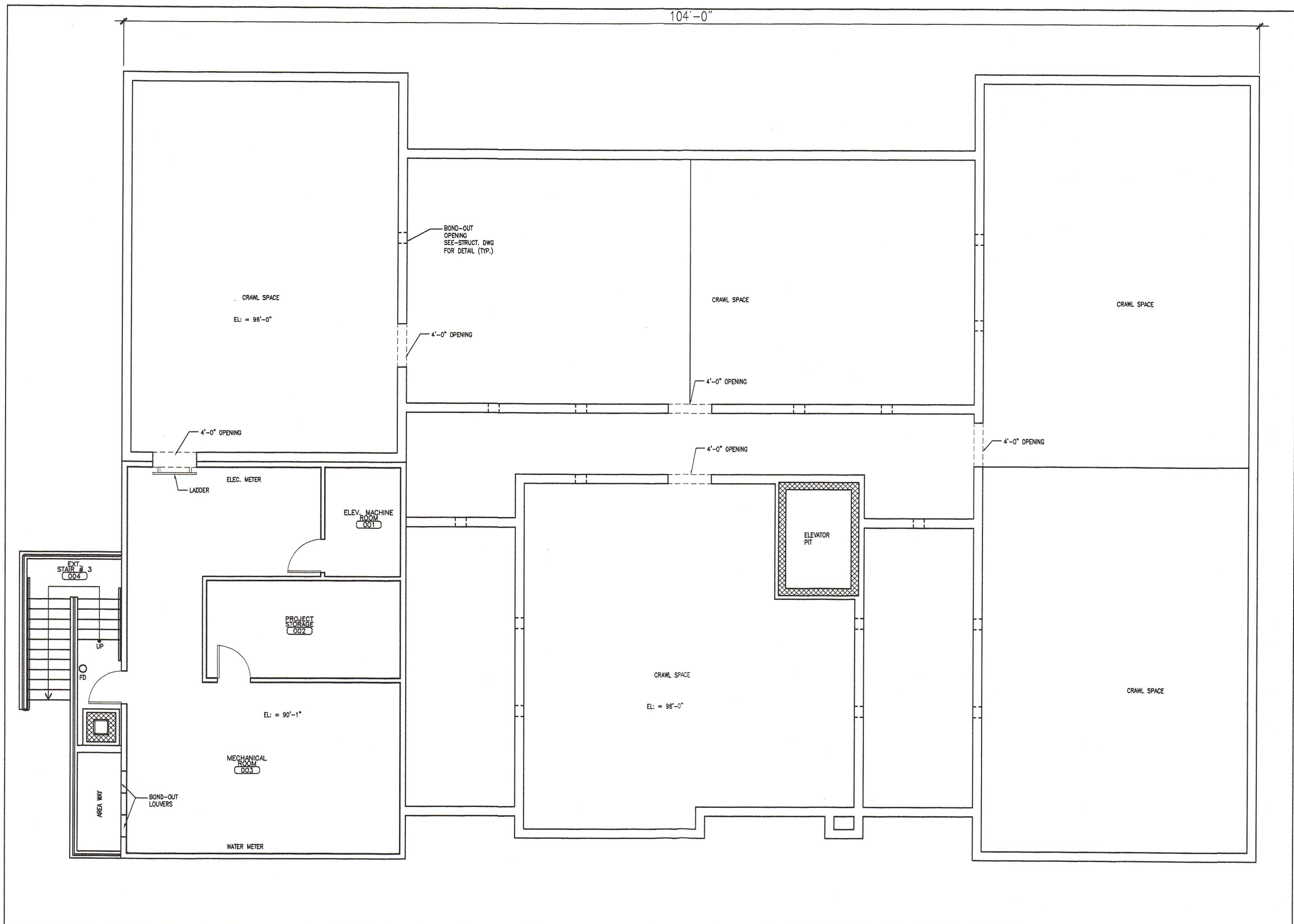
Scale: 1"=20'

North:

Sheet No:  
**8**

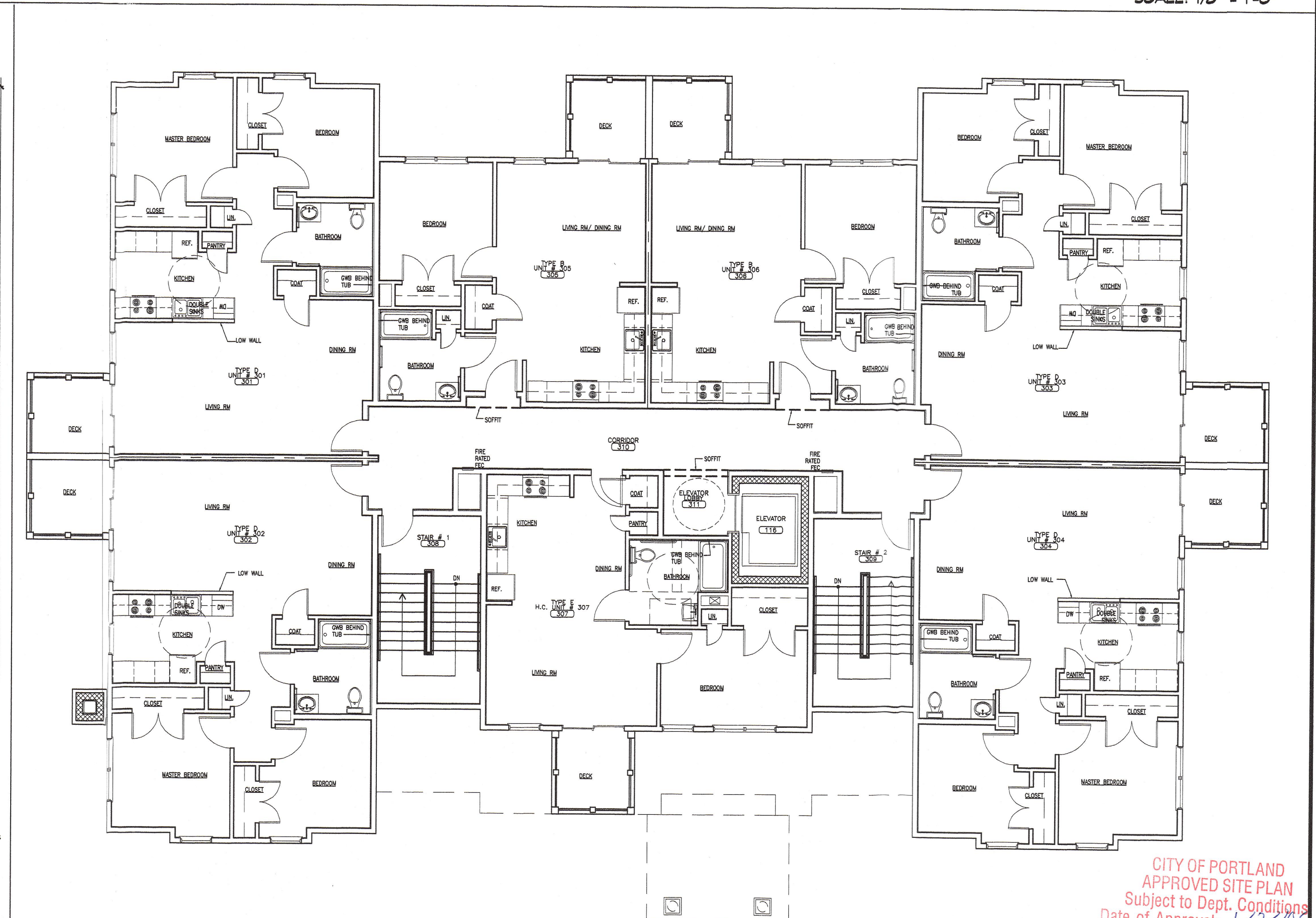
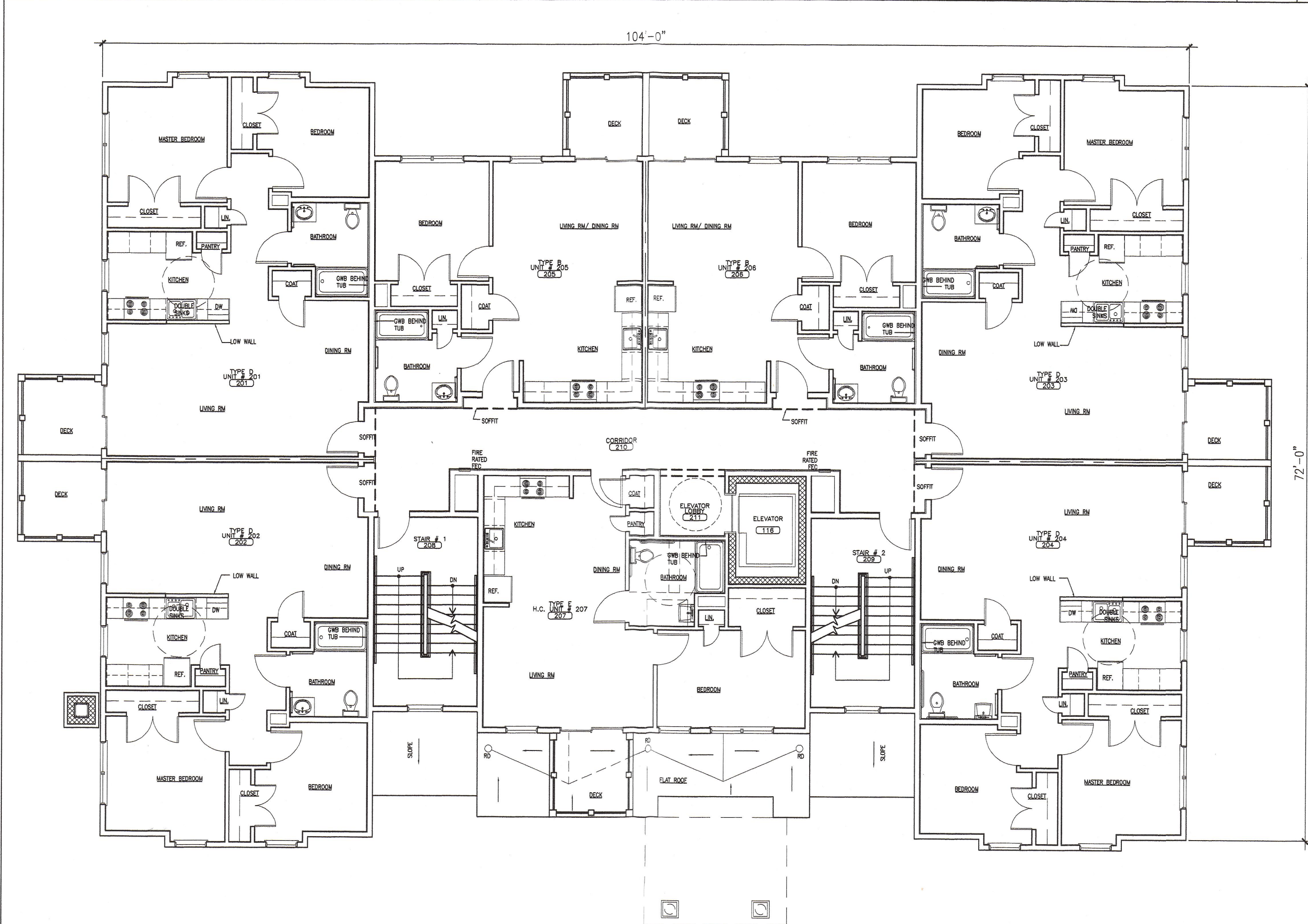
CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Conditions  
Date of Approval: 1/23/05

T:\Projects\0411\0411.dwg 1/23/05 11:51 AM



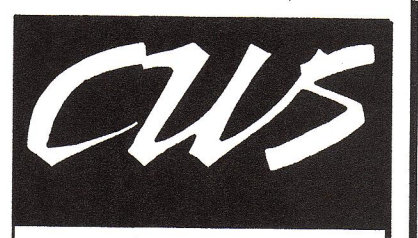
**1** BASEMENT / CRAWL SPACE  
REFERENCED FROM: SCALE: 1/8" = 1'-0"

**2** FIRST FLOOR PLAN  
REFERENCED FROM: SCALE: 1/8" = 1'-0"



**3** SECOND FLOOR PLAN  
REFERENCED FROM: SCALE: 1/8" = 1'-0"

**4** THIRD FLOOR PLAN  
REFERENCED FROM: SCALE: 1/8" = 1'-0"



**CWS Architects**  
 Architecture  
 Space Planning  
 Value Design  
 434 Cumberland Avenue  
 Portland, ME 04101  
 Phone: (207)774-4441  
 Fax: (207)774-4016  
[www.CWSarch.com](http://www.CWSarch.com)

Owner:  
**FORE RIVER HOUSING LP**  
 c/o York Cumberland Housing Development Corp.  
 Gorham, Maine

Client:

**FORE RIVER APARTMENTS**  
 63 Frederic Street  
 Portland, Maine

Project No: 04416 FRA

Drawing Title:  
**FLOOR PLANS**

Scale: 1/8" = 1'-0"

Date: 12/20/2004

Revisions:

- ▲
- ▲
- ▲
- ▲
- ▲

Drawing Number:  
**A1.1**

CITY OF PORTLAND  
 APPROVED SITE PLAN  
 Subject to Dept. Conditions  
 Date of Approval: 12/23/05



FRONT ELEVATION



SIDE ELEVATION



SIDE ELEVATION



BACK ELEVATION

CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Conditions  
Date of Approval: 1/25/05

**CWS**

CWS Architects

Architecture  
Space Planning  
Value Design

434 Cumberland Avenue  
Portland, ME 04101  
Phone: (207)774-4441  
Fax: (207)774-4016

www.CWSarch.com

Owner: **FORE RIVER HOUSING LP**  
c/o York Cumberland Housing Development Corp.  
Gorham, Maine

Client:

**FORE RIVER APARTMENTS**  
63 Frederic Street  
Portland, Maine

Project No: 04416 FRA

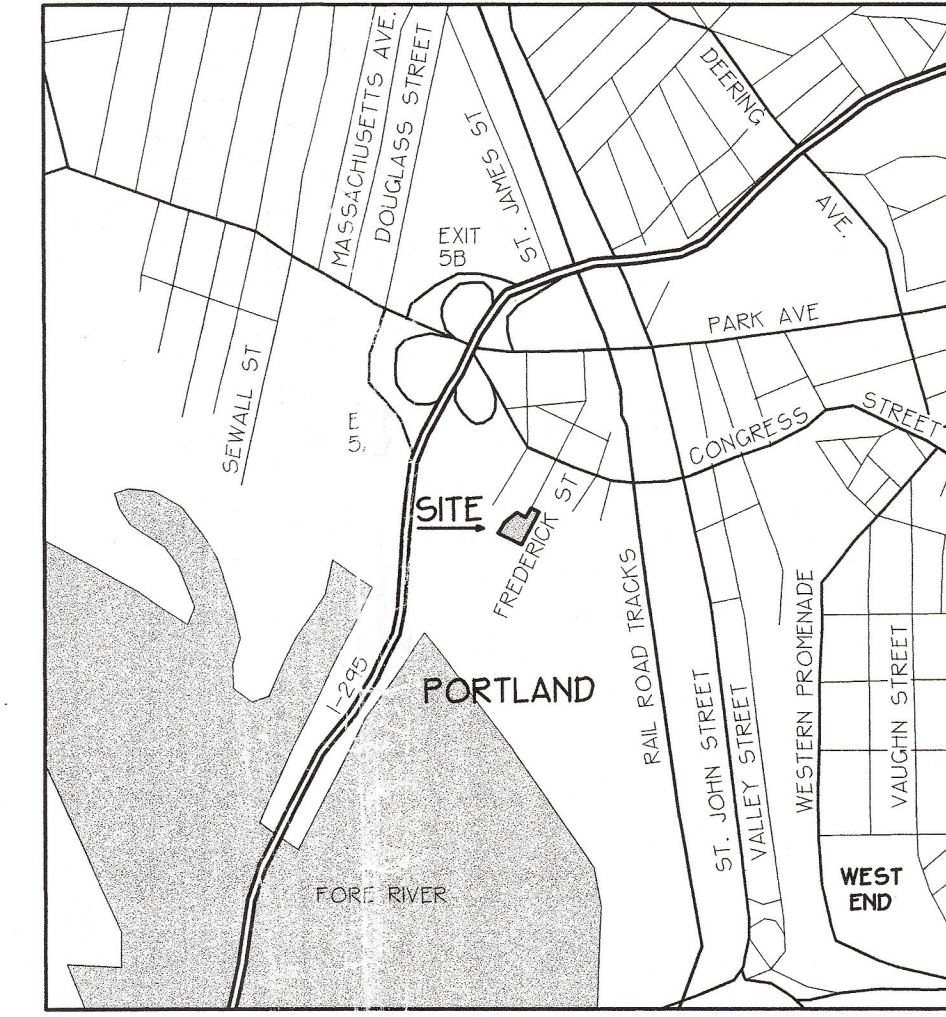
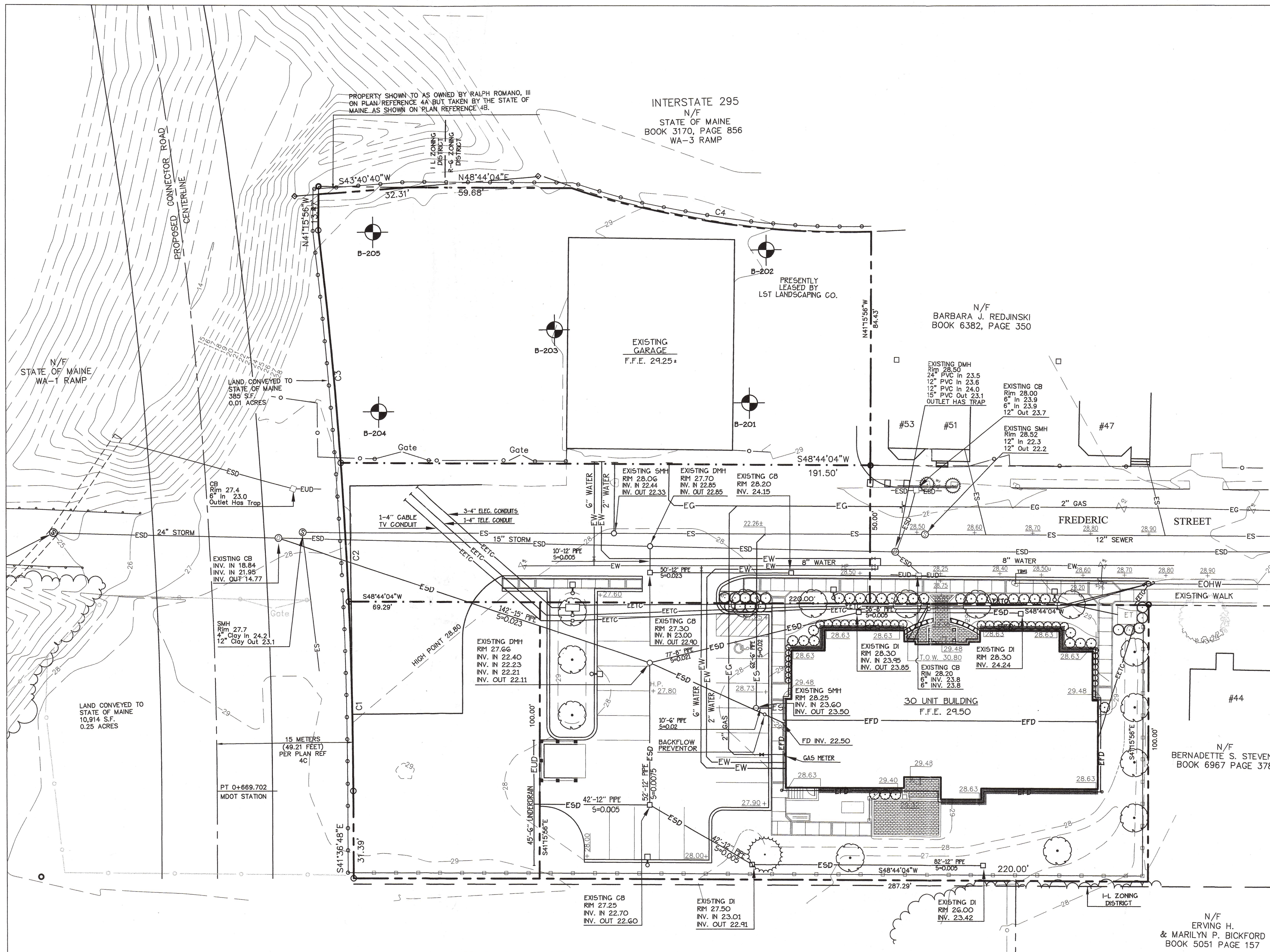
Drawing Title: **BUILDING ELEVATIONS**

Scale: 1/4" = 1'-0"

Date: 12/20/2004

Revisions:

Drawing Number: **A3.1**



LOCATION MAP  
NOT TO SCALE

**GENERAL NOTES**

- TOTAL SITE AREA: PHASE II 34,651 SF OR .80 AC
- ZONING DISTRICT: CONTRACT ZONE
- RECORD OWNER: AVESTA HOUSING DEVELOPMENT CORP.  
307 CUMBERLAND AVENUE  
PORTLAND, MAINE 04101  
TEL: (207) 553-7777
- TAX MAP AND LOT: TAX MAP 67, K, 19
- BOUNDARY INFORMATION TAKEN FROM A PLAN ENTITLED: "LOT DIVISION PLAN OF ROMANO PROPERTY FREDERIC STREET PORTLAND, MAINE FOR YORK-CUMBERLAND HOUSING MANAGEMENT CORPORATION", DATED 3/18/03, PREPARED BY SEBAGO TECHNCS, 1 CHABOT STREET, WESTBROOK, MAINE 04098-1339.
- EXISTING CONDITIONS INFORMATION TAKEN FROM A PLAN TITLED: "EXISTING CONDITIONS PLAN, COMMERCIAL DEVELOPMENT FREDERIC STREET, PORTLAND, MAINE", DATED APRIL 1998, PREPARED BY SQUAW BAY CORP. CONSULTING ENGINEERS, P.O. BOX 86A CUMBERLAND CENTER, MAINE 04021.
- EXISTING CONDITIONS SURVEY BENCHMARK - ELEVATIONS ARE REFERENCED TO CITY OF PORTLAND DATUM. LOCATION OF BENCHMARK BOLT SET IN GRANT STREET MONUMENT LOCATED AT THE NORTHEAST CORNER OF ELLSWORTH STREET AND CHARLES STREET. ELEVATION = 140.39 F.F.T. BENCHMARK ON SITE: TBM #1 = PK NAIL IN UTILITY POLE #45, 0.5 FT ABOVE GRADE. ELEV. 28.92.
- UTILITIES AS SHOWN ARE A COMPIATION OF READILY AVAILABLE PLANS AND FIELD OBSERVATIONS. CONTRACTOR SHALL VERIFY PRIOR TO BEGINNING CONSTRUCTION.

**SURVEY NOTES** (PREPARED BY SEBAGO TECHNCS)

- THE RECORD OWNER OF THE PARCEL IS RALPH ROMANO, II BY DEED DATED JANUARY 1, 1990 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 9066 PAGE 346.
- THE PROPERTY IS SHOWN AS LOT A/1-8 ON THE CITY OF PORTLAND TAX MAP 76 AND LOT 7/19 ON TAX MAP 67 AND ARE LOCATED IN THE 66 AND I ZONE.
- THE BOUNDARY INFORMATION SHOWN HEREON IS BASED SOLELY UPON PLAN REFERENCES IN 4B AND 4C. THE TITLE COMMENT FROM CURTIS THAXTER STEVENS BROTHER + McCOLEAU LLC AND FIELD LOCATION OF MONUMENTATION BY SEBAGO TECHNCS, INC.
- PLAN REFERENCES:
  - STANDARD BOUNDARY SURVEY, FREDERIC ST. PORTLAND, BY LAND USE CONSULTANTS DATED AUGUST 10, 1988
  - MAINE STATE HIGHWAY COMMISSION RIGHT OF WAY MAP, STATE HIGHWAY 295, PORTLAND CUMBERLAND COUNTY, FEDERAL AID PROJECT NO. 1-245-3(2-2), DATED MAY 1967, S.H.C. FILE NO. 3-185, SHEET 39 OF 73.
  - MAINE STATE HIGHWAY COMMISSION RIGHT OF WAY MAP, STATE HIGHWAY 295, PORTLAND CUMBERLAND COUNTY, FEDERAL AID PROJECT NO. 1-245-3(2-3), DATED SEPTEMBER 2002, S.H.C. FILE NO. 3-483, SHEET 1 OF 19.
- REFERENCE IS MADE TO EASEMENT GRANTED TO CENTRAL MAINE POWER COMPANY AND NEW ENGLAND TELEPHONE AND TELEGRAPH DATED APRIL 16, 1971, AND RECORDED IN BOOK 4171, PAGE 167.
- REFERENCE IS MADE TO RESTRICTIONS SET FORTH IN A DEED FROM JAMES OTTIE COREY TO RALPH ROMANO, JR. DATED DECEMBER 16, 1949 AND RECORDED IN BOOK 1985, PAGE 85.
- REFERENCE IS MADE TO RESTRICTIONS SET FORTH IN A DEED FROM RALPH R. WEBB TO RALPH ROMANO, JR. DATED OCTOBER 18, 1949 AND RECORDED IN BOOK 1477, PAGE 184.

**LEGEND**

PROPERTY LINE	EXISTING	CURBING	EXISTING
EASEMENT LINE		CHAIN LINK FENCE	
IRON PIPE/ROD FOUND		WOOD FENCE	
GRANITE MONUMENT		GUARD RAIL	
CAPPED REBAR		SIGN	
UTILITY POLE	UP 810	CONTOUR	-76-
MANHOLE		WATER	EW
VALVE	GV 1/4 W	UNDERGROUND ELECTRIC TELEPHONE + CABLE	ETC
CATCH BASIN	CB 810	SANITARY SEWER	ES
FIRE HYDRANT		STORM DRAIN	ESD
DECIDUOUS TREE/SHRUB		GAS	EG
EVERGREEN TREE/SHRUB		UNDERDRAIN	EUD
TREE LINE		OVERHEAD UTILITY WIRE	EOHW
LIGHT FIXTURE			

**TEST BORING LOG**

- B-201**  
 2.5" BITUMINOUS ASPHALT  
 2.5' BROWN GRAVELLY SAND W/ BLACK COAL ASH (FILL)  
 3.0' BROWN MOTTLED FINE SANDY SILT (MEDIUM TO STIFF)  
 8.2' BROWN SILTY SAND (MEDIUM DENSE)  
 13.5' BROWN SILTY CLAY W/ FINE SAND SEAMS (MEDIUM)  
 17.0' GRAY SILTY CLAY W/ FINE SAND SEAMS (MEDIUM)
- B-202**  
 2.5" BITUMINOUS ASPHALT  
 2.5' BROWN SAND SOME GRAVEL TRACE SILT W/ ORGANICS (FILL) (MEDIUM DENSE)  
 4.5' BROWN GRAVELLY MEDIUM TO COARSE SAND TRACE SILT (FILL) (MEDIUM DENSE)  
 7.2' BROWN SILTY FINE SAND W/ OXIDE STAINING (LOOSE)  
 12.5' GRAYISH-BROWN MOTTLED STIFF CLAY W/ SAND SEAMS (STIFF)  
 17.0' GRAY SILTY CLAY W/ OXIDE STAINS (MEDIUM)
- B-203**  
 3.0' BROWN GRAVELLY MEDIUM TO COARSE SAND SOME SILT W/ WOOD DEBRIS (FILL) (MEDIUM DENSE)  
 4.5' BROWN FINE TO MEDIUM SAND SOME SILT TRACE GRAVEL (FILL) (MEDIUM DENSE)  
 10.0' LIGHT BROWN SILTY FINE SAND (LOOSE)  
 11.5' BROWN SILTY CLAY W/ FINE SAND SEAMS (MEDIUM)  
 14.5' BROWN SILTY FINE SAND (MEDIUM DENSE)  
 17.0' GRAY SILT CLAY (MEDIUM)
- B-204**  
 1.5' BROWN GRAVELLY FINE TO COARSE SAND (FILL)  
 3.0' BLACK SILTY FINE TO MEDIUM SAND W/ BRICK FRAGMENTS (FILL) (MEDIUM DENSE)  
 4.5' GRAY MOTTLED SILTY SANDY CLAY (FILL) (MEDIUM DENSE)  
 7.0' BROWNISH GRAY SILTY SAND (MEDIUM DENSE)  
 11.5' BROWN SILTY CLAY W/ FINE SAND SEAMS (STIFF)  
 12.0' BROWN SILTY FINE SAND (MEDIUM DENSE)  
 17.0' GRAY SILTY CLAY (MEDIUM)

**PROPERTY LINE CURVE DATA**

CURVE	LENGTH	RADIUS	CRD. BEARING	CRD. DIST.
C1	68.64'	1689.61'	N42°46'38"W	68.64
C2	50.10'	1689.61'	N44°47'26"W	50.09
C3	84.12'	1689.61'	N47°03'58"W	84.11
C4	109.84'	305.00'	N56°55'42"E	109.25

Prepared For:  
 Applicant:  
**AVESTA FORE RIVER HOUSING, LP**  
 307 Cumberland Avenue  
 Portland, Maine 04101  
 Tel: (207) 553-7777

Prepared By:  
**MITCHELL & ASSOCIATES**  
 Landscape Architects  
 The Staples School  
 70 Center Street  
 Portland, Maine 04101  
 Tel: (207) 774-4427

**FORE RIVER APARTMENTS**  
 Portland, Maine  
 63 Frederic Street

Date: **OCTOBER 26, 2004**

Revisions:

Reproduction or reuse of this document without the expressed written consent of Mitchell & Associates is prohibited.

Title: **EXISTING CONDITIONS PLAN**

Scale: 1"=20'

North:

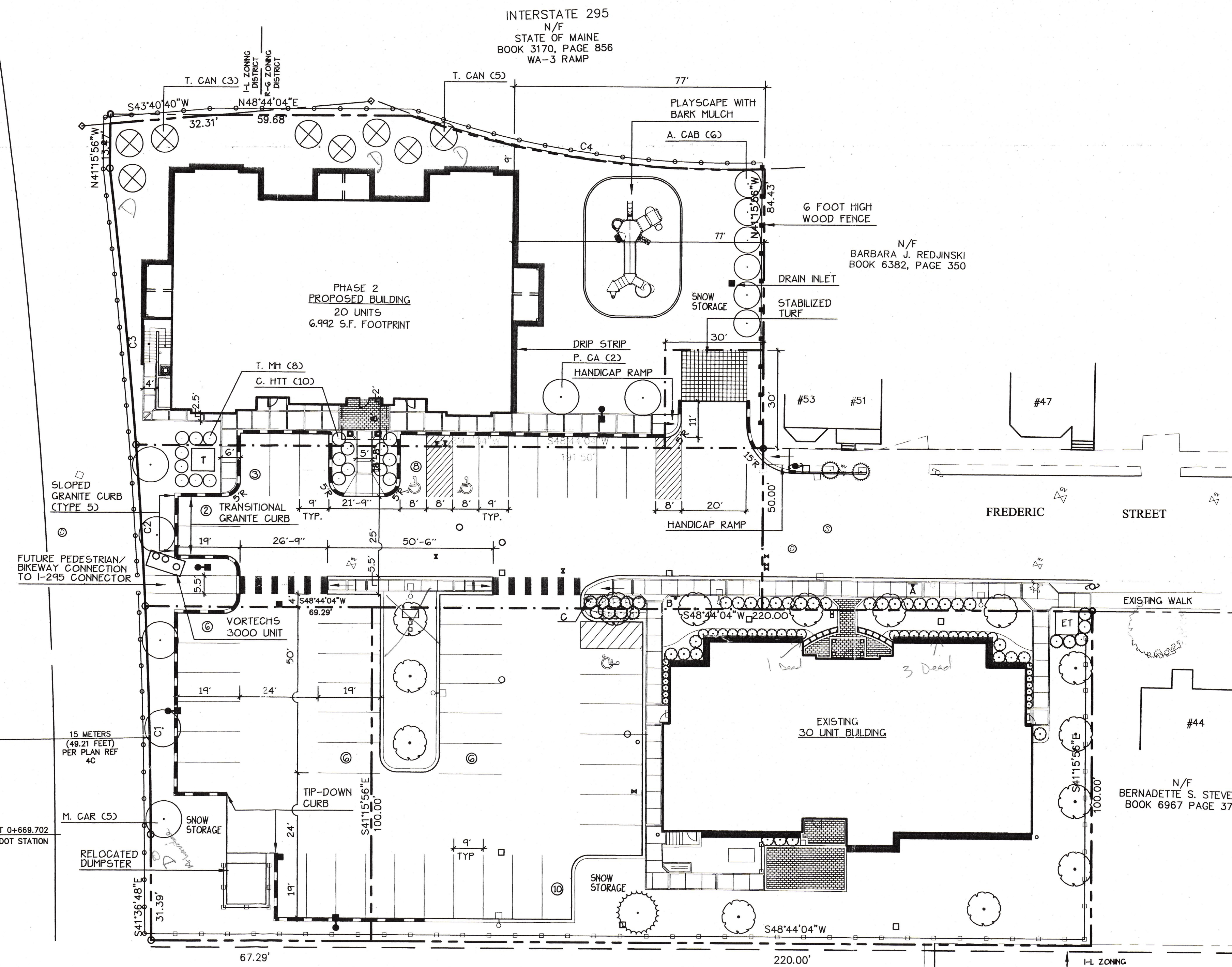
Sheet No.: **1**

CITY OF PORTLAND  
 APPROVED SITE PLAN  
 Subject to Dept. Conditions  
 Date of Approval: 1/28/05

*Fore River Apt. S. - Frederic St.*

INTERSTATE 295  
N/F  
STATE OF MAINE  
WA-1 RAMP

PROPOSED CONNECTOR ROAD  
CENTERLINE



**GENERAL NOTES**

- TOTAL SITE AREA: PHASE 2 34,651 SF OR .80 AC
  - ZONING DISTRICT: CONTRACT ZONE
  - RECORD OWNER: AVESTA HOUSING DEVELOPMENT CORP. 307 CUMBERLAND AVENUE PORTLAND, MAINE 04101 TEL: (207) 553-7777
  - TAX MAP AND LOT: TAX MAP #7, K. 19
  - SPACE AND BULK STANDARDS: (CONTRACT ZONE STANDARDS)
- |                                | REQUIRED  | PHASE 2    |
|--------------------------------|---|------------|
| MINIMUM LOT AREA               | NONE  | 34,651 SF  |
| MINIMUM AREA PER DWELLING UNIT | 725 S.F.  | 725 S.F.   |
| MINIMUM STREET FRONTAGE        | 50 FEET   | 50 FEET    |
| MINIMUM FRONT YARD             | NONE  | N/A        |
| MINIMUM REAR YARD              | 10 FEET BETWEEN STRUCTURES ADJACENT TO ABUTTING RESIDENCE | N/A        |
| MINIMUM SIDE YARD              | 10 FEET BETWEEN STRUCTURES ADJACENT TO ABUTTING RESIDENCE | 77 FEET    |
| MAXIMUM LOT COVERAGE           | 80 PERCENT  | 70 PERCENT |
| MINIMUM LOT WIDTH              | 50 FEET   | 50 FEET    |
| MAXIMUM STRUCTURE HEIGHT       | 45 FEET   | 45 FEET    |
| OPEN SPACE RATIO               | 20 PERCENT  | 30 PERCENT |
- PARKING REQUIREMENTS:
 

	REQUIRED	PROPOSED
FORE RIVER APARTMENT	1.75 SPACES/UNIT	35 SPACES
LOGAN PLACE	8 SPACES	8 SPACES
ADDITIONAL SPACES	0 SPACES	5 SPACES
TOTAL SPACES	43 SPACES	48 SPACES
  - BOUNDARY INFORMATION TAKEN FROM A PLAN ENTITLED "LOT DIVISION PLAN OF ROMANO PROPERTY FREDERIC STREET PORTLAND, MAINE FOR FORK-CUMBERLAND HOUSING MANAGEMENT CORPORATION", DATED 3/18/03, PREPARED BY SEBAGO TECHNICS, 1 CHABOT STREET, WESTBROOK, MAINE 04098-1334.
  - EXISTING CONDITIONS INFORMATION TAKEN FROM A PLAN TITLED "EXISTING CONDITIONS PLAN, COMMERCIAL DEVELOPMENT FREDERIC STREET, PORTLAND, MAINE", DATED APRIL 1988, PREPARED BY SQUAW BAY CORP. CONSULTING ENGINEERS, P.O. BOX 86A CUMBERLAND CENTER, MAINE 04021.
  - EXTERIOR POLE MOUNTED LIGHT FIXTURES SHALL BE 100 WATT METAL HALIDE, MINI-AEROLUMINE MODEL, AS MANUFACTURED BY USA ARCHITECTURAL LIGHTING. POLE LIGHTS ARE ON 15 FOOT POLES. THE BUILDING MOUNTED LIGHTS SHALL BE 100 WATT METAL HALIDE, GREENLEE LIGHTING WCS SERIES, AS MANUFACTURED BY LSI INDUSTRIES, INC.
  - ALL PROPOSED SIGNAGE SHALL CONFORM TO THE CITY OF PORTLAND AND NORMAL HIGHWAY STANDARDS.
  - FINAL LOCATION OF SIGNAGE TO BE COORDINATED WITH THE CITY OF PORTLAND TRAFFIC SECTION.

**PROPERTY LINE CURVE DATA**

CURVE	LENGTH	RADIUS	CRD. BEARING	CRD. DIST.
C1	68.64'	1689.61'	N42°46'38"W	68.64
C2	50.10'	1689.61'	N44°47'26"W	50.09
C3	84.12'	1689.61'	N47°03'58"W	84.11
C4	109.84'	305.00'	N56°55'42"E	109.25

**PLANT LIST**

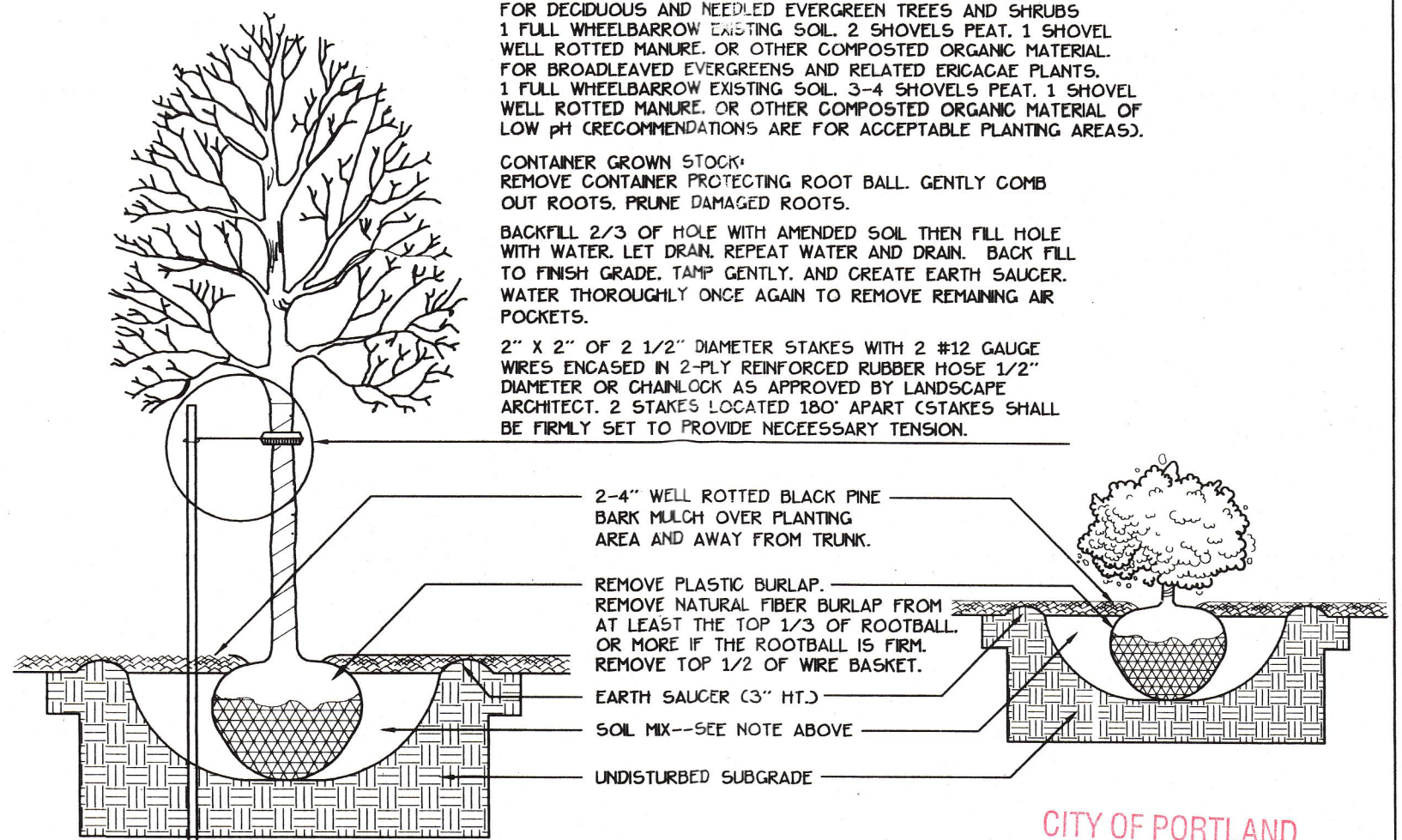
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
<b>TREES</b>				
A. CAB	6	AMELANCHIER ABORNA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	2"-2.5" CAL.
M. CAR	5	MALUS 'CARDINAL'	CARDINAL FLOWERING CRAB	2"-2.5" CAL.
P. CA	2	PYRUS CALLERYANA 'ARISTOCRAT'	ARISTOCRAT ORNAMENTAL PEAR	2"-2.5" CAL.
T. CAN	8	TSUGA CANADENSIS	CANADIAN HEMLOCK	5'-6" HT.
<b>SHRUBS</b>				
C. HTT	10	COTONEASTER HORIZONTALIS 'TOM THUMB'	TOM THUMB COTONEASTER	#3 CONT.
T. MH	8	TAXUS x MEDIA 'HATFIELD'	HATFIELD YEW	2"-2.5" HT.

**SIGN LEGEND**

KEY	QTY	SIGN TEXT
A	1	"NO PARKING THIS SIDE OF STREET"
B	1	"PRIVATE ROAD BEYOND THIS POINT"
C	1	"PEDESTRIAN TRAIL"

**\*NOTES\***

- DIK HOLE AT LEAST 2 TIMES THE WIDTH OF ROOT BALL AND AS DEEP AS THE ROOT BALL AND DEEPER. SET ROOT BALL CENTERED WITH TOP AT GROUND LEVEL OR SLIGHTLY HIGHER. CORRECT HOLE DEPTH AS NEEDED.
- FOR DECIDUOUS AND NEEDLED EVERGREEN TREES AND SHRUBS: 1 FULL WHEELBARROW EXISTING SOIL, 2 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE, OR OTHER COMPOSTED ORGANIC MATERIAL FOR BROADLEAVED EVERGREENS AND RELATED ERICACEAE PLANTS. 1 FULL WHEELBARROW EXISTING SOIL, 3-4 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE, OR OTHER COMPOSTED ORGANIC MATERIAL OF LOW pH (RECOMMENDATIONS ARE FOR ACCEPTABLE PLANTING AREAS).
- CONTAINER GROWN STOCK: REMOVE CONTAINER PROTECTING ROOT BALL. GENTLY COMB OUT ROOTS. PRUNE DAMAGED ROOTS.
- BACKFILL 2/3 OF HOLE WITH AMENDED SOIL THEN FILL HOLE WITH WATER. LET DRAIN. REPEAT WATER AND DRAIN. BACK FILL TO FINISH GRADE. TAMP GENTLY. AND CREATE EARTH SAUCER. WATER THOROUGHLY ONCE AGAIN TO REMOVE REMAINING AIR POCKETS.
- 2" x 2" OF 2 1/2" DIAMETER STAKES WITH 2 #12 GAUGE WIRES ENCASED IN 2-PLY REINFORCED RUBBER HOSE 1/2" DIAMETER OR CHAINLOCK AS APPROVED BY LANDSCAPE ARCHITECT. 2 STAKES LOCATED 180° APART STAKES SHALL BE FIRMLY SET TO PROVIDE NECESSARY TENSION.



1 TREE AND SHRUB INSTALLATION  
2 NOT TO SCALE

**LEGEND**

	EXISTING	PROPOSED		EXISTING	PROPOSED
PROPERTY LINE	[Symbol]	[Symbol]	CURBING	[Symbol]	[Symbol]
IRON PIPE/ROD FOUND	[Symbol]	[Symbol]	CHAINLINK FENCE	[Symbol]	[Symbol]
GRANITE MONUMENT	[Symbol]	[Symbol]	WOOD FENCE	[Symbol]	[Symbol]
CAPPED REBAR	[Symbol]	[Symbol]	GUARD RAIL	[Symbol]	[Symbol]
UTILITY POLE	[Symbol]	[Symbol]	SIGN	[Symbol]	[Symbol]
MANHOLE	[Symbol]	[Symbol]	LIGHT FIXTURE	[Symbol]	[Symbol]
VALVE	[Symbol]	[Symbol]			
CATCH BASIN	[Symbol]	[Symbol]			
FIRE HYDRANT	[Symbol]	[Symbol]			
DECIDUOUS TREE/SHRUB	[Symbol]	[Symbol]			
EVERGREEN TREE/SHRUB	[Symbol]	[Symbol]			

Prepared For:  
Applicant:  
**AVESTA FORE RIVER HOUSING, LP**  
307 Cumberland Avenue  
Portland, Maine 04101  
Tel: (207) 553-7777

Prepared By:  
**MITCHELL & ASSOCIATES**  
Landscape Architects  
The Staples School  
70 Center Street  
Portland, Maine 04101  
Tel: (207) 774-4427

**FORE RIVER APARTMENTS**  
Portland, Maine  
63 Frederic Street

Date:  
OCTOBER 26, 2004

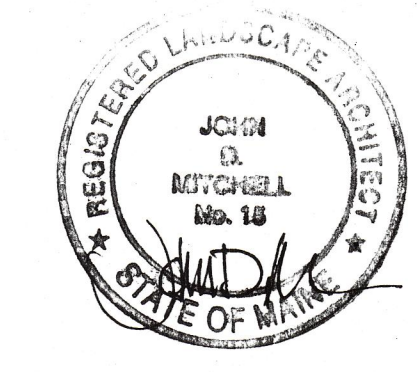
Revisions:  
DEC 2, 2004: Staff Comments  
DEC 20, 2004: Staff Comments  
JAN 5, 2005: Staff Comments  
FEB 08, 2005: Staff Comments

Reproduction or reuse of this document without the expressed written consent of Mitchell & Associates is prohibited.

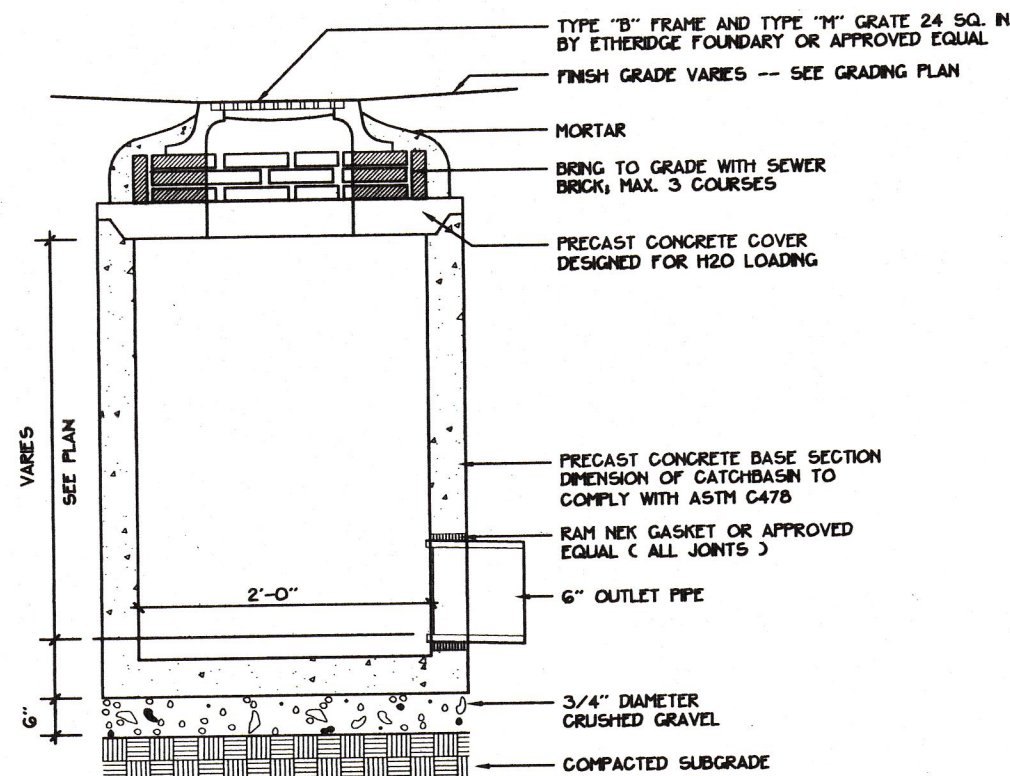
Title:  
**LAYOUT, LIGHTING AND PLANTING PLAN**

Scale: 1"=20'  
0 10 20 40 ft.

North:  
Sheet No.:  
**2**



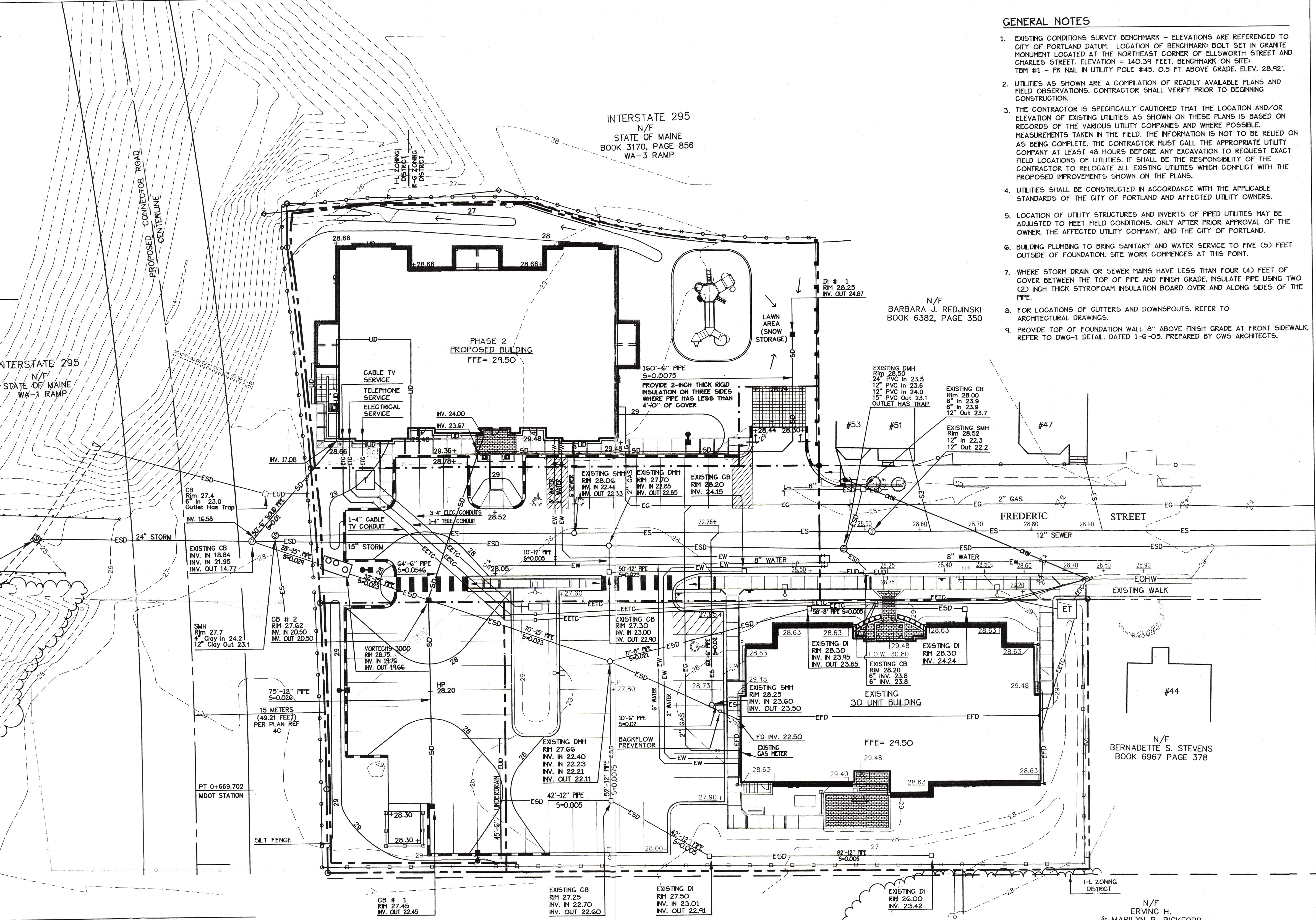
CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Conditions  
Date of Approval: 1/23/05



NOTE:  
ALL STRUCTURES SHALL CONFORM TO THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES, LATEST EDITION.

1 PRECAST CONCRETE DRAIN INLET  
NOT TO SCALE

LEGEND		EXISTING		PROPOSED	
PROPERTY LINE					
IRON PIPE/ROD FOUND					
GRANITE MONUMENT					
CAPPED REBAR					
UTILITY POLE					
LIGHT FIXTURE					
MANHOLE					
VALVE					
CATCH BASIN					
FIRE HYDRANT					
DECIDUOUS TREE/SHRUB					
EVERGREEN TREE/SHRUB					
TREE LINE					
CURBING					
CHAINLINK FENCE					
WOOD FENCE					
GUARD RAIL					
SIGN					
CONTOUR					
SILT FENCE					
WATER					
OVERHEAD UTILITY WIRE					
SANITARY SEWER					
UNDERGROUND ELECTRIC, TELEPHONE + CABLE TV					
STORM DRAIN					
GAS					
UNDERDRAN					



N/F  
PORTLAND TERMINAL COMPANY  
BOOK 523, PAGE 1

N/F  
ERVING H.  
& MARILYN P. BICKFORD  
BOOK 5051 PAGE 157

GENERAL NOTES

- EXISTING CONDITIONS SURVEY BENCHMARK - ELEVATIONS ARE REFERENCED TO CITY OF PORTLAND DATUM. LOCATION OF BENCHMARK BOLT SET IN GRANITE MONUMENT LOCATED AT THE NORTHEAST CORNER OF ELLSWORTH STREET AND CHARLES STREET. ELEVATION = 140.34 FEET. BENCHMARK ON SITE: TBM #1 - PK NAIL IN UTILITY POLE #45. 0.5 FT ABOVE GRADE. ELEV. 28.92'.
- UTILITIES AS SHOWN ARE A COMPILATION OF READILY AVAILABLE PLANS AND FIELD OBSERVATIONS. CONTRACTOR SHALL VERIFY PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE STANDARDS OF THE CITY OF PORTLAND AND AFFECTED UTILITY OWNERS.
- LOCATION OF UTILITY STRUCTURES AND INVERTS OF PIPED UTILITIES MAY BE ADJUSTED TO MEET FIELD CONDITIONS. ONLY AFTER PRIOR APPROVAL OF THE OWNER, THE AFFECTED UTILITY COMPANY, AND THE CITY OF PORTLAND.
- BUILDING PLUMBING TO BRING SANITARY AND WATER SERVICE TO FIVE (5) FEET OUTSIDE OF FOUNDATION. SITE WORK COMMENCES AT THIS POINT.
- WHERE STORM DRAIN OR SEWER MAINS HAVE LESS THAN FOUR (4) FEET OF COVER BETWEEN THE TOP OF PIPE AND FINISH GRADE, INSULATE PIPE USING TWO (2) INCH THICK STYROFOAM INSULATION BOARD OVER AND ALONG SIDES OF THE PIPE.
- FOR LOCATIONS OF GUTTERS AND DOWNSPOUTS, REFER TO ARCHITECTURAL DRAWINGS.
- PROVIDE TOP OF FOUNDATION WALL 8" ABOVE FINISH GRADE AT FRONT SIDEWALK. REFER TO DWG-1 DETAIL, DATED 1-6-05, PREPARED BY CWS ARCHITECTS.

Prepared For:  
Applicant:  
**AVESTA HOUSING, LP**  
RIVER HOUSING, LP  
307 Cumberland Avenue  
Portland, Maine 04101  
Tel: (207) 553-7777

Prepared By:  
**MITCHELL & ASSOCIATES**  
Landscape Architects  
The Staples School  
70 Center Street  
Portland, Maine 04101  
Tel: (207) 774-4427

**FORE RIVER APARTMENTS**  
Portland, Maine  
63 Frederic Street

Date:  
OCTOBER 26, 2004

Revisions:  
DEC 2, 2004: Staff Comments  
DEC 20, 2004: Staff Comments  
JAN 7, 2005: Staff Comments

Reproduction or reuse of this document without the expressed written consent of Mitchell & Associates is prohibited.

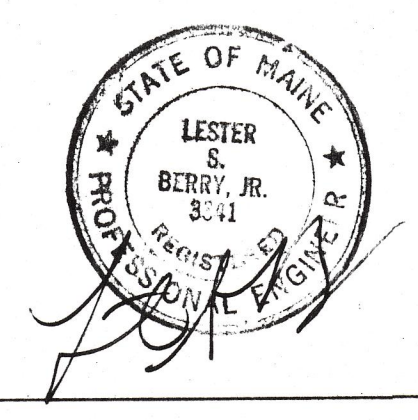
Title:  
**GRADING, DRAINAGE AND UTILITIES PLAN**

Scale: 1"=20'

North:

Sheet No:  
**3**

CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Conditions  
Date of Approval: 1/25/05



Prepared For:  
 Applicant:  
**AVESTA FORE RIVER HOUSING, LP**  
 307 Cumberland Avenue  
 Portland, Maine 04101  
 Tel: (207) 553-7777

Prepared By:  
**MITCHELL & ASSOCIATES**  
 Landscape Architects  
 The Staples School  
 70 Center Street  
 Portland, Maine 04101  
 Tel: (207) 774-4427

**FORE RIVER APARTMENTS**  
 Portland, Maine  
 63 Frederic Street

Date:  
**OCTOBER 26, 2004**

Revisions:  
**DEC 2, 2004: Staff Comments**

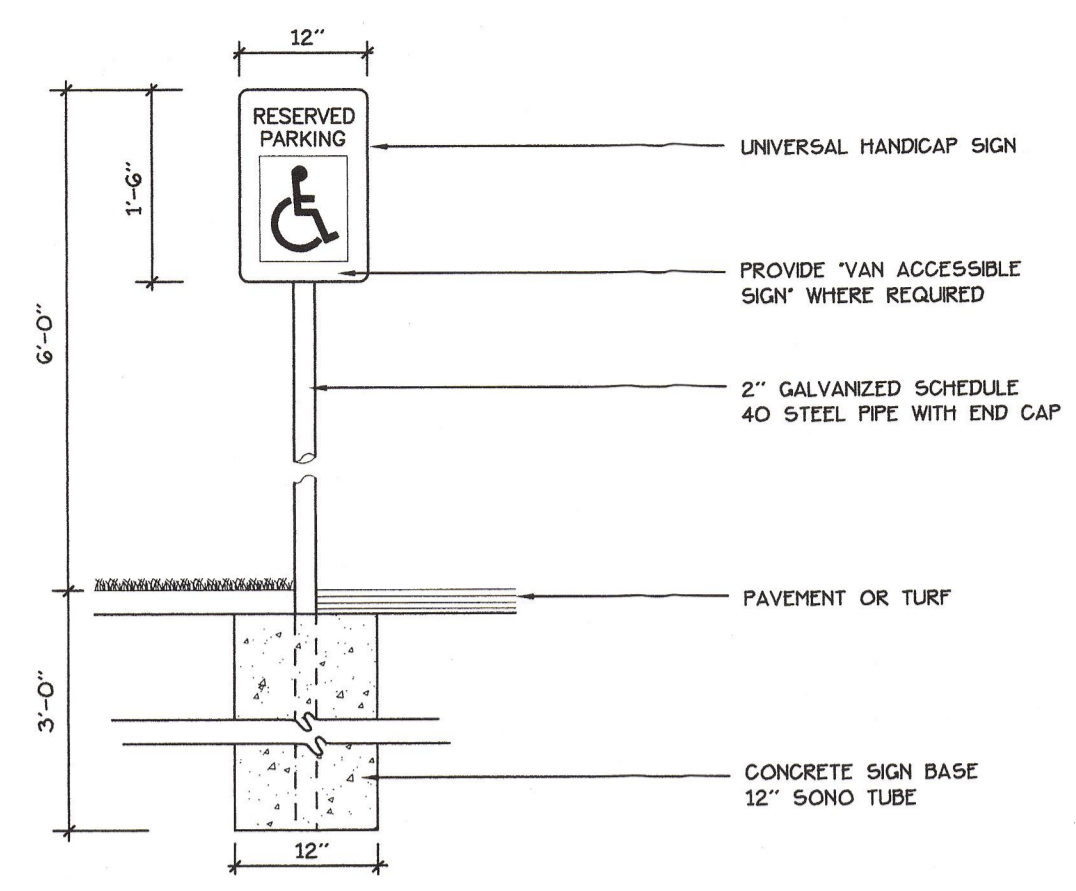
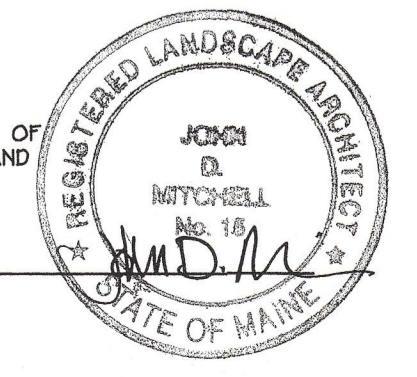
Reproduction or reuse of this document without the expressed written consent of Mitchell & Associates is prohibited.

Title:  
**SITE DETAILS**

Scale:

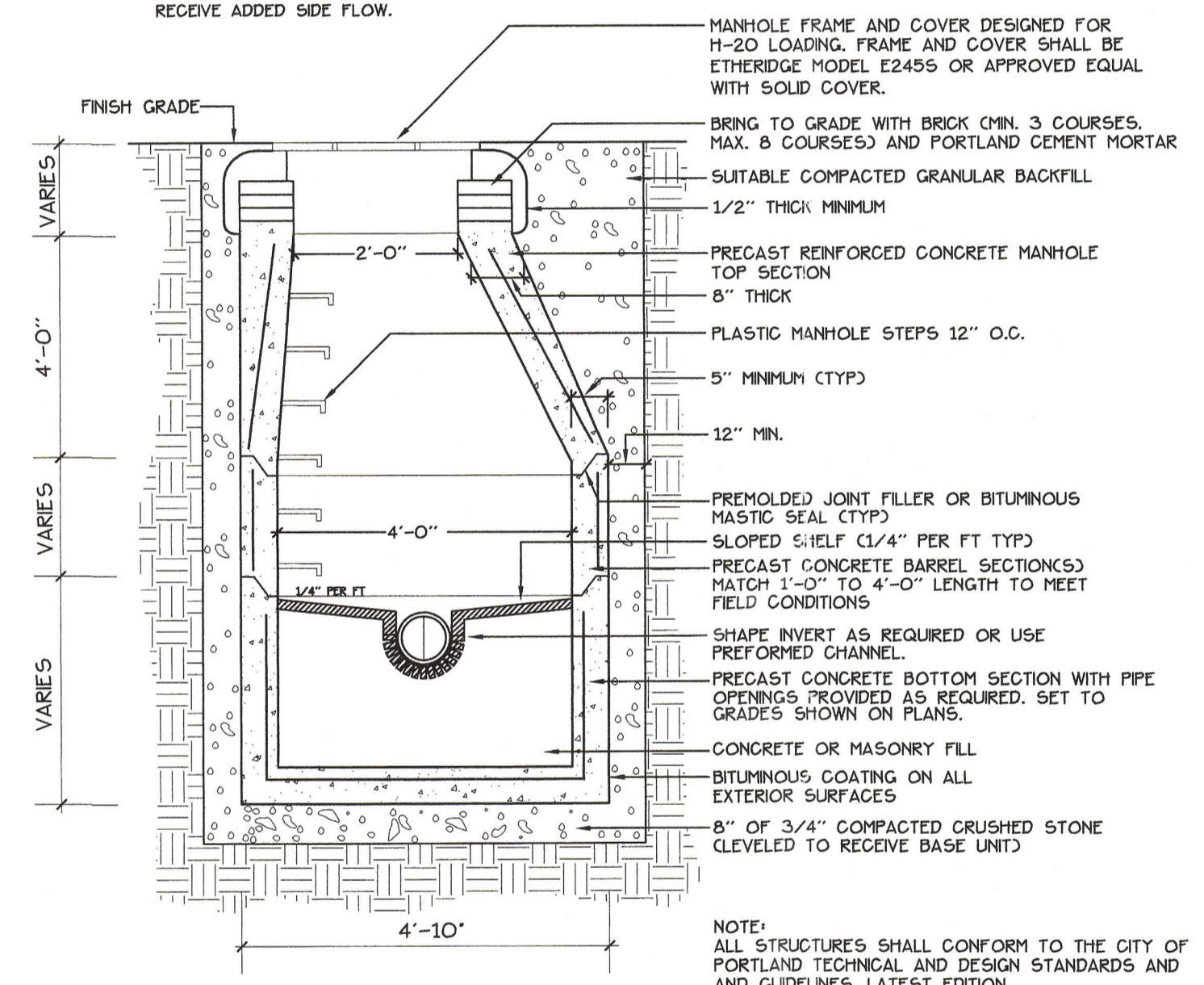
North: Sheet No.  
**4**

CITY OF PORTLAND  
 APPROVED SITE PLAN  
 Subject to Dept. Conditions  
 Date of Approval: 12/5/05

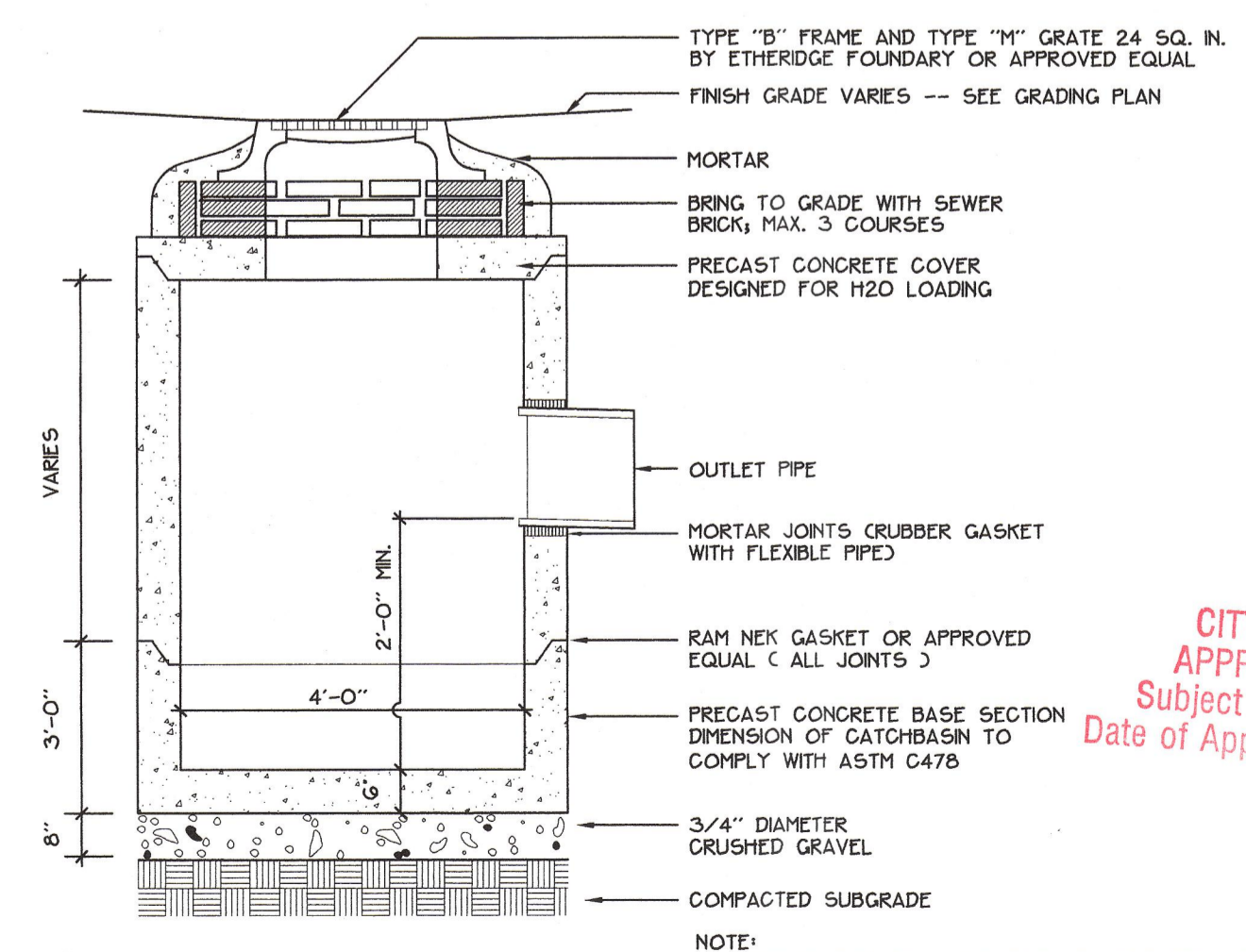


**11 HANDICAP PARKING SIGNAGE**  
 NOT TO SCALE

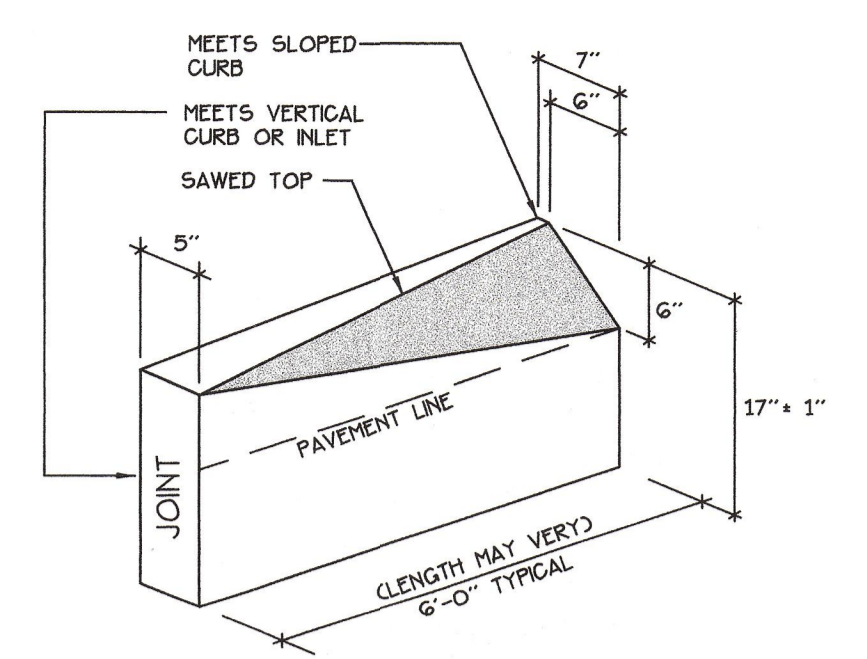
- NOTES:
1. PLUG ALL LIFTING HOLES, JOINT SECTIONS AND INSIDE MANHOLE BODY WITH NON-SHRINK GROUT.
  2. MANHOLE CHANNELS REQUIRING CHANGE IN ALIGNMENT TO BE BUILT ON SMOOTH RADII. IF SIDE PIPES ENTER CHANNEL TO BE SHAPED TO RECEIVE ADDED SIDE FLOW.
  3. PRECAST REINFORCED CONCRETE BARREL SECTION MATCH 1'-0" - 4'-0" LENGTH TO MEET FIELD CONDITIONS.
  4. CUT BACK PIPE TO MANHOLE I.D.



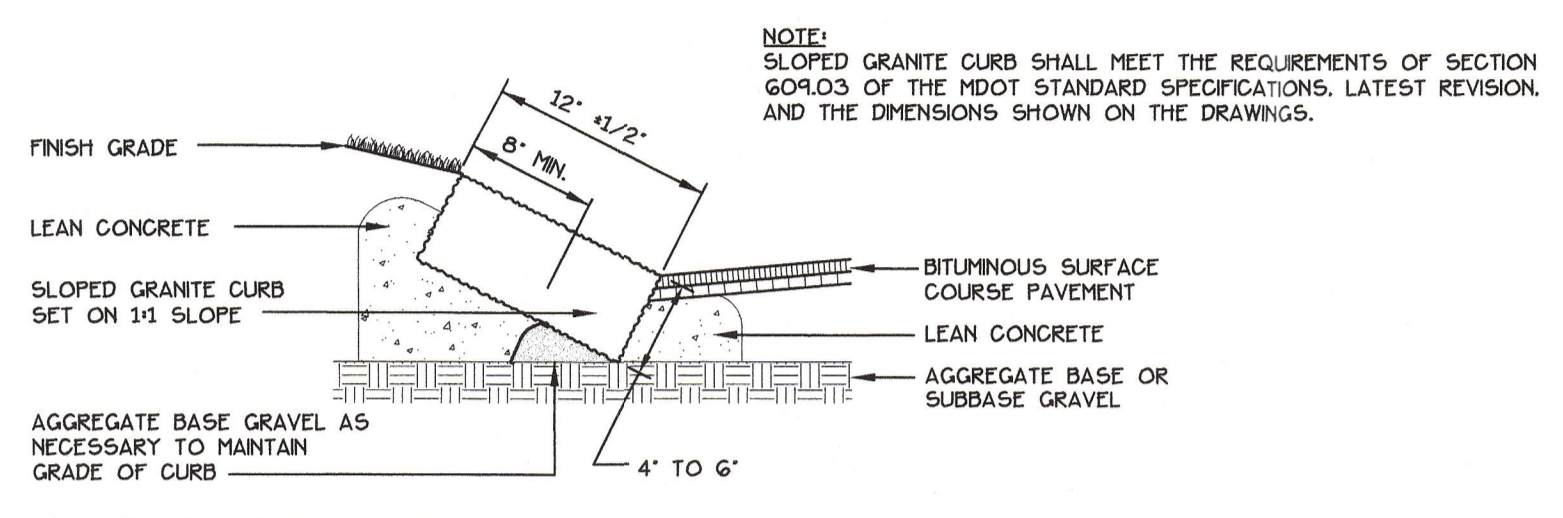
**12 PRECAST CONCRETE MANHOLE**  
 NOT TO SCALE



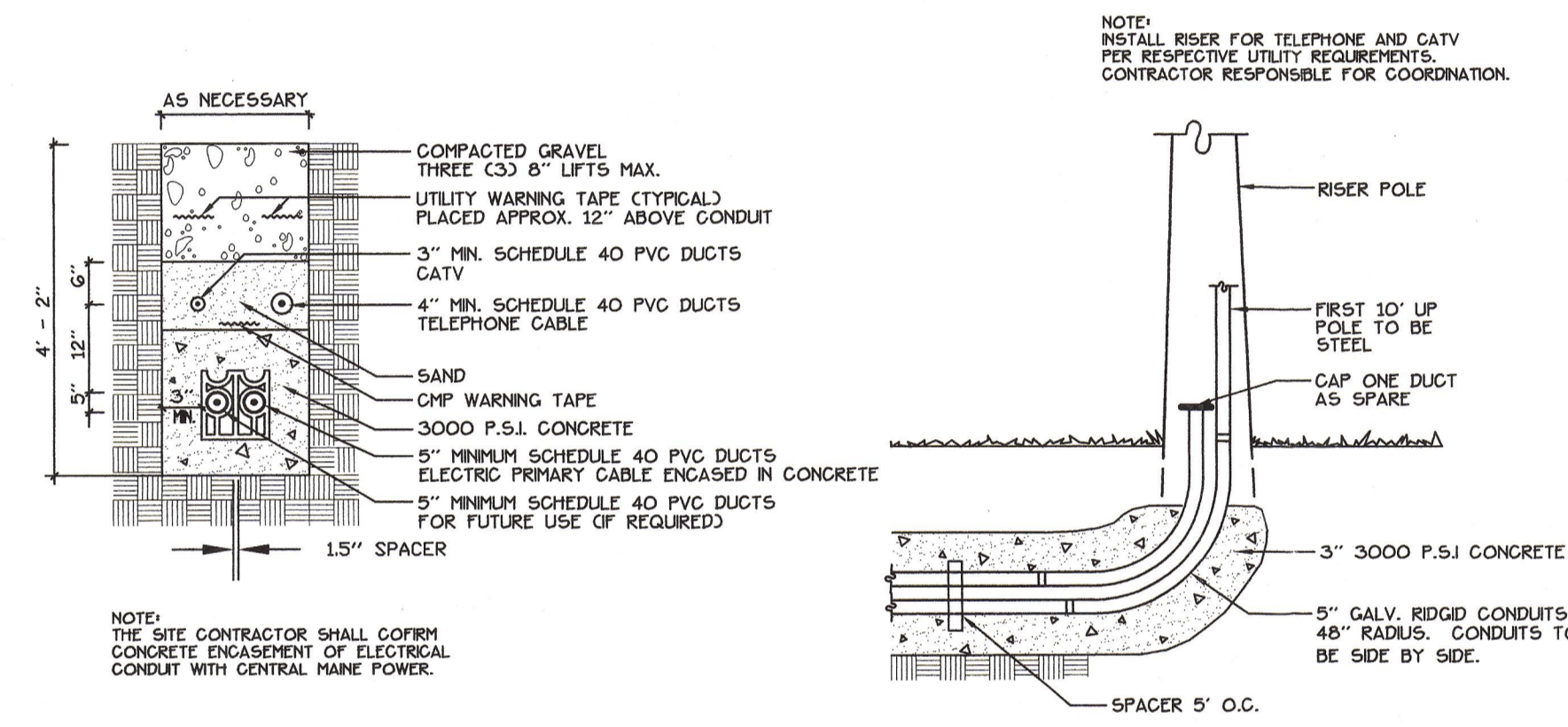
**13 PRECAST CONCRETE CATCHBASIN**  
 NOT TO SCALE



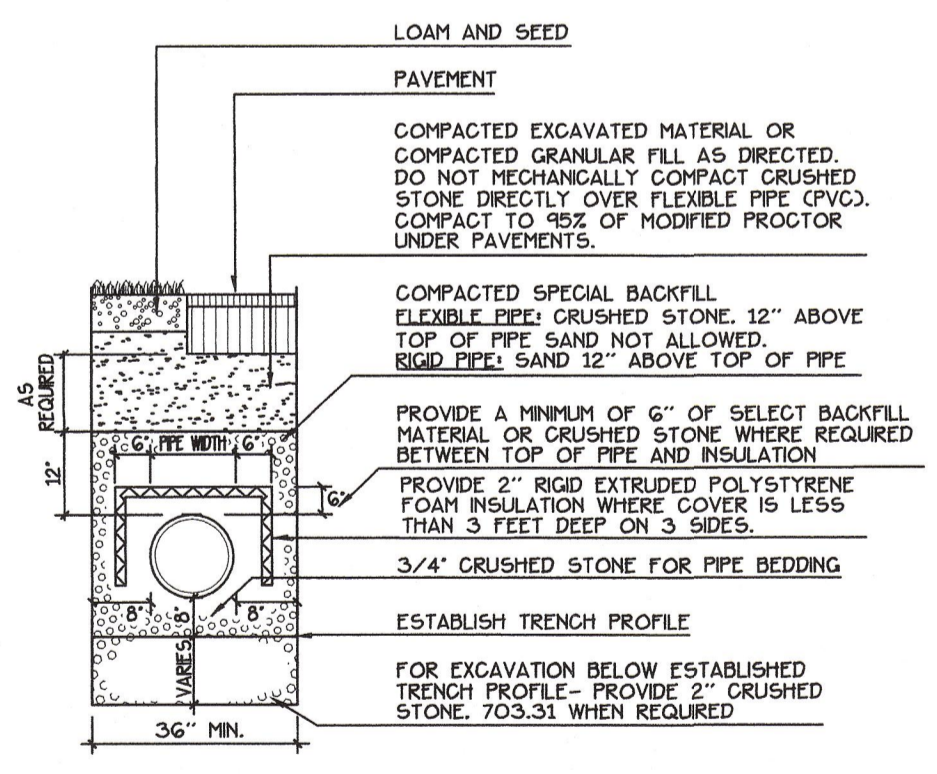
**6 TRANSITIONAL CURB END**  
 NOT TO SCALE



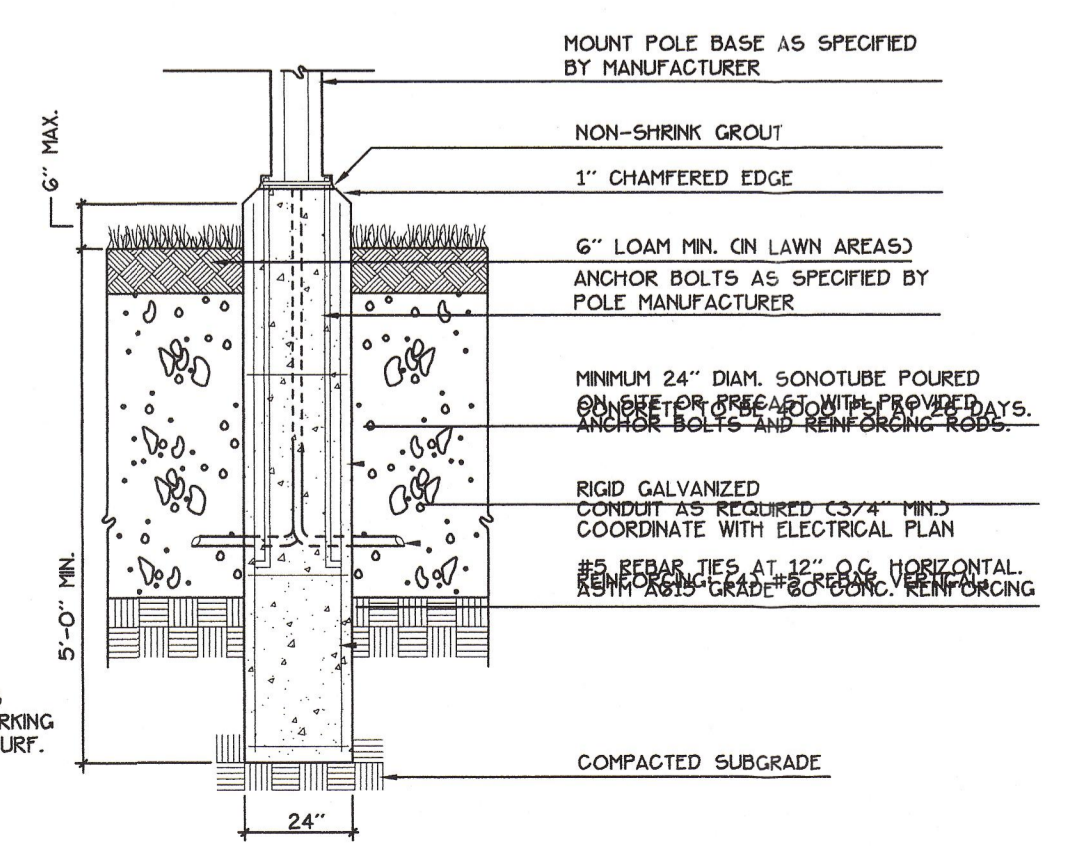
**7 SLOPED GRANITE CURB**  
 NOT TO SCALE



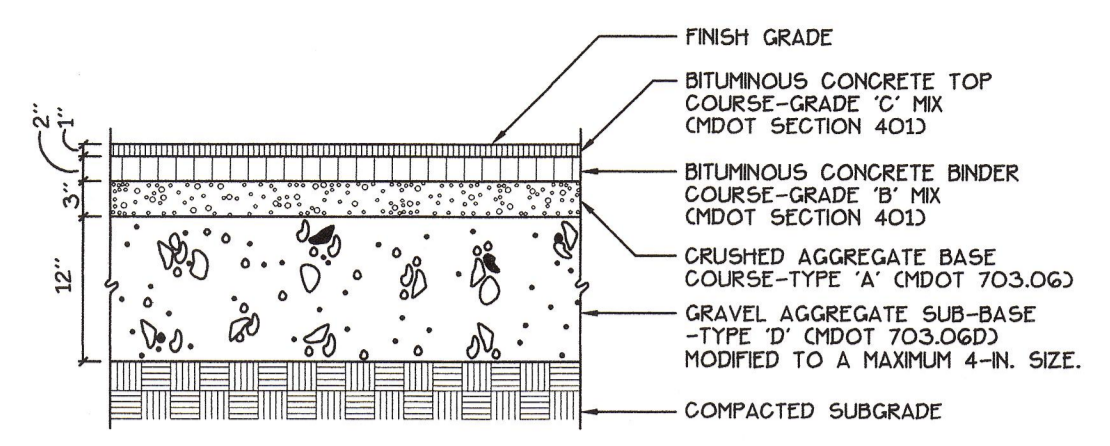
**8 ELECTRICAL, TELEPHONE + CABLE T.V. TRENCH**  
 NOT TO SCALE



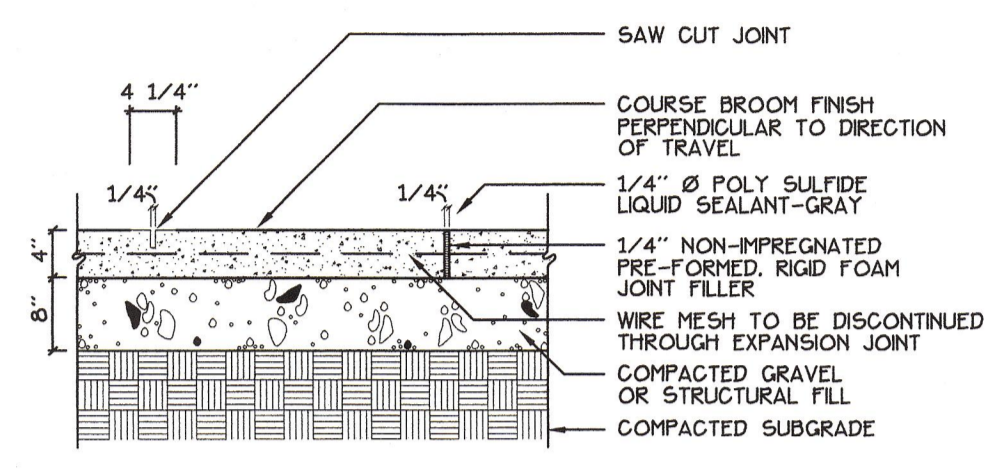
**9 PIPE TRENCH DETAIL**  
 NOT TO SCALE



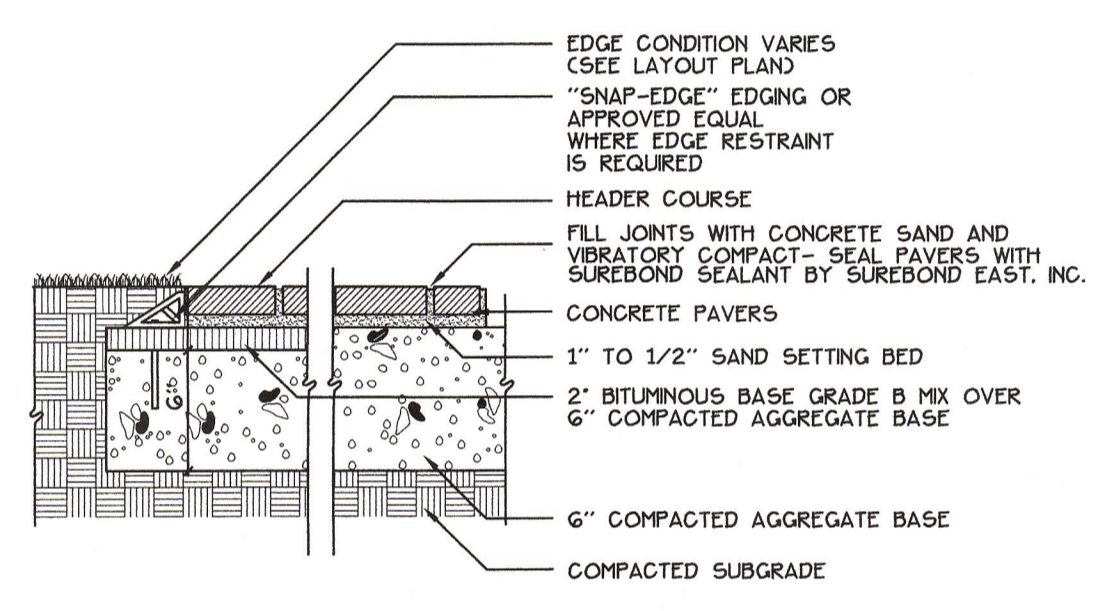
**10 LIGHT POLE BASE**  
 NOT TO SCALE



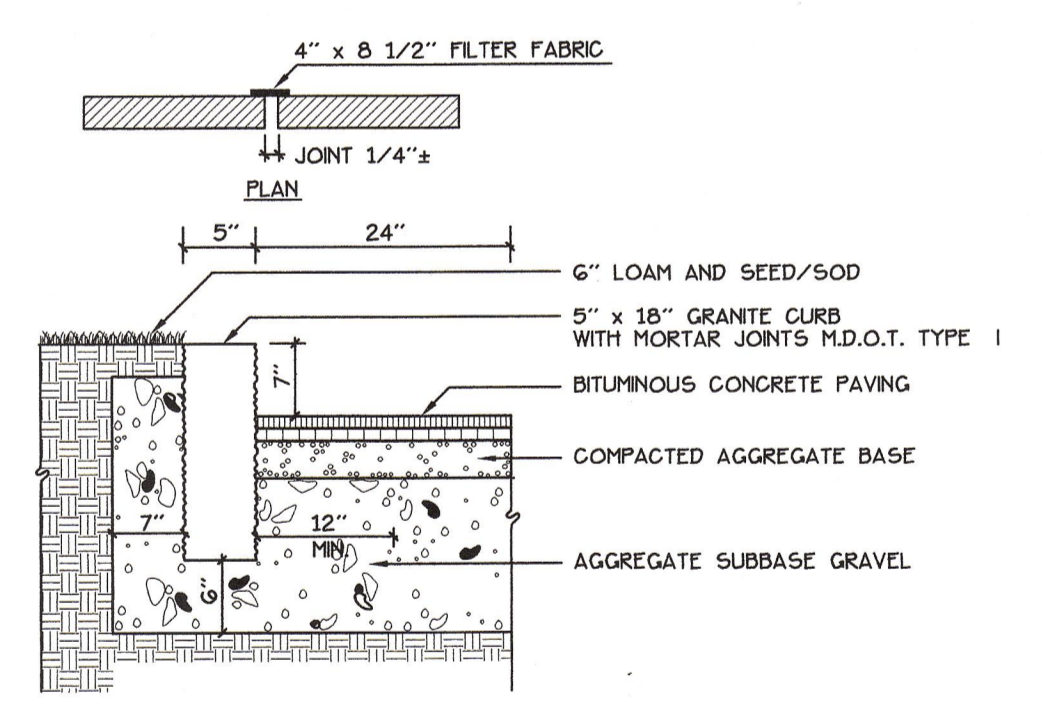
**1 BITUMINOUS PAVEMENT - ROADS + PARKING**  
 NOT TO SCALE



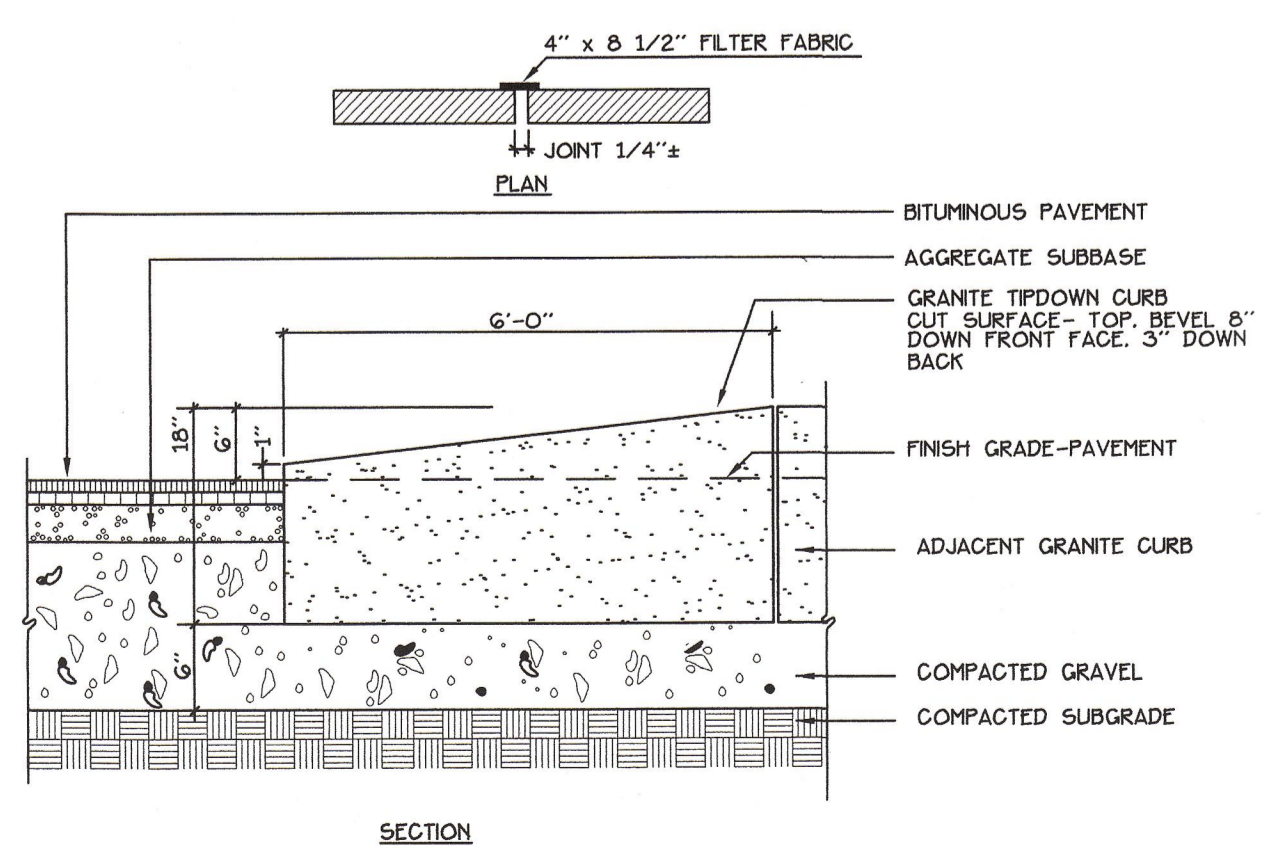
**2 CONCRETE WALK**  
 NOT TO SCALE



**3 CONCRETE PAVERS**  
 NOT TO SCALE



**4 VERTICAL GRANITE CURB**  
 NOT TO SCALE



**5 GRANITE TIP-DOWN CURB**  
 NOT TO SCALE

D:\Projects\2004\102604\ForeRiver\SitePlan\SitePlan.dwg, 12/26/04 14:14 PM, Display, 100% (102604)



## EROSION AND SEDIMENTATION CONTROL PLAN

Prepared For:  
**Applicant:**  
**AVESTA FORE RIVER HOUSING, LP**  
 307 Cumberland Avenue  
 Portland, Maine 04101  
 Tel: (207) 563-7777

Prepared By:  
**MITCHELL & ASSOCIATES**  
 Landscape Architects  
 The Staples School  
 70 Center Street  
 Portland, Maine 04101  
 Tel: (207) 774-4427

THIS PLAN HAS BEEN DEVELOPED AS A STRATEGY TO CONTROL SOIL EROSION AND SEDIMENTATION DURING AND AFTER THE CONSTRUCTION OF FORE RIVER APARTMENTS LOCATED AT 63 FREDERIC STREET, PORTLAND, MAINE. THIS PLAN IS BASED ON THE MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION, BEST MANAGEMENT PRACTICES, MARCH, 1991.

### A. PROPOSED DEVELOPMENT

THE PROJECT CONSISTS OF THE CONSTRUCTION OF A PROPOSED 20 UNIT APARTMENT BUILDING, THE BUILDING AND PARKING WITH THEIR ASSOCIATED GRADING DEFINE THE LIMITS OF PROPOSED EARTH MOVEMENT FOR THE DEVELOPMENT. THE HORIZONTAL AND VERTICAL PLACEMENT OF THE PROPOSED BUILDING AND PARKING LOT HAVE BEEN DESIGNED TO MAXIMIZE THE TOPOGRAPHIC OPPORTUNITIES AVAILABLE.

### B. EROSION CONTROL PRACTICES/TEMPORARY MEASURES

THE FOLLOWING TEMPORARY MEASURES TO CONTROL EROSION AND SEDIMENTATION SHALL BE UTILIZED:  
 EACH GROUND AREA, OPENED OR EXPOSED, WHETHER DIRECTLY OR INDIRECTLY DUE TO THE DEVELOPMENT, SHALL BE STABILIZED WITHIN 15 DAYS OF INITIAL DISTURBANCE OF SOIL AND SHALL BE PERMANENTLY STABILIZED WITHIN SEVEN DAYS OF FINAL GRADING. THIS STATEMENT APPLIES TO DISTURBED AREAS BEYOND THE LIMITS OF THE PROPOSED BUILDING. EXPOSED AREAS SHALL BE STABILIZED PRIOR TO A RAIN EVENT.  
 TEMPORARY SOIL STABILIZATION SHALL BE EITHER BY TEMPORARY MULCHING, TEMPORARY SEEDING, PERMANENT BASE GRAVEL, OR ASPHALT BINDER COURSE AS FOLLOWS:

TEMPORARY SEEDING: SEED SHALL BE ARCHOOT RYE APPLIED AT 2.00#/1000 SF. LIME SHALL BE AGRICULTURAL GROUND LIMESTONE APPLIED AT 13.8#/1000 SF. FERTILIZER SHALL BE 10-10-10 CLASSIFICATION APPLIED AT 13.8#/1000 SF. MULCH SHALL CONSIST OF HAY AND STRAW MULCH AND SPREAD EVENLY AT A RATE OF 70-90#/1000 SF. TEMPORARY SEEDING SHALL ONLY BE MADE BETWEEN APRIL 15 AND OCTOBER 1, AND SHALL NOT BE PLACED OVER SNOW.  
 TEMPORARY MULCHING: MULCH SHALL CONSIST OF CHOPPED HAY OR STRAW MULCH AND SPREAD BY MECHANICAL BLOWER EVENLY AT A RATE OF 150-200#/1000 SF. TEMPORARY MULCH SHALL BE REMOVED PRIOR TO PERMANENT SOIL STABILIZATION. MULCH MUST NOT BE PLACED OVER SNOW. SNOW SHALL BE REMOVED PRIOR TO MULCHING.  
 PERMANENT BASE GRAVEL: BASE GRAVEL UNDER PAVEMENT SHALL BE SUITABLE AS TEMPORARY SOIL STABILIZATION UNDER THE FOLLOWING CONDITIONS:  
 a) SLOPES SHALL BE LESS THAN EIGHT PERCENT;  
 b) GRAVEL SHALL MEET THE SPECIFICATIONS FOR BASE OR SUBBASE GRAVEL FOR THE PROPOSED COMPLETED PAVEMENT.  
 ASPHALT BINDER COURSE: ASPHALT BINDER SHALL MEET THE SPECIFICATIONS FOR THE ASPHALT BINDER COURSE FOR THE PROPOSED COMPLETED PAVEMENT.

TEMPORARY MULCHING: MULCH SHALL CONSIST OF CHOPPED HAY OR STRAW MULCH AND SPREAD BY MECHANICAL BLOWER EVENLY AT A RATE OF 150-200#/1000 SF. TEMPORARY MULCH SHALL BE REMOVED PRIOR TO PERMANENT SOIL STABILIZATION. MULCH MUST NOT BE PLACED OVER SNOW. SNOW SHALL BE REMOVED PRIOR TO MULCHING.  
 PERMANENT BASE GRAVEL: BASE GRAVEL UNDER PAVEMENT SHALL BE SUITABLE AS TEMPORARY SOIL STABILIZATION UNDER THE FOLLOWING CONDITIONS:  
 a) SLOPES SHALL BE LESS THAN EIGHT PERCENT;  
 b) GRAVEL SHALL MEET THE SPECIFICATIONS FOR BASE OR SUBBASE GRAVEL FOR THE PROPOSED COMPLETED PAVEMENT.  
 ASPHALT BINDER COURSE: ASPHALT BINDER SHALL MEET THE SPECIFICATIONS FOR THE ASPHALT BINDER COURSE FOR THE PROPOSED COMPLETED PAVEMENT.

### C. EROSION CONTROL PRACTICES/PERMANENT MEASURES

THE FOLLOWING PERMANENT MEASURES TO CONTROL EROSION AND SEDIMENTATION SHALL BE UTILIZED:  
 1. PERMANENT SEEDING SHALL BE PERFORMED DURING CONSTRUCTION OPERATIONS AS EACH DISTURBED AREA HAS BEEN BROUGHT TO FINISH GRADE. PERMANENT SEEDING SHALL BE MADE AS DORMANT SEEDING AFTER THE FIRST KILLING FROST. DORMANT SEEDING AND MULCH SHALL BE USED AT TWO TIMES THE PERMANENT SEEDING AND MULCHING RATE SHOWN BELOW FOR BOTH LAWN AS WELL AS EMBANKMENTS. SEED, LOAM, LIME, FERTILIZER AND MULCH ARE TO BE AS FOLLOWS:

SEED: THE SEED MIXTURE SHALL CONSIST OF SEED PROPORTIONED BY WEIGHT. ALL SEED SHALL BE FRESH, CLEAN, "NEW CROP" SEED, HARMLESS INERT MATTER AND WEED SEEDS SHALL BE PERMITTED UP TO ONE PERCENT OF THE GROSS WEIGHT OF EACH VARIETY OF SEED. ALL SEED SUPPLIED SHALL BE PACKED IN APPROVED CONTAINERS BEARING THE MANUFACTURER'S NAME AND ANALYSIS OF CONTENTS. THE FOLLOWING MATERIALS AND APPLICATION RATES SHALL BE REQUIRED FOR PERMANENT SEEDING:

SEED	RATE
LAWN	
CREeping RED RESCUE	0.69#/1000 SF
KENTUCKY BLUEGRASS	0.57#/1000 SF
PERENNIAL RYEGRASS	0.46#/1000 SF
REDFEST	0.12#/1000 SF
TOTAL	1.84#/1000 SF

LOAM SHALL BE FREE OF GRASSES, ROOTS, LARGE STONE AND INORGANIC DEBRIS. PLACE LOAM AT SIX INCHES MINIMUM DEPTH OVER ALL DISTURBED AREAS. FINAL GRADING OF ALL LAWN AREAS TO BE APPROVED BY LANDSCAPE ARCHITECT BEFORE SEEDING.

LIME: LIME SHALL BE AGRICULTURAL GROUND LIMESTONE AND APPLIED AS PER RECOMMENDATION OF A STATE COMMERCIAL SOIL TESTING LABORATORY. FERTILIZER: FERTILIZER SHALL BE 10-20-20 CLASSIFICATION AND APPLIED AS PER RECOMMENDATION OF A STATE COMMERCIAL SOIL TESTING LABORATORY.  
 MULCH: MULCH SHALL CONSIST OF HAY OR STRAW MULCH. MULCH SHALL BE SPREAD EVENLY AT A RATE OF TWO AND ONE HALF TONS PER ACRE OVER ALL SEEDING. AFTER APPLICATION, THE MULCH SHALL BE THOROUGHLY WETTED. IN STEEP AREAS (>3:1 SLOPES), THE MULCH SHALL BE HELD IN PLACE BY THE USE OF JUTE EROSION CONTROL NETTING OR APPROVED ALTERNATIVE NETTING MATERIAL. NOTE: ALL EXPOSED SOIL MUST BE COVERED REGARDLESS OF MULCHING RATES SPECIFIED. NOTE: AN EROSION CONTROL BLANKET SHALL BE PLACED IN ALL NEWLY CREATED OR DISTURBED DITCHES.

THE CONTRACTOR SHALL MAINTAIN THE SEEDING AND MULCHED AREAS UNTIL FINAL ACCEPTANCE OF THE WORK. MAINTENANCE SHALL CONSIST OF PROVIDING PROPER WATERING, PROTECTION AGAINST TRAFFIC AND REPAIRING ANY AREAS DAMAGED DUE TO WIND, WATER, EROSION, FIRE OR OTHER CAUSES. SUCH DAMAGED AREAS SHALL BE REPAIRED TO RE-ESTABLISH THE CONDITION AND GRADE OF THE SOIL PRIOR TO SEEDING AND SHALL THEN BE RESEEDING, RESEEDING AND REMULCHED.

### D. WINTER CONSTRUCTION

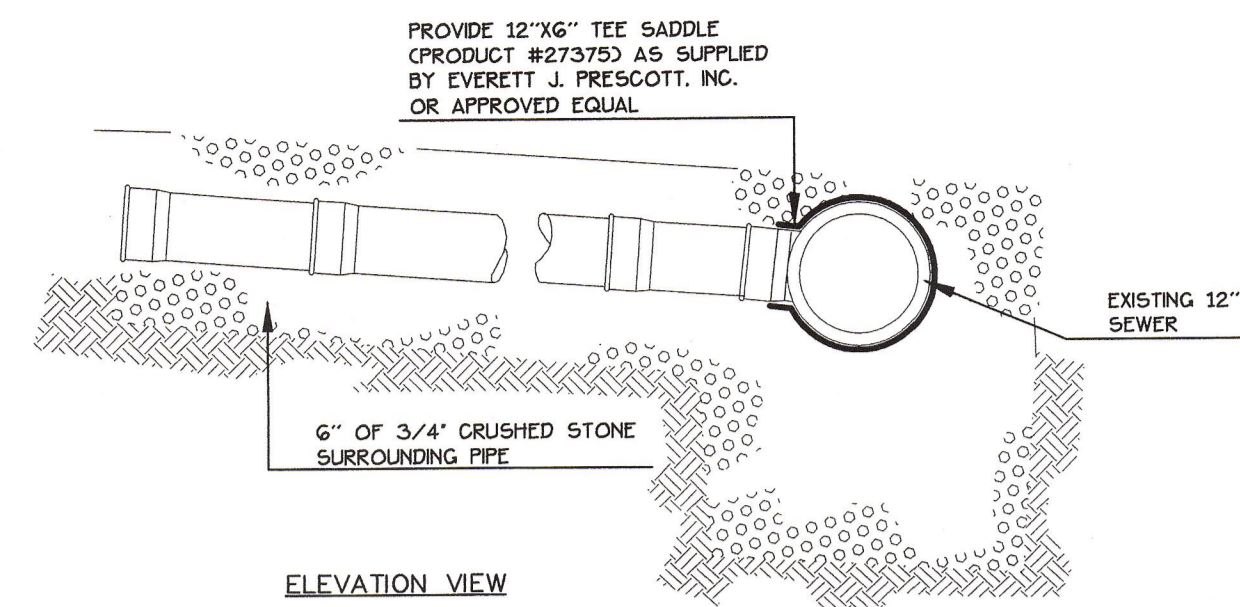
THE WINTER CONSTRUCTION PERIOD IS FROM NOVEMBER 1 THROUGH APRIL 15. WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME. LIMIT THE EXPOSED AREA TO THOSE AREAS IN WHICH WORK IS EXPECTED TO BE UNDERTAKEN DURING THE PROCEEDING 15 DAYS AND THAT CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. HAY AND STRAW MULCH RATE SHALL BE A MINIMUM OF 150 LBS./1000 SF. (3 TONS/ACRE) AND SHALL BE PROPERLY ANCHORED. THE CONTRACTOR SHALL INSTALL ANY ADDED MEASURES WHICH MAY BE NECESSARY TO CONTROL EROSION/SEDIMENTATION FROM THE SITE, DEPENDENT UPON THE ACTUAL SITE AND WEATHER CONDITIONS. CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEG UNLTI THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED. IN ORDER TO MINIMIZE AREAS WITHOUT EROSION CONTROL PROTECTION.

### E. CONSTRUCTION SEQUENCE

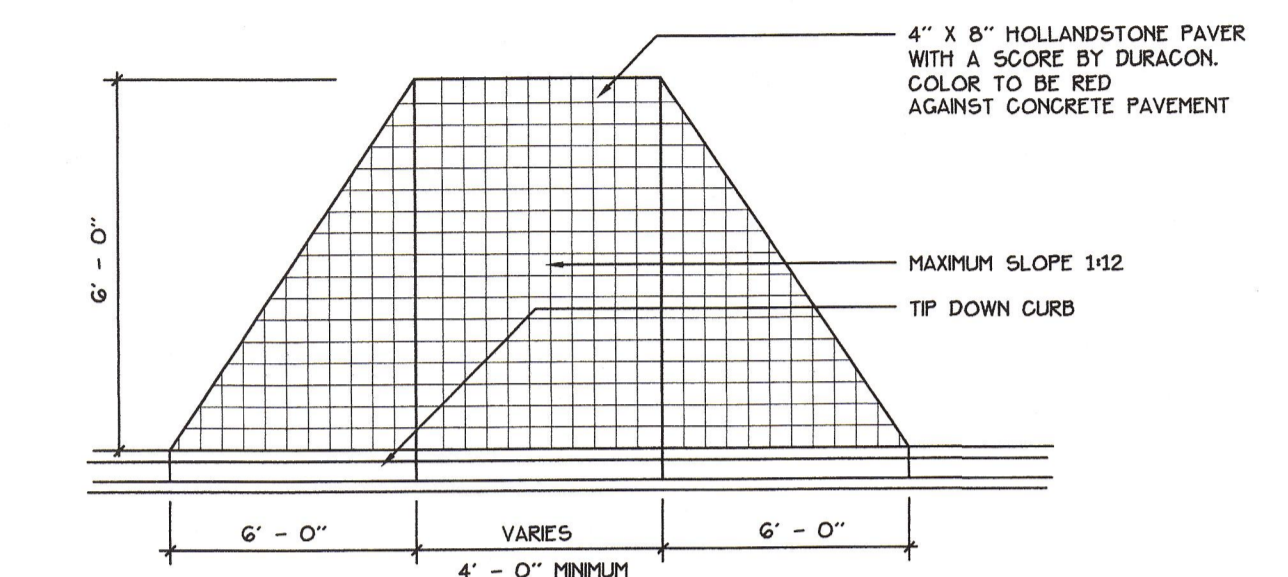
THE GENERAL SEQUENCE OF WORK SHALL BE AS FOLLOWS:  
 1. INSTALL EROSION CONTROL DEVICES, SILT FENCE, STABILIZED CONSTRUCTION ENTRANCE AND OR SEDIMENT BARRIER.  
 2. TEMPORARILY STABILIZE DISTURBED AREAS BY MULCHING ALL EXPOSED SOIL WITHIN 15 DAYS OF INITIAL DISTURBANCE.  
 3. INSTALL STORWATER SYSTEM.  
 4. COMPLETE SITE CONSTRUCTION WORK  
 5. CONSTRUCT PAVED ACCESS AND PARKING AREA  
 6. INSTALL PERMANENT VEGETATION ON ALL EXPOSED AREAS WITHIN 15 DAYS OF FINAL GRADING.  
 7. PERFORM CONTINUING MAINTENANCE ON ALL EROSION AND SEDIMENTATION CONTROL DEVICES AND MEASURES.

### F. SITE INSPECTION + MAINTENANCE

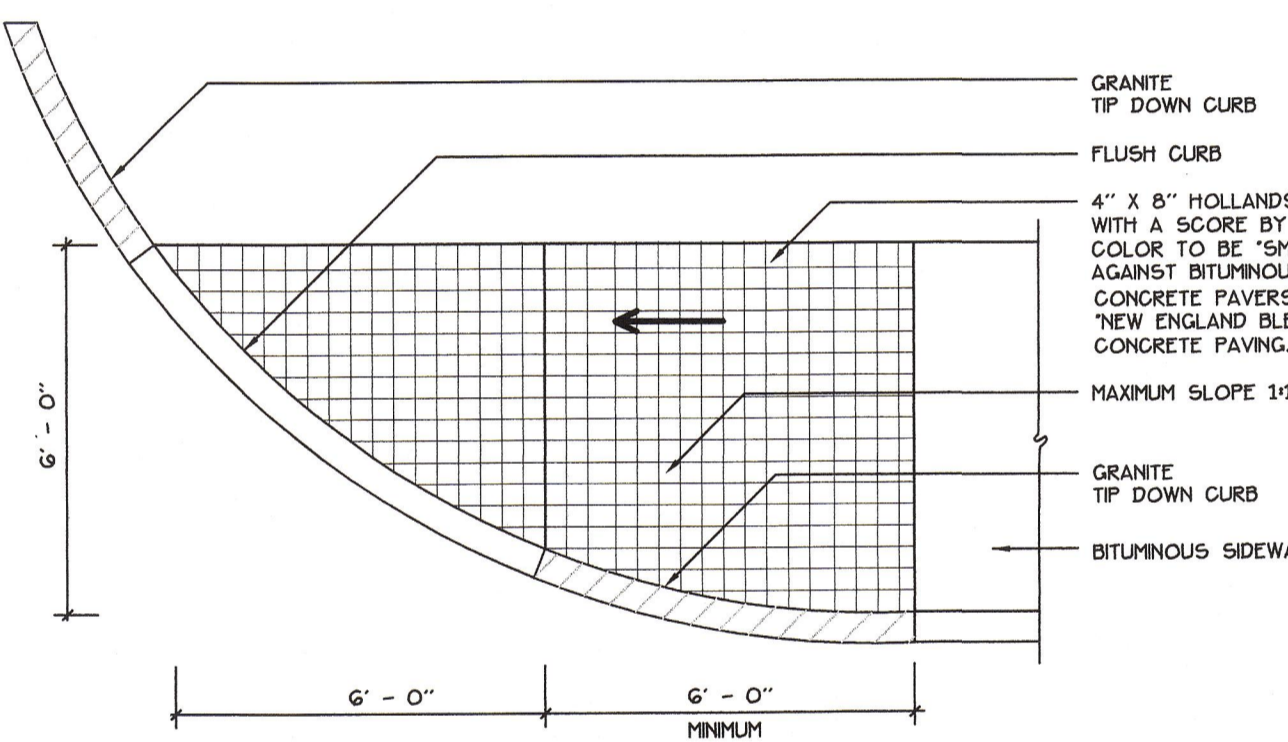
WEEKLY INSPECTIONS, AS WELL AS ROUTINE INSPECTIONS FOLLOWING RAINFALLS OF 1/2" OR MORE OVER A CONSECUTIVE 24-HOUR PERIOD, SHALL BE CONDUCTED BY THE SITE CONTRACTOR OF ALL TEMPORARY AND PERMANENT EROSION CONTROL DEVICES UNTIL FINAL ACCEPTANCE OF THE PROJECT. NECESSARY REPAIRS SHALL BE MADE TO CORRECT UNDERMINING OR DETERIORATION. FINAL ACCEPTANCE SHALL INCLUDE A SITE INSPECTION TO VERIFY THE STABILITY OF ALL DISTURBED AREAS AND SLOPES. UNTIL FINAL INSPECTION, ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL REMAIN IN PLACE AND REPAIRED BY THE SITE CONTRACTOR AFTER STORM EVENTS. DISPOSAL OF ALL TEMPORARY EROSION CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR. CONTINUED TEMPORARY MAINTENANCE AND LONG TERM PROVISIONS FOR PERMANENT MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL FACILITIES AFTER ACCEPTANCE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF AVESTA FORE RIVER HOUSING, LP.



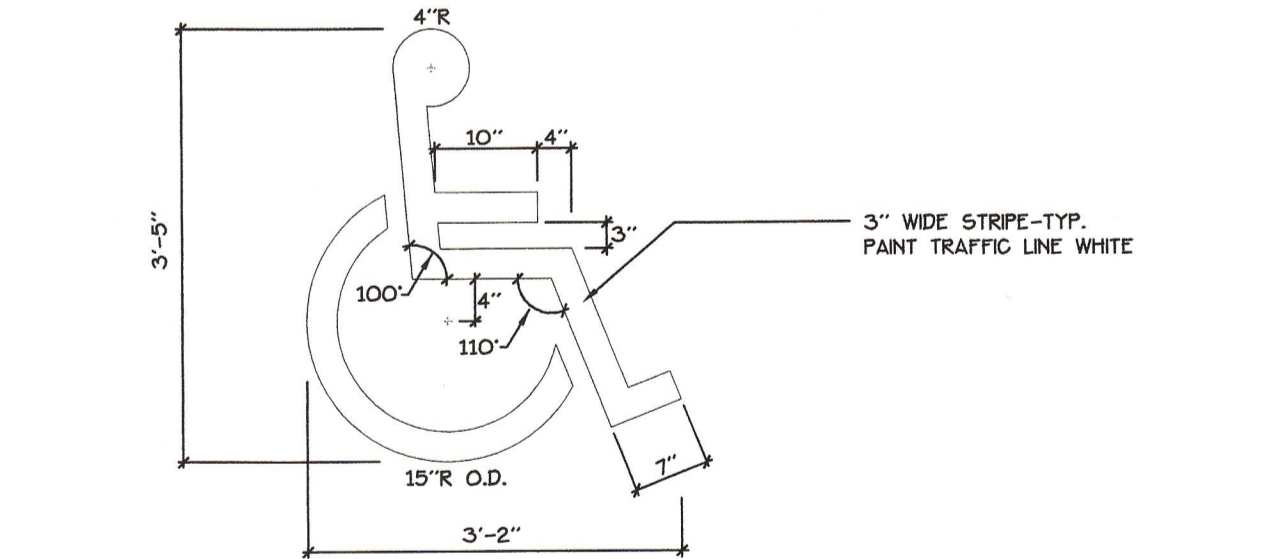
1  
5  
TYPICAL LATERAL SEWER CONNECTION DETAIL  
NOT TO SCALE



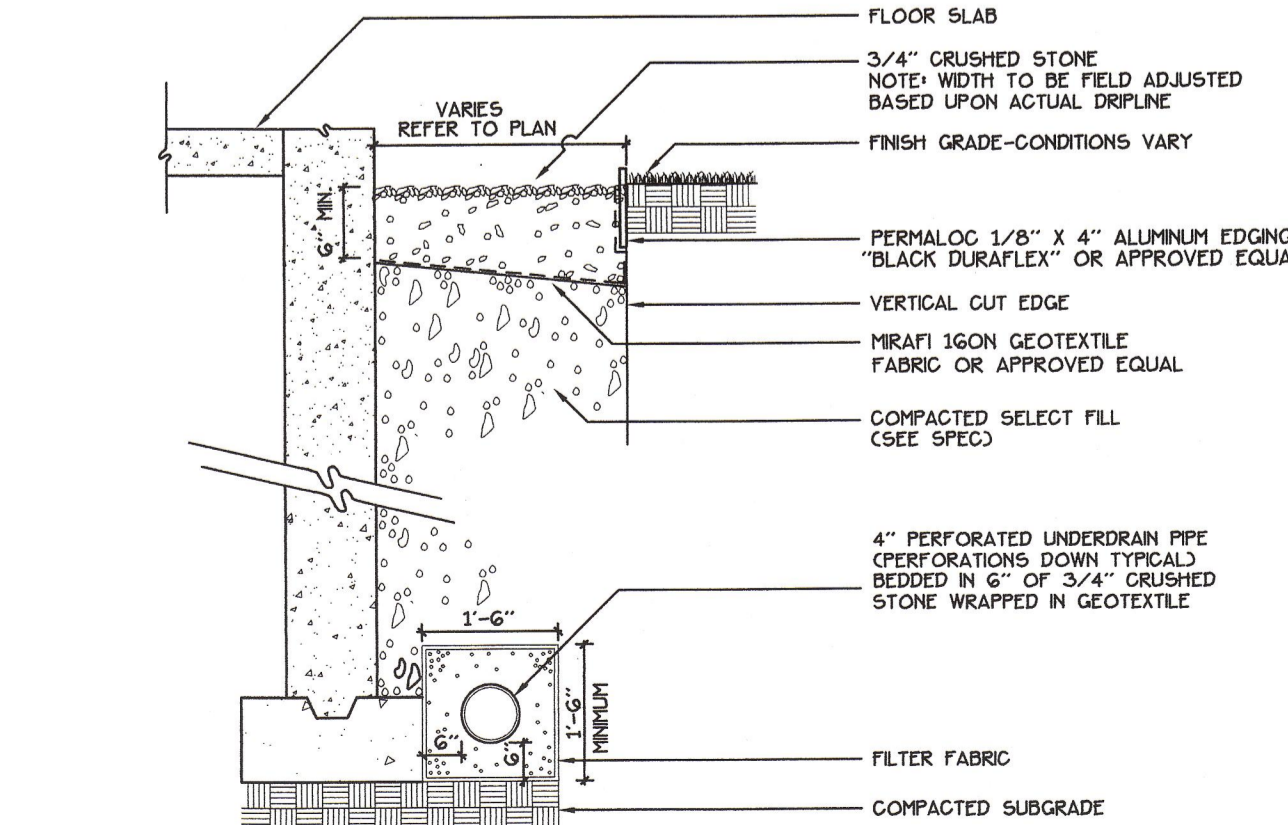
2  
5  
HANDICAP RAMP  
NOT TO SCALE



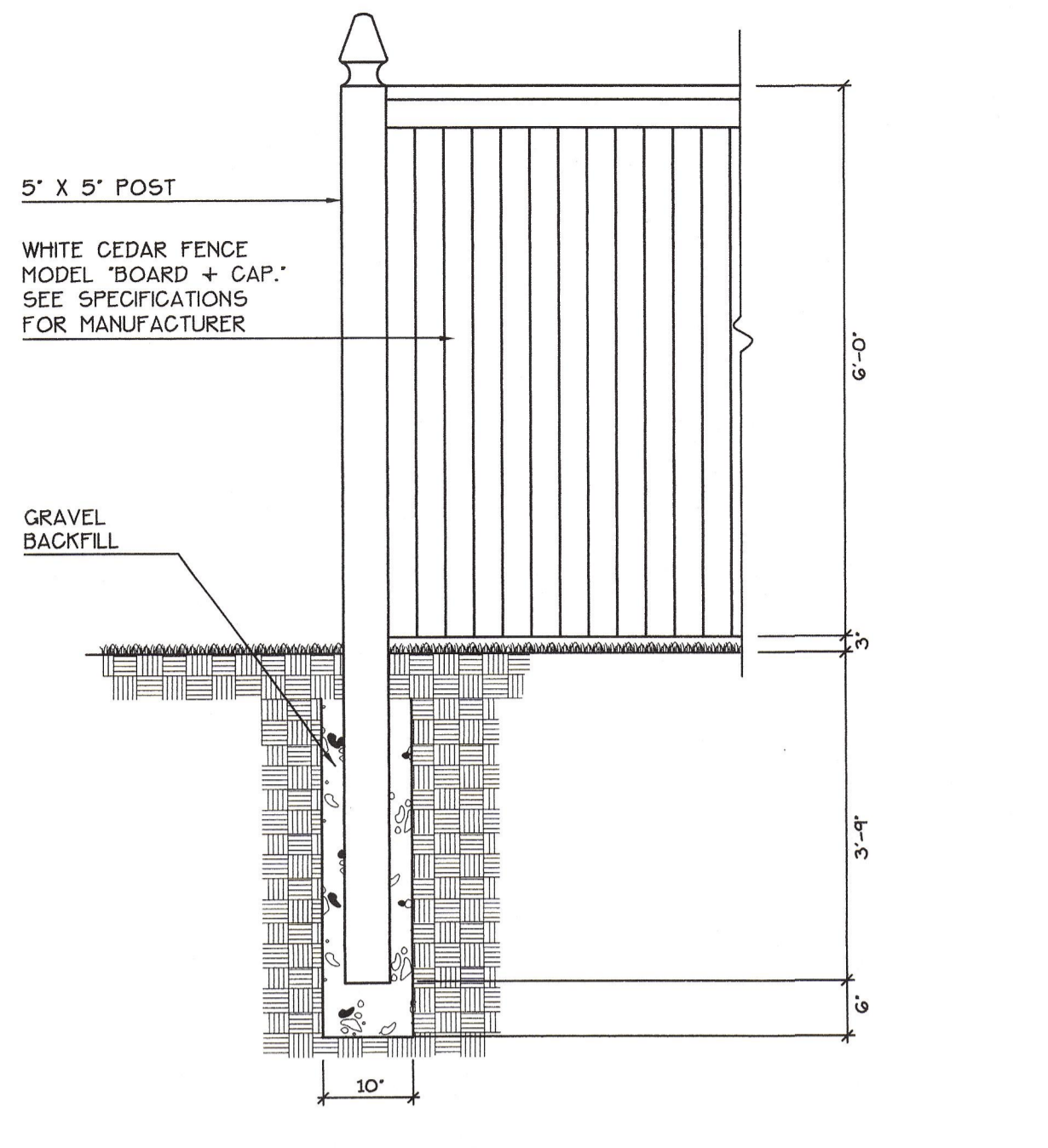
3  
5  
HANDICAP RAMP  
NOT TO SCALE



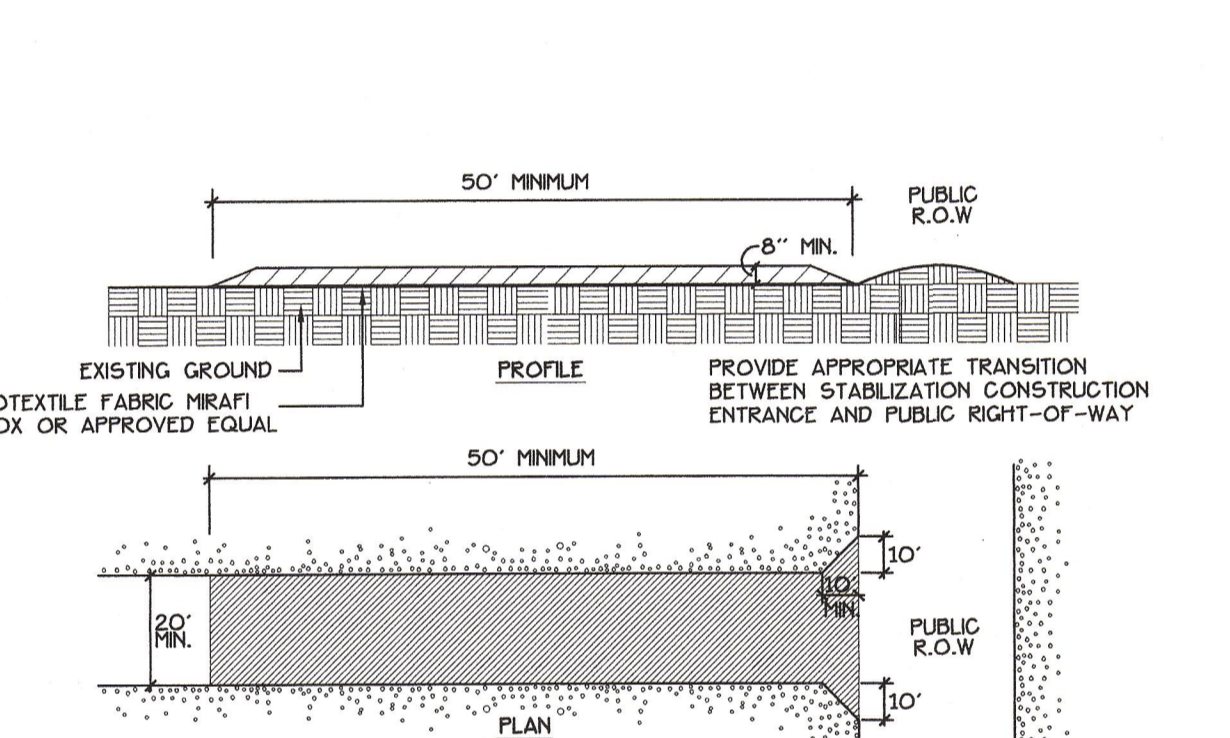
4  
5  
HANDICAP SPACE MARKINGS  
NOT TO SCALE



5  
5  
DRAIN STRIP AND FOUNDATION UNDERDRAIN  
NOT TO SCALE

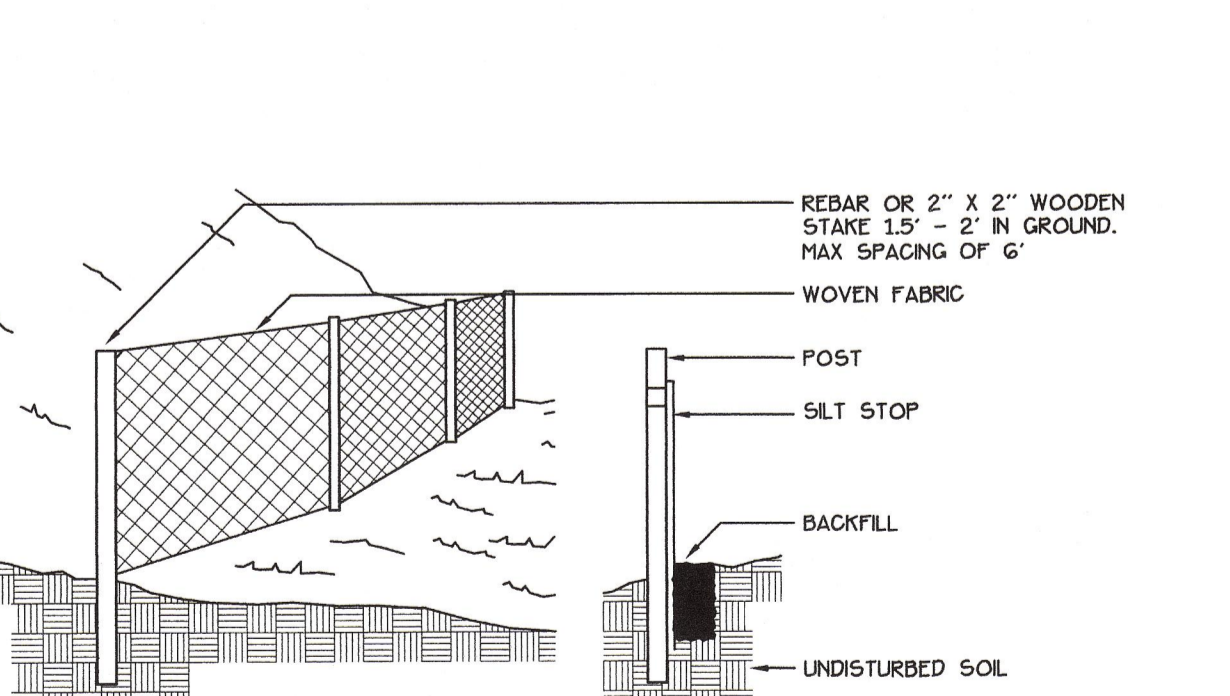


6  
5  
SOLID WOOD FENCE  
NOT TO SCALE



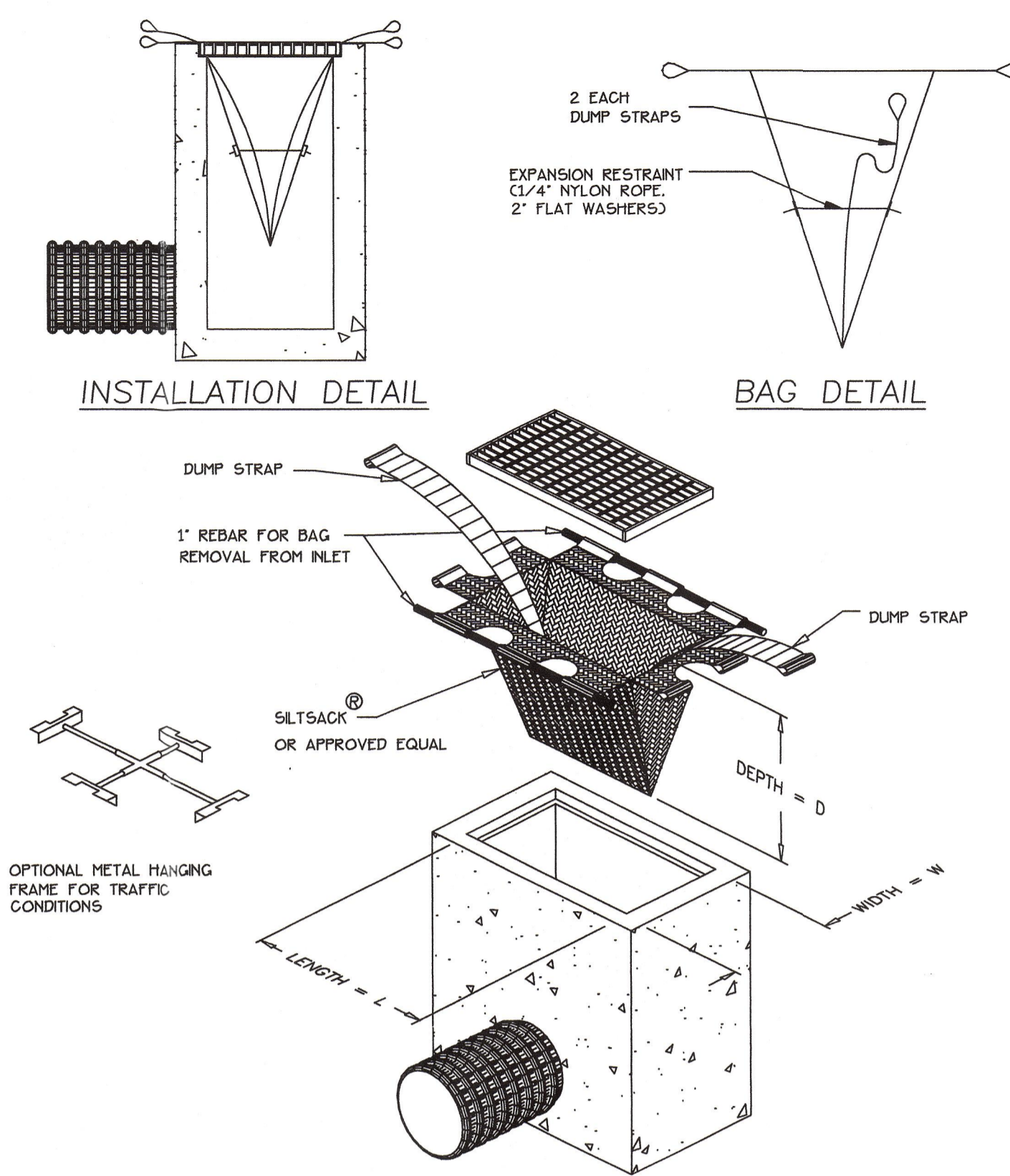
CONSTRUCTION SPECIFICATIONS:  
 1. STONE SIZE: AASHTO DESIGNATION M 43, SIZE NO. 2 (2.5" TO 1.5"). USE CRUSHED STONE.  
 2. LENGTH: AS EFFECTIVE, BUT NOT LESS THAN 90 FEET.  
 3. THICKNESS: NOT LESS THAN EIGHT (8) INCHES.  
 4. WIDTH: NOT LESS THAN FULL WIDTH OF ALL POINT OF INGRESS OR EGRESS.  
 5. WASHING: WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH THE USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.  
 6. MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONES, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT GULLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

7  
5  
STABILIZED CONSTRUCTION ENTRANCE  
NOT TO SCALE

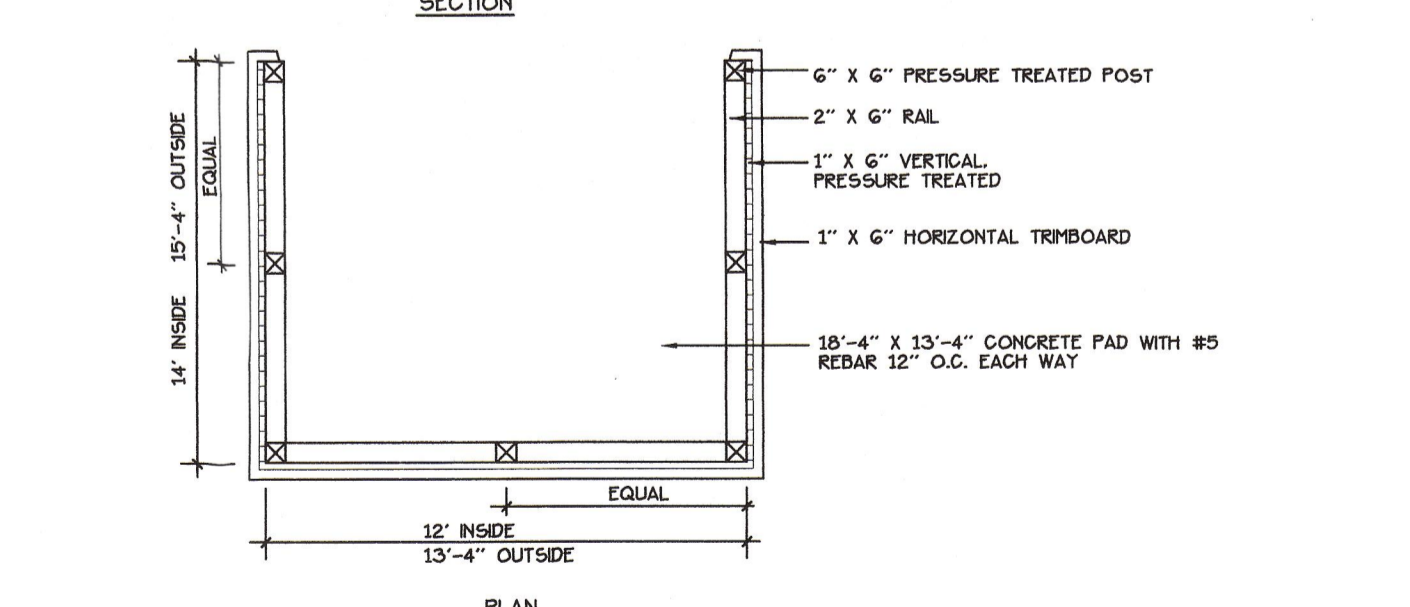
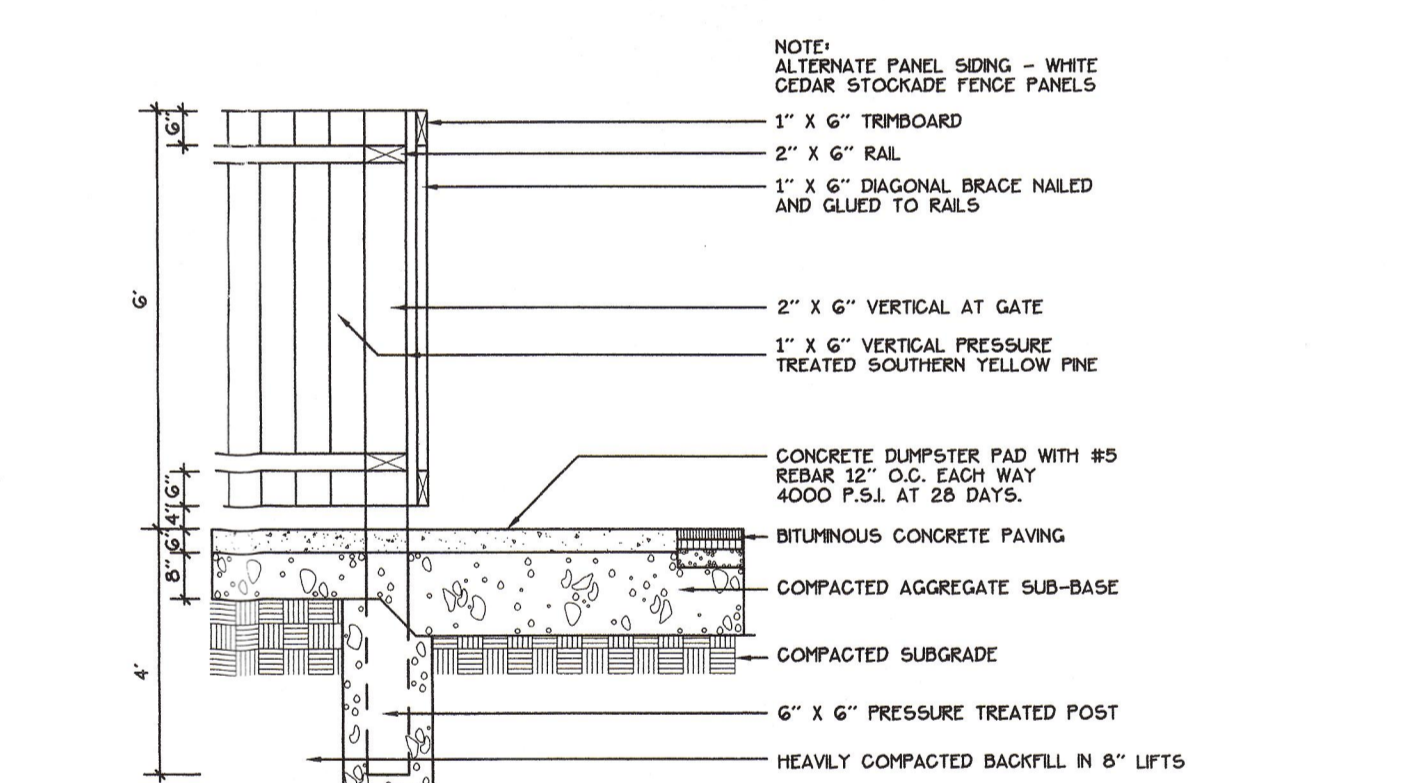


1. SILT FENCE TO BE INSTALLED PARALLEL TO EXISTING CONTOURS DOWNSLOPE FROM AREAS OF SOIL DISTURBANCE.  
 2. SILT FENCE TO BE SECURELY ATTACHED TO THE UPSLOPE SIDE OF THE SUPPORTING STAKES.  
 3. BOTTOM 4 TO 6 INCHES OF SILT FENCE TO BE BURIED IN SLOPE AND BAGGELLED WITH COMPACTED SOIL.  
 4. INSPECTION SHALL BE MADE AFTER EVERY RAINFALL WITH REMOVAL OF EXCESSIVE SEDIMENT AND REPAIR OF THE FENCE ACCOMPLISHED PROMPTLY.  
 5. SILT FENCE AND ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS PERMANENT EROSION CONTROL MEASURES HAVE BEEN ESTABLISHED.

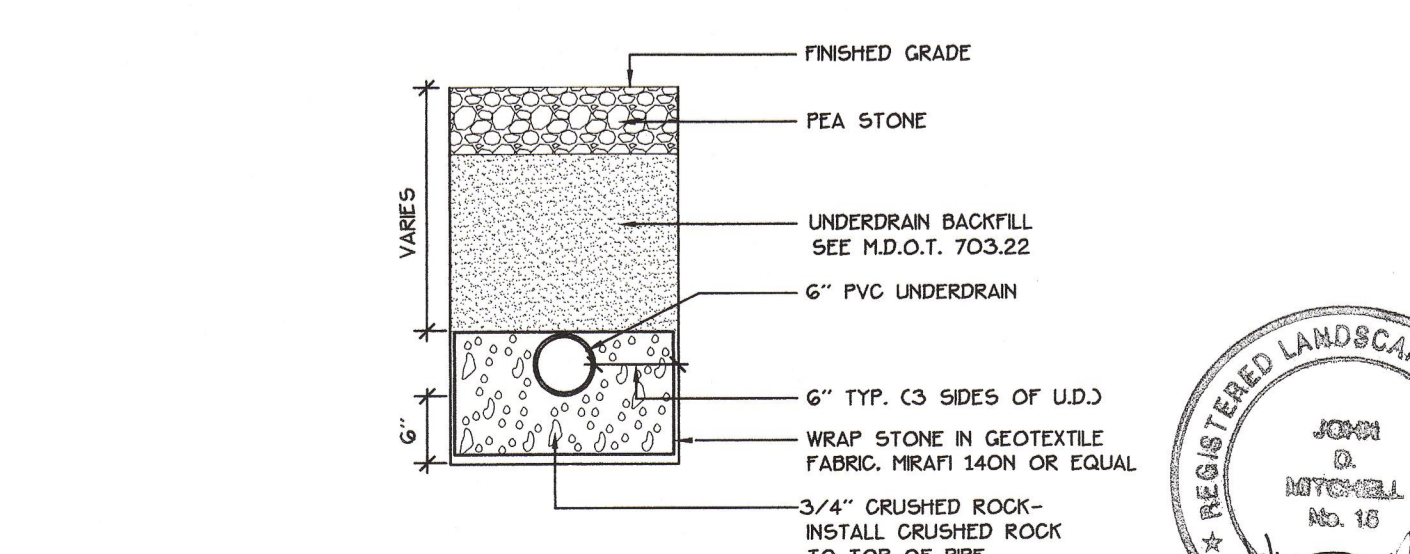
8  
5  
SILT FENCE  
NOT TO SCALE



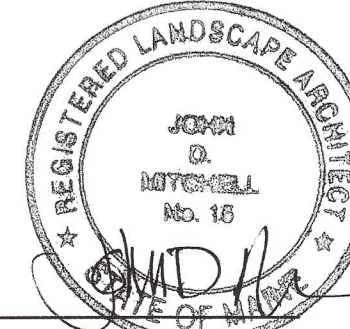
9  
5  
INLET SEDIMENT CONTROL DEVICE  
NOT TO SCALE



10  
5  
DUMPSTRIP ENCLOSURE  
NOT TO SCALE



11  
5  
UNDERDRAIN DETAIL  
NOT TO SCALE



**FORE RIVER APARTMENTS**  
 Portland, Maine  
 63 Frederic Street

Date:  
OCTOBER 26, 2004

Revisions:  
DEC 2, 2004: Staff Comments

Reproduction or reuse of this document without the expressed written consent of Mitchell & Associates is prohibited.

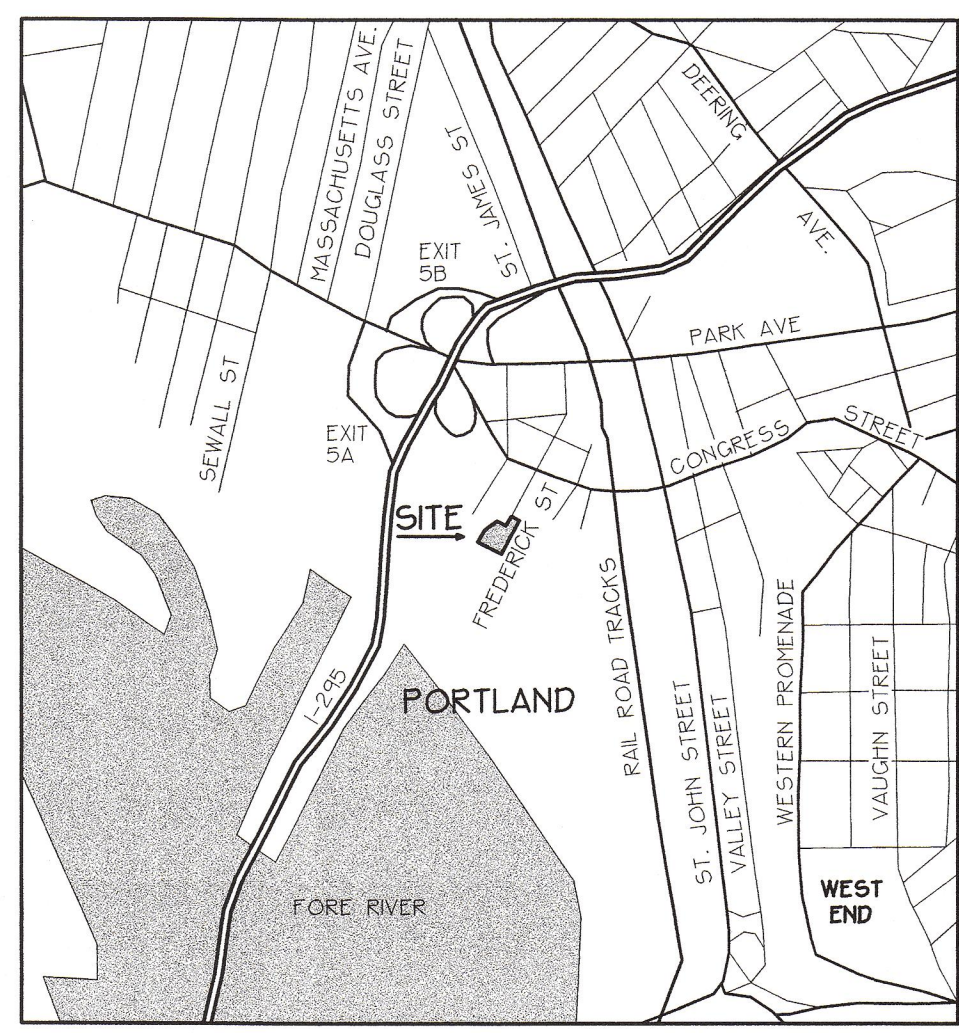
Title: **SITE DETAILS AND EROSION & SEDIMENTATION CONTROL PLAN**

CITY OF PORTLAND  
 APPROVED SITE PLAN  
 Subject to Dept. Conditions  
 Date of Approval: 12/2/04

Scale:  
1" = 10'-0"

North

Sheet No.:  
**5**



LOCATION MAP  
NOT TO SCALE

PROPERTY LINE CURVE DATA				
CURVE	LENGTH	RADIUS	CRD. BEARING	CRD. DIST.
C1	68.64'	1689.61'	N42°46'38"W	68.64
C2	50.10'	1689.61'	N44°47'26"W	50.09
C3	84.12'	1689.61'	N47°03'58"W	84.11
C4	109.84'	305.00'	N56°55'42"E	109.25
C5	33.75'	325.00'	N03°37'54"E	33.74

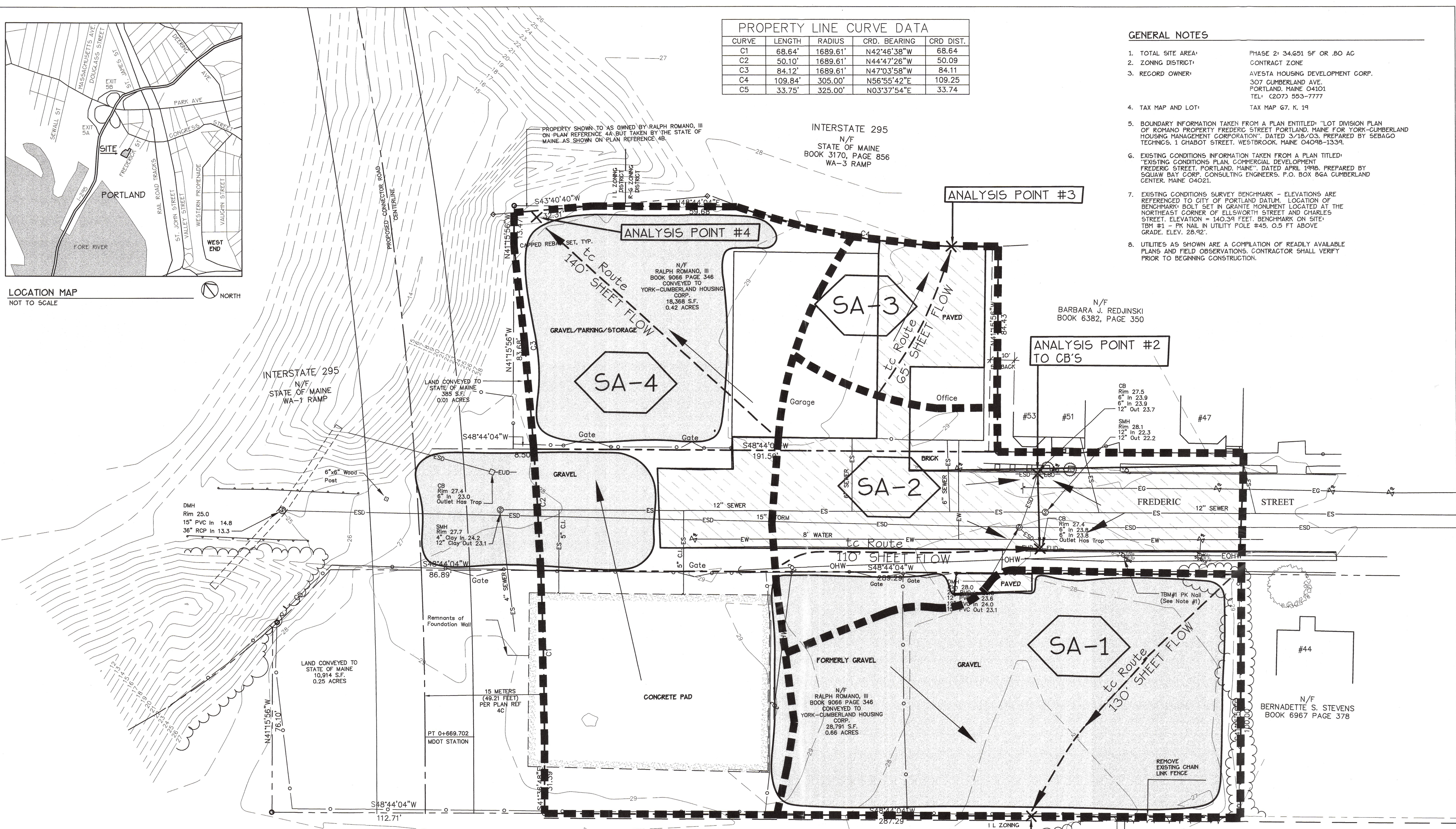
**GENERAL NOTES**

- TOTAL SITE AREA: PHASE 2: 34,651 SF OR .80 AC
- ZONING DISTRICT: CONTRACT ZONE
- RECORD OWNER: AVESTA HOUSING DEVELOPMENT CORP.  
307 CUMBERLAND AVE.  
PORTLAND, MAINE 04101  
TEL: (207) 553-7777
- TAX MAP AND LOT: TAX MAP 67, K. 19
- BOUNDARY INFORMATION TAKEN FROM A PLAN ENTITLED: "LOT DIVISION PLAN OF ROMANO PROPERTY FREDERIC STREET PORTLAND, MAINE FOR YORK-CUMBERLAND HOUSING MANAGEMENT CORPORATION", DATED 3/18/03, PREPARED BY SEBAGO TECHNCS, 1 CHABOT STREET, WESTBROOK, MAINE 04098-1339.
- EXISTING CONDITIONS INFORMATION TAKEN FROM A PLAN ENTITLED: "EXISTING CONDITIONS PLAN, COMMERCIAL DEVELOPMENT FREDERIC STREET, PORTLAND, MAINE", DATED APRIL 1998, PREPARED BY SQUAW BAY CORP. CONSULTING ENGINEERS, P.O. BOX 86A CUMBERLAND CENTER, MAINE 04021.
- EXISTING CONDITIONS SURVEY BENCHMARK - ELEVATIONS ARE REFERENCED TO CITY OF PORTLAND DATUM. LOCATION OF BENCHMARK BOLT SET IN GRANITE MONUMENT LOCATED AT THE NORTHEAST CORNER OF ELLSWORTH STREET AND CHARLES STREET. ELEVATION = 140.39 FEET. BENCHMARK ON SITE: TBM #1 - PK NAIL IN UTILITY POLE #45, 0.5 FT ABOVE GRADE. ELEV. 28.92.
- UTILITIES AS SHOWN ARE A COMPILED OF READILY AVAILABLE PLANS AND FIELD OBSERVATIONS. CONTRACTOR SHALL VERIFY PRIOR TO BEGINNING CONSTRUCTION.

Prepared For:  
Applicant:  
**AVESTA FORE  
RIVER HOUSING, LP**  
307 Cumberland Avenue  
Portland, Maine 04101  
Tel: (207) 553-7777

Prepared By:  
**MITCHELL & ASSOCIATES**  
Landscape Architects  
The Staples School  
70 Center Street  
Portland, Maine 04101  
Tel: (207) 774-4427

**FORE RIVER APARTMENTS**  
Portland, Maine  
63 Frederic Street



**LEGEND**

PROPERTY LINE		EXISTING CURBING	
IRON PIPE/ROD FOUND		CHAIN LINK FENCE	
GRANITE MONUMENT		GUARD RAIL	
CAPPED REBAR		SIGN	
UTILITY POLE		CONTOUR	
SANITARY MANHOLE		WATER	
GATE VALVE		OVERHEAD UTILITY WIRE	
CATCH BASIN		SANITARY SEWER	
FIRE HYDRANT		UNDERGROUND ELECTRIC	
DECIDUOUS TREE/SHRUB		STORM DRAIN	
EVERGREEN TREE/SHRUB		GAS	
TREE LINE		UNDERDRAIN	

Date:  
OCTOBER 26, 2004

Revisions:

Reproduction or reuse of this document without the expressed written consent of Mitchell & Associates is prohibited.

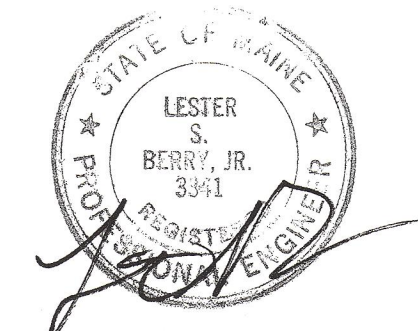
Title:  
**PRE DEVELOPMENT DRAINAGE PLAN**

Scale: 1"=20'

North:

Sheet No:  
**6**

CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Conditions  
Date of Approval: 1/25/05



E:\projects\maine\fore\_river\fore\_river.dwg, 10/26/04 10:42:00 AM, 1:25/05