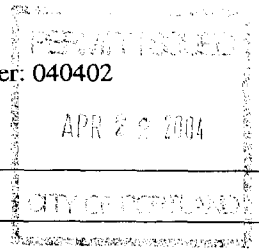


# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

## PERMIT

Permit Number: 040402



Please Read Application And Notes, If Any, Attached

This is to certify that Rogers Eugene J & Lynne M /Applica  
has permission to Build a 6' x 23' addition for b room, living space  
AT 22 Huntress St 067 K005001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is laid or closed-in. **HEAVY NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*[Signature]*  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0402	Issue Date:	CBL: 067 K005001
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Location of Construction: 22 Huntress St	Owner Name: Rogers Eugene J & Lynne M Jts	Owner Address: 22 Huntress St	Phone:
Business Name:	Contractor Name: Applicant	Contractor Address: Portland	Phone 773-2549
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-6

Past Use: single Family Home	Proposed Use: Single Family Home/ Build a 6' x 23' addition for bathroom, living space	Permit Fee: \$66.00	Cost of Work: \$5,000.00	CEO District: 3
Proposed Project Description: Build a 6' x 23' addition for bathroom, living space		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied Signature: <i>NA</i>	INSPECTION: Use Group: R-3 Type: SB BOCA 1999 Signature: <i>[Signature]</i>	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 04/09/2004	<b>Zoning Approval</b>
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 4/21/04	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 4/21/04
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

\_\_\_\_\_  
SIGNATURE OF APPLICANT ADDRESS DATE PHONE

\_\_\_\_\_  
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 04-0402	<b>Date Applied For:</b> 04/09/2004	<b>CBL:</b> 067 K005001
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<b>Location of Construction:</b> 22 Huntress St	<b>Owner Name:</b> Rogers Eugene J & Lynne M Jts	<b>Owner Address:</b> 22 Huntress St	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Applicant	<b>Contractor Address:</b> Portland	<b>Phone:</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	

<b>Proposed Use:</b> Single Family Home/ Build a 6' x 23' addition for bathroom, living space	<b>Proposed Project Description:</b> Build a 6' x 23' addition for bathroom, living space
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<b>Dept:</b> Zoning	<b>Status:</b> Approved	<b>Reviewer:</b> Tammy Munson	<b>Approval Date:</b> 04/21/2004
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
<b>Dept:</b> Building	<b>Status:</b> Approved	<b>Reviewer:</b> Tammy Munson	<b>Approval Date:</b> 04/21/2004
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

**Card Number** 1 of 1  
**Parcel ID** 067 K005001  
**Location** 22 HUNTRESS ST  
**Land Use** SINGLE FAMILY

**Owner Address** ROGERS EUGENE J & LYNNE M JTS  
 22 HUNTRESS ST  
 PORTLAND ME 04103

**Book/Page** 14937/165  
**Legal** 67-K-5  
 HUNTRESS ST 22-26  
 6801 SF

**Valuation Information**

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$37,170	\$69,510	\$106,680

**Property Information**

<b>Year Built</b> 1920	<b>Style</b> Old Style	<b>Story Height</b> 2	<b>Sq. Ft.</b> 1616	<b>Total Acres</b> 0.156		
<b>Bedrooms</b> 3	<b>Full Baths</b> 2	<b>Half Baths</b>	<b>Total Rooms</b> 6	<b>Attic</b> Unfin	<b>Basement</b> Full	

**Outbuildings**

<b>Type</b> GARAGE-WD/CB	<b>Quantity</b> 1	<b>Year Built</b> 1920	<b>Size</b> 22X21	<b>Grade</b> C	<b>Condition</b> A
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**Sales Information**

<b>Date</b> 07/28/1999	<b>Type</b> LAND + BLDING	<b>Price</b> \$99,200	<b>Book/Page</b> 14937-165
07/01/1996	LAND + BLDING	\$78,600	12629-010

**Picture and Sketch**

Picture Sketch

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).





# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

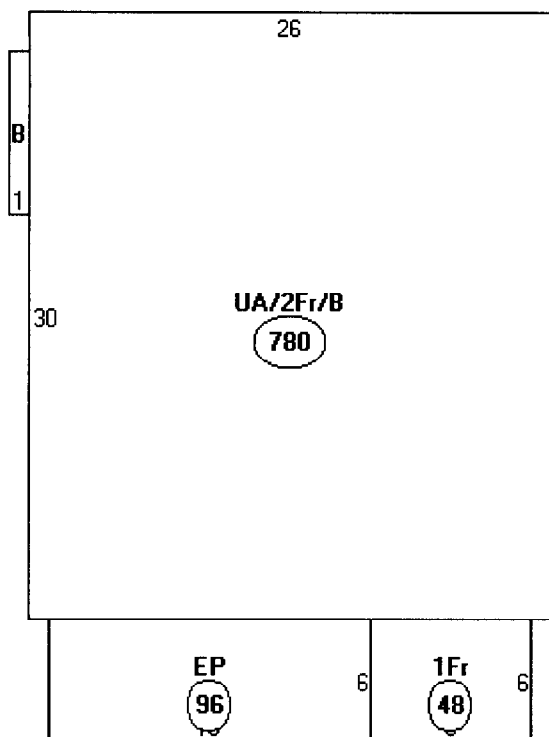
Location/Address of Construction: <u>22 Huntress St Portland ME</u>		
Total Square Footage of Proposed Structure <u>140 sq Footage</u>	Square Footage of Lot <u>0.15 ACRES</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>267</u> Block# <u>K</u> Lot# <u>005</u>	Owner: <u>Eugene &amp; Lynn Rogers</u>	Telephone: <u>207</u> <u>773-2549</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Eugene &amp; Lynn Rogers</u> <u>22 Huntress St</u> <small>DEPT. OF BUILDING INSPECTION</small>	Cost Of Work: \$ <u>5000</u> <sup>est</sup> / <sub>100</sub> <u>6600</u>
Current use: <u>RESIDENTIAL</u> <u>SIF</u>	<b>APR 9 2004</b>	
If the location is currently vacant, what was prior use: <u>RECEIVE</u>		
Approximately how long has it been vacant: _____		
Proposed use: <u>ADDITION to living space and Bath Room</u>	<u>Build 6' x 23'</u>	
Project description: <u>LATER HAND</u>	<u>addition</u>	
Contractor's name, address & telephone: <u>same</u> <u>773-2549</u>		
Who should we contact when the permit is ready: <u>Eugene Rogers</u> <u>ttcaly</u>		
Mailing address: <u>same</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. <b>PHONE:</b> <u>773-2549</u>		

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: <u>Eugene Rogers</u>	Date: <u>10-8-04</u>
--	----------------------

**This is NOT a permit, you may not commence ANY work until the permit is issued.  
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall**



Descriptor/Area

- A: UA/2Fr/B  
780 sqft
- B: FBAY/B  
8 sqft
- C: 1Fr  
48 sqft
- D: EP  
96 sqft

932  
462 garage  

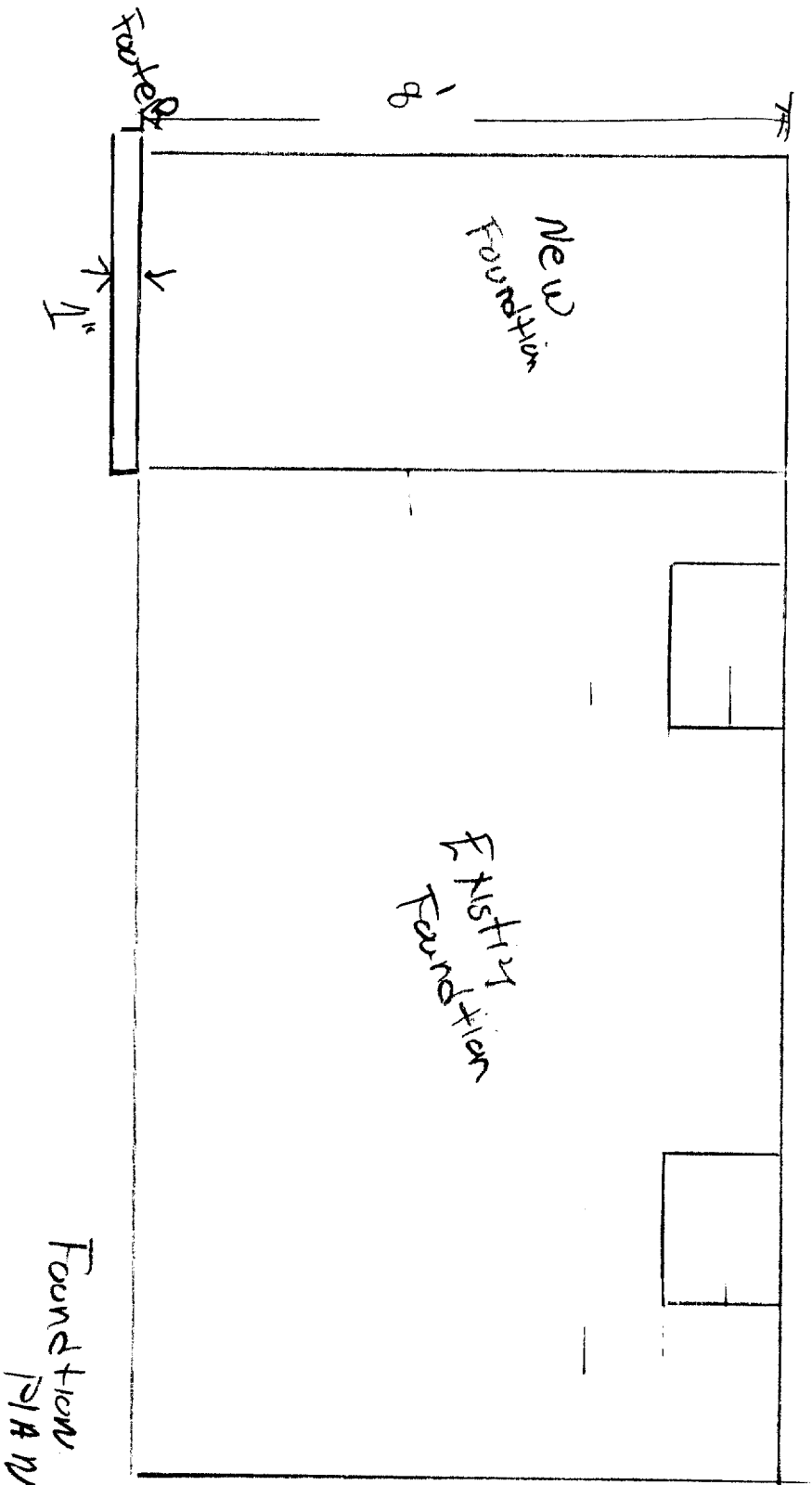
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1394  
120 addition  
1,514 SF

6801  
40%  
2,720 SF  
OK

# NEW ADDITION

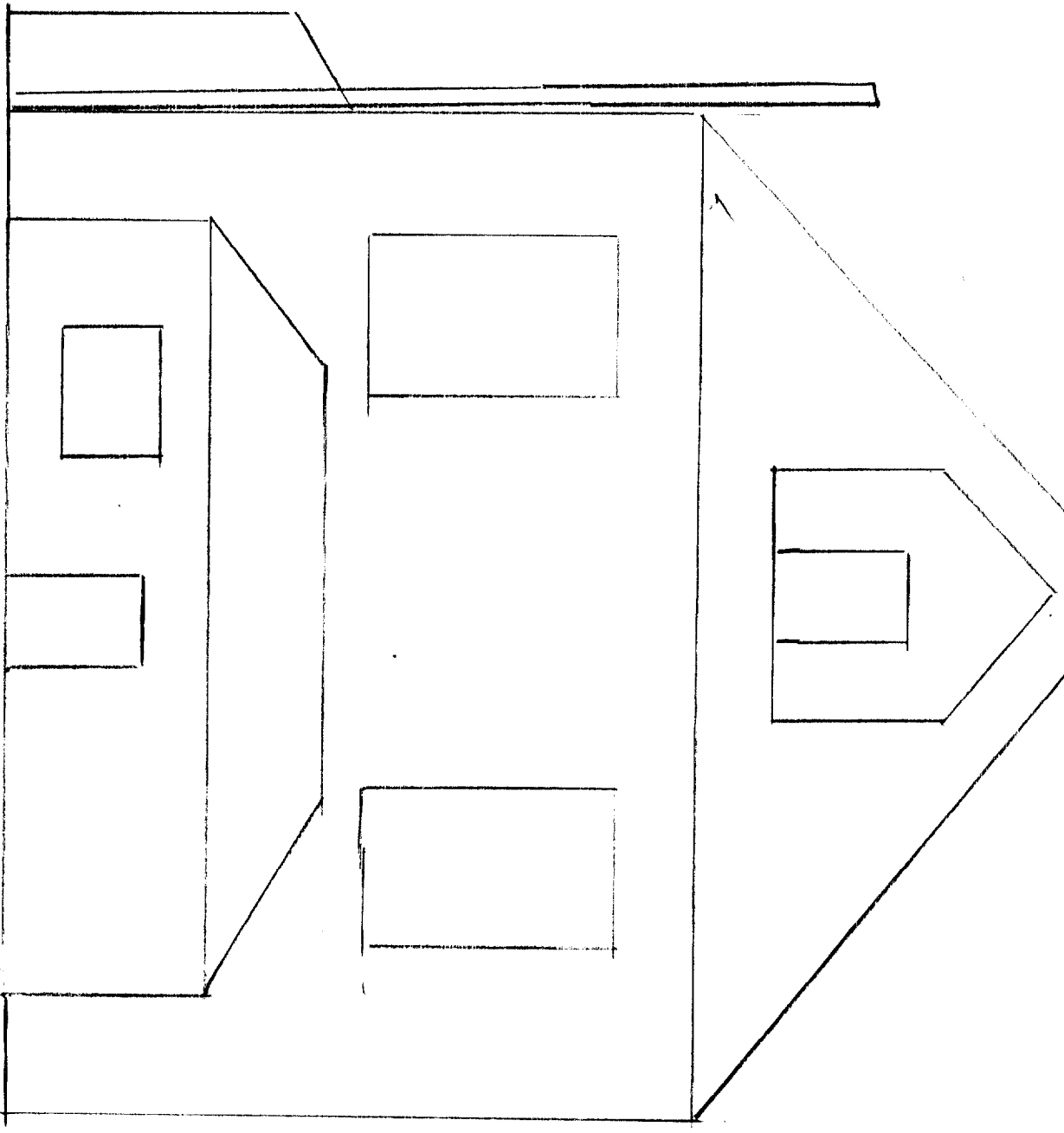
Side.





FRONT House

OR



EXISTING

20

0

side

25

25' Front

EXISTING

EXISTING HOUSE

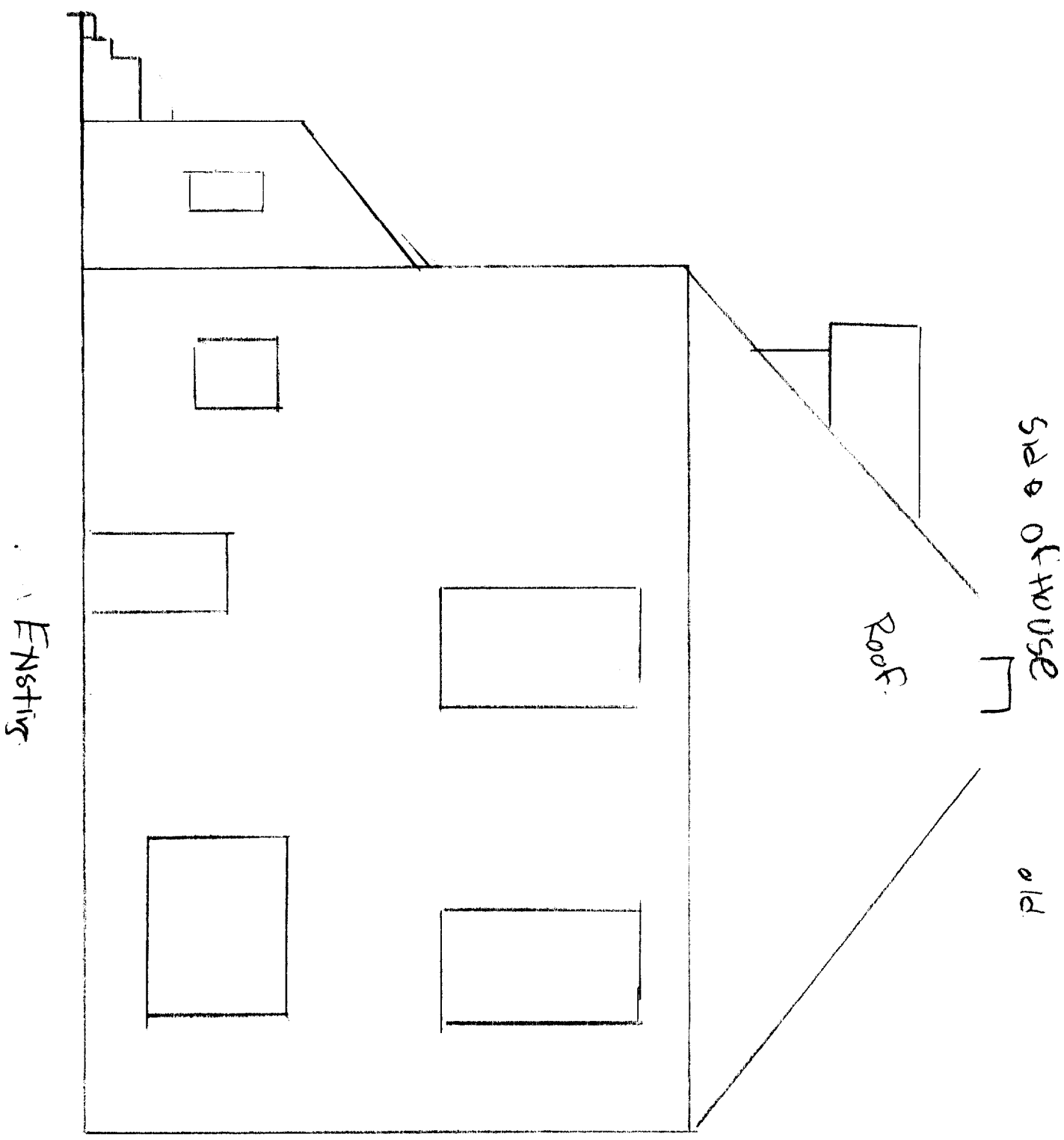
Back 25'

10

side

Chimneys



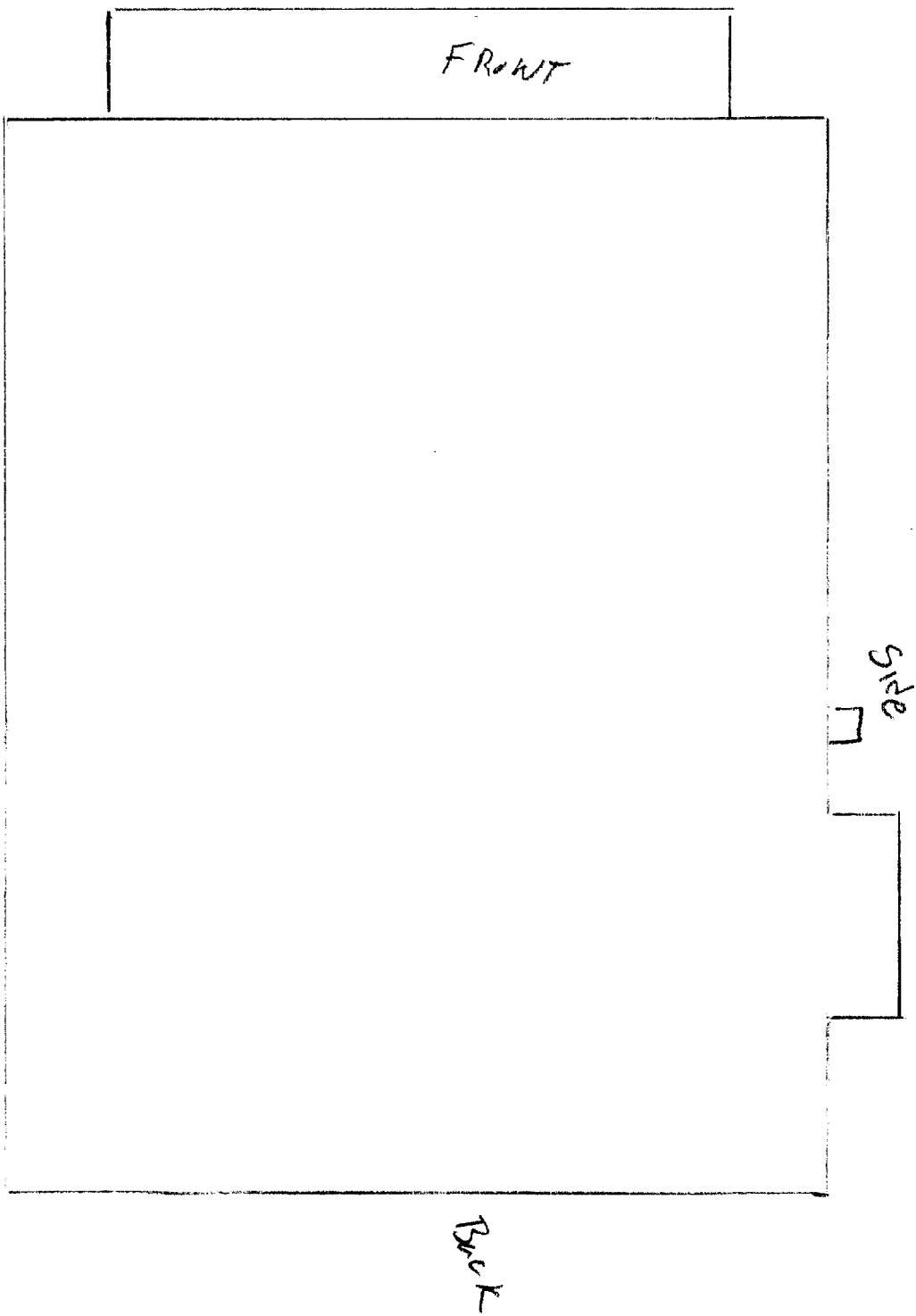


EXISTING

Roof

Side of house

old



DRIVEWAY SIDE. EXISTING HORSE FOUNDATION.

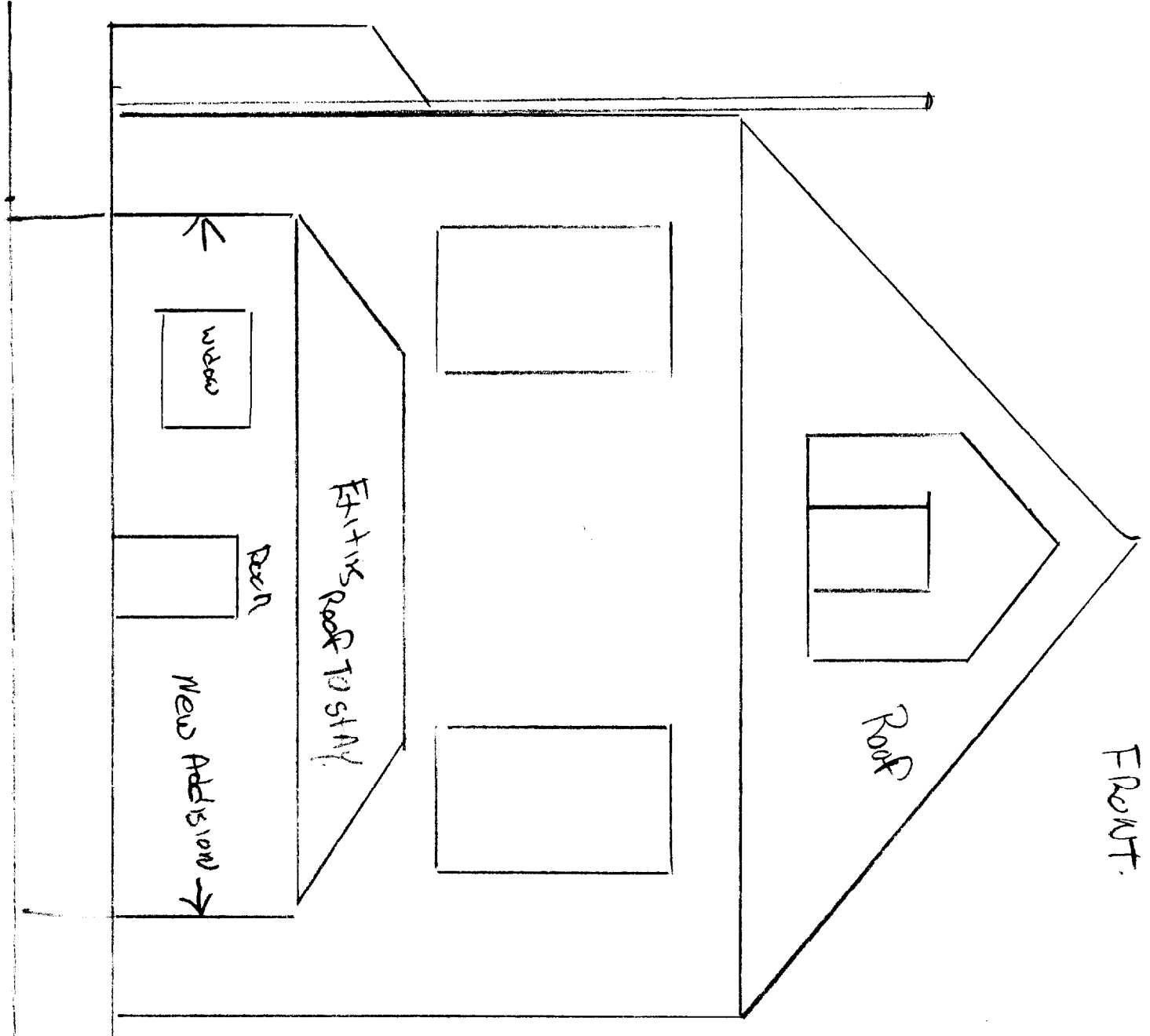
# **RENOVATION PROJECT**

## 22 Huntress Street

This project is to renovate the front porch and bathroom area of the house. The existing roof will remain. The dimensions of the renovation will remain the same as the current dimensions. The existing walls and floors will be removed and replaced. A new foundation will be built using either poured concrete or cement blocks.

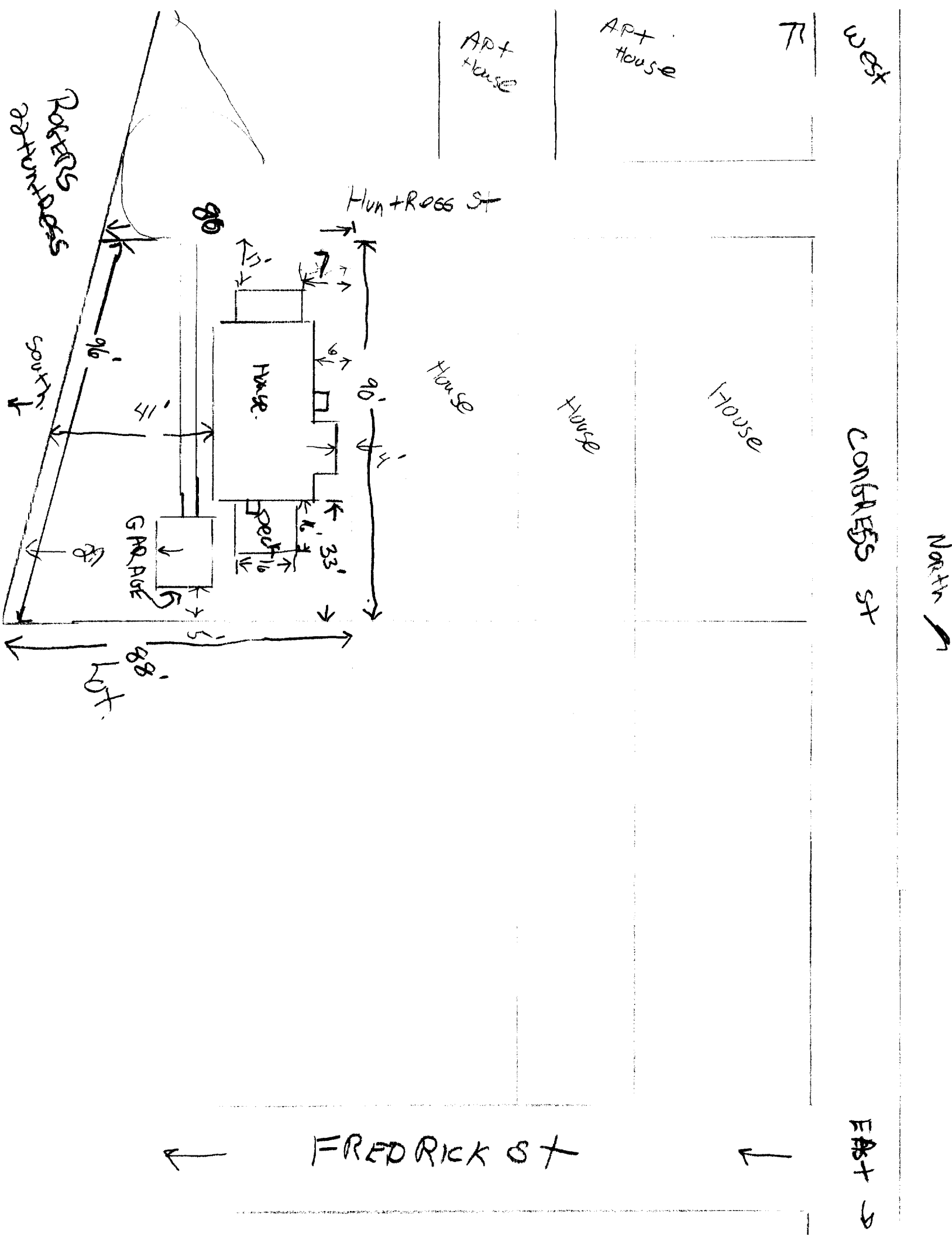
The renovated area will be rewired and plumbed to current city codes. The existing exterior siding will be re-installed. The front window will be a double hung bay window to replace the current existing double hung windows.

FRONT.



FRONT.

NEW  
ADDITION PLAN



WEST

CONGRESS ST

EAST

APT House

APT House

Hun+Rosa St

PAPER'S OFFICE

South

House

House

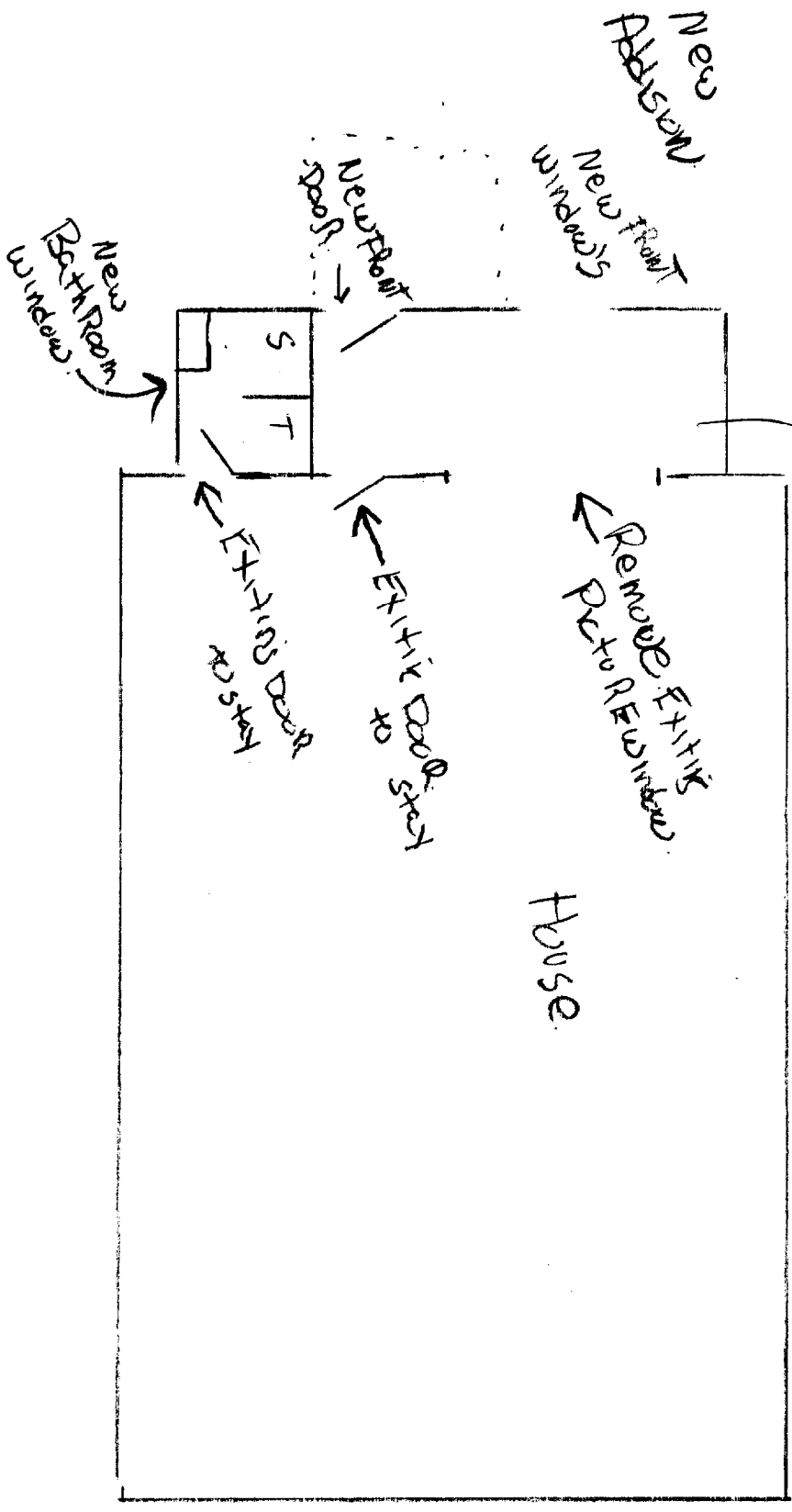
House

House

FREDRICK ST

NORTH

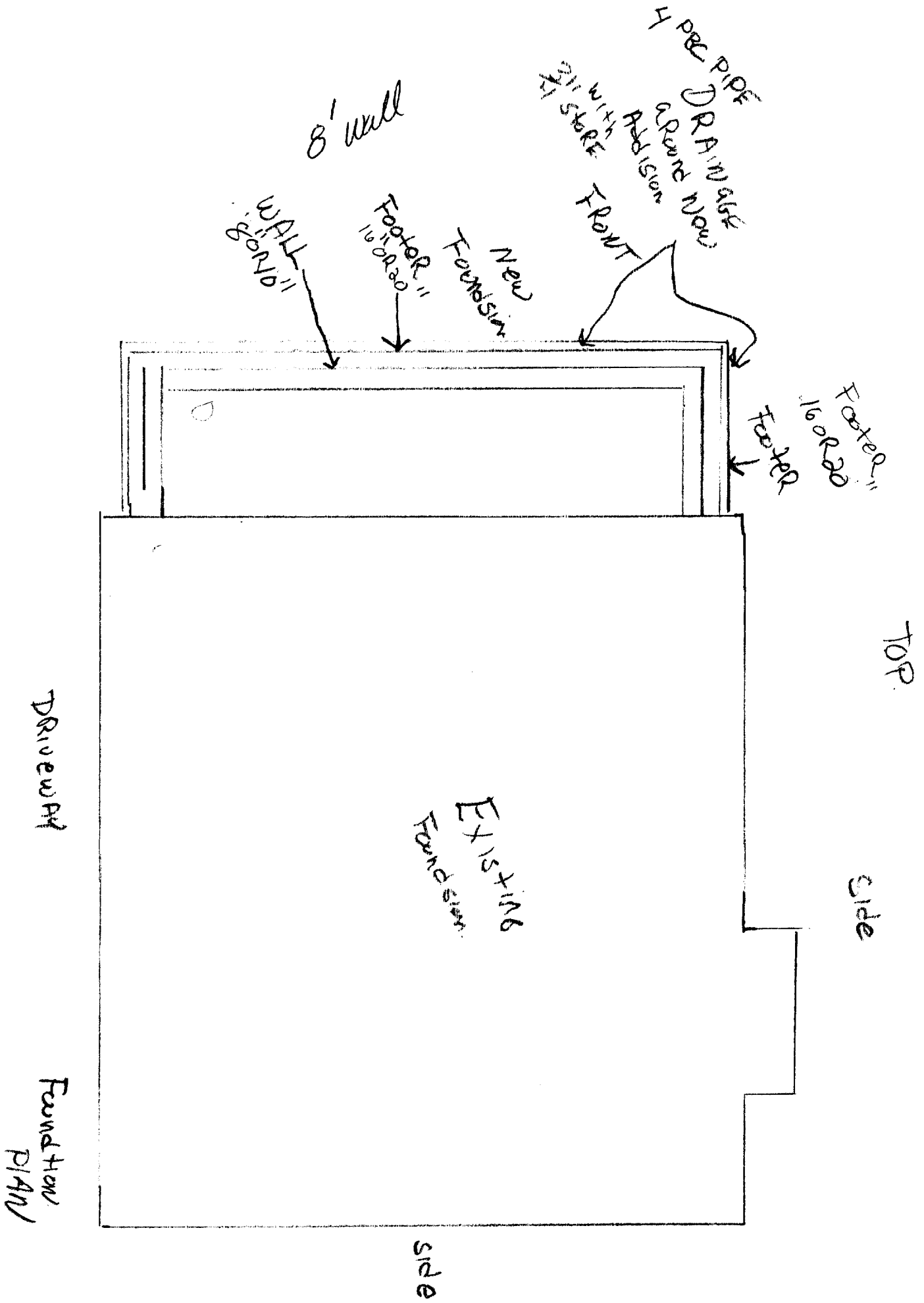
FLOOR PLAN  
Plan For  
New Addition



No Bow window  
on front -  
2 Double Hinges  
2-2"x8" - 5/16" R.O.  
OK

Existing roof  
stays -  
New walls +  
foundation.





New

Side

Roof

(2)

STUD FLOORING

FRAMING FOR OLD AND NEW ADDITIONS.

STUD FLOORING 3" x 6" PIN WOOD

Existing House

1

2" x 6" 160C

2" x 6" 160C

6' span - OK

2" x 6" 160C

New Window

EXISTING ROOF TO STUD.

NEW BRISONS ADDITION

TRAIL WALL 11' x 19' 1/2' TO EXISTING OLD BRISONS



22 Huntress  
St

