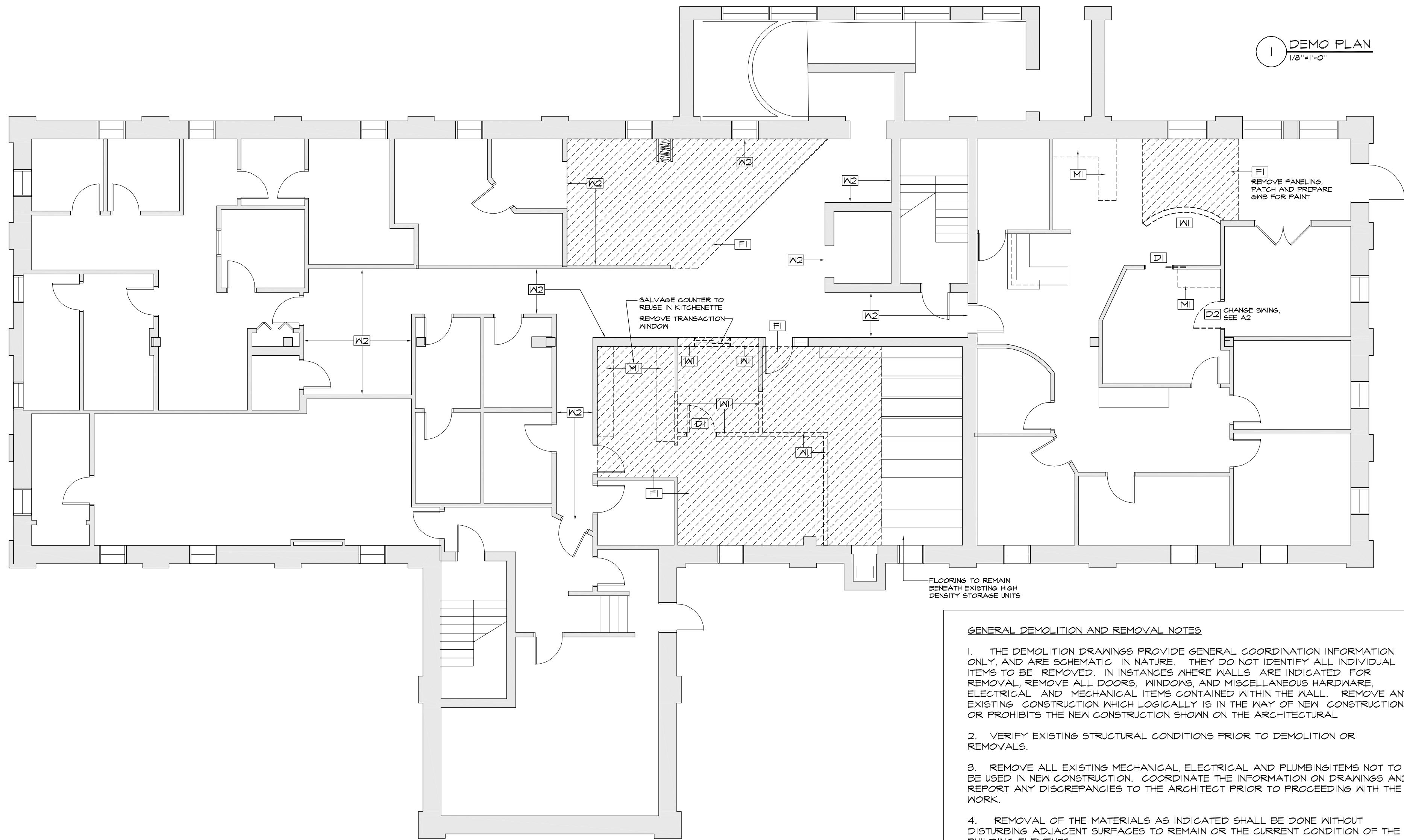


Jun 27, 2008 - 11:23am

H:\Master Proj Files\2\Maine Eye Center\Maine Eye Center - 1st Floor - 1st Floor - MEC-PLAN.dwg



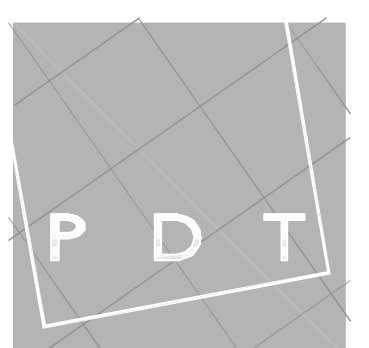
1 DEMO PLAN  
1/8"=1'-0"

<b>FLOORS:</b>	
<b>FI</b>	REMOVE EXISTING FLOORING, PREP FOR NEW FINISH
<b>WALLS:</b>	
<b>W1</b>	REMOVE STUD WALL WITH GNB OR OTHER FINISH
<b>W2</b>	REMOVE - EXISTING VMC, PREP FOR NEW FINISH
<b>DOORS:</b>	
<b>D1</b>	REMOVE DOOR, DOOR FRAME AND THRESHOLD IF ANY.
<b>D2</b>	REMOVE DOOR AND HARDWARE, PREPARE FRAME TO REUSE DOOR
<b>MISCELLANEOUS:</b>	
<b>M1</b>	REMOVE CASEWORK AND ASSOCIATED ITEMS

<b>LEGEND</b>	
	EXISTING PARTITIONS TO REMAIN
	EXISTING PARTITIONS TO BE REMOVED
	EXISTING FLOORING TO BE REMOVED

- GENERAL DEMOLITION AND REMOVAL NOTES**
1. THE DEMOLITION DRAWINGS PROVIDE GENERAL COORDINATION INFORMATION ONLY, AND ARE SCHEMATIC IN NATURE. THEY DO NOT IDENTIFY ALL INDIVIDUAL ITEMS TO BE REMOVED. IN INSTANCES WHERE WALLS ARE INDICATED FOR REMOVAL, REMOVE ALL DOORS, WINDOWS, AND MISCELLANEOUS HARDWARE, ELECTRICAL AND MECHANICAL ITEMS CONTAINED WITHIN THE WALL. REMOVE ANY EXISTING CONSTRUCTION WHICH LOGICALLY IS IN THE WAY OF NEW CONSTRUCTION OR PROHIBITS THE NEW CONSTRUCTION SHOWN ON THE ARCHITECTURAL.
  2. VERIFY EXISTING STRUCTURAL CONDITIONS PRIOR TO DEMOLITION OR REMOVALS.
  3. REMOVE ALL EXISTING MECHANICAL, ELECTRICAL AND PLUMBING ITEMS NOT TO BE USED IN NEW CONSTRUCTION. COORDINATE THE INFORMATION ON DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
  4. REMOVAL OF THE MATERIALS AS INDICATED SHALL BE DONE WITHOUT DISTURBING ADJACENT SURFACES TO REMAIN OR THE CURRENT CONDITION OF THE BUILDING ELEMENTS.
  5. REMOVE ALL DAMAGED AND/OR DISCARDED BUILDING CONSTRUCTION MATERIAL FROM CONCEALED SPACES. PRIOR TO CLOSING- OR SEALING-OFF CONCEALED SPACES, THE CONTRACTOR SHALL ALLOW FOR AN INSPECTION OF COMPONENTS WHICH WILL NOT BE VISIBLE WHEN THE SPACES HAVE BEEN SEALED.
  6. ALL DEMOLITION/REMOVAL DEBRIS IS THE PROPERTY OF THE CONTRACTOR, UNO.
  7. PLUMBING AND HEATING SHAFT DEMOLITION NOT SHOWN ON DEMOLITION PLANS COORDINATE ADDITIONAL DEMOLITION TO ACCOMMODATE MECHANICAL AND ELECTRICAL.
  8. OPEN WALL TO ADD BLOCKING / SUPPORT FOR DOOR JAMB SUPPORT. TO CONNECT NEW WALL TO STUD WALL OF EXISTING WALL.

- GENERAL PATCHING AND REPAIR NOTES**
1. DAMAGES: EXISTING BUILDING OR SITE COMPONENTS, NOT SCHEDULED FOR WORK, WHICH ARE DAMAGED SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION BY METHODS APPROVED BY THE ARCHITECT.
  2. PATCHING: AFTER REMOVAL OF BUILDING COMPONENTS AS INDICATED, PATCH AND PREPARE THE REMAINING EXISTING EXPOSED SURFACES TO RECEIVE NEW WORK AND FINISH. FOR EXAMPLE: LEVEL FLOORS AT WALL REMOVALS; PIECE-IN NEW PLASTER BACKING AND FINISH FLUSH; PIECE IN NEW CEILING SUSPENSION SYSTEM, MAINTAIN EXISTING FIRE- OR SMOKE-RATINGS AS INDICATED. SUCH PATCHES SHALL BE FLUSH WITH ADJACENT SURFACES.
  3. WHERE NEW CONSTRUCTION EITHER INFILLS OR ABUTS EXISTING CONSTRUCTION, THE FINISHED FACES SHALL ALIGN, AND THE SURFACES SHALL BE FINISHED TO MATCH.
  4. PATCH AND LEVEL EXISTING FLOORS TO RECEIVE NEW FINISHES AS INDICATED IN THE ROOM FINISH SCHEDULE.

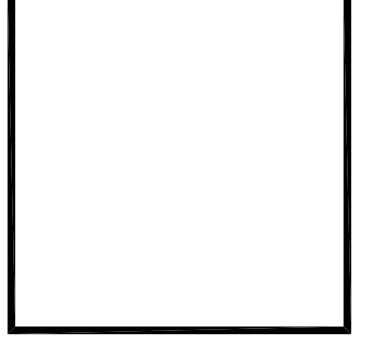


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# Maine Eye Center Lasik/Lobby Renovations

PORTLAND, MAINE



JOB NO.  
08-046

DRWN. CHK  
AJR

SCALE:  
1/8"=1'-0"

ISSUE  
09 JUNE 2008

TITLE  
DEMO PLAN  
AND NOTES

SHEET  
**A1**