

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<div style="border: 2px solid black; padding: 5px; text-align: center;"> <b>PERMIT ISSUED</b>                  JUN 28 2002                  CITY OF PORTLAND             </div>		Permit No: 02-0651	CBL: 067 J00101A
Location of Construction: 15 Lowell St	Owner Name: Tundra Associates	Owner Address: 15 Lowell St	Phone: 774-8277
Business Name:	Contractor Name: Applicant	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-2

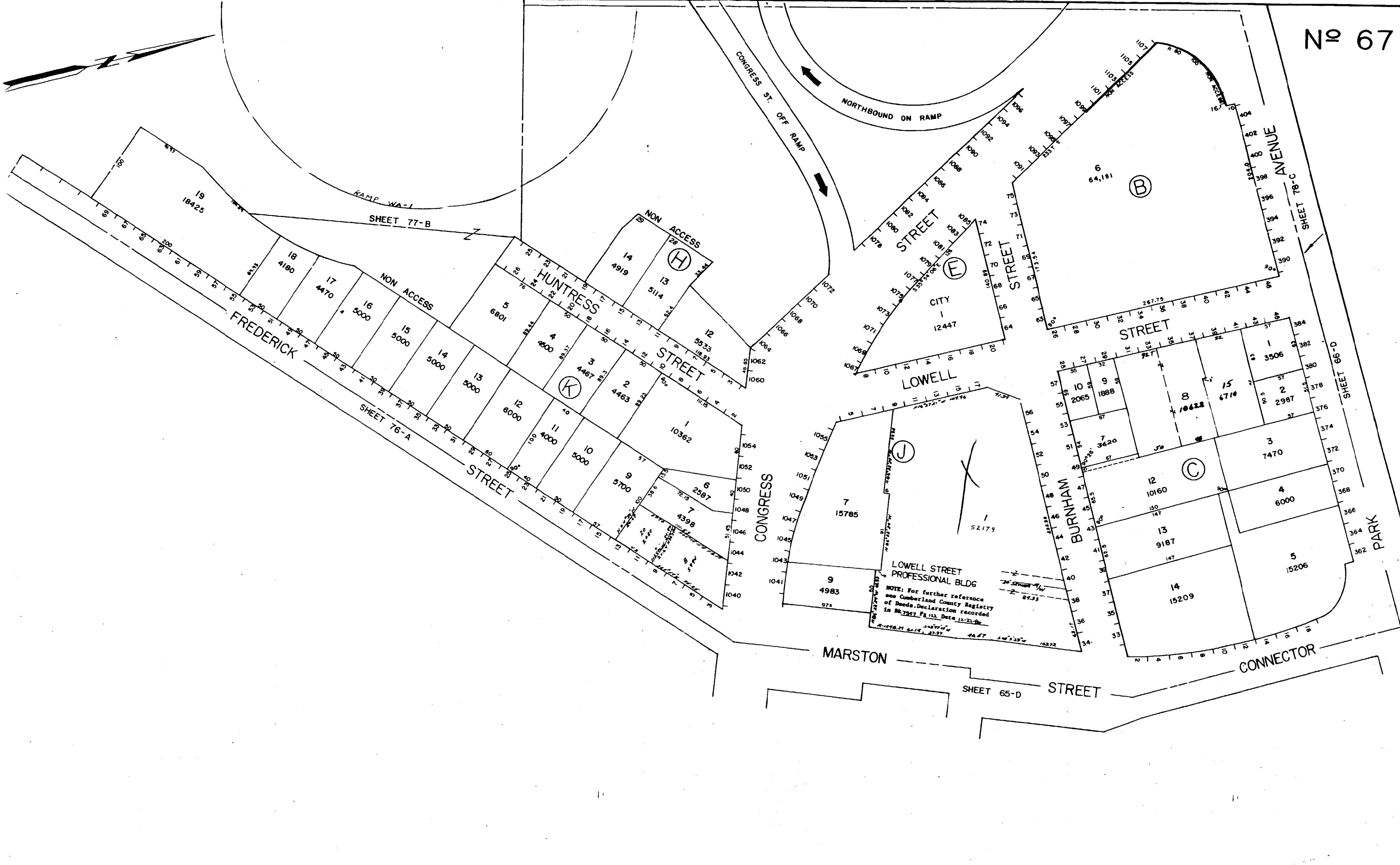
Past Use: Maine Eye Center/Dr's Office	Proposed Use: Maine Eye Center/Dr's Office	Permit Fee: \$107.00	Cost of Work: \$12,000.00	CEO District: 3
Proposed Project Description: Replace existing storefront, addition of enlarged, 48" automatic door.		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: B Type: N/A Signature: <i>[Signature]</i>	
		Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____				

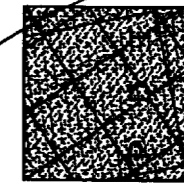
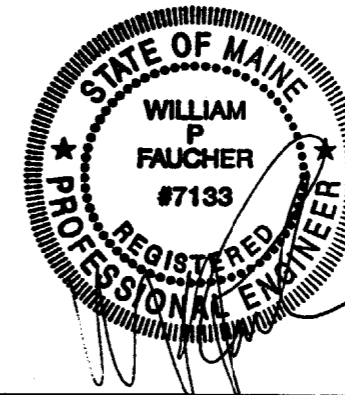
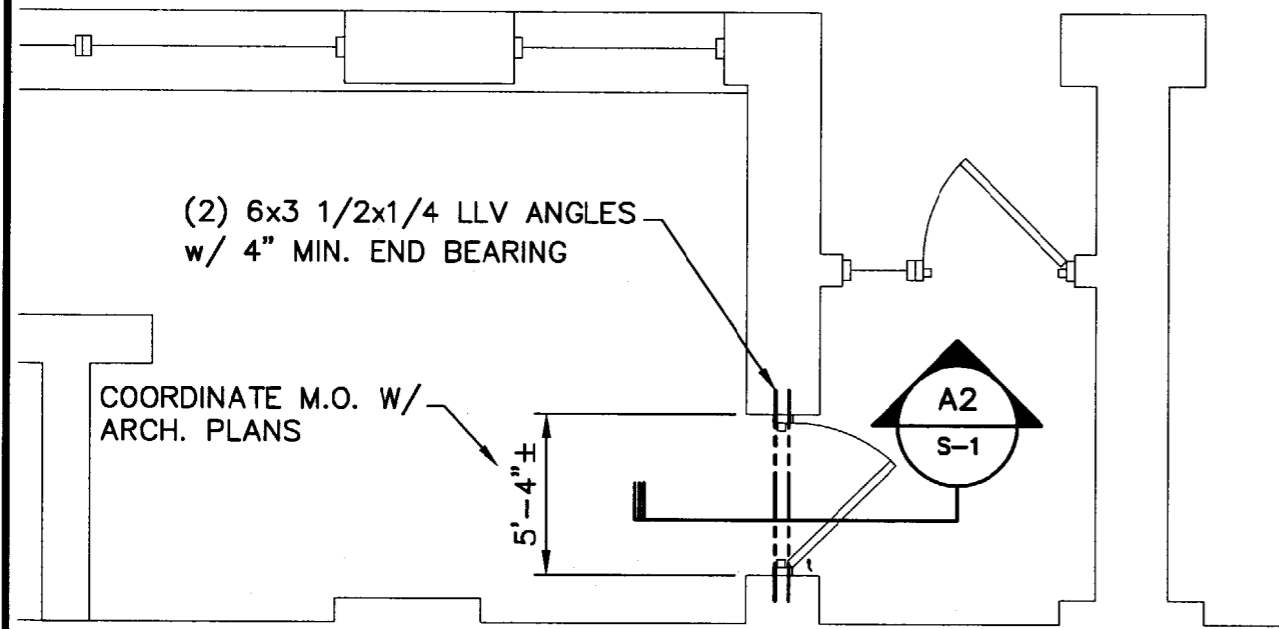
Permit Taken By: gg	Date Applied For: 06/13/2002	<b>Zoning Approval</b>		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.  2. Building permits do not include plumbing, septic or electrical work.  3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>6/20/02</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>	

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



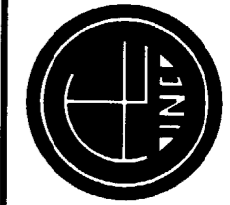


ARCHITECTURE  
INTERIOR DESIGN  
PLANNING

A R C H I T E C T S

THE MILLYARD  
15 PINE STREET EXTENSION  
NASHUA, NEW HAMPSHIRE 03060  
603-882-1555  
603-881-3442 FAX

49 DARTMOUTH STREET  
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207-775-1059  
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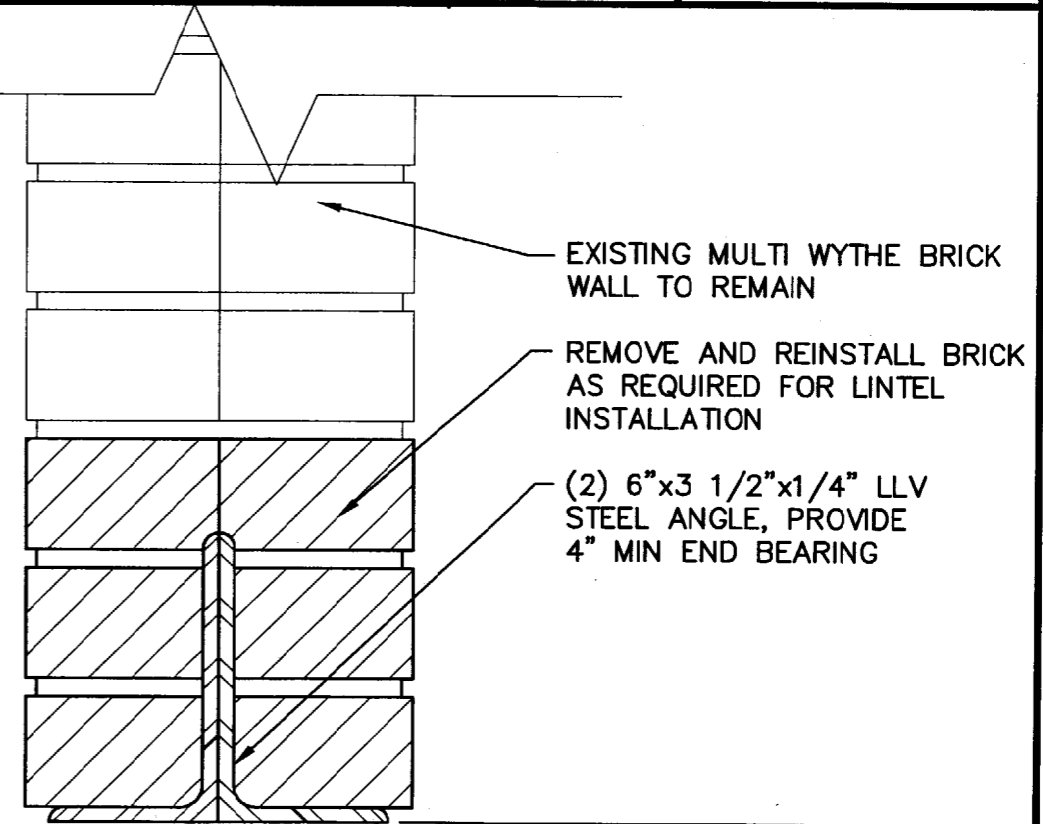
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FULL SERVICE CONSULTING ENGINEERS  
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One Westbrook Common, Westbrook, Maine 04092-2804  
Telephone No: 207-654-8128 • Fax No: 207-654-0803  
E-Mail: info@allied-eng.com • www.allied-eng.com

B1	PARTIAL PLAN ~ ENTRY
1/4" = 1'-0"	

GENERAL NOTES

1. GENERAL CONTRACTOR SHALL VERIFY ALL CONTRACT DOCUMENTS (DRAWINGS AND SPECIFICATIONS) AND VERIFY ALL EXISTING CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION WORK. ANY AND ALL DISCREPANCIES SHALL BE NOTIFIED TO THE ENGINEER WITHOUT EXCEPTION.
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COORD. M.O. WITH  
ARCH. PLANS

A1	GENERAL NOTES
-	

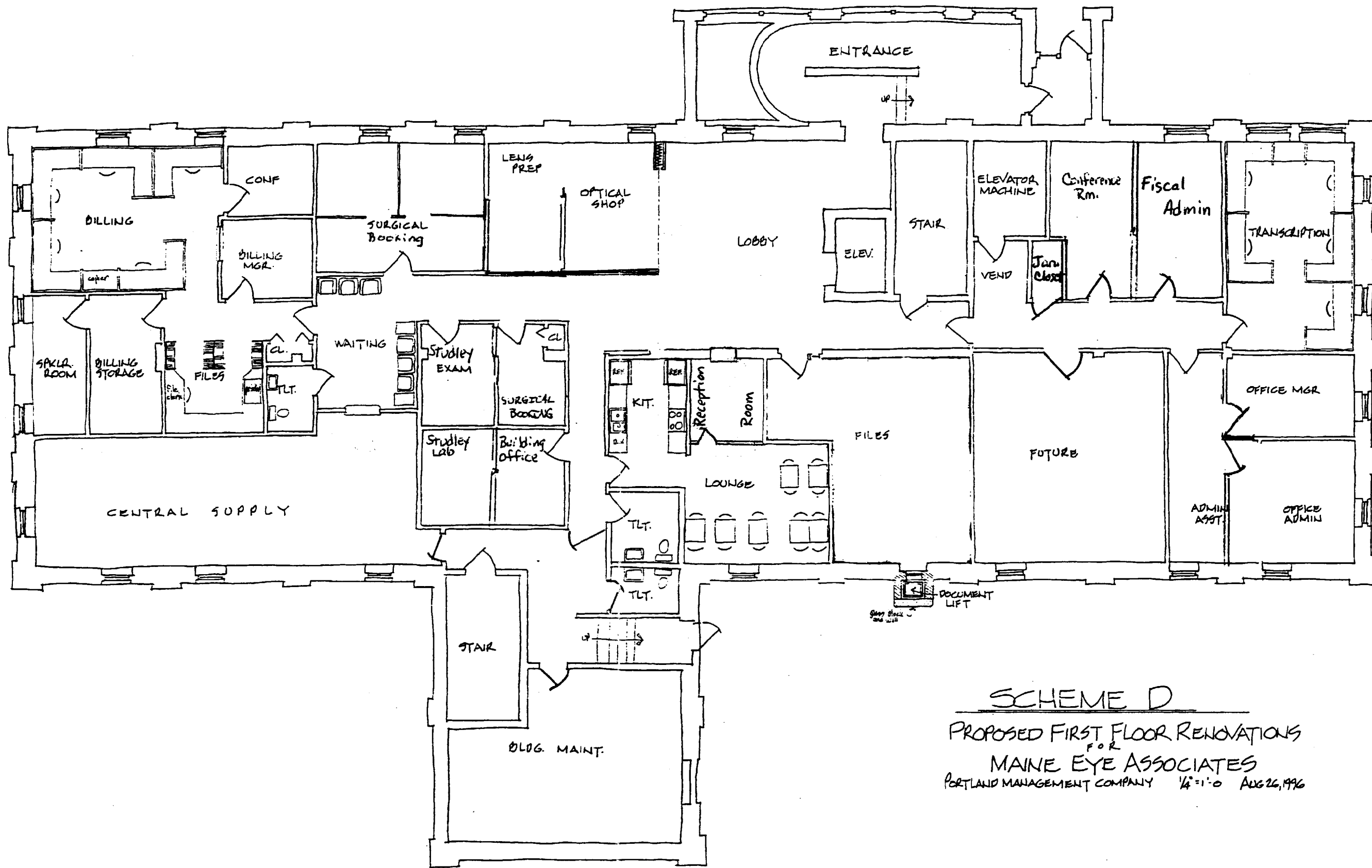
A2	LINTEL DETAIL
3" = 1'-0"	

ENTRY PLAN, DETAILS AND NOTES

MAINE EYE CENTER  
LOWELL STREET  
PORTLAND, MAINE

Scale: AS NOTED | Date: 11/28/01 | Project No: 011230 | Cad File: 011230S.dwg

S-1



SCHEME D  
 PROPOSED FIRST FLOOR RENOVATIONS  
 FOR  
 MAINE EYE ASSOCIATES  
 PORTLAND MANAGEMENT COMPANY 1/4" = 1'-0" AUG 26, 1996

Form # P 04

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read  
Application And  
Notes, If Any,  
Attached

## PERMIT

Permit Number: 020651

This is to certify that Tundra Associates/Applicant  
has permission to Replace existing storefront, addition of charged, automatic door.  
AT 15 Lowell St 067 J00101A

provided that the person or persons, firm or corporation accepting this permit shall comply with  
of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regul  
the construction, maintenance and use of buildings and structures, and of the application on  
this department.

Apply to Public Works for street line  
and grade if nature of work requires  
such information.

Notification of inspection must  
be given and when permission procured  
before this building or part thereof  
is altered or closed-in.  
24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must  
be procured by owner before this b  
uilding or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. [Signature]  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name \_\_\_\_\_

[Signature]  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

02-0651

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>MAINE EYE CENTER 15 LOWELL STREET PORTLAND</u>		
Total Square Footage of Proposed Structure	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>67</u> Block# <u>J</u> Lot# <u>001</u>	Owner: <u>Tundra Associates</u>	Telephone: <u>774-8277</u>
<u>Lessee</u> /Buyer's Name (If Applicable) <u>Maine Eye Center</u>	Applicant name, address & telephone: <u>Maine Eye Center</u> <u>15 Lowell St</u> <u>Portland, ME</u> <u>207-774-8277 04102</u>	Cost Of Work: <u>\$12,000.00</u> Fee: <u>107.00</u>
Current use: <u>PROFESSIONAL MEDICAL BUILDING</u>		
If the location is currently vacant, what was prior use: <u>N/A</u>		
Approximately how long has it been vacant: <u>N/A</u>		
Proposed use: <u>SAME AS ABOVE</u>		
Project description: <u>REPLACE EXISTING STOREFRONT WITH NEW STOREFRONT THAT HAS A 48" DOOR WITH AN AUTOMATIC DOOR OPENER. ENLARGE INNER DOOR OPENING IN BRICK HALL TO PROVIDE EASIER ACCESS.</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>BRIAN NEPRASH *</u>		
Mailing address: <u>15 LOWELL STREET</u> <u>PORTLAND MAINE 04102</u>		
Phone: <u>774-8277 x350 *</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Charles [Signature] Vice Pres. Date: 6/13/02

This is not a permit, you may not commence ANY work until the permit is issued

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME

JUN 13 2002

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

Ben J Reynolds **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

**Footing/Building Location Inspection:** Prior to pouring concrete

**Re-Bar Schedule Inspection:** Prior to pouring concrete

**Foundation Inspection:** Prior to placing ANY backfill

Ben J Reynolds  **Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

Ben J Reynolds  **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

Ben J Reynolds If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

Ben J Reynolds  
Signature of applicant/designee

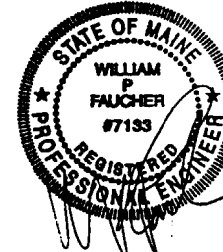
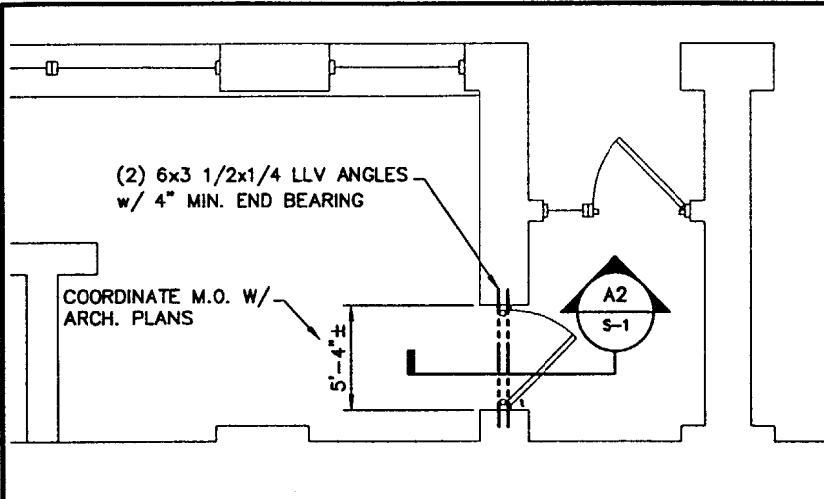
7/1/02  
Date

\_\_\_\_\_  
Signature of Inspections Official

\_\_\_\_\_  
Date

CBL: 067 5001 Building Permit #: 020651

*NO COPO  
NECESSARY*



ARCHITECTURE  
INTERIOR DESIGN  
PLANNING

A R C H I T E C T S

THE MILLYARD  
15 PINE STREET EXTENSION  
NASHUA, NEW HAMPSHIRE 03060  
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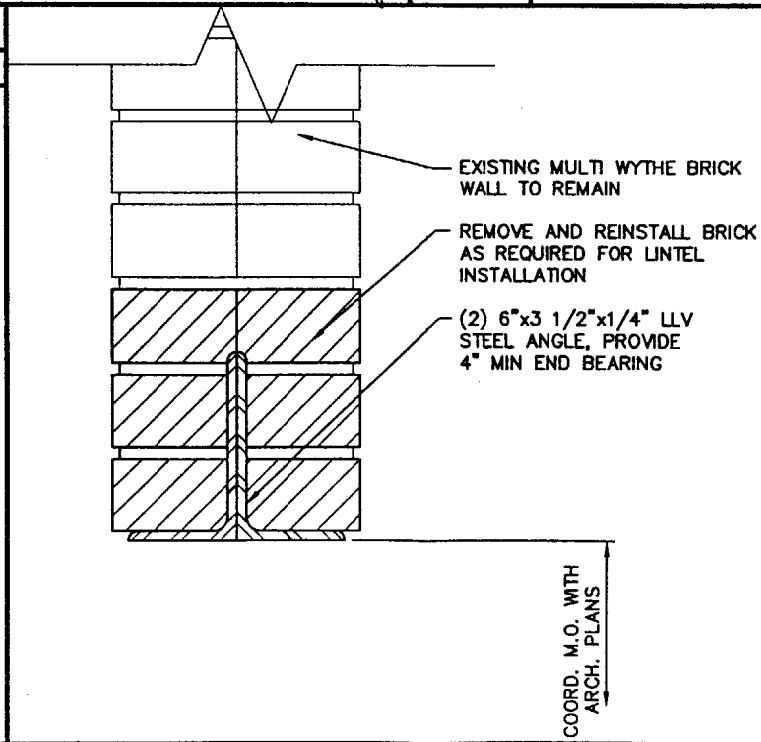
**allied** engineering, inc.

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One Washburn Common, Washburn, Maine 04982-2004  
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E-Mail: info@allied-eng.com • www.allied-eng.com

B1	PARTIAL PLAN ~ ENTRY
1/4" = 1'-0"	NPS

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A1	GENERAL NOTES
-	

A2	LINTEL DETAIL
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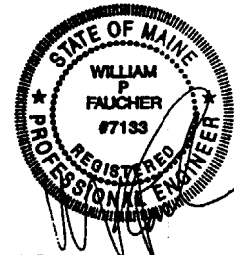
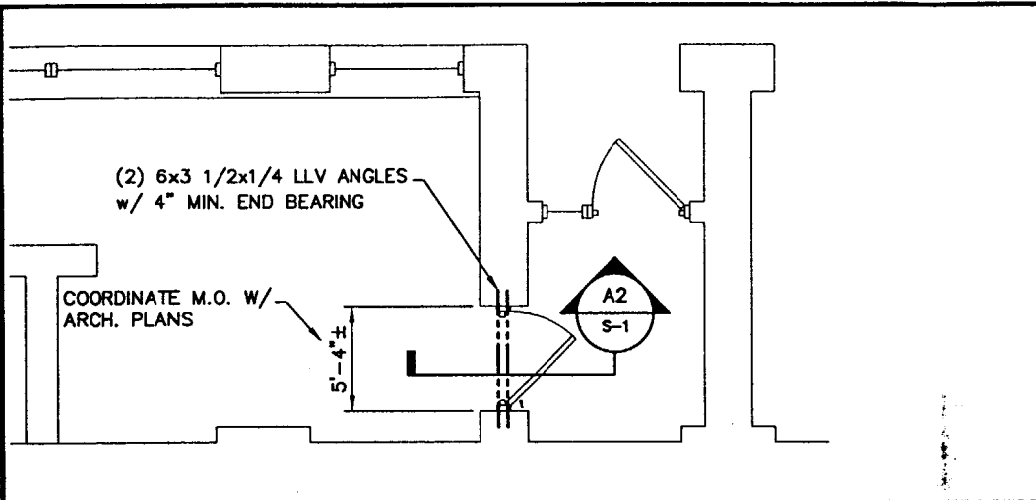
**ENTRY PLAN, DETAILS AND NOTES**

MAINE EYE CENTER  
LOWELL STREET  
PORTLAND, MAINE

Scale: AS NOTED    Date: 11/28/01    Project No: 011230    Cod File: 011230S.dwg

S-1





ARCHITECTURE  
INTERIOR DESIGN  
PLANNING

A R C H I T E C T S

THE MILLYARD  
15 PINE STREET EXTENSION  
NASHUA, NEW HAMPSHIRE 03060  
603-882-1355  
603-881-3442 FAX

49 DARTMOUTH STREET  
PORTLAND, ME 04101  
207-775-1059  
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**allied engineering, inc.**

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One Westbrook Common, Westbrook, Maine 04092-2904  
Telephone No: 207-684-8138 • Fax No: 207-684-8000  
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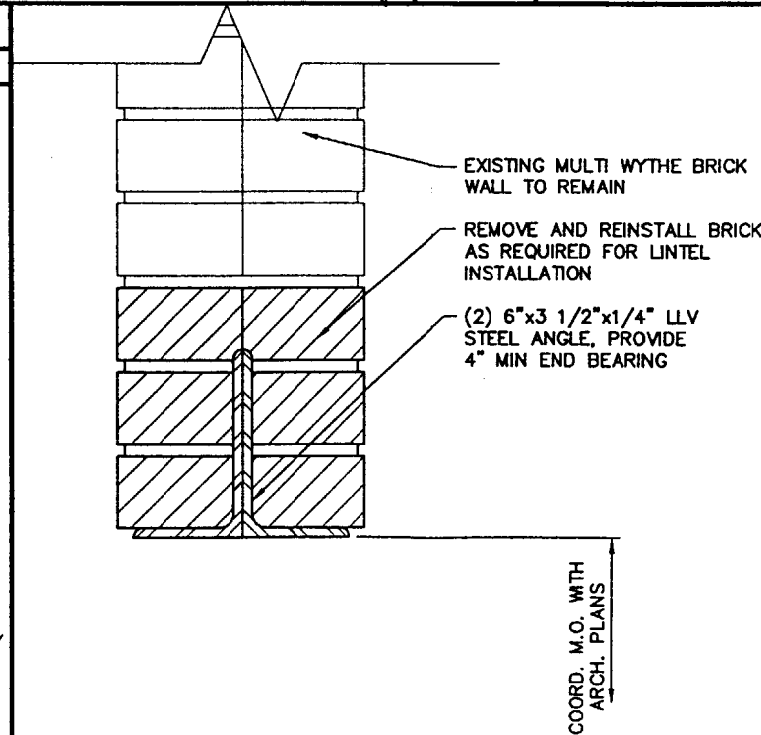
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1/4" = 1'-0" NTS

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A1 GENERAL NOTES



A2 LINTEL DETAIL

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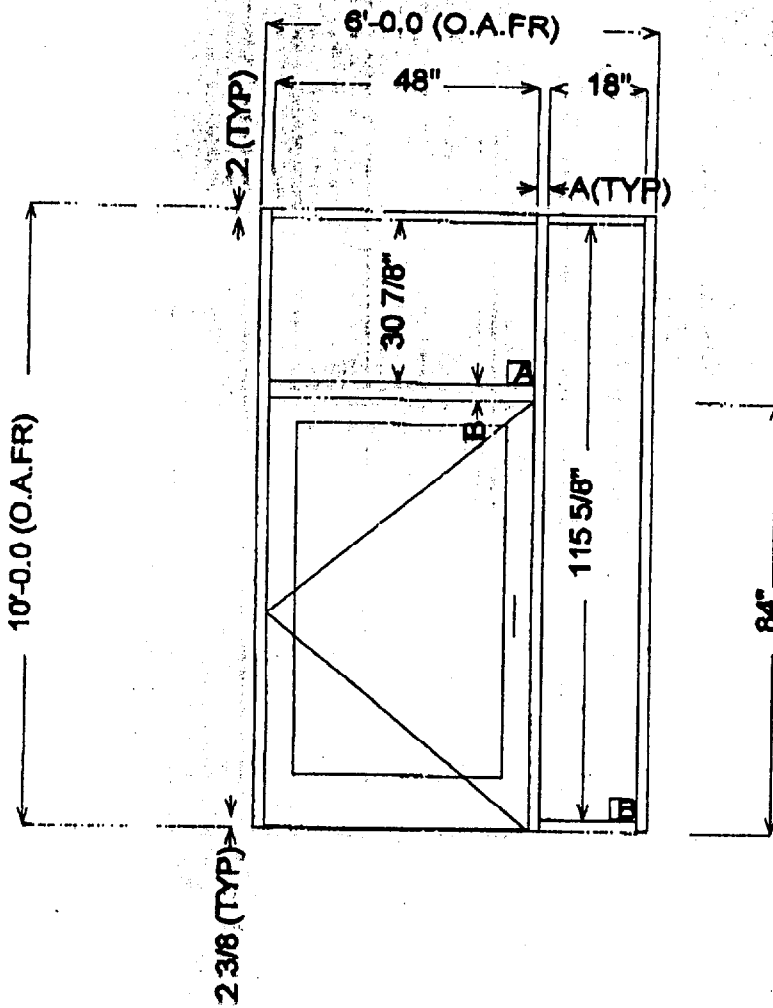
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S-1

**A** = 1 CLEAR INS AN  
**B** = 1 CLEAR INS TE



FR # 3 SCALE: 3/8" = 1' 1 REQUIRED  
1T CG/SS/OG STOPS UP

A=2 (TYP)  
B=3 1/8 (TYP)

# MAINE EYE CENTER

REVISION

BY

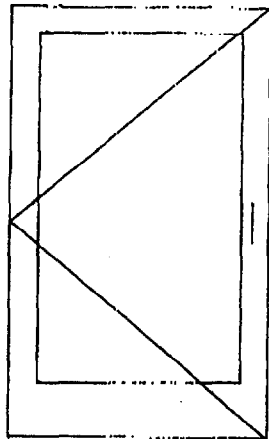
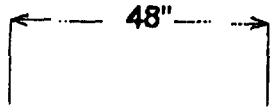
PARTNERPAK +

ORDER:

DRWG

SHT. 1

OF 2



**DOOR ONLY**



**MAINE EYE  
CENTER**

REVISION

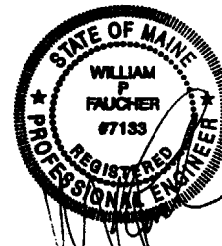
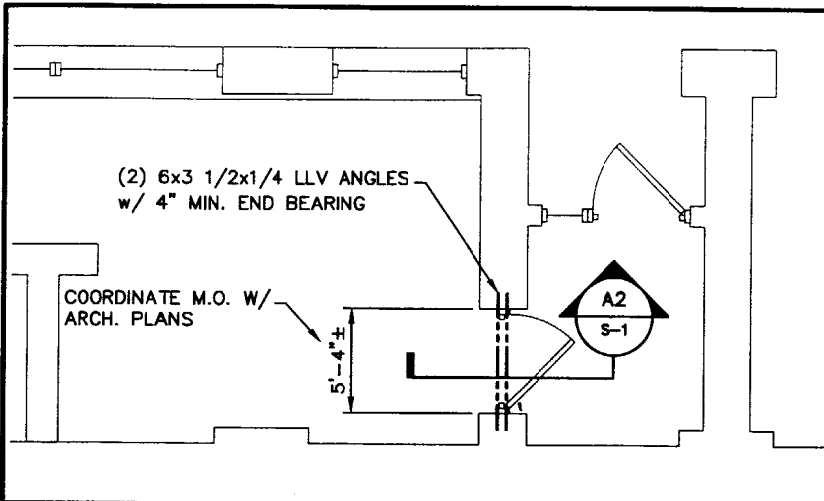
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DRWG

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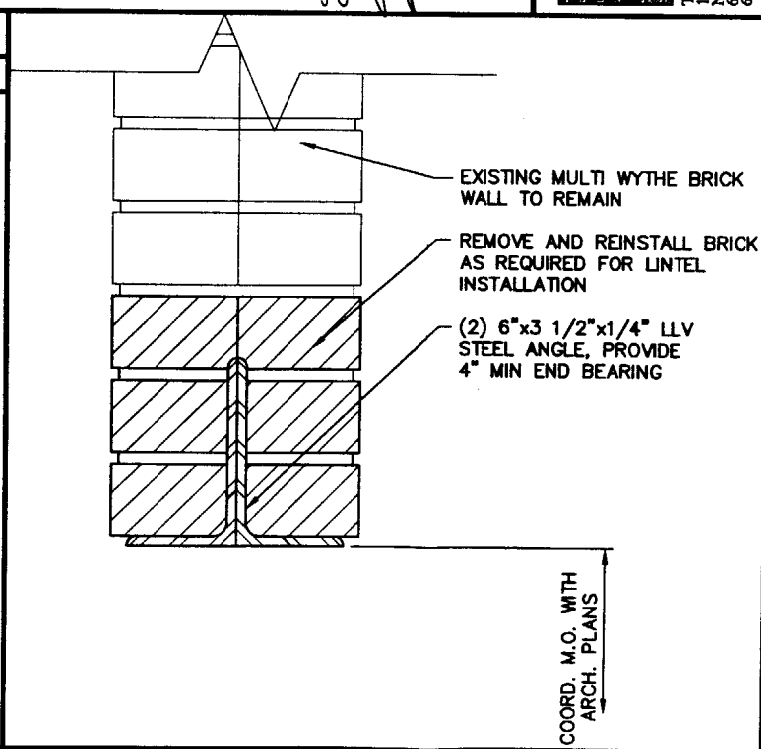
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PORTLAND, MAINE

Scale: AS NOTED Date: 11/28/01 Project No: 011230 Cod File: 011230S.dwg

S-1

# Maine Eye Center

15 Lowell Street  
Portland, Maine 04102

June 12, 2002

This project is to provide easier access into the building. The first work to be done is to enlarge the door opening in the inner brick wall. The opening would be enlarged from 36" x 87" to 64" x 108". This new opening will not have a door.

The second phase will consist of replacing the existing storefront with a new storefront that has a 48" wide door. The new storefront will be installed in the same footprint as the old storefront. The new door will be equipped with an automatic door opener, with two wall mounted push plate switches.

The brickwork will be done by: **Gnome Masonry, PO Box 66803, Falmouth, ME 04105**

The storefront and automatic opener will be installed by: **Cumberland County Glass, South Portland, ME, 04116**

All electrical work will be done by: **T. A. Napolitano, South Portland, ME, 04116**

Should there be any questions please contact me at 774-8277 ext 350.

Sincerely,



Brian J. Neprash  
Building Manager

# Maine Eye Center

15 Lowell Street  
Portland, Maine 04102

June 12, 2002

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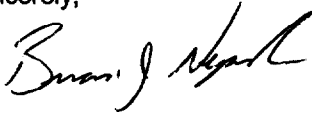
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