

Volumes/Network Files/CJAB/PROJECTS/B COMMERCIAL STUDIO/1 Current Projects/15 Huntress Street/1 DESIGN/DRAWINGS/15 Huntress Street_Current_20_new.plt

BUILDING CODES (COMMERCIAL)

APPLICABLE BUILDING CODES:
 Locality: Portland, ME
 Cumberland County, Maine

Maine Uniform Building and Energy Code (MUBEC) and state amendments based on:
 Building - 2009 International Building Code (excluding Chapters 11, 28-30)
 Existing Building - 2009 International Existing Building Code
 Energy - 2009 International Energy Conservation Code
 Fire - 2006 - NFPA 1
 Electrical - 2014 - NFPA 70
 Plumbing - Maine State Plumbing Code
 Life Safety - 2009 - NFPA 101

Zoning:
 Zoning District - R-6
 No change of use, Limited Zoning Analysis performed
 Replacement Deck of same dimensions as existing is 20'-0" away from side property line where 5'-0" minimum side yard setback is required.

Ventilation and Air Quality required to meet:
 2007 - ASHRAE 62.1
 Mechanical Systems are Design Build by the Contractor
 Contractor to review proposed work with local building inspector before installation

MINIMUM INSULATION VALUES (IECC 2009 table 402.1.1)
 Climate zone: 6A-Moist (IECC 301.1)
 Windows / doors: U-value 0.35
 Ceilings: R-49
 Walls (wood framed): R-20 (total) or R13 + R5
 Walls (CMU): R-5 (ext), R-10 (int)
 Floors: R-30
 Basement Walls: R-15 (on wall) R-19 (if cavity)
 Slab-on-grade: R-10
 Crawl space walls: R-10 (on wall)

COMMON ABBREVIATIONS

AFF	Above Finished Floor
B.O.	Bottom of
CMU	Concrete Masonry Unit
CEO	Code Enforcement Officer
CFCI	Contractor Furnished, Contractor Installed
ETR	Existing to Remain
GYP	Gypsum Board
IBC	International Building Code
IECC	International Energy Conservation Code
IRC	International Residential Code
MIN	Minimum
MAX	Maximum
MUBEC	Maine Uniform Building and Energy Code
OFCI	Owner Furnished, Contractor Installed
PT	Pressure-Treated
PSF	Pounds per square foot
PSI	Pounds per square inch
T.O.	Top of
TYP	Typical
T.O.	Top of
VIF	Verify in Field

Area Description	Area (gsf)	Factor	Occupants
1ST FLOOR RESIDENTIAL	1,187	200sf/person	6
2ND FLOOR RESIDENTIAL	1,187	200sf/person	6
3RD FLOOR RESIDENTIAL	1,153	200sf/person	6
BASEMENT STORAGE	1,187	300sf/person (1)	4

Total Calculated Building Occupancy = 22
 (1) Per More restrictive/specific definition per IBC Table 1004.1.1
 (2) Per More restrictive/specific definition per NFPA Table 7.3.1.2

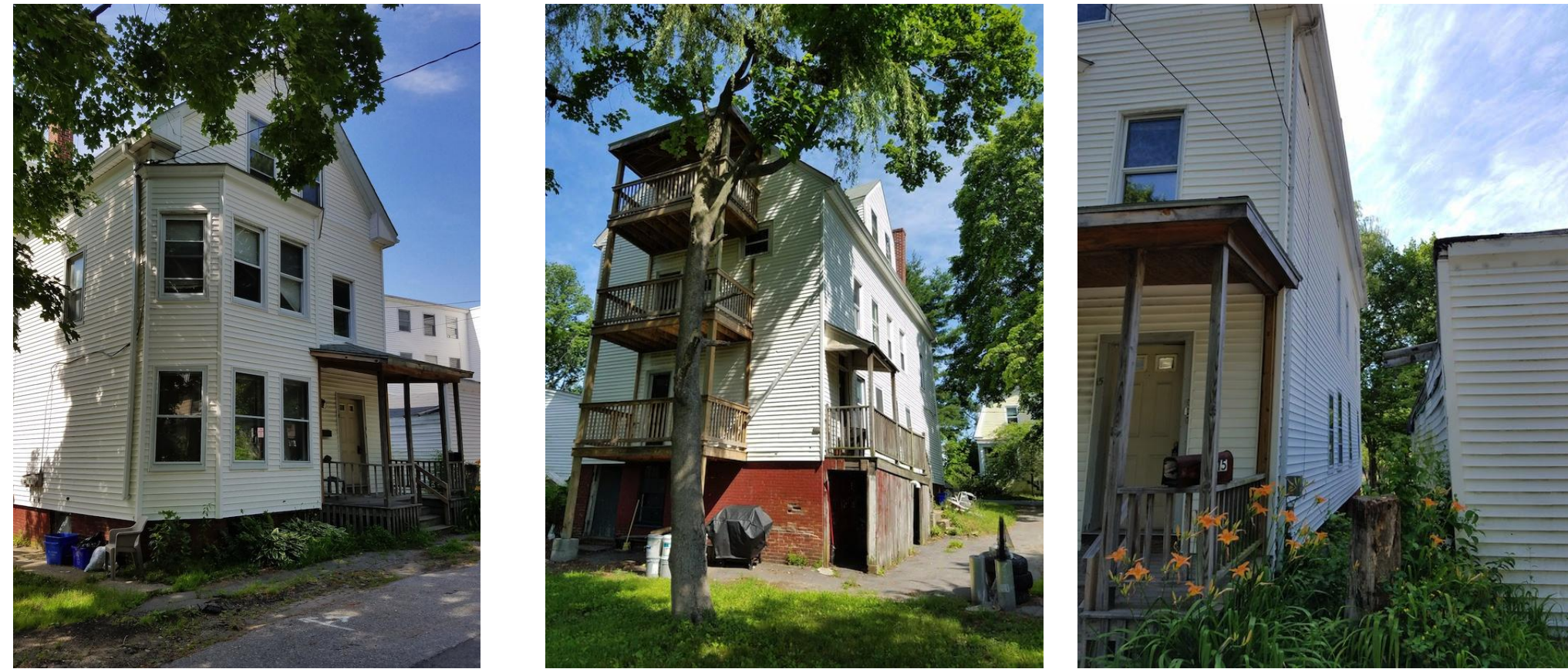
EGRESS LEGEND

See Notes	Exit Access Travel Distance (1016, Table A.7.6) Allowed Max = 200'-0" (non-sprinklered, per IBC 1016)
	Common Path of Travel (1014.3, Table A.7.6) (Not applicable, no occupancies greater than 50)
	Dead End Limit (1018.4, Table A.7.6) Allowed Max = 50'-0" (non-sprinklered, per NFPA Table A.7.6)
	Separation Distance where Required (1015.2, 7.5.1.3.2) Allowed = Not less than 1/2" overall diagonal of space in a not sprinklered building *At the second floor, min separation is not achieved using existing building components. However a third means of exit by way of an Emergency Rescue opening is provided at the rear deck through a new 3'-0" door.

LIFE SAFETY LEGEND

	Required 1-Hour Fire Rated Tenant Separation Wall and Egress Stair Protection. Retain existing plaster and lath construction whole and intact over existing roof framing or if new provide 1 layer ea side 5/8" Type X gyp
	Existing Wall
	Exit Sign (not required in individual dwelling units per IBC 1011.1 Ex 3)
	Emergency Lighting (not required in dwelling units per IBC 1006.1 Ex 13)
	Fire Extinguisher
	Fire Strobe A/V Device
	Manual Pull Station
	New Carbon Dioxide Detector
	New Smoke Detector, Hard-wired

PHOTOS OF EXISTING BUILDING:



PROJECT DESCRIPTION:

Alterations of an existing 3 story + basement 3-Unit Multi-Family residential building structure. No change of use is proposed. Structural work includes replacement of existing foundation, addition of new dormer on building's east side within footprint and replaced side porch deck, roof and stairs with dimensions to match existing. Non-structural scope of work includes extensive interior renovations including new plumbing fixtures, lighting fixtures, appliances, millwork, MEP equipment and finishes throughout. Installation of new insulation into existing exterior wall cavity. Life Safety improvements including, but not limited to, new hard-wired smoke detectors, Fire Alarm system with audio/visual devices in stairs, manual pull stations near exits and emergency lighting. Contractor to provide fire alarm shop drawings to city for separate permit.

PORTLAND GIS MAP



GENERAL BUILDING NOTES

Existing Use: 3 Unit Multi Family Residential (Type R-2)
 Proposed Use: 3-Unit Multi Family Residential (Type R-2, no change) Level 2 Alteration

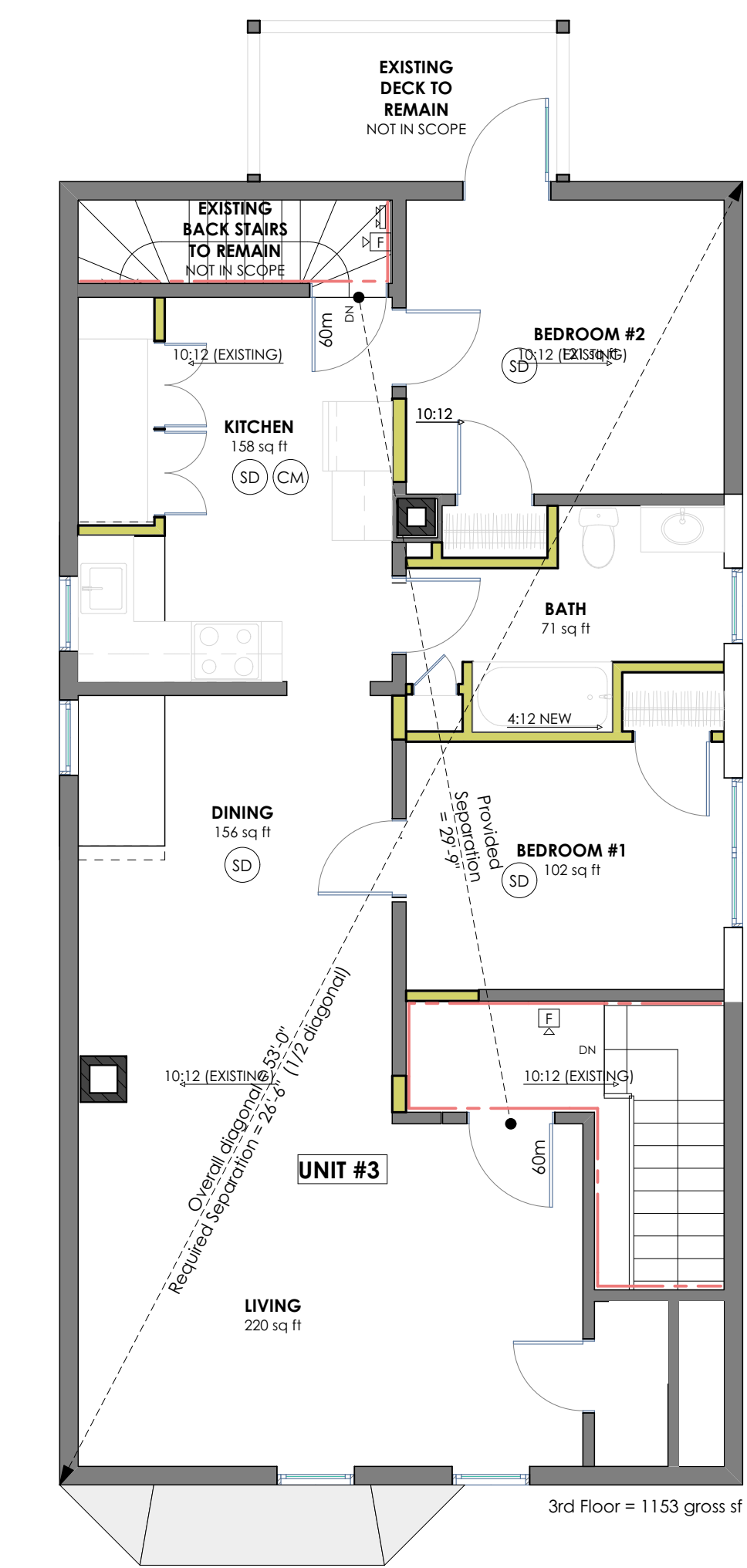
Stories: 3 + Basement
 Sprinkler: Existing Building: No
 Proposed Renovations: None

Fire Alarm: Existing Building: None
 Proposed Renovations: Yes, Contractor to provide Fire Alarm Shop Drawings for Review with city and for application of separate FA permit

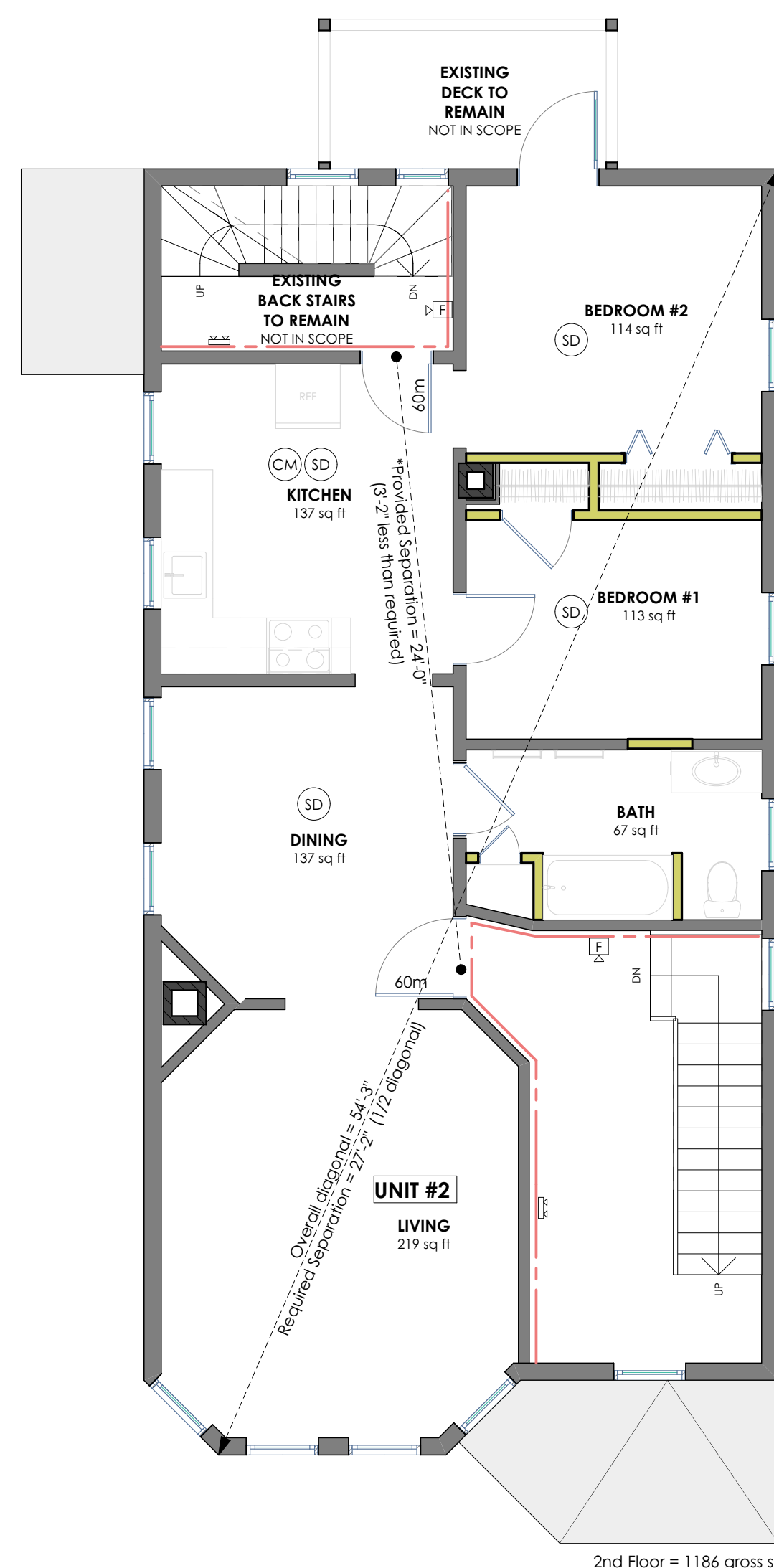
Required Separation: Yes, 0.5 hour separation horizontally between residential units by floor
 Yes, 1.0 hour separation from shared tenant stairs
 Required Number of Exits: 2, due to 3 stories and no sprinkler per IBC 1021.2, Two existing stair exits provided

BUILDING AREA

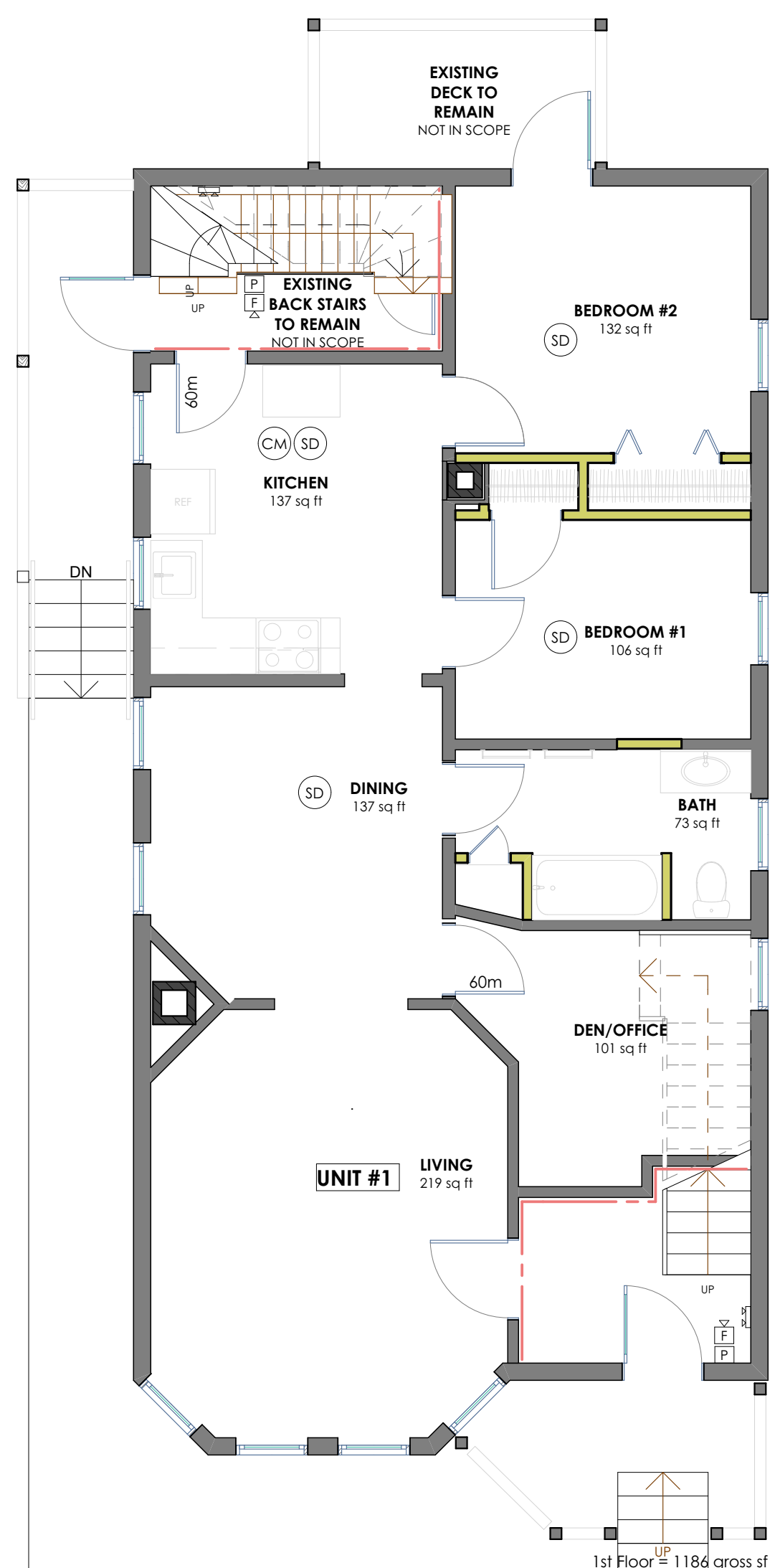
1st Floor	= 1,186 sf
2nd Floor	= 1,186 sf
3rd Floor	= 1,153 sf
TOTAL GFS ABOVE GRADE	= 3,525 sf
Basement	= 1,186 gsf



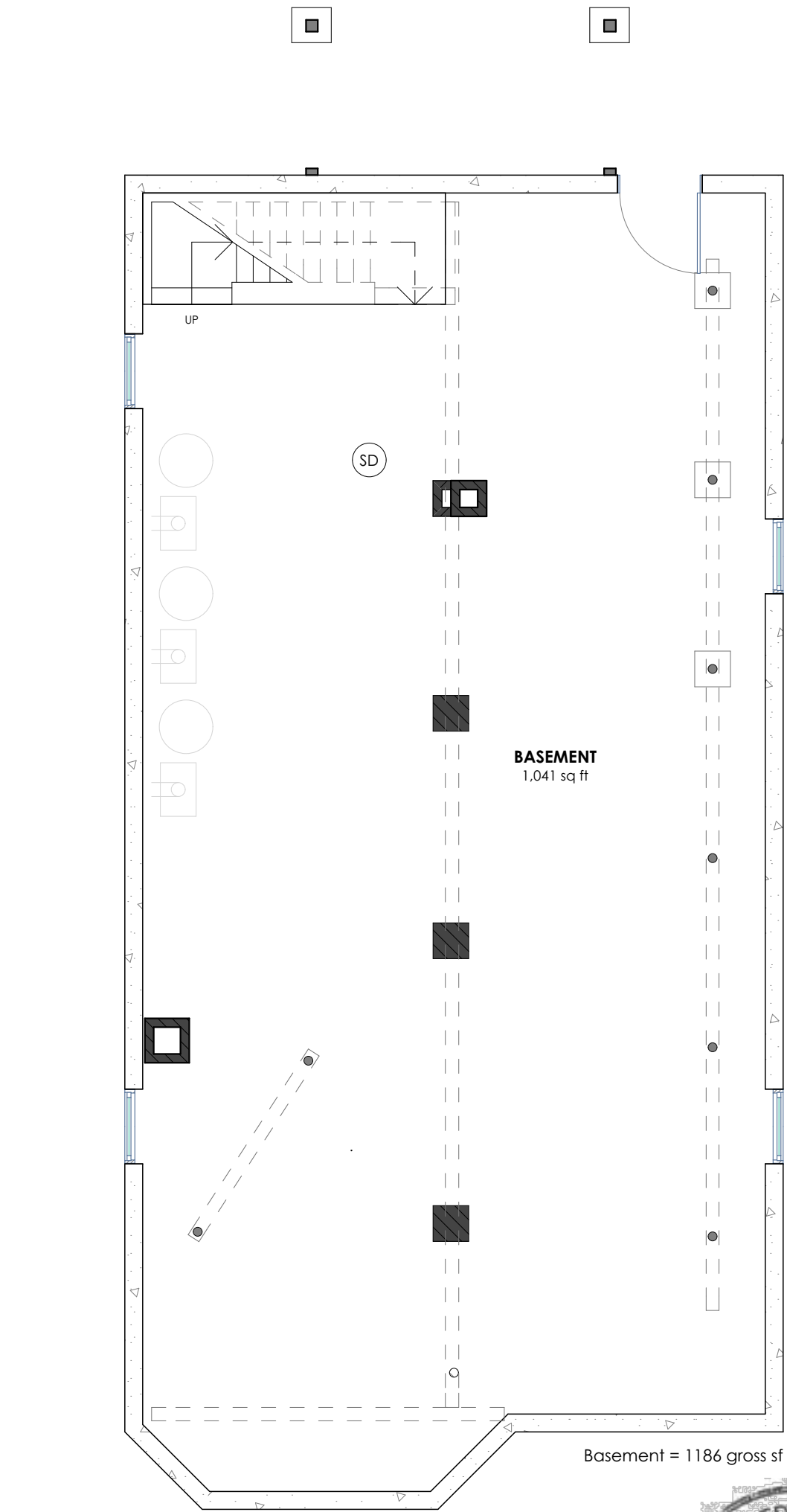
4 LIFE SAFETY 3RD FLOOR
 SCALE: 3/16" = 1'-0"



3 LIFE SAFETY 2ND FLOOR
 SCALE: 3/16" = 1'-0"



2 LIFE SAFETY 1ST FLOOR
 SCALE: 3/16" = 1'-0"



1 LIFE SAFETY BASEMENT
 SCALE: 3/16" = 1'-0"

RENOVATIONS FOR 15 HUNTRESS STREET PORTLAND, ME 04102

ARCHITECT:
 Caleb Johnson Architects + Builders
 265 Main Street Ste 201
 Biddeford, ME 04005
 207-283-8777

CONTRACTOR:
 Marshall Home Pros
 11 Olympia Ave
 Old Orchard Beach
 Contact: Devin Marshall
 207-604-8459
 devin@marshallhomepros.com

Caleb Johnson, AIA
 caleb@cjab.me

Point of Contact:
 Patrick Boothe, AIA
 patrick@cjab.me

OWNER:
 Sem Rin
 15 Huntress Street
 Portland, ME 04102
 Contact: Alina Olariu
 207-450-3336

STRUCTURAL ENGINEER:
 Structural Integrity
 77 Oak Street
 Portland, ME 04101
 207-774-4614
 Aaron Jones, PE
 Contact: Matt Legere

SHEET INDEX

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A-2.2	PROPOSED 3D EXTERIOR VIEWS
A-3.1	BUILDING SECTIONS AND DETAILS

PERMIT SET

15 Huntress Street Renovations Marshall Home Pros 15 Huntress Street Portland ME 04102



COVER SHEET AND CODE REVIEW

A-1.0

CALEB JOHNSON ARCHITECTS + BUILDERS
 265 MAIN STREET SUITE 201 BIDDEFORD, ME 04005
 T: 207.283.8777 F: 207.283.8778 CJAB.ME

STUDIO MANAGER:
 PROJECT ARCHITECT:

CHANGES THIS ISSUE:
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 DATE
 DESCRIPTION
 PERMIT SET

SUBMISSIONS:
 ISSUE DATE
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STRUCTURAL ENGINEER:
 Structural Integrity
 Portland, ME 04101
 207-774-4614
 Aaron Jones, PE

DRAFTSPERSON:
 Patrick Boothe, AIA
 PROJECT STATUS:
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