

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 1100889

PERMIT ISSUED

 This is to certify that NEY JOHN M III & GERALDINE IL JTS/John Kieley

 has permission to Remove & Rebuild back porch/deck(s)

 AT 61 ROBERTS ST

 CBI: 066A B015001

SEP 10 2010

City of Portland

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

 Fire Dept. CAPT. R. [Signature]

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0882	Issue Date:	CBL: 066A B015001
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Location of Construction: 61 ROBERTS ST	Owner Name: NEY JOHN M III & GERALDINE	Owner Address: 131 BEACON ST # 1	Phone:
Business Name:	Contractor Name: John Kiely	Contractor Address: 591 Island Ave Peaks Island	Phone: 2077662026
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R-5

Past Use: 3 unit residential	Proposed Use: 3 unit residential - Remove & Rebuild back porch/deck(s)	Permit Fee: \$50.00	Cost of Work: \$3,000.00	CEO District: 3
<p><i>legal 3 residential D.U.</i></p>		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>*See Conditions</i>	INSPECTION: Use Group <i>R3</i> Type: <i>5B</i> <i>IBC, 2003</i>	

Proposed Project Description: Remove & Rebuild back porch/deck(s)	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:	Date:	

Permit Taken By: Idobson	Date Applied For: 07/26/2010	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: <i>08/12/10</i>	Date:	Date:

PERMIT ISSUED

SEP 10 2010

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

7-26 20 10

Received from John Hey III

Location of Work 61 Roberts

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 50

Building (I1) _____ Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 66AB15

Check #: CC Total Collected \$ 50

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

BUILDING PERMIT INSPECTION PROCEDURES

**Please call 874-8703 or 874-8693 (ONLY)
or email: buildinginspections@portlandmaine.gov**

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

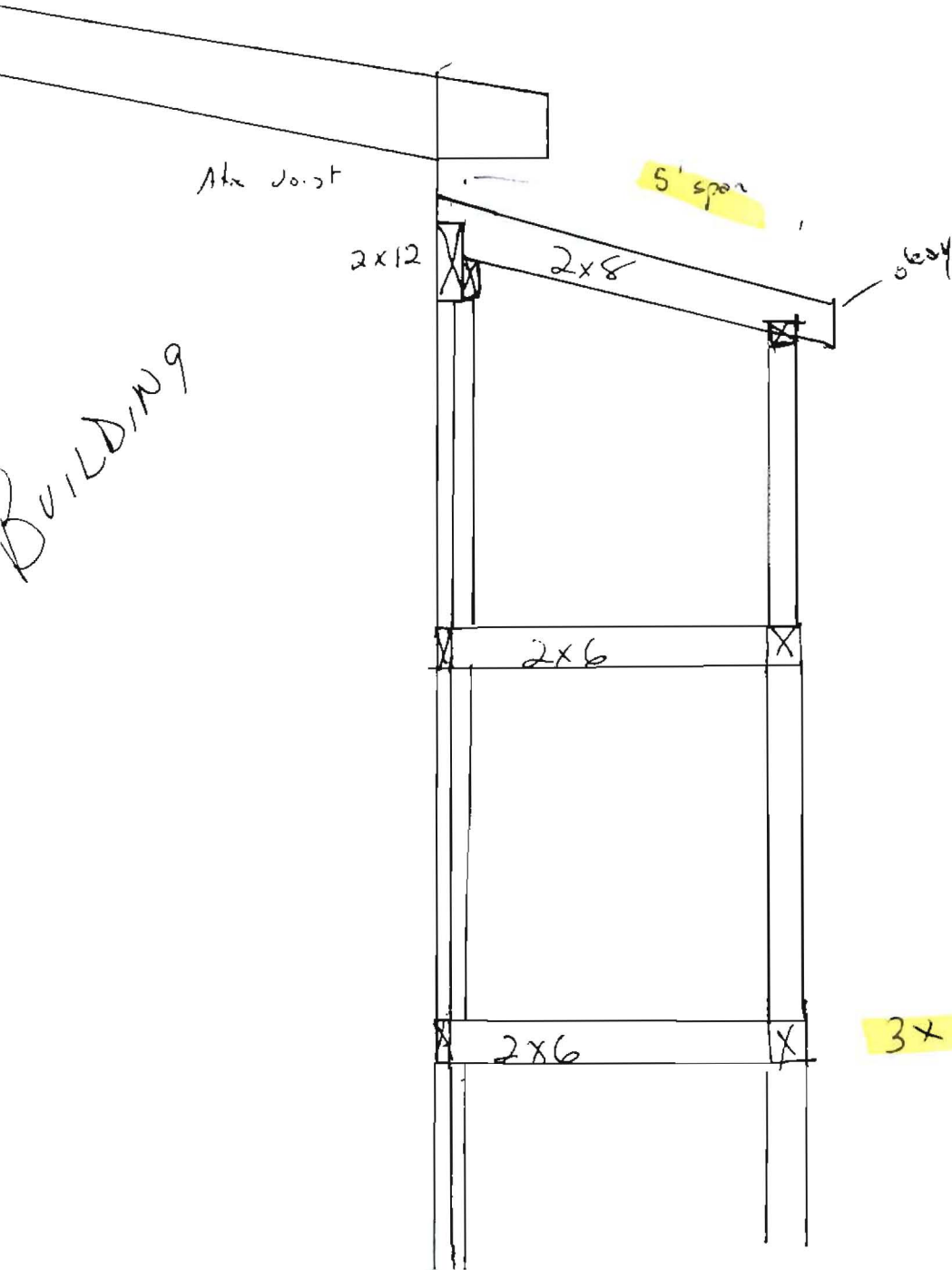
 X **Footing/Setbacks location Inspection: Prior to pouring concrete or setting precast piers**

 X **Framing and final inspection required at completion of work.**

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

ROOF & LEDGER CONNECTION DETAIL



A. ROOF LEDGER IS 2X12
ATTACHED WITH 1/2X6"
LAG SCREWS. LAGS WILL
BE SCREWED INTO
EXISTING FRAMING

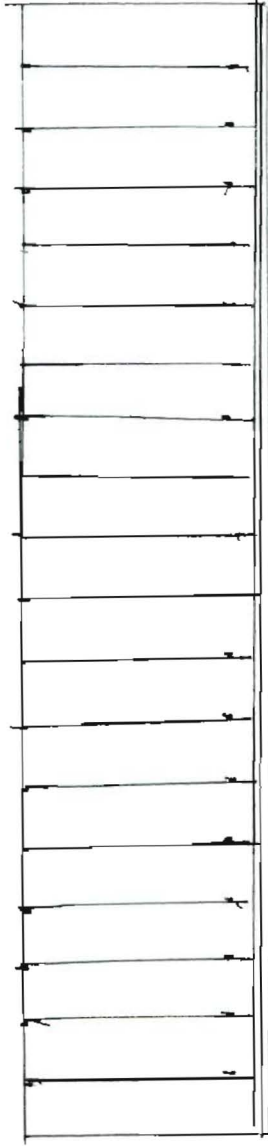
B. ADDITIONAL LEDGER
TO SUPPORT RAFTER

C. 4X4 POST TO
SUPPORT LEDGER
CONTINUED AT EACH
DECK LEVEL TO
POINT LOAD AT
1ST LEVEL

* All non-egress

3x2x6" Rim

1ST FLOOR DECK FRAMING

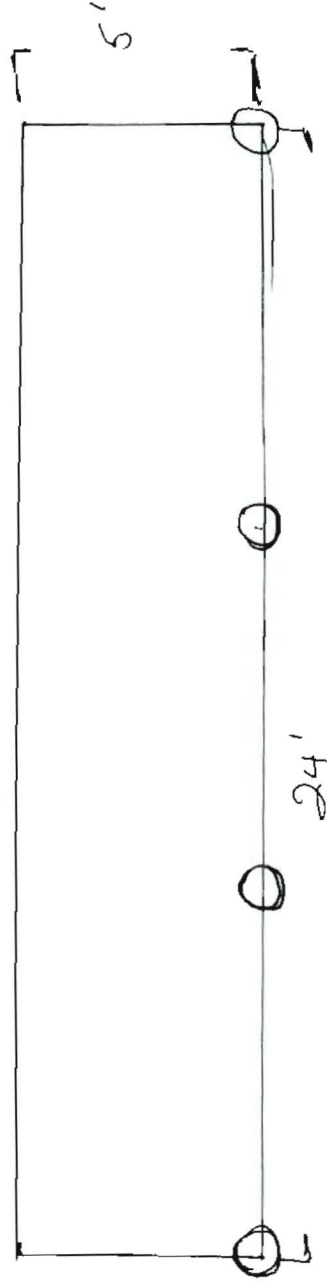


ALL FRAMING IS
2X6 @ 16" O.C.
PRESSURE TREATED
TRIPLE 2X6 BEAM
SUPPORTED BY 6X6
POSTS ON 12" SONO
TUBES

USE 2X6 JOIST HANGERS
-> Frost Protection Required

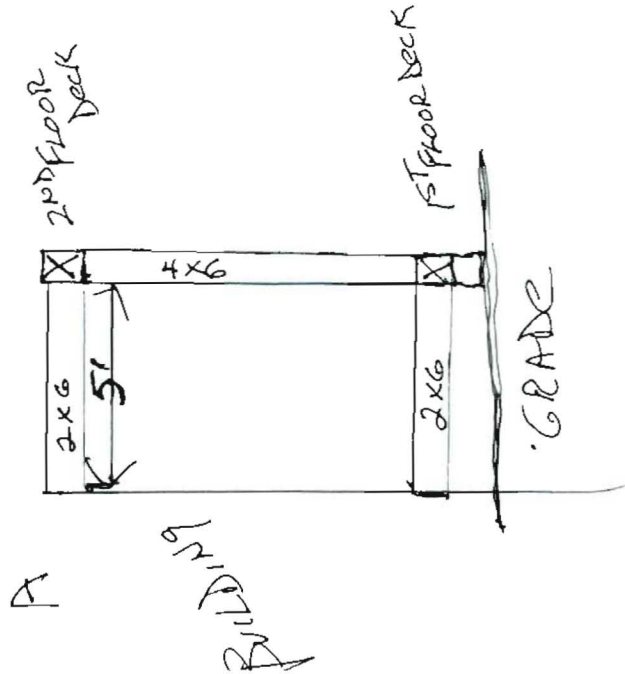
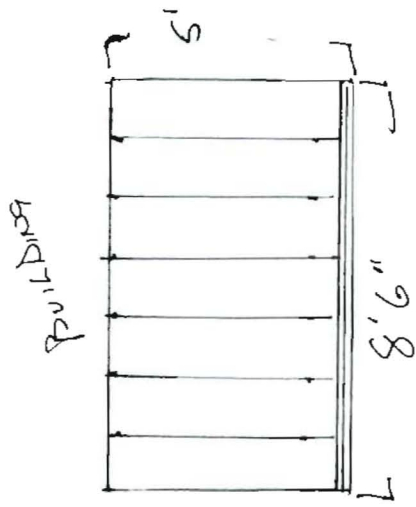
1ST FLOOR DECK FOUNDATION (12" SONO TUBES)

BUILDING



6X6
POSTS ON
SIMPSON POST
ANCHORS ON 12"
SONO TUBES

2ND FLOOR DECK FRAMING



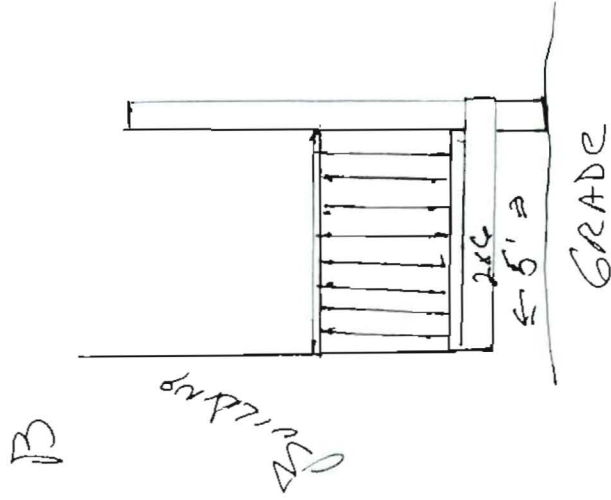
ALL FRAMING 2x6 @ 16" O.C. Pressure Treated
TRIPLE RIM JOIST ON 4x6 POST FROM 1ST FLOOR DECK
see DETAIL A

Use 2x6 JOIST ANCHORS
2x6 LEDGER FASTENED TO BUILDING WITH 1/2x6" LAG SCREWS
2" O.C.
HANDRAIL IS 2x2 BALUSTERS 6" O.C. 36" H

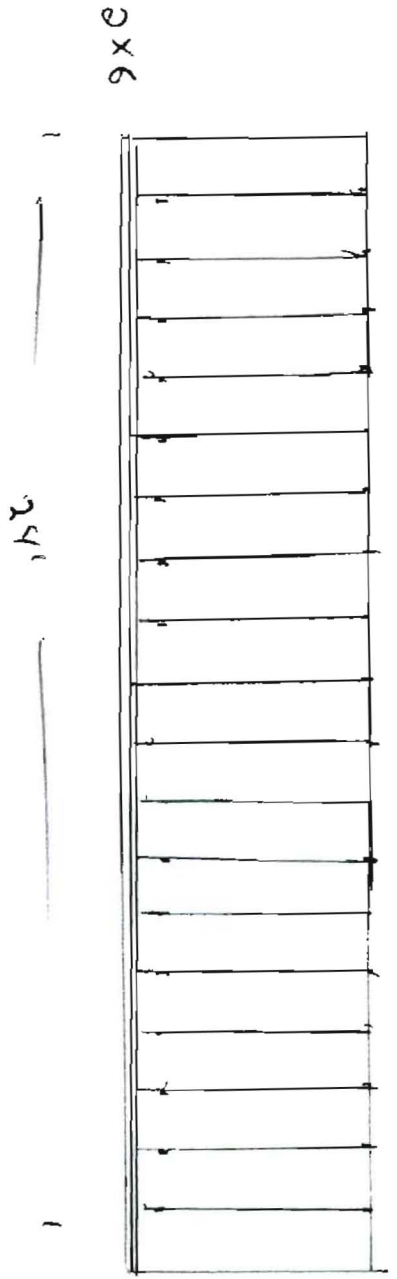
see DETAIL B

30" above floor or grade requires

42" Guards

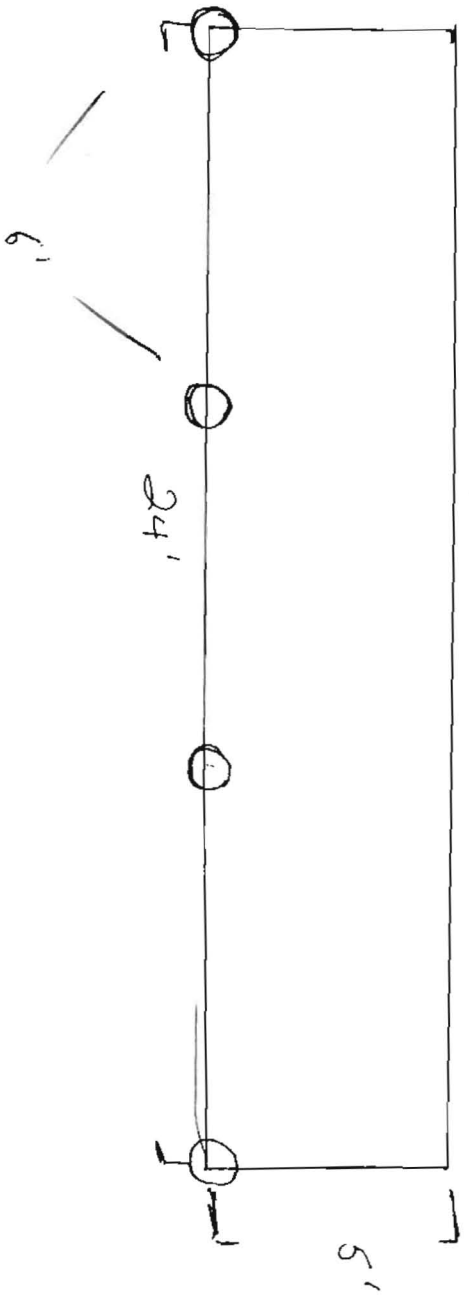


1ST FLOOR Deck FRAMING



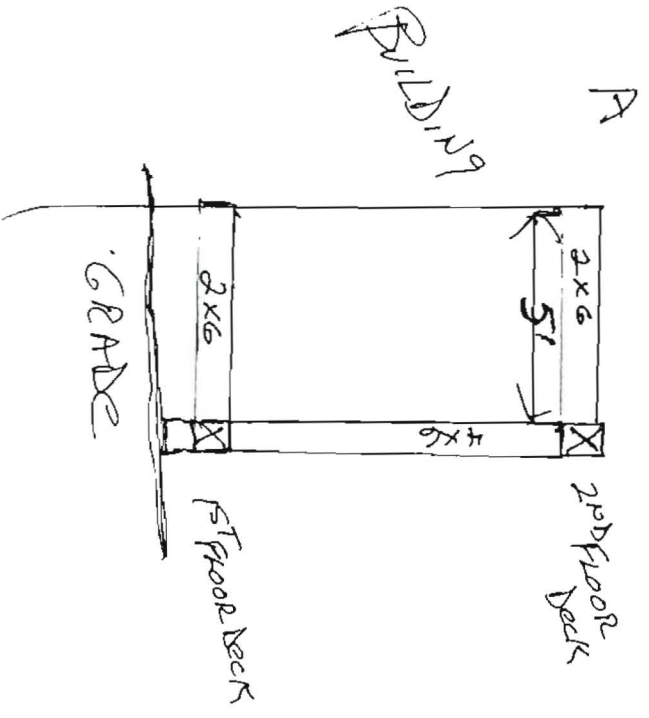
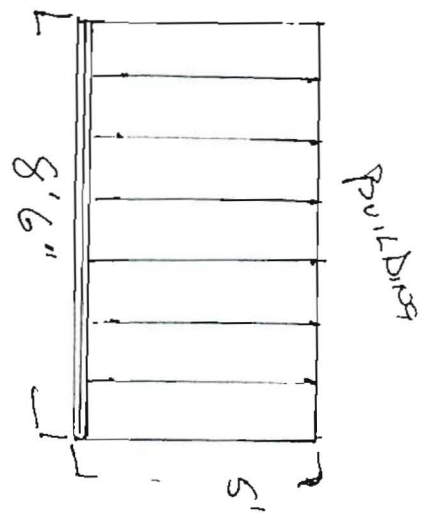
ALL FRAMING IS
 2X6 @ 16" O.C.
 PRESSURE TREATED
 TRIPLE 2X6 BEAM
 SUPPORTED BY 6X6
 POSTS ON 12" SOND
 TUBES
 USE 2X6 JOIST HANGER

1ST FLOOR Deck FOUNDATION (1/2" SOND TUBES)
 BUILDING



6X6
 POSTS ON
 SIMPSON POST
 ANCHORS ON 12"
 SOND TUBES
 4' Foot Retention

2ND FLOOR DECK FRAMING



ALL FRAMING 2x6 @ 16" o.c. PRESSURE TREATED

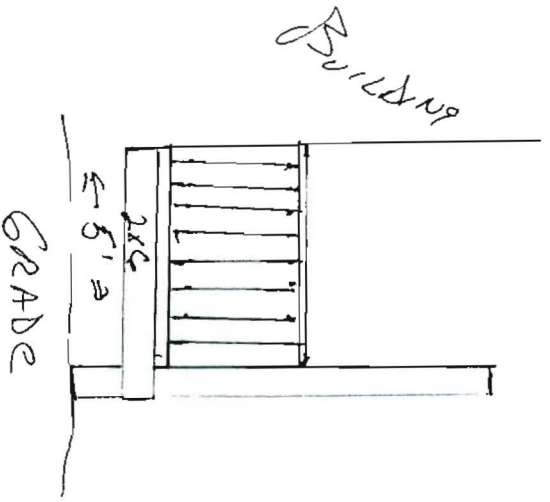
TRIPLE LAMINATE ON 4x6 POST FROM 1ST FLOOR
see DETAIL A

USE 2x6 JOIST ANCHORS
2x6 LAGBOLTS FASTENED TO BUILDING WITH 1/2x6" LAG SCREWS
2" o.c. HANDRAIL IS 2x2 BALUSTERS

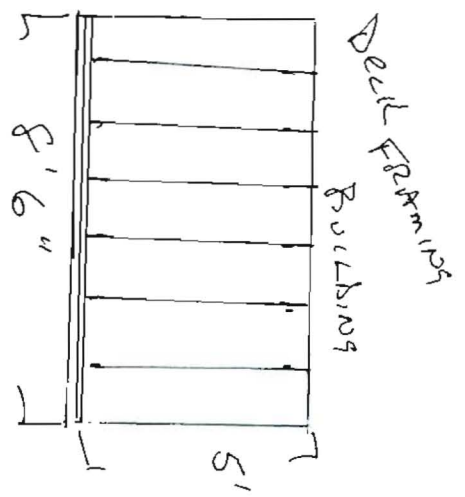
See DETAIL B

4" 42"

B

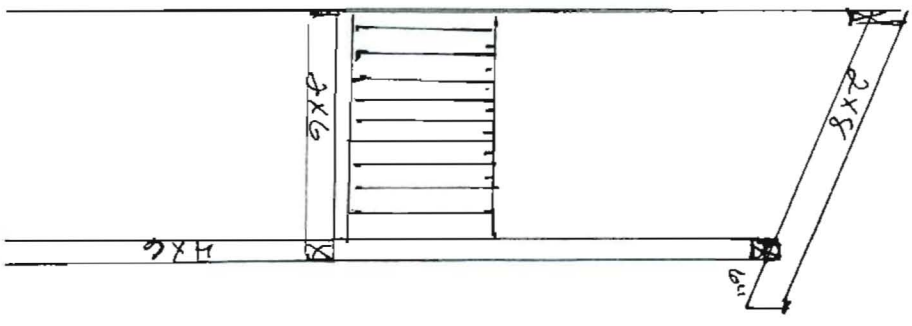


3RD FLOOR DECK & ROOF FRAMING

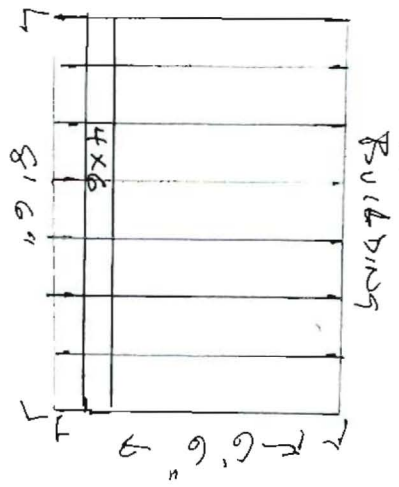


ALL FRAMING 2x6 @ 16" O.C.
 PRESSURE TREATED
 TRIPLE 2x6 BEAM SUPPORTED
 BY 4x6 POSTS FROM 2ND FLOOR DECK.
 USE 2x6 JOIST HAUSERS
 LEBGER ATTACHED TO BUILDING WITH
 1/2 x 6" LAG SCREWS 2' O.C.

BUILDING



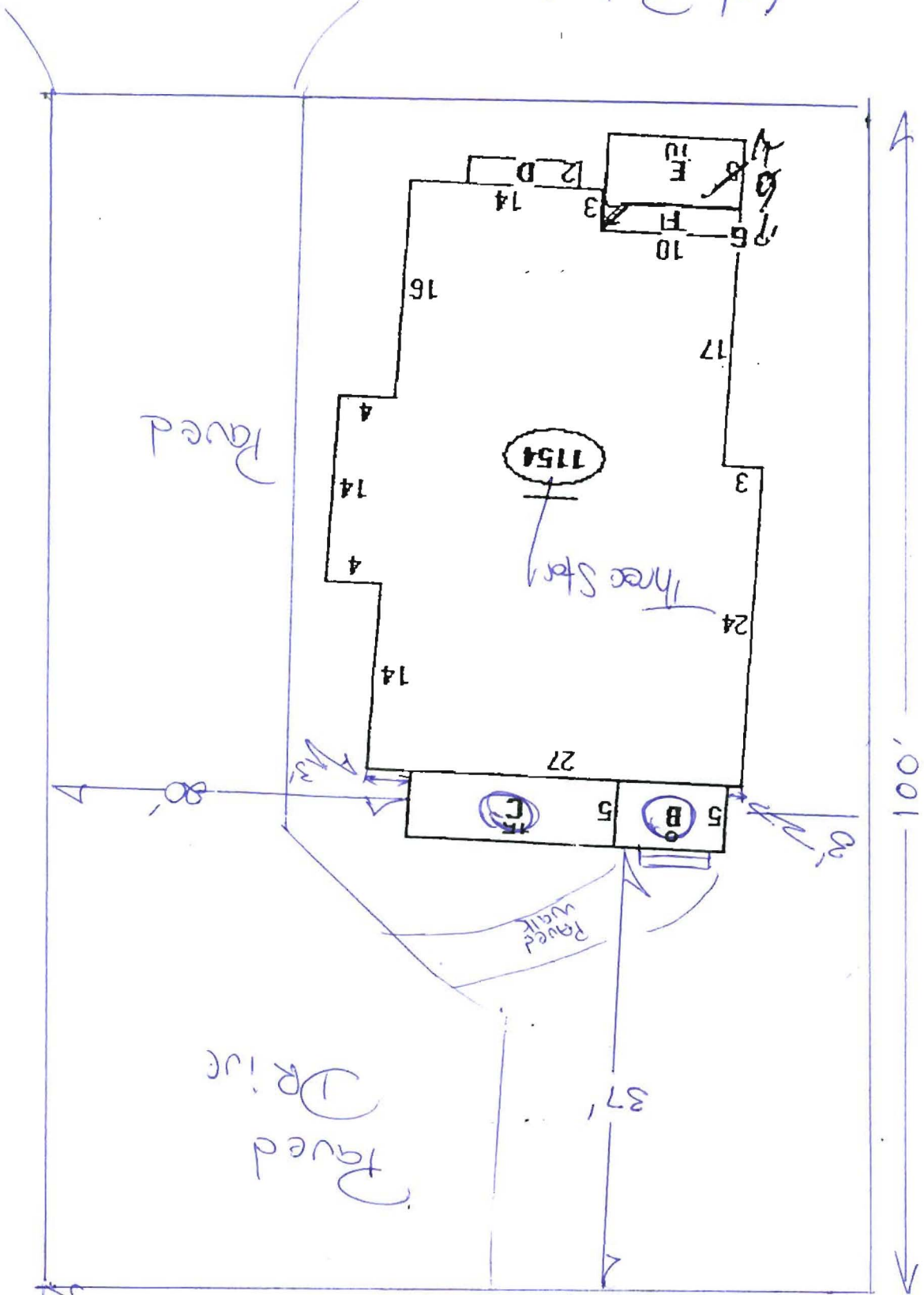
3RD FLOOR ROOF FRAMING



RAFTERS - 2x8 @ 16" O.C.
 SUPPORTED BY 4x6 BEAM AND
 4x6 POSTS
 6" OVERHANG
 LEBGER ATTACHED TO BUILDING
 WITH 1/2" x 6" LAG SCREWS 2' O.C.

(B) Tech
(C) to be
Rebuilt

61 Roberts St



RECORD OF BUILDINGS

GRADE DENOTES QUALITY OF CONSTRUCTION: A—EXCELLENT; B—GOOD; C—AVERAGE; D—CHEAP; E—VERY CHEAP

YEAR 19 APR 1954

3/14/54 YEAR 19
16 ins fire damage



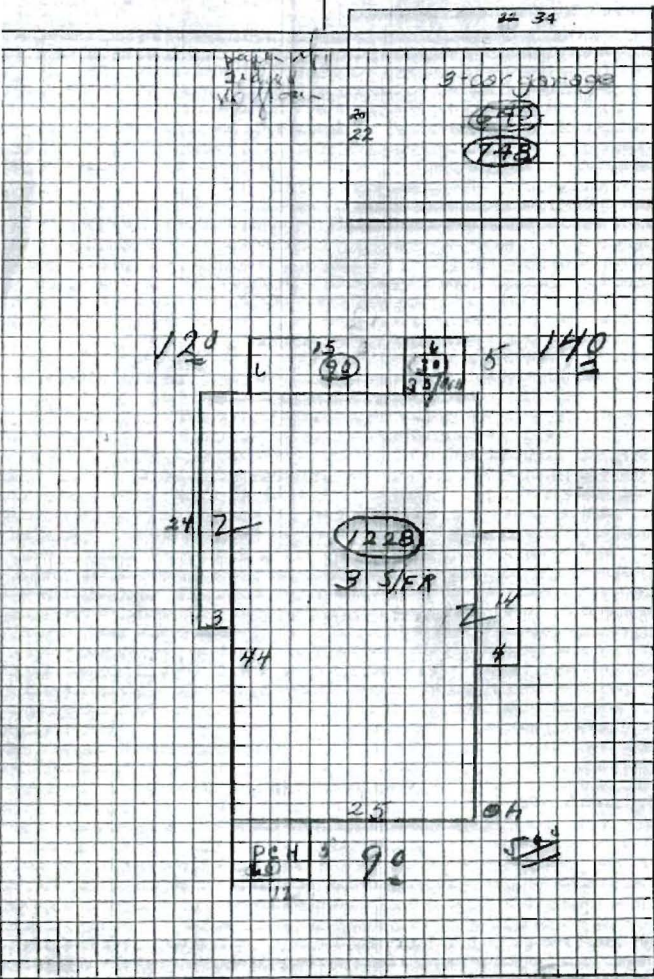
1113-20-B-X st head 1125-10-B
1153-202-1023/urgr gar 2534 4pt + 2520
7/25/50 2057 GIP ✓

CONSTRUCTION

FOUNDATION		FLOOR CONST.		PLUMBING	
CONCRETE		WOOD JOIST	✓	BATHROOM	3 ✓
CONCRETE BLOCK		STEEL JOIST		TOILET ROOM	
BRICK OR STONE	✓	MILL TYPE		WATER CLOSET	
PIERS		REIN. CONCRETE		LAVATORY	
CELLAR AREA FULL	✓	FLOOR FINISH		KITCHEN SINK	3 ✓
1/4 1/2 3/4		B 1 2 3		STD. WAT. HEAT	3 ✓
NO. CELLAR		CEMENT	✓	AUTO. WAT. HEAT	
EXTERIOR WALLS		EARTH		ELECT. WAT. SYST.	
CLAPBOARDS		PINE	✓✓✓	LAUNDRY TUBS	
WIDE SIDING		HARDWOOD	✓✓✓	NO PLUMBING	
DROP SIDING		TERRAZZO		SINK PIG GI ✓	
NO SHEATHING		TILE		TILING	
WOOD SHINGLES		ATTIC FLR. & STAIRS		BATH FL. & WCOT.	
ASBES. SHINGLES		INTERIOR FINISH		TOILET FL. & WCOT.	
STUCCO ON FRAME		B 1 2 3		LIGHTING	
STUCCO ON TILE		PINE	✓✓	ELECTRIC	✓
BRICK VENEER		HARDWOOD	✓✓	NO LIGHTING	
BRICK ON TILE		PLASTER	✓✓	NO. OF ROOMS	
SOLID BRICK		UNFINISHED		BSMT.	2ND 4
STONE VENEER		METAL CLG.		1ST	5 3RD 6
CONC. OR CIND. BL.		RECREAT. ROOM		OCCUPANCY	
ASPH.	✓	FINISHED ATTIC		SINGLE FAMILY	
TERRA COTTA		FIREPLACE		TWO FAMILY	
VITROLITE		PIPELESS FURNACE		APARTMENT	3 ✓
PLATE GLASS		HOT AIR FURNACE		STORE	
INSULATION		FORCED AIR FURN.		THEATRE	
WEATHERSTRIP		STEAM		HOTEL	
ROOFING		HOT WAT. OR VAPOR		OFFICES	
ASPH. SHINGLES		NO HEATING		WAREHOUSE	
WOOD SHINGLES		GAS BURNER		COMM. GARAGE	
ASBES. SHINGLES		OIL BURNER		GAS STATION	
SLATE TILE		STOKER		ECONOMIC CLASS	
METAL				OVER BUILT	
COMPOSITION	✓			UNDER BUILT	
ROLL ROOFING				DT. 7-10-50	AR. ✓
INSULATION				LD. 98	PD. ✓
				MS.	CK. ✓

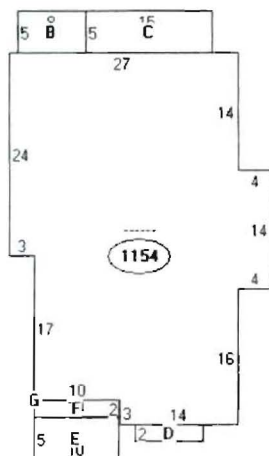
COMPUTATIONS

UNIT	1951	1953	61
1228s. F.	10210	10210	
S. F.			
ADDITIONS	+ 850	850	
1-2/5 BAY	+ 110	110	
BASEMENT			
WALLS			
ROOF			
FLOORS			
ATTIC			
FINISH			
FIREPLACE	+ 120	+ 120	
HEATING	+ 360	+ 600	+ 240
PLUMBING			+ 80
TILING			
TOTAL	11650	12250	
FACT + 5	+ 510	+ 510	
REP. VAL.	12160	12760	12840



SUMMARY OF BUILDINGS

OCC'Y	TYPE	GR.	AGE	REMOD.	COND.	REP. VAL.	P. D.	PHY. VAL.	F. D.	SOUND VAL.	TAX VAL.	YF
APT.	A 3 5/FR	C	46		F	12160	60%	6080	A	6080	3650	5
GAR	B 20 x 18	610			F	360	60%	140	B	140	75	5
APT	C					12760	50	6380	C	6380	3825	5
gar	D 3E	148	1921	21	F	380	35	250	D	250	150	5
	E					12840	50	6420	E	6420	3850	6
	F								F			
	G								G			
YEAR	1951	1954	1951 TOTAL BLDGS.									
TAX VAL.	3900	3975	6220									
OLD VAL.	3725	3900	3725									
CHANGE	+ 175	+ 75										



Descriptor/Area

- A: 1154 sqft
- B: 3sOP
40 sqft
- C: OFF
75 sqft
- D: 3FBAY
16 sqft
- E: OFF
50 sqft
- F: 20 sqft
- G: RG1
580 sqft

5000 #



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>61 Roberts St. Portland</u>		
Total Square Footage of Proposed Structure/Area <u>155 sq ft</u>	Square Footage of Lot <u>2</u> <u>1,154 build / 6,000 sq ft</u>	Number of Stories <u>3</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>66A-B-15</u>	Applicant * <u>must be owner, Lessee or Buyer</u> Name <u>John Ney</u> Address <u>61 Roberts St.</u> City, State & Zip <u>Portland Me. 04102</u>	Telephone: <u>653-9569</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>same</u> Address City, State & Zip	Cost Of Work: \$ <u>~ 3,000 -</u> C of O Fee: \$ _____ Total Fee: \$ <u>50</u>
Current legal use (i.e. single family) <u>multi-family</u>	Number of Residential Units <u>3</u>	
If vacant, what was the previous use? <u>NA</u>		
Proposed Specific use: <u>NA</u>		
Is property part of a subdivision? <u>NO</u>	If yes, please name _____	
Project description: <u>Remove & Rebuild back porch/deck(s)</u>		
Contractor's name: <u>John Kiely</u>		
Address: <u>591 Island Ave</u>		
City, State & Zip <u>Peaks Island Me. 04108</u>		Telephone: <u>766-2026</u>
Who should we contact when the permit is ready: <u>John Ney</u>		Telephone: <u>653-9569</u>
Mailing address: <u>61 Roberts St Apt 1 Portland Me. 04102</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

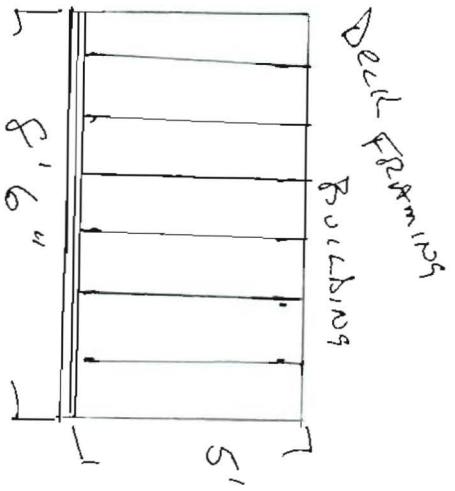
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

RECEIVED
JUL 26 2010
Dept. of Building Inspections
City of Portland, Maine

Signature: John Ney Date: 26 July 2010

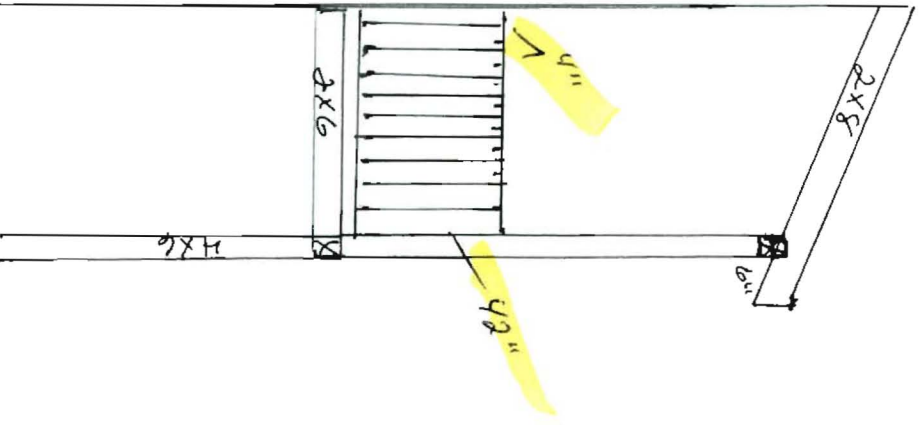
This is not a permit; you may not commence ANY work until the permit is issued

3rd FLOOR DECK & ROOF FRAMING

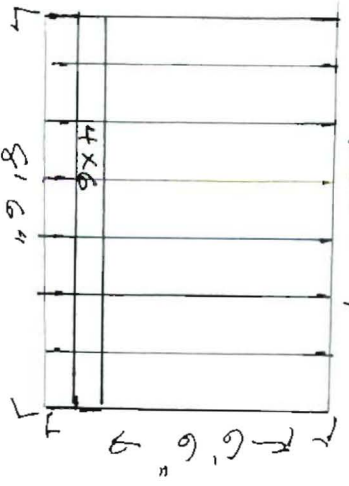


ALL FRAMING 2x6 @ 16" O.C.
 PRESSURE TREATED
 TRIPLE 2x6 BEAM SUPPORTED
 BY 4x6 POSTS FROM 2ND FLOOR DECK
 USE 2x6 JOIST HANGERS
 LEDGER ATTACHED TO BUILDING WITH
 1/2 x 6" LAG SCREWS 2' O.C.

BUILDING



3RD FLOOR ROOF FRAMING



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City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0882	Date Applied For: 07/26/2010	CBL: 066A B015001
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Location of Construction: 61 ROBERTS ST	Owner Name: NEY JOHN M III & GERALDINE	Owner Address: 131 BEACON ST # 1	Phone:
Business Name:	Contractor Name: John Kiely	Contractor Address: 591 Island Ave Peaks Island	Phone (207) 766-2026
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: 3 unit residential - Remove & Rebuild back porch/deck(s)	Proposed Project Description: Remove & Rebuild back porch/deck(s)
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Dept: Zoning Status: Pending Reviewer: Marge Schmuckal Approval Date: 08/12/2010

Note: Ok to Issue:

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a three family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. It is understood that all new and repair work will be within the existing footprint

Dept: Building Status: Approved with Conditions Reviewer: Jonathan Rioux Approval Date: 09/10/2010

Note: Ok to Issue:

- 1) Fastener schedule per the IBC 2003
- 2) Frost protection must be installed per the enclosed detail as discussed w/owner/contractor.
- 3) Guards must be 42 inches in height with openings less than 4 inches.
- 4) The guardrail system shall meet the loading requirements of section 1607.7.1 of the IBC 2003 Building Code.
- 5) Roof decks shall be anchored to walls to resist uplift forces, and constructed of approved materials (fasteners and Connections) listed in the IBC, 2003

Dept: Fire Status: Approved with Conditions Reviewer: Capt Keith Gautreau Approval Date: 08/13/2010

Note: Ok to Issue:

- 1) The entire structure shall comply with NFPA 101 "Existing Apartments" Compliance shall be insured prior to the issuance of a Certificate of Occupancy.
- 2) Two means of egress are required from every story. "State Law Title 25 ~ 2453"
- 3) No means of egress shall be affected by this renovation
- 4) All means of egress to remain accessible at all times

Comments:

8/18/2010-jrioux: lft. Msg. With Owner: Permit on hold, more info. Needed from contractor, i.e. Stairs, supports, etc. JGR.

9/7/2010-jrioux: Spoke with owner, i.e. New info. needed for permit.

Location of Construction: 61 ROBERTS ST	Owner Name: NEY JOHN M III & GERALDINE	Owner Address: 131 BEACON ST # 1	Phone:
Business Name:	Contractor Name: John Kiely	Contractor Address: 591 Island Ave Peaks Island	Phone (207) 766-2026
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

9/9/2010-jrioux: Spoke with contractor, we will meet in person on 09/10/2010.

9/10/2010-jrioux: Met with Contractor triple 2X6" @ 6' spans will be used for the girders span(s); ledger boards will be added to create positive connection to existing structure; all stairs are non-egress.