

Form # P 04

**DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND**

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

Permit Number: 061522

PERMIT

This is to certify that BIXLER JANET I /John H

has permission to Remove roof & attic rooms, replace roof

AT 63 PAYSON ST

066A A017001

PERMIT ISSUED
NOV 17 2006
CITY OF PORTLAND

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or otherwise used-in. **HOURLY NOTIFICATION REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

[Signature]
11/01/06
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

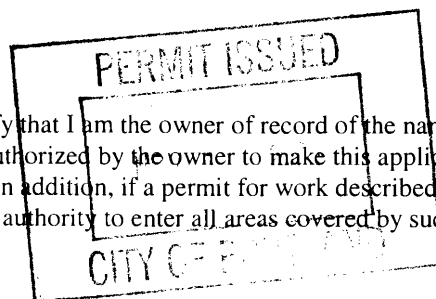
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1522	Issue Date:	CBL: 066A A017001
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Location of Construction: 63 PAYSON ST	Owner Name: BIXLER JANET I	Owner Address: 65 PAYSON ST	Phone:
Business Name:	Contractor Name: John Harvey	Contractor Address: P.O. Box 283 Cape Elizabeth	Phone: 2077122423
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Duplex	Zone: R5

Past Use: 2 Unit	Proposed Use: 2 Unit - Remove roof & attic rooms, Replace roof per engineer outline	Permit Fee: \$820.00	Cost of Work: \$80,000.00	CEO District: 3
Proposed Project Description: Remove roof & attic rooms, Replace roof per engineer outline <i>Legal Use: 2 Dwelling units only</i>		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>M/A</i>	INSPECTION: Use Group: <i>R-3</i> Type: <i>SB</i> <i>IRC 2003</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: ldobson	Date Applied For: 10/16/2006	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>3/10/27/06</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1522	Date Applied For: 10/16/2006	CBL: 066A A017001
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Location of Construction: 63 PAYSON ST	Owner Name: BIXLER JANET I	Owner Address: 65 PAYSON ST	Phone:
Business Name:	Contractor Name: John Harvey	Contractor Address: P.O. Box 283 Cape Elizabeth	Phone (207) 712-2423
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Duplex	
Proposed Use: 2 Unit - Remove roof & attic rooms, Replace roof per engineer outline		Proposed Project Description: Remove roof & attic rooms, Replace roof per engineer outline	

Dept: Zoning **Status:** Pending **Reviewer:** Marge Schmuckal **Approval Date:** 10/27/2006**Note:** **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. It is understood that the new roof structure is less in height than the old roof structure and that there is no living space in the attic area.
- 2) This property shall remain a two (2) family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.

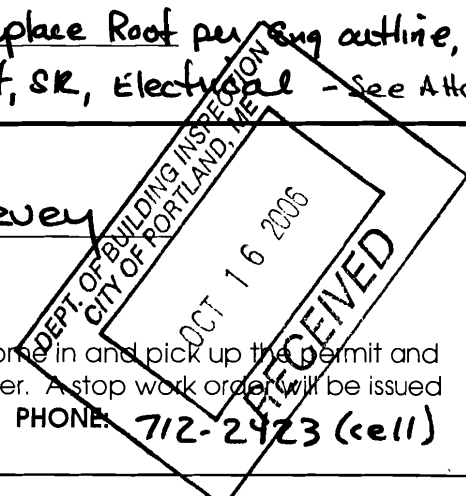
Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 11/01/2006**Note:** **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>63-65 PAYSON Street, Portland.</u>		
Total Square Footage of Proposed Structure	Square Footage of Lot <u>5,000. SF (100' x 50') .115 Acres</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>66A</u> Block# <u>A</u> Lot# <u>17-001</u>	Owner: <u>JANET Bixler</u>	Telephone: <u>776-1698</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>John J. Harvey</u> <u>P.O. Box 283</u> <u>Cape Eliz. ME. 04107</u> <u>(207) 799-9777</u>	Cost Of Work: \$ <u>80,000.00</u> Fee: \$ _____ C of O Fee \$ _____ Total Fees: \$ _____
Current use: <u>2 Unit Rental - APT Apartment 5</u>		
If the location is currently vacant, what was prior use: <u>See Above</u>		
Approximately how long has it been vacant: <u>Since 6/10/06 - FIRE</u>		
Proposed use: <u>Remove Roof & Attic Rooms, Replace Roof per Eng outline,</u> Project description: <u>Remove replace All Plumbing, Heat, SR, Electrical - See Atch</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>John HARVEY</u>		
Mailing address: <u>P.O. Box 283</u> <u>Cape Elizabeth, ME. 04107</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>712-2423 (cell)</u>		



IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>John J. Harvey</u>	Date: <u>October 11, 2006</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the

Attachment - Restoration Permit Application

63-65 Payson Street

Project description: Further info. Added:

① Remove $14/12$ pitch, gable roof structure, including 5 finished Attic Rooms.

LESS

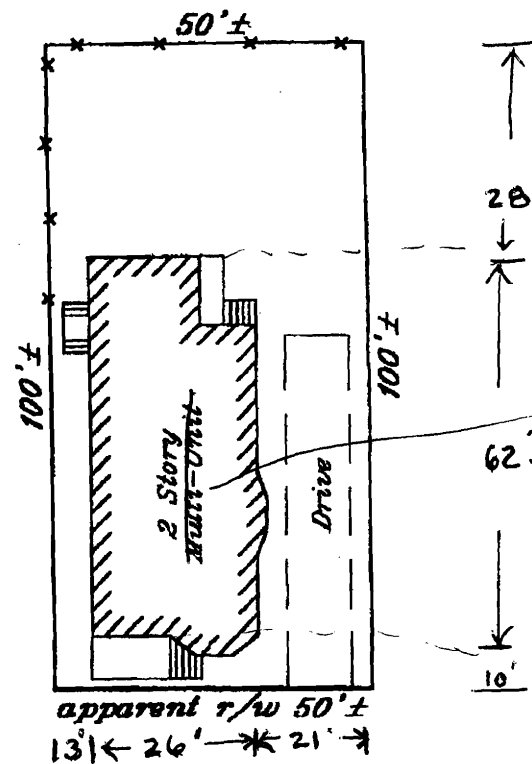
② Replace roof w/ $5/12$ pitch, Sizzor truss, designed by L & L Structural Eng. No rooms in Attic.

③ Remove stair systems (2nd to 3rd floor^②) & reframe per Eng's demands. Update window headers.

④ Add collar ties to 2nd floor ceiling (open to truss) per Eng's drawings

John J. Harvey
G.L.: Coastal Restoration

Inspection Date: 2/10/03
Scale 1" = 30'



2 Dwelling
units only

Payson Street

Notes:

Geometric shape shown per assessors map & apparent lines of occupation.
A Boundary Survey is recommended for accurate location.

Applicant: Janet Bizler Requesting Party: Leete & Lemieux P.A.
Owner: Same Attorney: James R. Lemieux Esq.
Lender: _____ File No. 20313307 Field Book: 241-39

Title References:

Deed Book: 12815 Page: 67
Plan Book: _____ Page: _____ Lot: _____
County: Cumberland

Municipal References:

Map: 66A Block: A Lot: 17

The dwelling does not fall within a Special Flood
Hazard Zone Per Fema Community Map No. 230051
Panel: 0013B Zone: C Date: 7-17-86

The dwelling was in compliance with
municipal zoning setback requirements at
the time of construction.

Comments: See above notes.

Nadeau & Lodge, Inc.
Professional Land Surveyors

918 Brighton Avenue
Portland, Maine 04108
Ph. (207) 878-7870 Fax (207) 878-7871

[Signature]
2-11-03

This Is Not A Boundary Survey

Not For Recording D.P.P.



GENERAL NOTES:

1. The notes on the drawings are not intended to replace specifications. See specifications for requirements in addition to general notes.
2. Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, relets, sleeves, depressions, and other details not shown on structural drawings.
3. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
4. Do not scale plans.
5. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
6. All proprietary products shall be installed in accordance with the manufacturer's written instructions.
7. The structure is designed to be self supporting and stable after the Building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tie downs. Such material shall remain the property of the contractor after completion of the project.
8. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

DESIGN LOADS:

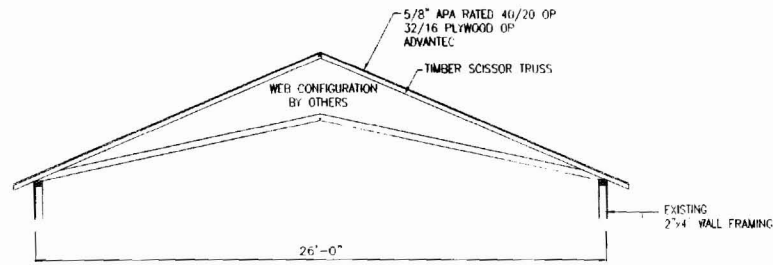
1. Building code: IRC International Building Code (2003)
2. Design Live Loads: (Ground snow load = 60 PSF)
Roof ... 42 PSF + Drift
3. Design wind loads are based on exposure B using 100 mph basic wind speed.

TIMBER FRAMING:

1. All timber framing shall be in accordance with the AITC timber construction manual or the national design specifications (NDS) - latest edition.
2. Individual timber framing members shall be visually graded, minimum grade #2 Spruce-Pine-Fir (SPF), kiln dried to 19% moisture content.
3. Pressure treated lumber shall be used where wood is in contact with ground, concrete or masonry. Timber shall be southern yellow pine treated with cca to 0.4 #/CF in accordance with AWPAC C-18.
4. Metal connectors shall be used at all timber to timber connections or as noted on the design drawings.
5. Provide Simpson H2.5A hurricane anchors where timber framing and/or trusses bear on structural steel beams or bearing walls.
6. Nailing not specified shall conform with IRC 2003.
7. Roof sheathing shall be 5/8" APA rated sheathing w/ H-clips. Attach sheathing to all supports using 10d nails spaced at 6" o.c. at panel edges and 6" o.c. at intermediate supports.

TIMBER TRUSS FRAMING:

1. Materials: Stress graded lumber, metal plate connectors. Minimum grade No. 2 M.S.P. Southern Pine, kiln dried, 15% maximum M.C., or approved alternate.
2. Applicable specifications:
 - a. National Design Specification for stress graded lumber and its fastening (NDS).
 - b. Design specifications for light metal plate connected wood trusses (TPI-Latest edition).
3. Bracing: The truss manufacturer shall specify all bracing required both for temporary construction loading and for permanent lateral support of compression members.
4. Submittals:
 - a. Submit design calculations, shop drawings and erection procedures all affixed with the seal of a professional structural engineer registered in the State of Maine.
 - b. Shop drawings shall show stress grade and size of members, size and location of plate connectors, size and location of bracing and shall be approved by the truss designer.
5. All fabricated trusses shall be inspected at the fabrication plant and approved trusses shall receive the TPI mark of approval in accordance with the truss plate institute in-plant inspection license agreement.
6. Connector plates shall be galvanized.
7. Timber trusses shall be designed in accordance with IBC 2003 and ASCE 7-LATEST EDITION.
8. Provide permanent bottom chord bracing in accordance with the truss plate institute (TPI-latest edition).
9. Trusses shall be designed for all potential load combinations of live loads (snow) and wind loads including unbalanced snow loads, drift loads and wind loads in accordance with IBC 2003.



BUILDING SECTION A-A

1/4"=1'-0"

75'-0"

A