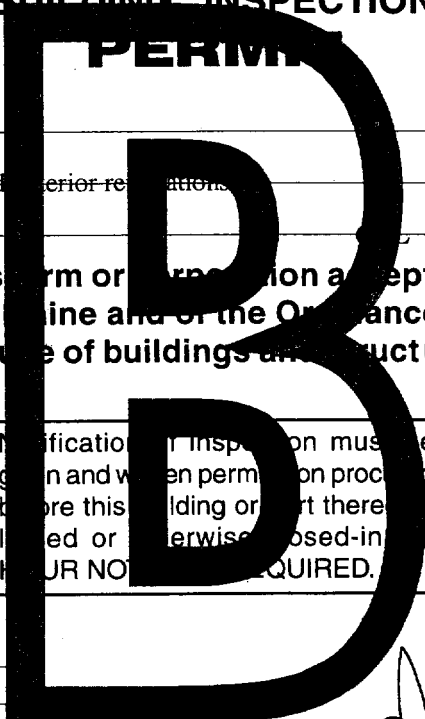


DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT



Please Read Application And Notes, if Any, Attached

PERMIT ISSUED
Permit Number: 051317
SEP 26 2005
CITY OF PORTLAND

This is to certify that Brad James/homeowner

has permission to Add dormer and interior and exterior renovations

AT 440 St John St 066 F014001

provided that the person or persons who apply for or receive this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or otherwise closed-in. 4 HOUR NOT REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____
Department Name

Jamie Bonke 9/26/05
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-317	Issue Date: SEP 26 2005	CHL: 066 F014001
----------------------	-----------------------------------	---------------------

Location of Construction: 440 St John St	Owner Name: Brad James	Owner Address: 341 Saco St	Phone:
Business Name:	Contractor Name: homeowner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R5
Past Use: Residential 2 unit	Proposed Use: Residential 2 unit add dormer and interior and exterior renovations	Permit Fee: \$129.00	Cost of Work: \$12,000.00
Proposed Project Description: Add dormer and interior and exterior renovations		CEO District: 3	INSPECTION: Use Group R2 Type SB IRC-2003 Signature: JMB 9/26/05
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	'PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature _____ Date _____
Permit Taken By: dmartin	Date Applied For: 09/12/2005	Zoning Approval	

<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: JMB 9/26/05	Zoning Appeal <input checked="" type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: JMB
	See 14-385 To rebuild in Existing Foot print NO NEW Foot print Approved		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- | | |
|--|---|
| 4 Footing/Building Location Inspection; | Prior to pouring concrete |
| Re-Bar Schedule Inspection: | Prior to pouring concrete |
| Foundation Inspection: | Prior to placing ANY backfill |
| <input checked="" type="checkbox"/> Framing/Rough Plumbing/Electrical: | Prior to any insulating or drywalling |
| <input checked="" type="checkbox"/> Final/Certificate of Occupancy: | Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point. |

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

NOTE CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Signature of Applicant/Designee

Date

Signature of Inspections Official

Date

CBL: 66-F-14

Building Permit #:

05-1317

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-13 17	Date Applied For: 09/08/2005	CBL: 066 F014001
-------------------------------	--	----------------------------

Location of Construction: 440 St John St	Owner Name: Brad James	Owner Address: 341 Saco St	Phone:
Business Name:	Contractor Name: homeowner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Duplex	

Proposed Use: Residential 2 unit add dormer and interior and exterior renovations	Proposed Project Description: Add dormer and interior and exterior renovations
---	--

Dept: Zoning	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 09/26/2005
Note: 9/26/05 Brad J. Came in for a same day review			Ok to Issue: <input type="checkbox"/>
1) Approved using Sec. 14-385 to re-build entry in the existing footprint			
2) This permit does not approve any additional footprint			
Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 09/26/2005
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) The details of the 1st floor bath ceiling fire & sound separation shall be submitted to this office for review prior to the close in inspection.			
2) Separate permits are required for any electrical, plumbing, or heating.			
3) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.			

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Brad

Current Owner Information

Card Number	1 of 2
Parcel ID	066 F014001
Location	440 ST JOHN ST
Land Use	TWO FAMILY
Owner Address	BARTER ROBERT W III 440 ST JOHN ST PORTLAND NE 04102
Book/Page	20695/118
Legal	bb-F-14 ST JOHN ST 438-440
	5500 SF

*9/26 9 AM
RS*

Current Assessed Valuation For Fiscal Year 2006

Land	Building	Total
\$59,060	\$101,630	\$160,690

Estimated Assessed Valuation For Fiscal Year 2007"

Land	Building	Total
\$86,400	\$128,700	\$215,100

* Value subject to change based upon review of property status as of 4/1/06.
The tax rate will be determined by City Council in May 2006.

Property information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1900	Old Style	1.5	2164	0.126	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
5	2		11	None	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
------	----------	------------	------	-------	-----------

Sales information

Date	Type	Price	Book/Page
12/22/2003	LAND + ELDING	\$229,000	20695-118
04/01/1999	LAND + BLDING	\$117,500	14661-103
11/01/1996	LAND + ELDING	\$10,000	12810-134
10/01/1995	LAND + BLDING	\$51,500	12167-276

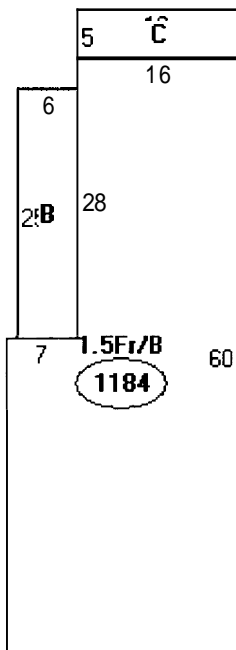
Picture and Sketch

Picture	Sketch	Tax Map
---------	--------	---------

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-





Descriptor/Area

- A: 1.5Fr/B
1184 sqft
- E: OP/OP
150 sqft
- C: 1Fr
80 sqft
- D: FBAY
12 sqft

1426
704 32x22 out building

2130
~~2153~~ - Rear building
~~12~~ - Front
 2165

Replacing Existing Front Entry & Side 2story decks

5300
40%

2200

11
20

31



Residential Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 440 ST. JOHN ST.

Total Square Footage of Proposed Structure	Square Footage of Lot <u>5500</u>
Tax Assessor's Chart, Block & Lot Chart# <u>066</u> Block# <u>F</u> Lot# <u>014</u>	Owner: <u>BRAD & ROXANNE JAMES</u> Telephone: <u>671-9146 c</u> <u>854-4744 H</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>BRAD JAMES</u> <u>341 SALO ST.</u> <u>WESTBROOK, ME. 04092</u> Cost Of Work: <u>\$12,000</u> Fee: \$ <u>179.00</u>

Current Specific use: 2 UNIT DWELLING.

Proposed Specific use: 2 UNIT DWELLING.

Project description: Change 2nd Flr floor plan; Build dormer @ top of 2nd floor front landing; 1st flr Bathroom renovation; Rebuild front entry exterior stairs; Rebuild back decks 1st & 2nd floor leaving existing shed roof; Changing 1st Floor front foyer by moving basement stairs.

Contractor's name, address & telephone:

Who should we contact when the permit is ready: James / Owner

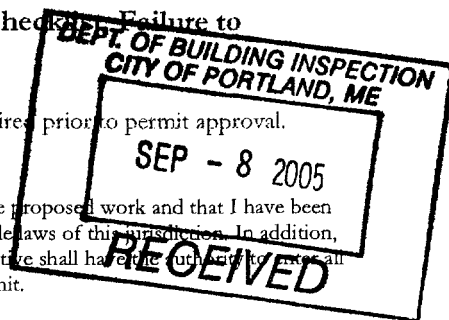
Mailing address: 341 Salo St.
WESTBROOK, ME. 04092

Phone: 671-9146

Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.



Signature of applicant: [Signature] Date: 9/8/05

Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

8/28/05

KK Company Land (WOODED)

51' ±

PARKING 436 ST. JOHN ST.

WOOD STOCKADE FENCE

WOOD STOCKADE FENCE

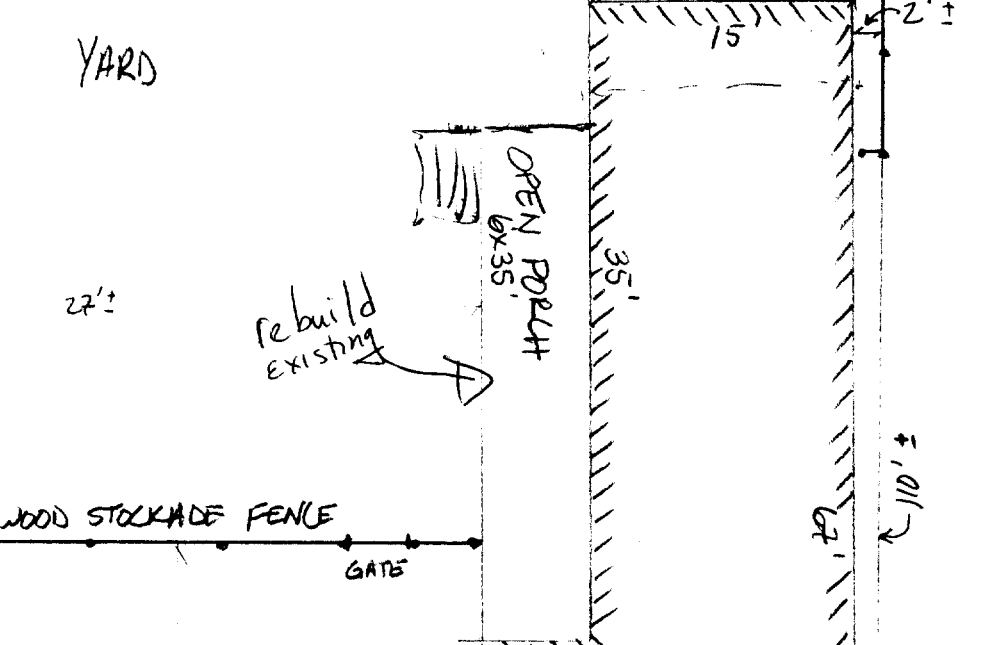
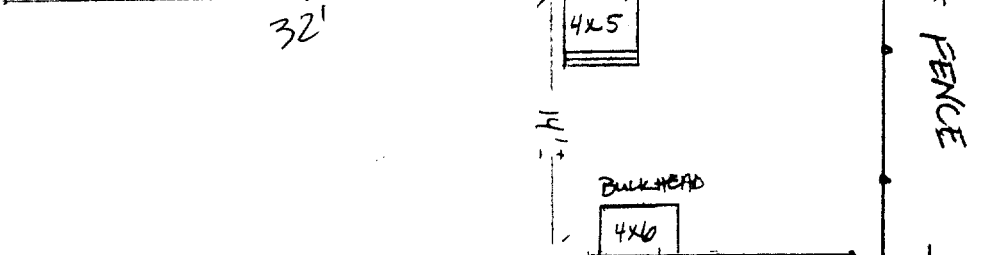
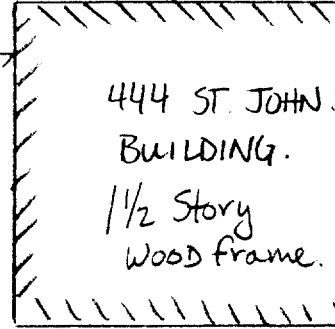
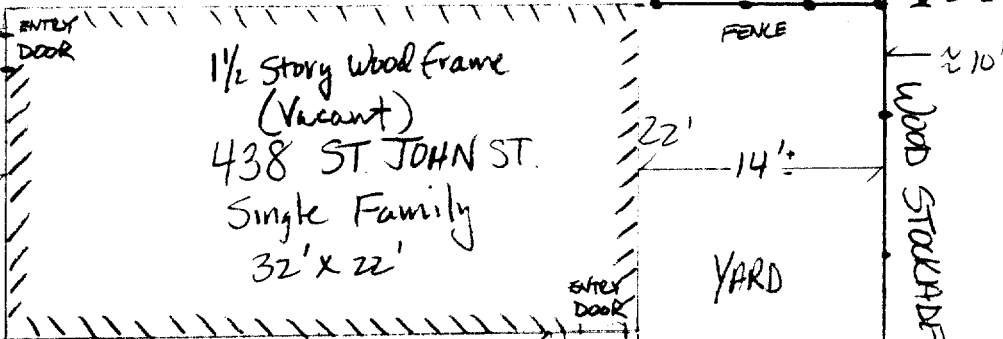
WOOD STOCKADE FENCE

WOOD STOCKADE FENCE

WOOD STOCKADE FENCE

WOOD STOCKADE FENCE

WOOD STOCKADE FENCE



PLOT PLAN

1/8" = 1'

PARKING 444-446 ST. JOHN ST

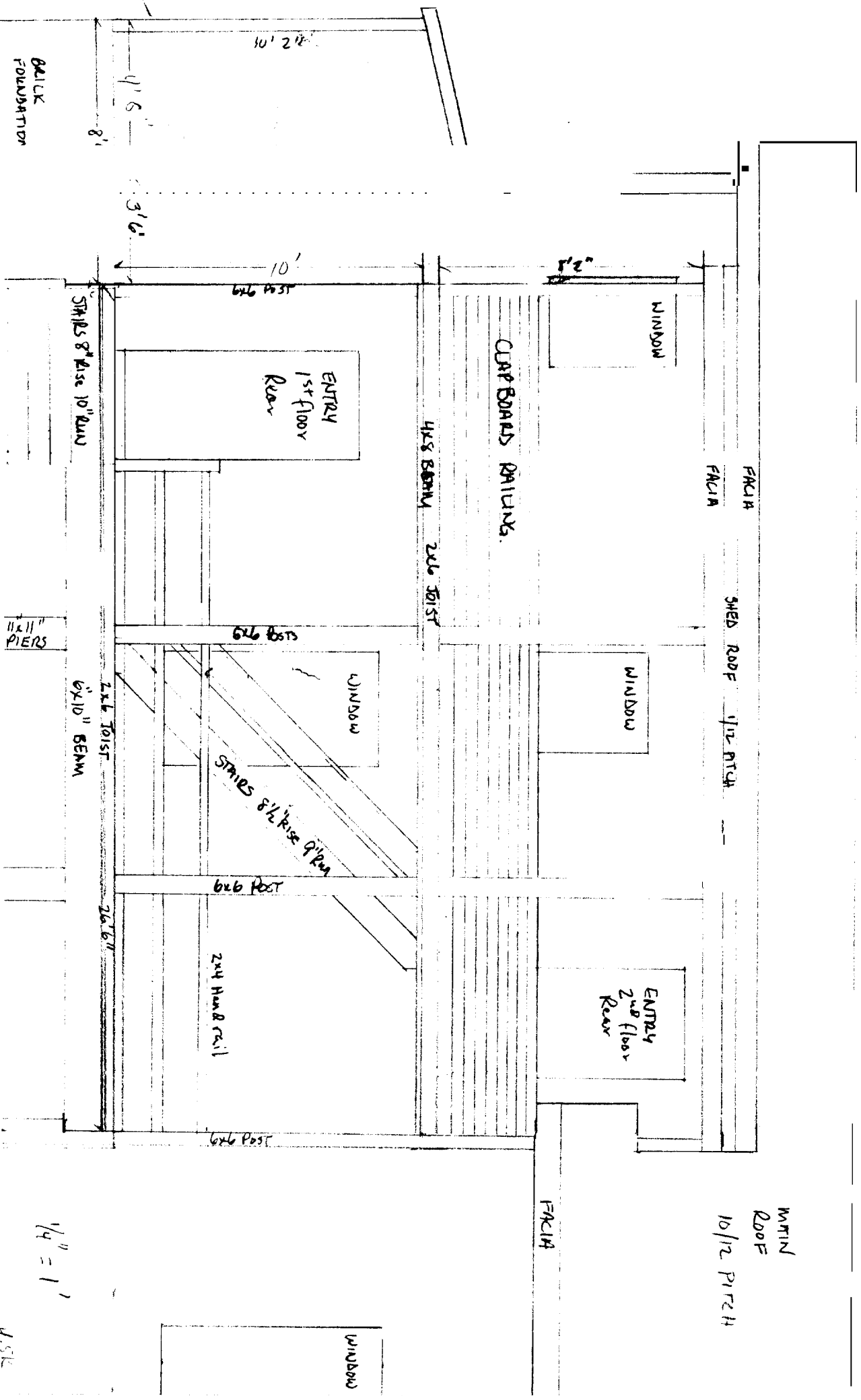
Sec. 14-385 allows reconstruction on existing footprint 30' ±

446 ST JOHN BUILDING 2 1/2 Story WF

(438-440 ST JOHN ST) STREET

440 ST JOHN ST.

EXISTING REIR DECKS
(ALL EXISTING FRAMING NOT PRESSURE TREATED)



BACK FOUNDATION

10' 2 1/2"

9' 5"

8'

3' 6"

10'

6x6 POST

ENTRY
1st floor
Rear

STAIRS 8" RISE 10" RUN

WINDOW

FACIA

SHED ROOF 1/2 PITCH

CAP BOARDS RAILING.

4x8 BEAM 2x6 JOIST

WINDOW

6x6 POST

WINDOW

STAIRS 8 1/2" RISE 9" RUN

2x6 JOIST 6x10 BEAM

11x11 PIER

6x6 POST

ENTRY
2nd floor
Rear

2x4 HAND RAIL

6x6 POST

W/IN
ROOF
10 1/2 PITCH

FACIA

WINDOW

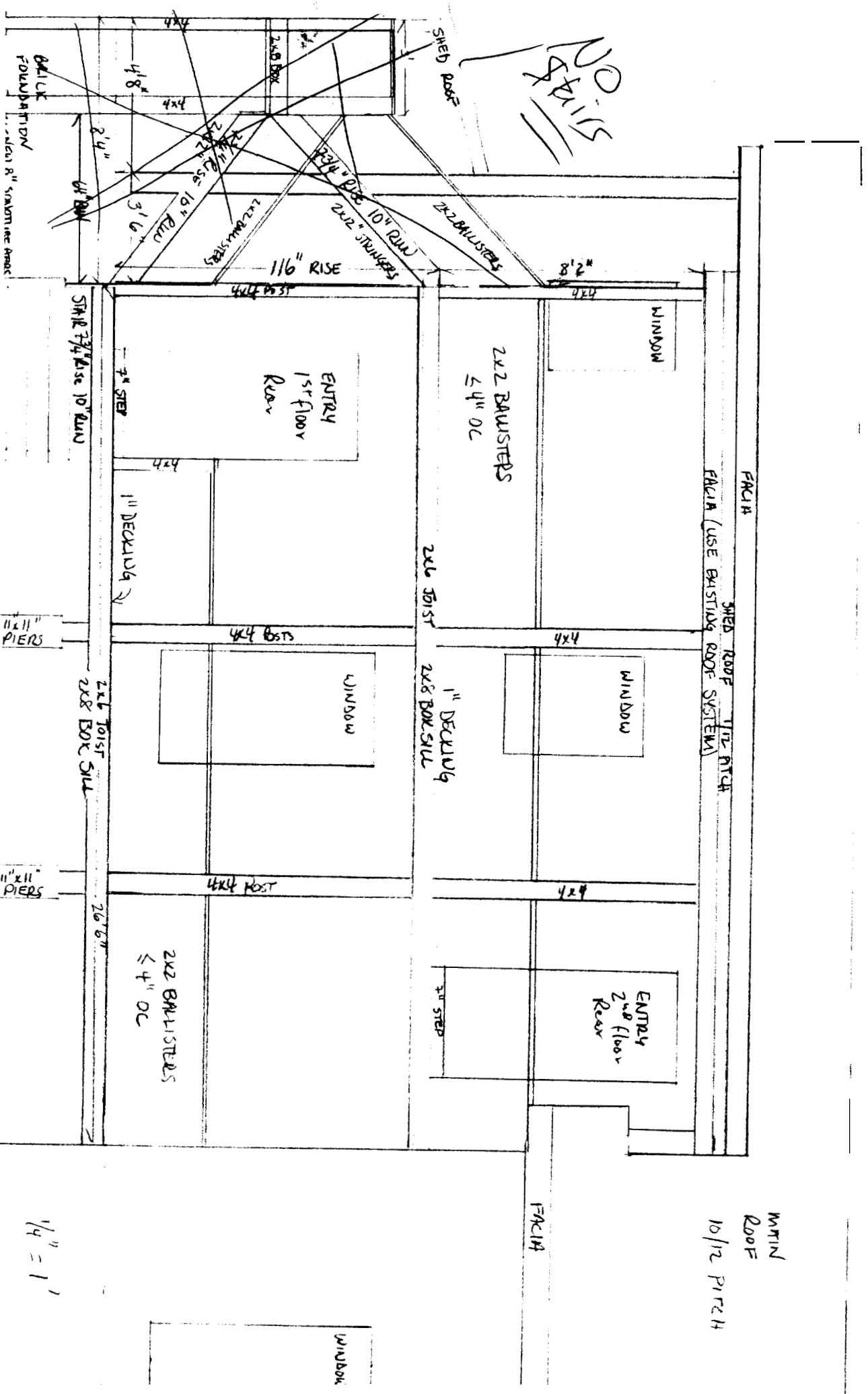
1/4" = 1'

4.512

440 ST JOHN ST

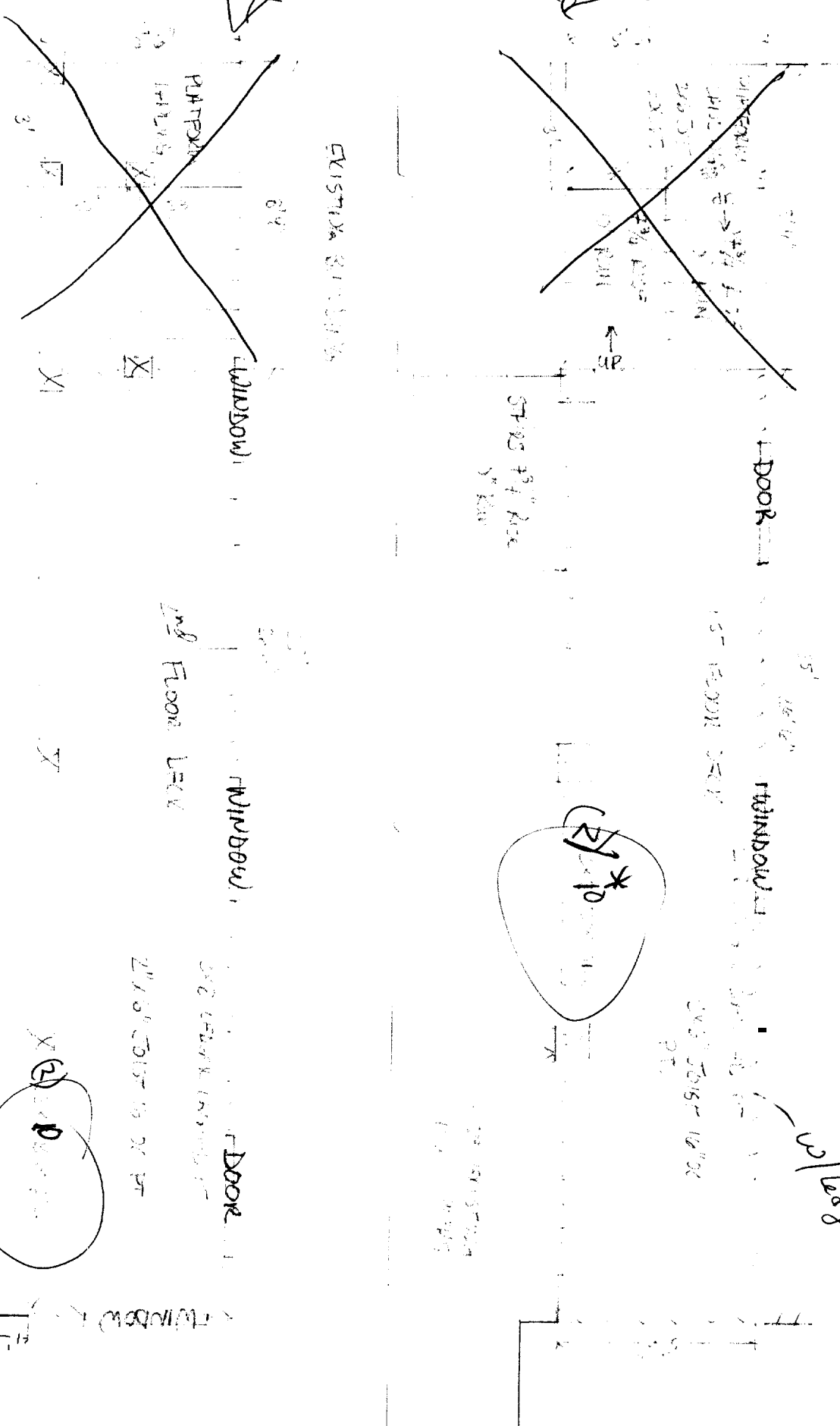
PROPOSED REIN DECKS

(ALL NEW FRAMING W BE PRESSURE TREATED)



EXISTING BUILDING 440 ST. JOHN ST PROPOSED DECK

NO STAIRS Allowed



Railings Typical to Front Detail



1/4" = 1'

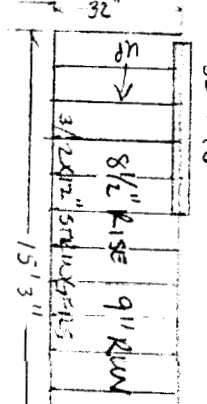
W/ 1/2\"/>

EXISTING BUILDING

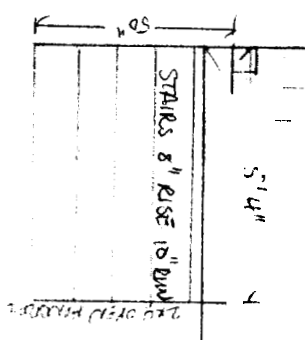
WINDOW 36" x 78"

1ST FLOOR DECK

30x68
ENTRY DOOR
2x6 JOIST 16OC



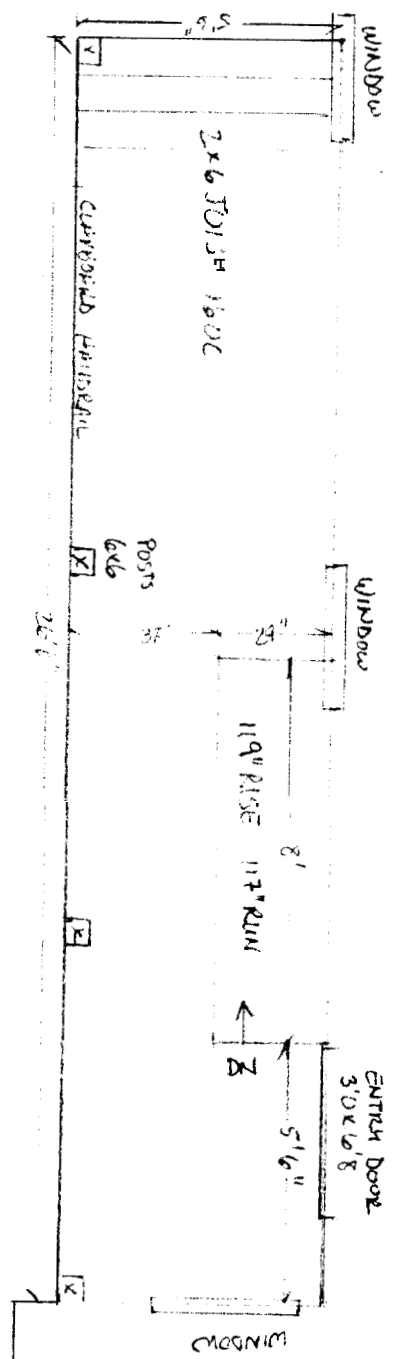
EXISTING DECKS
TOP VIEWS



SHED
ROOF

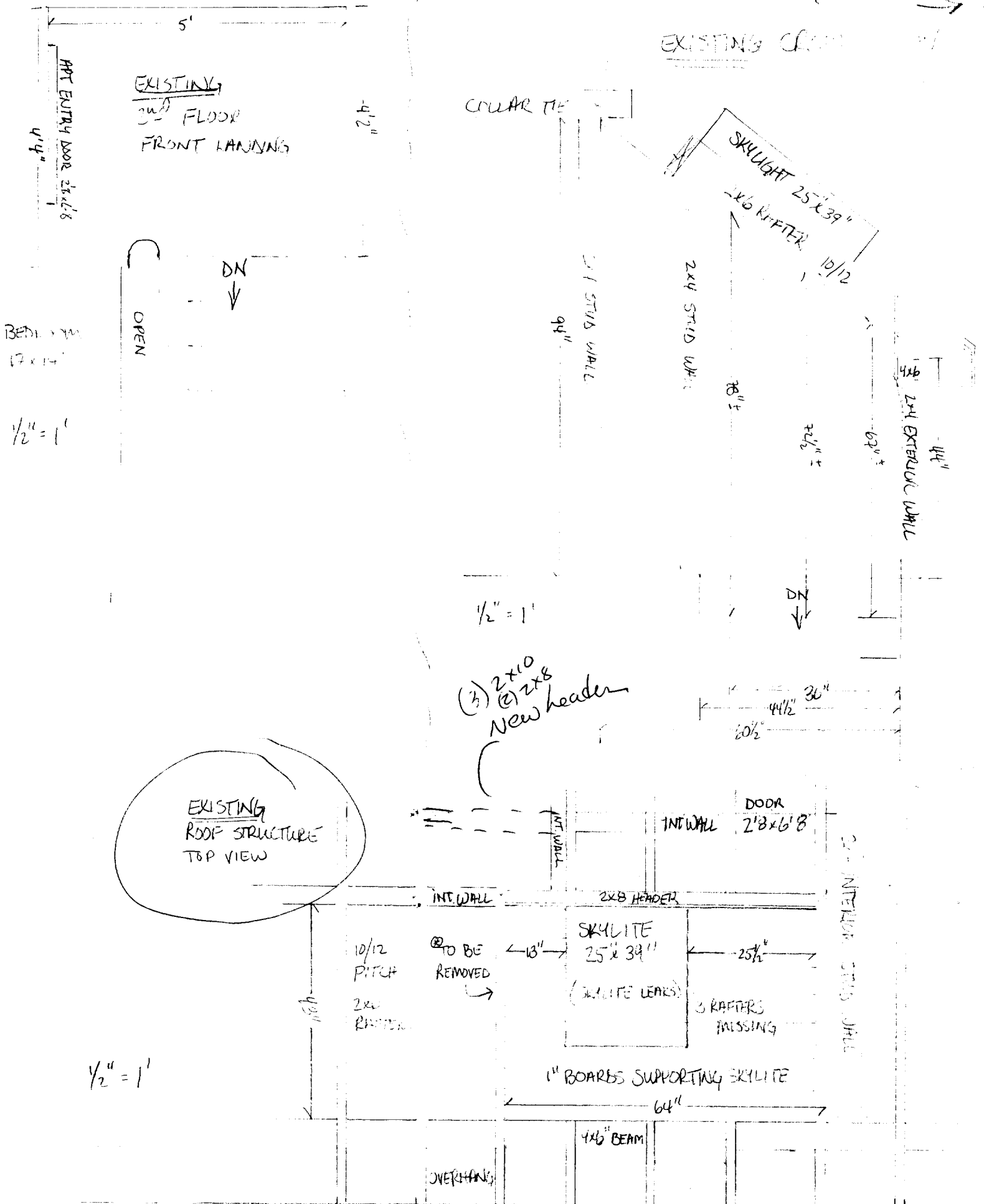
2nd FLOOR
DECK

EXISTING BUILDING



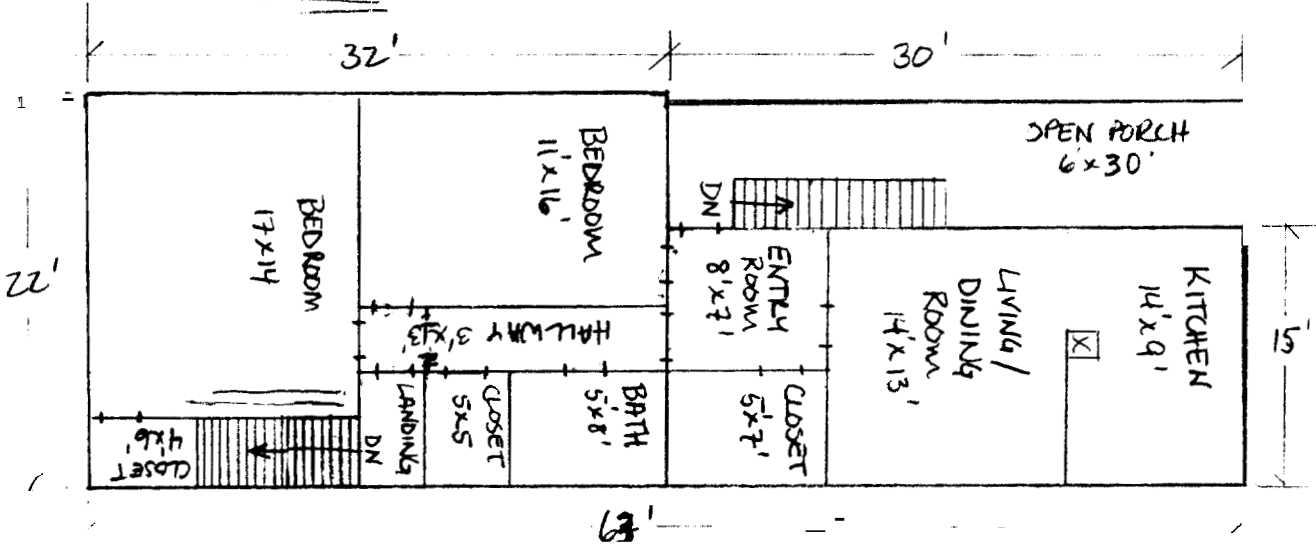
1/4" = 1'

440 ST JOHN ST 2ND FLOOR, HANDING FRONT (PROPOSAL ON BACK)



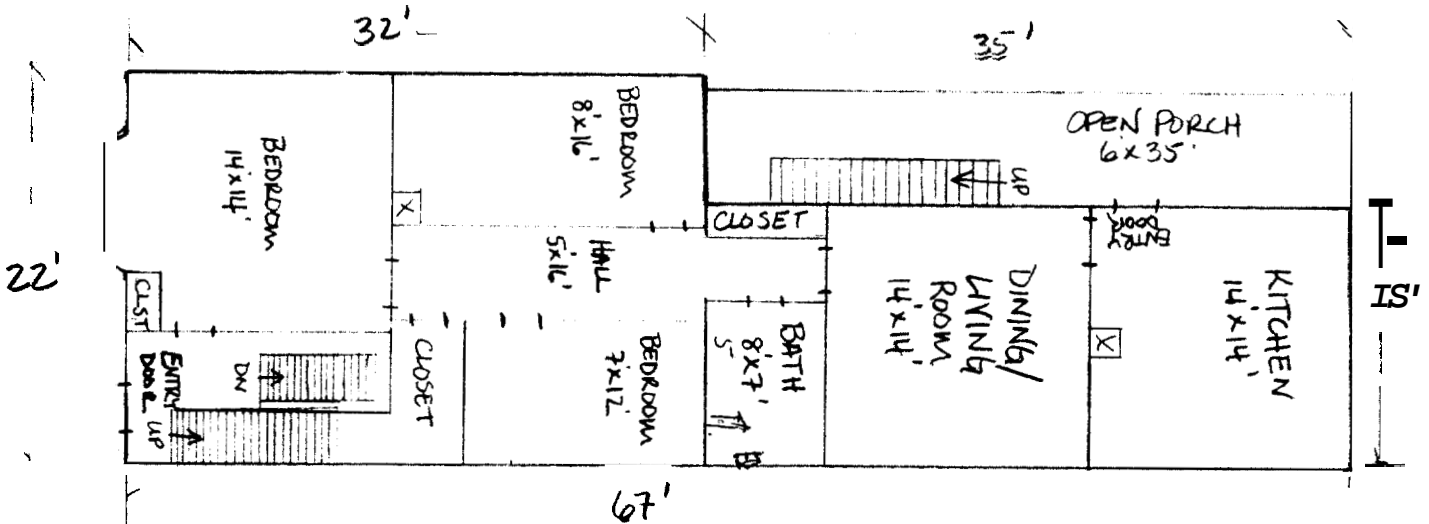
440 ST. JOHN ST. (2 UNIT - 1ST & 2ND FLOOR)

EXISTING 2ND FLOOR PLAN



2ND FLOOR PLAN

EXISTING 1ST FLOOR PLAN

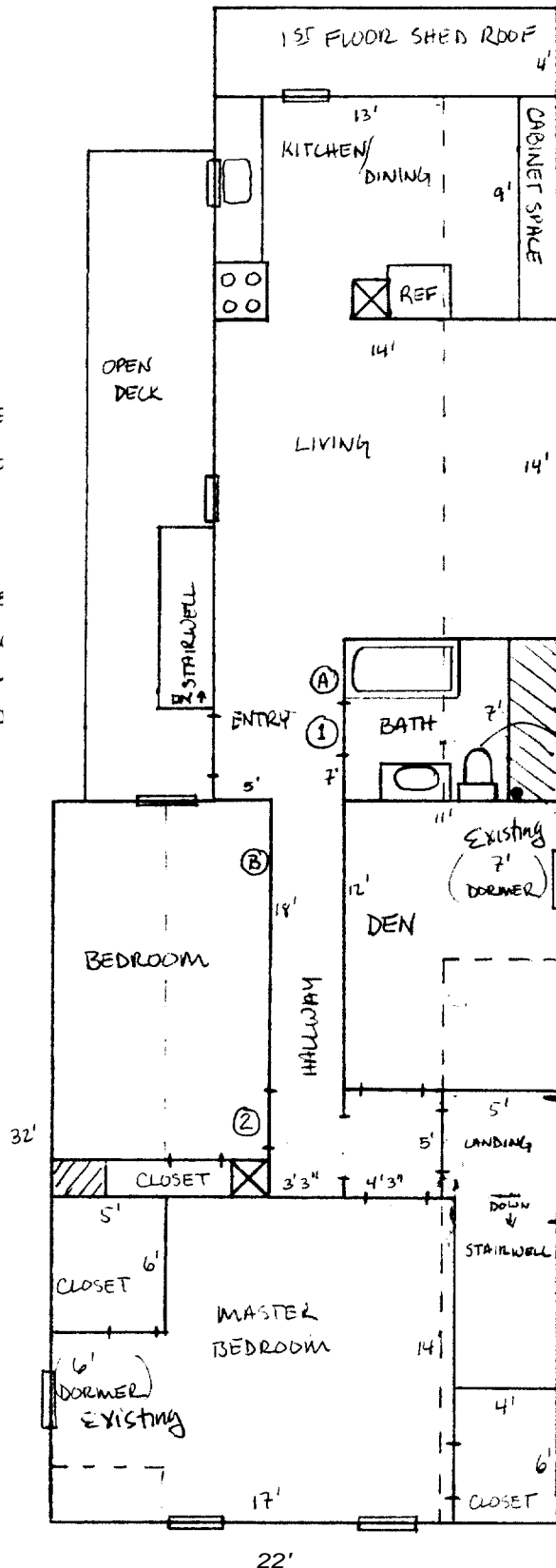


1ST FLOOR PLAN

440 ST. JOHN ST. 2ND FLOOR PLAN/CHANGE PROPOSAL

NOTES:

- MOVING BATH OVER 1ST FLR BATH
- MOVE HALLWAY TO CTR. OF BUILDING
- DEN CREATED FROM OLD BATH & CLOSET
- OPEN UP ENTRY TO LIVING SPACE
- ① NEW BATH DOOR 2'4" x 6'8" INTERIOR
- ② NEW BEDROOM DOOR 2'8" x 6'8" INTERIOR
- NO LOAD BEARING PARTITIONS ARE BEING RE
- FIRE STOPS WILL BE INSTALLED IN ALL C
- EXTERIOR WALLS TO BE R-19 INSULATED.
- INTERIOR WALLS TO BE SOUND PROOFED.
- ALL WINDOWS ARE EXISTING
- ALL DOORS ARE EXISTING EXCEPT THOSE NOTE
- Ⓐ 2x4 STUD WALL TO PARTITION BATHROOM (7'4"
- Ⓑ 2x4 STUD WALL TO PARTITION BEDROOM (18'4"
- ↳ NEW STUD WALLS 16" O.C. w/ DOOR HEADERS/3



- KEY -

- WINDOW
- DOORWAY (NO DOOR)
- DOOR
- SLOPED ROOF 10/12 PITCH

PROPOSED DORMER TO MATCH EXISTING DORMER ON SAME MAIN ROOF.

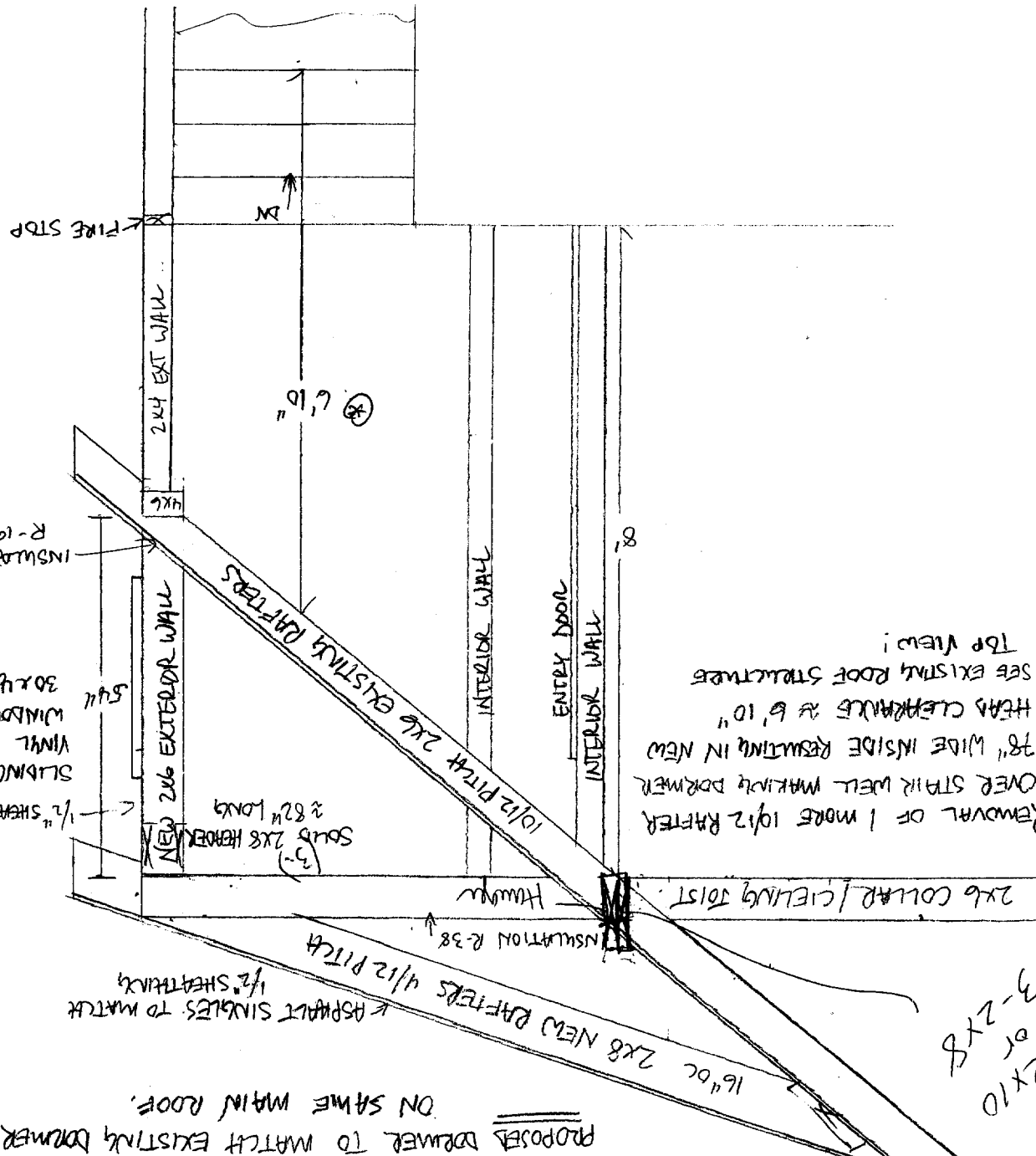
ASPHALT SINGLETS TO MATCH 1/2" SHEATHING

16" OC 2x8 NEW BATTERS 4/12 PITCH INSULATION R-38

2x6 COLLAR / CEILING JOIST

REMOVAL OF 1 MORE 10/12 RAFTER OVER STAIR WELL MAKING DORMER 78" WIDE INSIDE RESULTING IN NEW HEAD CLEARANCE OF 6'10"

SEE EXISTING ROOF STRUCTURE TOP VIEW!



2-2x10 or 3-2x8

2x4 EXT WALL

6'10"

INTERIOR WALL

ENTRY DOOR

INTERIOR WALL

8'

NEW 2x6 EXTERIOR WALL

3-2x8 HEADERS 2'82" LONG

HUMPH

FIRE STOP

DN

EXC

INSULATION R-19

5'4"

30x48 VINYL SLIDING WINDOW

1/2" SHEATHING

INSULATION R-38

16" OC

2x8 NEW BATTERS

4/12 PITCH

ASPHALT SINGLETS TO MATCH

1/2" SHEATHING

2x6 COLLAR / CEILING JOIST

REMOVAL OF 1 MORE 10/12 RAFTER

OVER STAIR WELL MAKING DORMER

78" WIDE INSIDE RESULTING IN NEW

HEAD CLEARANCE OF 6'10"

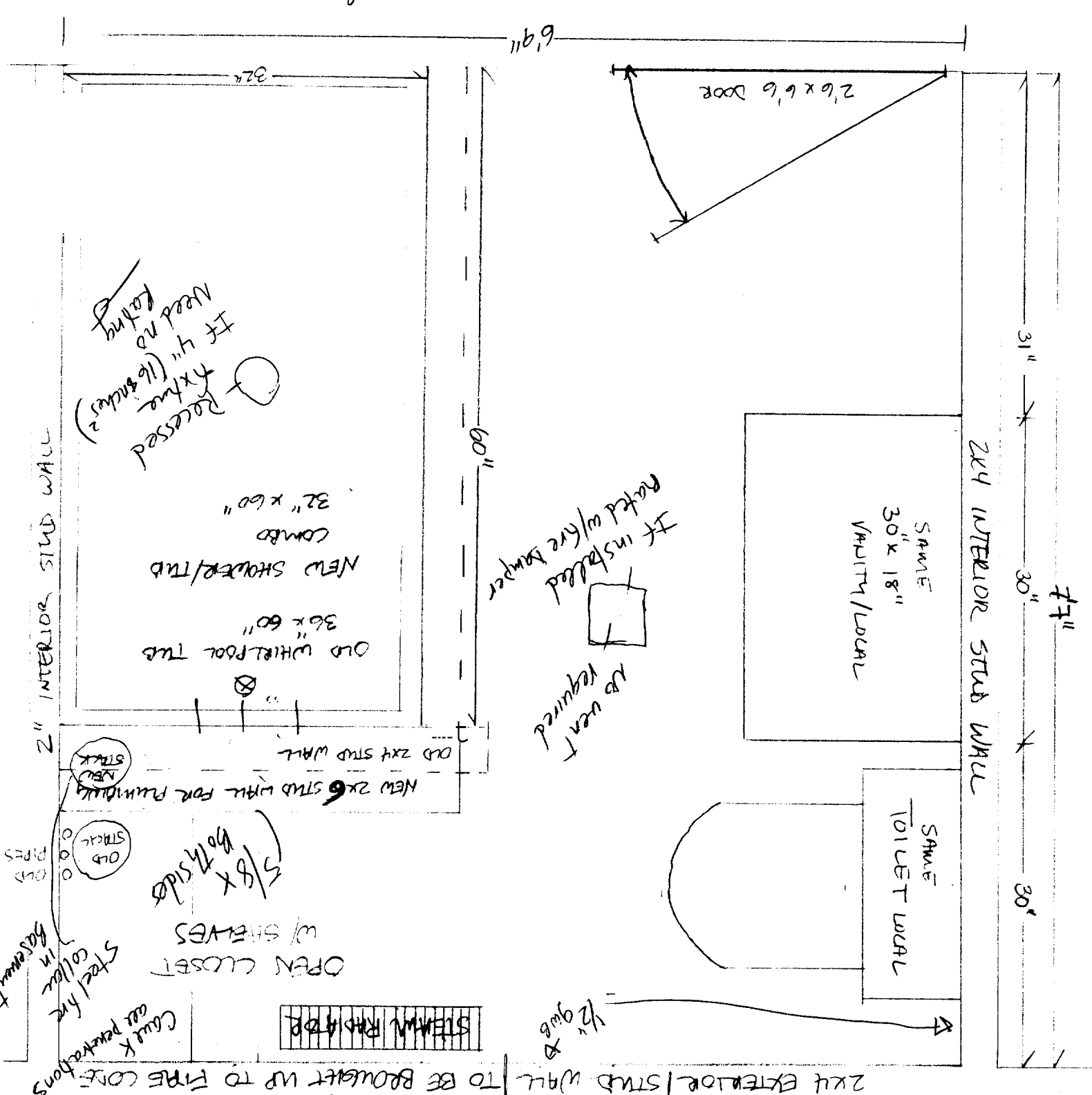
SEE EXISTING ROOF STRUCTURE

TOP VIEW!

440 ST JOHN ST
1st Floor Bathroom Renovation

Five block balloon framing
at separation of unit

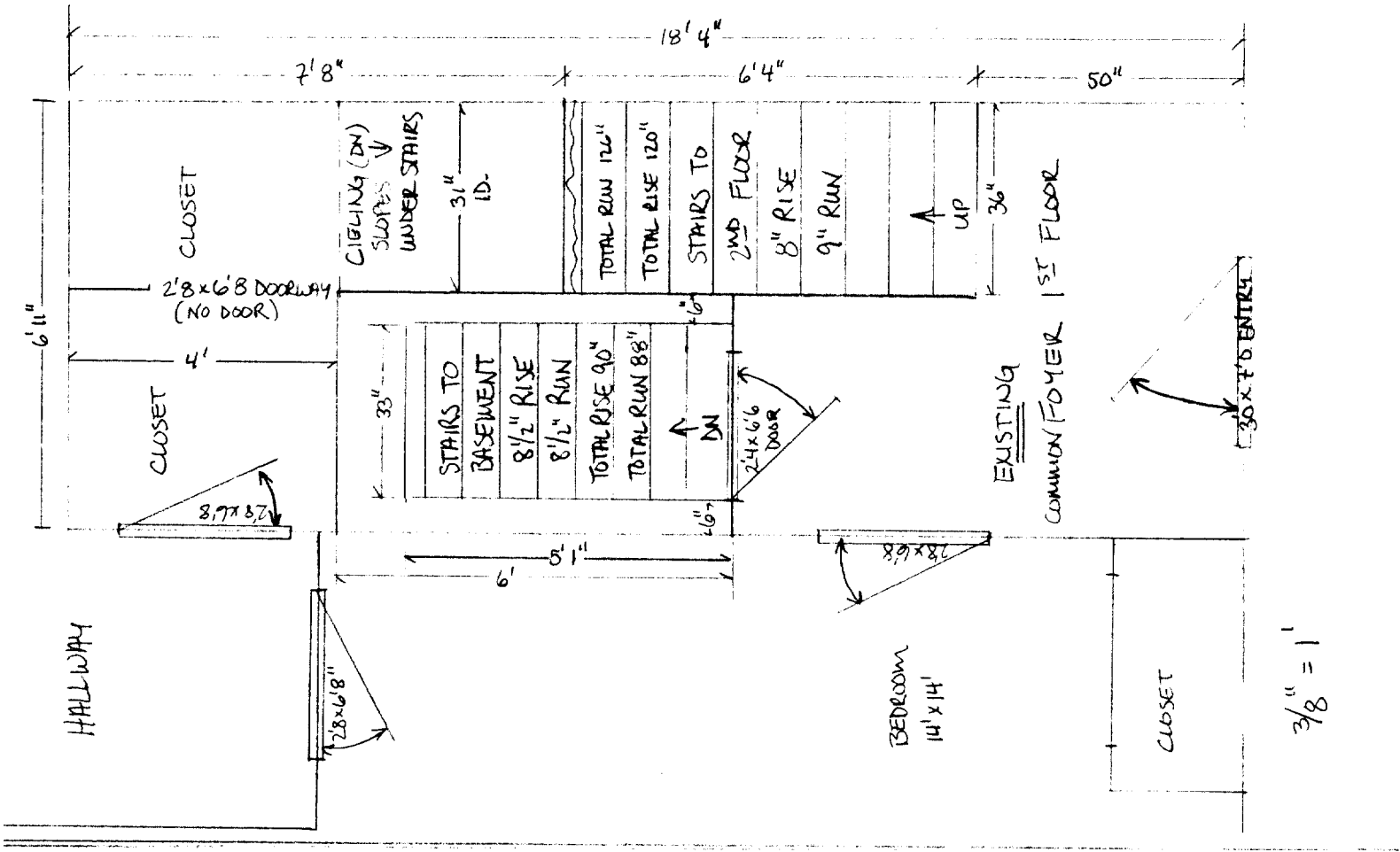
Window



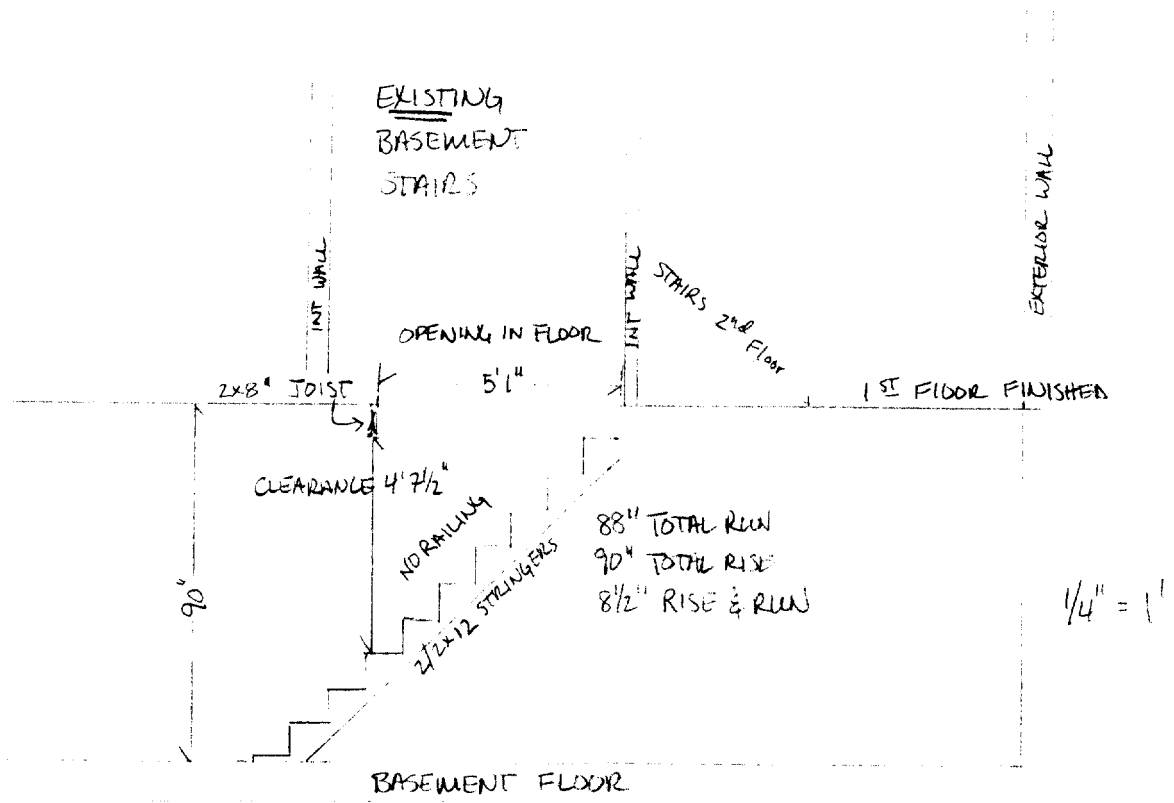
- CEILING B/1. 1st Floor Unit & 2nd Floor Unit to conform to sound ordinance.

1/2" = 1'

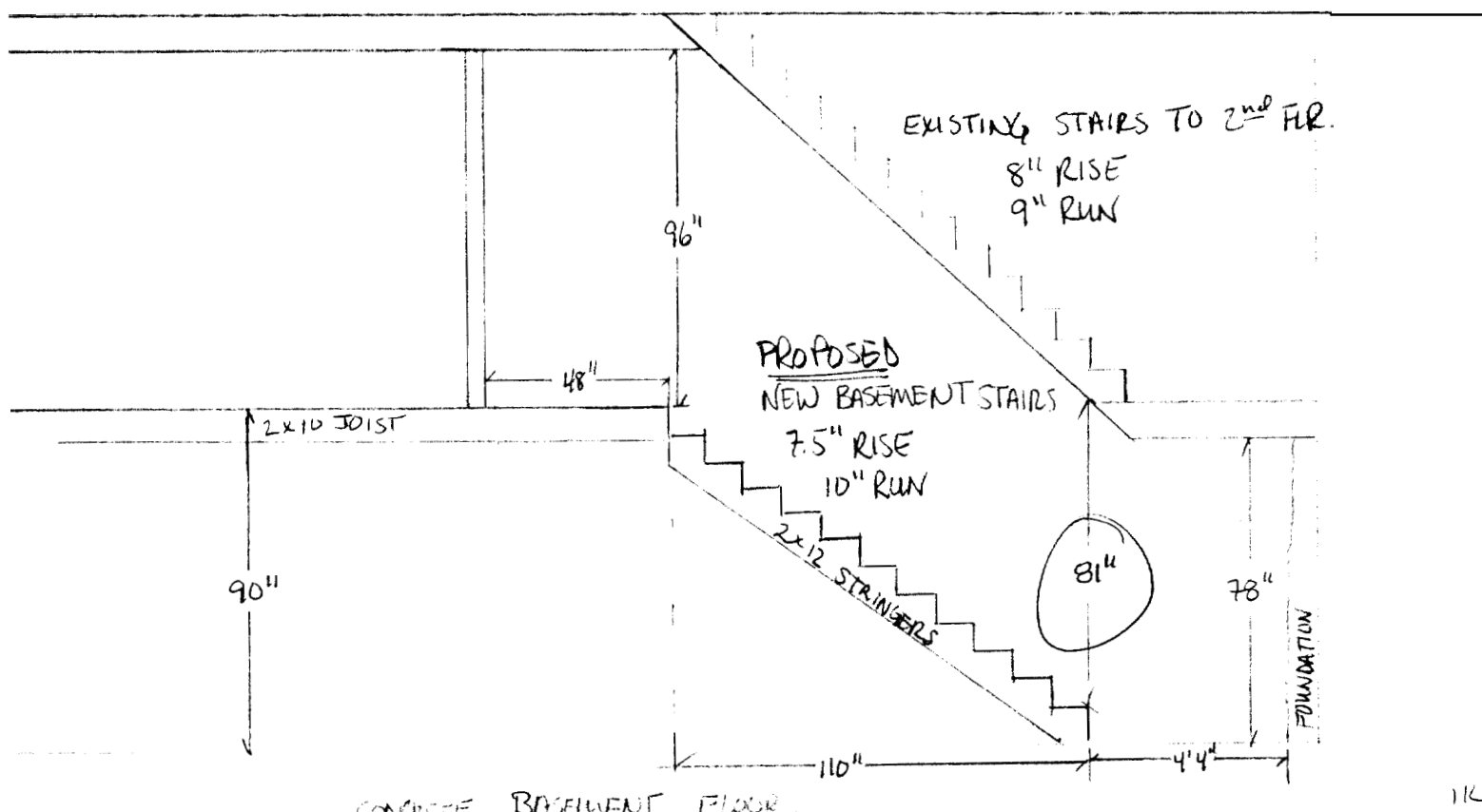
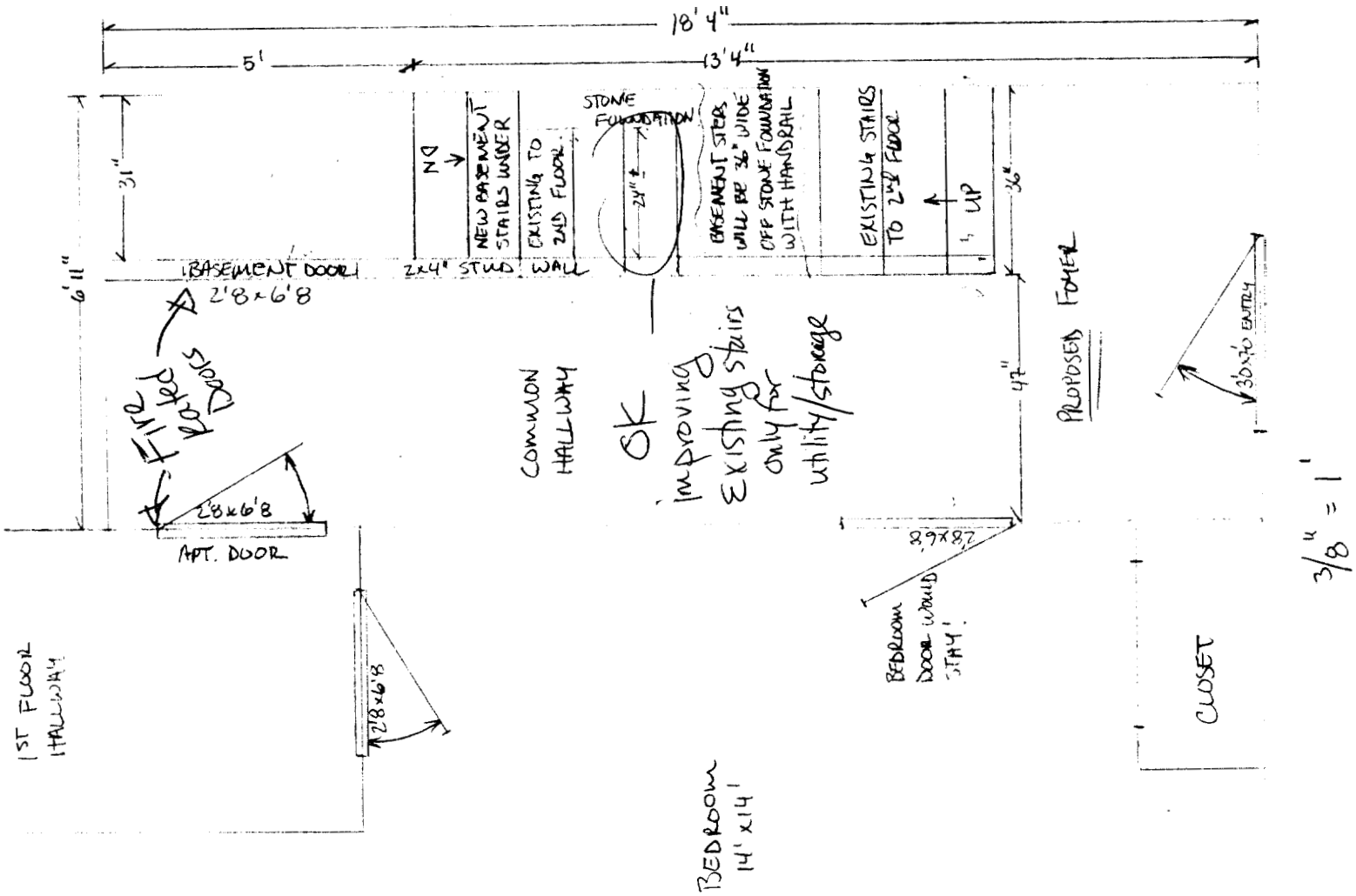
440 ST JOHN ST EXISTING FRONT FOYER/STAIRS



$\frac{3}{8}'' = 1'$



PROPOSED FOYER



WARRANTY DEED

Know All Men By These Presents That I, Robert W. Barter III

of 1226 West Gray, Gray,
County of Cumberland

and State of Maine,

for consideration paid, grant to Brad C. James and Roxanne Pompeo-James,

of 341 Saco Street, Westbrook,
County of Cumberland
as Joint Tenants

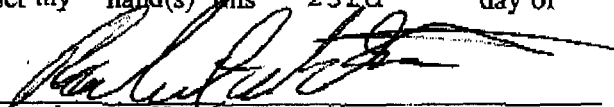
and State of Maine

with **WARRANTY COVENANTS:**

A certain lot or parcel of land together with any buildings thereon situated in
Portland County of Cumberland
and State of Maine, more particularly described in Exhibit A attached hereto and
incorporated herein by reference.

In Witness ereof, I have hereunto set my hand(s) this 23rd day of
August


Witness



Robert W. Barter III

State of Maine
County of Cumberland ss.

On this 23rd day of August, 2005 personally appeared before me the
above named Robert W. Barter III
and acknowledged the foregoing to be his/her/their free act and deed.



Notary Public, Attorney at Law
Kristine Paulino, Esq.

Return to: Brad C. James

To Gayle Guertin
From Brad James 671-9146
Re: Building Permit 440 ST. JOHN ST.
Fax 874 8716

- 2 pages inc. cover.