



Certificate of Occupancy

LOCATION 315 Park Ave

CBL 066 F001001

Issued to 315 Park Associates Llc /Doten Construction

Date of Issue 05/21/2004

This is to certify that the building, premises, or part thereof, at the above location, built ~~—~~ altered ~~—~~ changed as to use under Building Permit No. 04-0023, **has** had final inspection, **has** been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

First Floor

Use Group B, Type 3b, Office/Warehouse, Boca 1999

Limiting Conditions:

None

This certificate supersedes certificate issued

Approved:

5/21/04 *Thomas W. Mulvey*
(Date) Inspector

[Signature]
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 315 Park Ave

CBL 066 F001001

Issued to 315 Park Associates Llc /Doten Construction

Date of Issue 04/26/2004

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 04-0023 , has had final inspection, has been found to conform substantially to requirements of **Zoning** Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Second Floor Only

APPROVED OCCUPANCY

Use Group B, Type 3b, Office/Warehouse, Boca 1999

Limiting Conditions:

None

This certificate supersedes certificate issued

Approved:

26 April 2004
(Date) *[Signature]*
Inspector

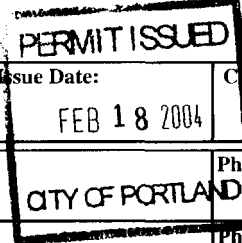
[Signature]
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0023	Issue Date: FEB 18 2004	CBL: 66 F001001
-----------------------	----------------------------	--------------------



Location of Construction: 315 Park Ave	Owner Name: 315 Park Associates Llc	Owner Address: 225 Commercial St	Phone: CITY OF PORTLAND
Business Name:	Contractor Name: Doten Construction	Contractor Address: 175 South Freeport Rd. Freeport	Phone: 2078659012
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: XXXX
Past Use: Office Warehouse	Proposed Use: Office/ Warehouse 10,000sf Tenant Fit-up	Permit Fee: \$3,171.00	Cost of Work: \$350,000.00
Proposed Project Description: Office/ Warehouse 10,000sf Tenant Fit-up		CEO District: 3	INSPECTION: Use Group D Type: SD
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	Signature: <i>[Signature]</i>
		Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
		Action <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
		Signature: _____ Date: _____	

Idobson	01/12/2004	Zoning Approval	
---------	------------	------------------------	--

<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan exemption Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> Date: <i>1/30/04</i>	Zoning Appeal <input type="checkbox"/> Variance <input checked="" type="checkbox"/> Miscellaneous Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
	<i>Separate permits are required for any new signage</i> <i>Site Plan form signed 12/18/03 - L.T.</i> <i>OK with conditions</i>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING DEPARTMENT PERMIT

Permit Number: 031468

Please Read Application And Notes, If Any, Attached

This is to certify that 315 Park Associates Llc / Do Constru
has permission to Tenant Fit-Up
AT 315 Park Ave 066 F001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is laid or closed-in. **HEAVY NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

[Signature]
Director - Building & Inspection Services
12/23/13

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-1468	Issue Date: 12/24/03	CBL: 066 F001001
-----------------------	-------------------------	---------------------

Location of Construction: 315 Park Ave	Owner Name: 315 Park Associates Llc	Owner Address: 225 Commercial St	Phone: 207-775-2325
Business Name: nta	Contractor Name: Doten Construction	Contractor Address: 175 South Freeport Rd. Freeport	(Phone) 2078659012
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Alterations - Commercial	Zone: B2
Past Use: Commercial ; Office / Warehouse	Proposed Use: Office / Warehouse; Tenant Fit-Up <i>Demo portion only</i>	Permit Fee: \$201.00	Cost of Work: \$20,000.00
Proposed Project Description: Tenant Fit-Up - <i>Demo portion only</i>		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>DEMO</i> Type: <i>12/24/03</i>
		Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
		Signature:	Date:

Permit Taken By: gg	Date Applied For: 11/26/2003	Zoning Approval		
1.	Special Zone or Reviews	Zoning Appeal	Historic Preservation	
2.	<input type="checkbox"/> Shoreland <i>separate permit required for</i>	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in District or Landmark	
3.	<input type="checkbox"/> Wetland <i>All New work</i>	<input checked="" type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review	
	<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review	
	<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved	
	<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions	
	Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied	
	Date: <i>12/19/03</i>	Date:	Date: <i>[Signature]</i>	

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-1468	Date Applied For: 11/26/2003	CBL: 066 F00I001
------------------------------	--	----------------------------

Location of Construction: 3 15 Park Ave	Owner Name: 3 15 Park Associates Llc	Owner Address: 225 Commercial St	Phone: 207-775-2325
Business Name: n/a	Contractor Name: Doten Construction	Contractor Address: 175 South Freeport Rd. Freeport	Phone: (207) 865-9012
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Demolitions	

Proposed Use: Office / Warehouse; Tenant Fit-Up	Proposed Project Description: Tenant Fit-Up
---	---



Commercial Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 315 PARK AVENUE		
Total Square Footage of Proposed Structure BUILDING RENOVATION 10, FT²	Square Footage of Lot 26,100 FT²	
Tax Assessor's Chart, Block & Lot Chart# 66 Block# F Lot# 001	Owner: 315 Park Ave Associates	Telephone: 775-2325
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: 315 Park Ave Associates 202 U.S. Rte 1 Fairmont, ME 04105	Cost Of DEMOLITION ONLY Work: \$ 20,000 20,000. Fee: \$ 201.00
Current Specific use: RETAIL , OFFICE SPACE, WAREHOUSE SPACE		
Proposed Specific use: OFFICE SPACE, WAREHOUSE SPACE		
Project description: - INTERIOR BUILDING RENOVATIONS TO MEET TENANT FIT-UP AND BUILDING CODE REQUIREMENTS - EXTERIOR GRADING RENOVATIONS TO MEET ACCESSIBILITY REQUIREMENTS		
Contractor's name, address & telephone: DOTEN CONSTRUCTION cell 233-9003 , office 865-4412		
Who should we contact when the permit is ready: STEVE DOTEN		
Mailing address: 175 SOUTH FREEPORT RD FREEPORT, ME 04032		
Phone: 865-4412		

Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

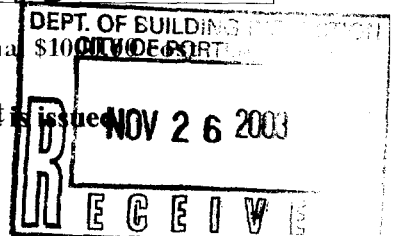
At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit

Signature of applicant:	Date: 11/26/03
-------------------------	-----------------------

Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00

This is not a Permit; you may not commence any work until the Permit is issued





Commercial Building Permit Application Checklist

All of the following information is required and must be submitted in order to help insure an expeditious permitting process.

A Complete Set of construction drawings must include:

Note: Construction documents for construction in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- Cross sections w/framing details
- Detail of any new walls or permanent partitions
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and damp proofing (if applicable)
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (*air* handling) or ~~other~~ types of work that may require special review must be included.

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the new or existing structure(s), a plot plan is required and must include:

- The shape and dimension of the lot, footprint of the proposed structure and the distance from the actual property lines drawn to scale. Structures include decks, porches; a bow windows cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown.
- Boundary survey to scale showing North arrow; zoning district and setbacks.
- First floor sill elevation (based on mean sea level datum)
- Location and dimensions of parking areas and driveways
- Location and size of both existing utilities in the street and the proposed utilities serving the building
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours
- Silt fence locations

Surveyor's monuments must be in place and the lot staked for a setback inspection.

Please submit all of the information outlined in this Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

City of Portland, Maine - Building or Use Permit
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-1468	Date Applied For: 11/26/2003	CBL: 066 F001001
------------------------------	--	----------------------------

Location of Construction: 3 15 Park Ave	Owner Name: 3 15 Park Associates Llc	Owner Address: 225 Commercial St	Phone: 207-775-2325
Business Name: n/a	Contractor Name: Doten Construction	Contractor Address: 175 South Freeport Rd. Freeport	Phone: (207) 865-9012
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Alterations - Commercial	

Proposed Use: Office / Warehouse; Tenant Fit-Up	Proposed Project Description: Tenant Fit-Up
---	---

Dept: Fire **Status:** Pending **Reviewer:** **Approval Date:**

Note: **Ok to Issue:**

34-0023

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Total Square Footage of ^{RENOVATED} Proposed Structure 10,104 SF		Square Footage of Lot 24,673 SF
Tax Assessor's Chart, Block & Lot Chart# Map 602 Block# F Lot# 1 1/2	Owner: 315 PARK AVE. ASSOCIATES LLC C/O T&E MANAGEMENT INC. 202 U.S. ROUTE ONE FALMOUTH, MAINE 04104	Telephone: 775-2329
Lessee/Buyer's Name (If Applicable) MAINE MEDICAL CENTER	Applicant name, address & telephone: MARK MUELLER ARCHITECTS 100 COMMERCIAL ST. SUITE 205 PORTLAND, ME.	cost Of Work: \$ 350,000.00 Fee: \$ 3,171.00
Current use: <u>OFFICE / WARE HOUSE</u> 0461		
If the location is currently vacant, what was prior use: <u>N/A</u>		
Approximately how long has it been vacant: <u>N/A</u>		
Proposed use: <u>OFFICE / WARE HOUSE</u>		
Project description: RENOVATE EXISTING BUILDING & CODE COMPLIANCE NEW BUILDING IS FOR		
Contractor's name, address & telephone: DOTEN GENERAL CONTRACTING 5 FREEDOM RD. FREEDOM, MAINE		
Who should we contact when the permit is ready: Mailing address: 202 U.S. ROUTE ONE MARK PRINGAU 671-9592 FALMOUTH, MAINE 04105		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and view the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 671-9592		

JAN 9 2004

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: *Mark Mueller* Date: JAN. 8, 04

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0023	Date Applied For: 01/12/2004	CBL: 066 F001001
------------------------------	--	----------------------------

Location of Construction: 3 15 Park Ave	Owner Name: 3 15 Park Associates Llc	Owner Address: 225 Commercial St	Phone:
Business Name:	Contractor Name: Doten Construction	Contractor Address: 175 South Freeport Rd. Freeport	Phone (207) 865-9012
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Office/ Warehouse: 10,000sf Tenant Fit-up	Proposed Project Description: Office/ Warehouse: 10,000sf Tenant Fit-up
---	---

2/9/2004-mjn: questions:

- 1) What are the tread dimensions for stairway "A"?
- 2) For the window in this stairway, if there is not safety glazing, there should be a guard that complies with Section 1021. of the Code. Can you commit to what we will be likely to see?
- 3) The engineer maks reference to the 1996BOCA Code in her general notes, can this be corrected (1999)?
- 4) The engineer has general language about Special Inspections for bolts, weld etc and I don't see this type of construction in the plans, are these just standard notes?
- 5) Who is doing th HVAC Design and I assume that someone will be applying for a separate permit for this?

From: "mark mueller" <mm.arch@rcn.com>
To: "Mike Nugent" <mjn@ci.portland.me.us>
Date: Tue, Feb 10, 2004 11:46 AM
Subject: 315 Park Ave.

Mike, the following are responses to your questions from yesterday's e-mail:

- 1) Tread depth for stair "A" shall be 11" w/ a 1" back cut.
Risers shall be 6 11/16".
See plan and section detail on sheet A3.
- 2) The window in question is existing and the bottom of window is approx. 72" above the new landing height.
Given this additional height we plan on just leaving the existing window intact.
- 3) Yes, all work has been designed to meet standards of 1999 BOCA. I will have the structural engineer forward you a letter regarding this matter.
- 4) Yes, all new work is wood frame and therefore special inspections will not be provided.
- 5) Maine Medical Center has recommended that Doten Construction hire Dan Libby (South Portland) as the HVAC designer and contractor. He will be responsible for obtaining his own permit through your office.

PS, I will be out of town tomorrow and for the rest of the week... given the urgency to obtain this permit could you be in touch today should you have additional questions.

Regards,

Mark

CC: "Bill Hunscher" <hci@maine.rr.com>, "Mark Primeau"...

From: Mike Nugent
To: internet:mm.arch@rcn.com
Date: Mon, Feb 9, 2004 10:20 AM
Subject: 315 Park Ave

I've reviewed the plans for the above and have the following questions:

- 1) What are the tread dimensions for stairway "A"?
- 2) For the window in this stairway, if there is not safety glazing, there should be a guard that complies with Section 1021. of the Code. Can you commit to what we will be likely to see?
- 3) The engineer makes reference to the 1996 BOCA Code in her general notes, can this be corrected (1999)?
- 4) The engineer has general language about Special Inspections for bolts, weld etc and I don't see this type of construction in the plans, are these just standard notes?
- 5) Who is doing th HVAC Design and I assume that someone will be applying for a separate permit for this?

CC: John Lufkin

CASCO BAY ENGINEERING

90 Hodsdon Road, Pownal, ME 04069

Tel/Fax 207.688.4630

February 13, 2004

City of Portland

Attn: Mike Nugent

389 Congress Street

Portland, ME 04101

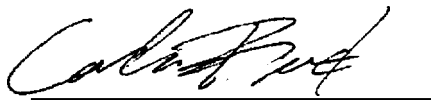
Re: 315 Park Avenue Renovaton
Portland, ME

Dear Mr. Nugent:

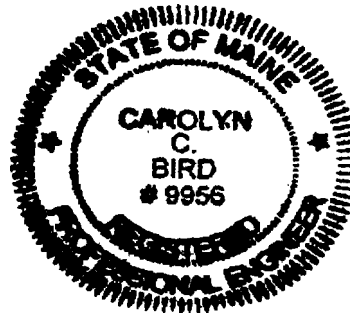
This letter is to confirm that the structural building renovations issued by Casco Bay Engineering for 315 Park Avenue Building were, in fact, designed in accordance with the BOCA 1999 and not the BOCA 1996 as noted on the contract drawings. We apologize for the inconvenience.

Please contact me if you have any additional questions or concerns.

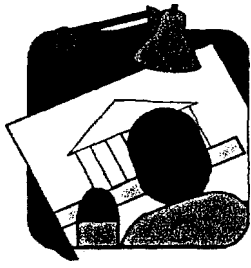
Sincerely,



Carolyn C. Bird, P.E.
Vice President
Casco Bay Engineering



66 F 1



DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

JAN 9 2004

CITY OF PORTLAND MAINE
389 Congress St., Rm 315
Portland, ME 04101
Tel. - 207-874-8704
Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

FROM DESIGNER: MARK MUELLER ARCHITECTS

DATE: JAN. 8, 2004

Job Name: 315 PARK AVENUE

Address of Construction: 315 PARK AVENUE

THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below:

Building Code and Year BOCA '99 Use Group Classification(s) B

Type of Construction 3 1/2 Bldg. Height Bldg. Sq. Footage 10,104 SF

~~EXISTING BUILDING~~ Seismic Zone N/A Group Class N/A

Roof Snow Load Per Sq. Ft. N/A Dead Load Per Sq. Ft. N/A

Basic Wind Speed (mph) N/A Effective Velocity Pressure Per Sq. Ft. N/A

Floor Live Load Per Sq. Ft. OFFICE 50 psf lobby 100 psf Corridor 80 psf

Structure has full sprinkler system? Yes No Alarm System? Yes No

Sprinkler & Alarm systems must be installed according to BOCA and NFFA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building: Yes No

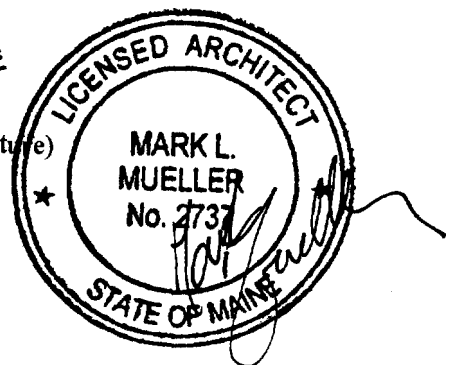
If mixed use, what subsection of 3 13 is being considered

List Occupant loading for each room or space, designed into this Project.

BUSINESS 10,104 SF / 100 SF/PERSON = 101 PEOPLE

(Designers Stamp & Signature)

PSH 6/07/2K





JAN 9 2004

City of Portland, Maine

389 Congress St., Rm 315
Portland, ME 04101

ACCESSIBILITY CERTIFICATE

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Services

FROM: MARK MUELLER ARCHITECTS

RE: Certificate of Design, HANDICAP ACCESSIBILITY

DATE: JAN. 8, 2004

These plans and/or specifications covering construction work on:

BUILDING RENOVATIONS @ : 315 PARK AVENUE

Have been designed and drawn up by the undersigned, a Maine registered engineer/architect according to State Regulations as adopted by the State of Maine on Handicapped Accessibility.

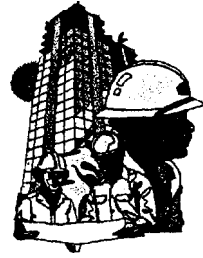
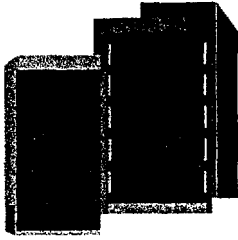
(SEAL)

Signature *Paul Smith*

Title OWNER / ARCHITECT

Firm MARK MUELLER ARCHITECTS

Address 100 COMMERCIAL ST.
SUITE 205
PORTLAND, ME.
04101



**CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Rm 315
Portland, ME 04101**

JAN _ 9 2000

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: MARK MUELLER ARCHITECTS

RE: Certificate of Design

DATE: JAN 8, 2004

These plans and/or specifications covering construction work on:

BUILDING RENOVATIONS @: 315 PARK AVENUE

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the **BOCA National Building Code/1999 Fourteenth Edition**, and local amendments.

(SEAL)

Signature *John Muller*

Title OWNER / ARCHITECT

Firm MARK MUELLER ARCHITECTS

Address 100 COMMERCIAL ST.
SUITE 205
PORTLAND, MAINE
04101

As per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

03/02/04 - checked footings for new area near garage.
OK - No set back issues - checked Framing interior -
Stairs OK - railings need to be higher (at 35 studs) - checked
new plumbing - OK - OK to close-in (Electrical)
Jim M

03/05/04 - Did Foundation inspection - no
problems seen - weather proofing / studs / sand / tiles OK -
OK to Backfill. Jim M

3/11/04 - D.D Framing + Plumbing for rest of rehab. No
problems seen. Mike Collins finished electrical inspection.
left a card ordering close in w/ Foreman. Tom M

4/23/04 - Did Final for 2nd Floor for Coy D - w/ Mike
Collins - both say OK - no problems seen. CTMAAC
(F.D.) left message he was OK for 2nd Floor Coy D.

5/7/04 - checked plumbing / framing new section in Jan Ni
near Mike C OK electrical - no problems seen - OK to close in
Jim M

PLUMBING APPLICATION

PROPERTY ADDRESS

Town or Plantation	Portland
Street	215 PARK AV
Subdivision Lot #	
PROPERTY OWNERS NAME	
215 Park Ave	
Last:	First:
Applicant Name:	Catherine Shannon
Mailing Address of Owner/Applicant (If Different)	25 DRINKI ST Portland ME 04103

2004-001

Date Permit Issued: 3/2/04

Local Plumbing Inspector Signature: *Markland WJ*

FEE Charged: \$ 814.00 If Double Fee

L.P.I. # 1608

066 F 001

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.

Catherine Shannon 3/2/04
Signature of Owner/Applicant Date

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature

Date Approved

PERMIT INFORMATION

This Application is for	Type of Structure To Be Served:	Plumbing To Be Installed By:
1. <input type="checkbox"/> NEW PLUMBING	1. <input type="checkbox"/> SINGLE FAMILY DWELLING	1. <input checked="" type="checkbox"/> MASTER PLUMBER
2. <input checked="" type="checkbox"/> RELOCATED PLUMBING	2. <input type="checkbox"/> MODULAR OR MOBILE HOME	2. <input type="checkbox"/> OIL BURNERMAN
	3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING	3. <input type="checkbox"/> MFG'D. HOUSING DEALER
	4. <input checked="" type="checkbox"/> OTHER - SPECIFY <i>Relocation</i>	4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE
		<input type="checkbox"/> PROPERTY OWNER
		LICENSE # <i>115-40194</i>

Hook-Up & Piping Relocation	Column 2	Number	Type of Fixture	Column 1	Type of Fixture
<p>Maximum of 1 Hook-Up</p> <p>HOOK-UP to public sewer in those cases where the connection is not required and inspected by the local Sanitary District</p>			Hosebibb / Sillcock		Bathtub (and Shower)
			Floor Drain		Shower (Separate)
<p>OR</p> <p>HOOK-UP: to an existing subsurface waste water disposal system.</p> <p>RELOC</p>			Urinal	15	SINK
			Drinking Fountain		Wash Basin
<p>PIPING: of sanitary lines, drains, and piping without new fixtures.</p>		2	Indirect Waste	15	Water Closet (Toilet)
			Water Treatment Softener Filter etc.		Clothes Washer
<p>OR</p> <p>TRANSFER FEE (\$6.00)</p>			Grease / Oil Separator		DISH WASHER
			Dental Cuspidor		Garbage Disposal
			Bidet		Laundry Tub
			Other: _____		Water Heater
			Fixtures (Subtotal) Column 2	11	Fixtures (Subtotal) Column 1
				12	Fixtures (Subtotal) Column 2
				13	Total Fixtures
					Fixture Fee
					Transfer Fee
					Hook-Up & Relocation Fee
					Permit Fee

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

02 500