## GENERAL NOTES

SCALE: NTS

UNDERGROUND UTILITIES ARE SHOWN FROM EITHER FIELD LOCATING OR FROM RECORD DATA. THE EXACT LOCATION OF UTILITIES MAY DIFFER FROM WHAT IS SHOWN. OTHER UNDERGROUND UTILITIES MAY NOT BE SHOWN AND LOCATION. CONTRACTOR SHALL CONTACT DIG SAFE FOR FIELD VERIFICATION OF ALL UNDERGROUN UTILITIES BEFORE CONSTRUCTION.

NOTIFY THE ENGINEER IF ANY CONDITIONS VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT DEVIATE FROM THE PLANS WITHOUT WRITTEN APPROVAL FROM THE ENGINEER.

THE CONTRACTOR SHALL TAKE GREAT CARE WHEN WORKING ADJACENT TO OR WITHIN ANY PUBLIC OR PRIVATE WAY. THE CONTRACTOR SHALL REPLACE MATERIALS IN KIND WITHIN DISTURBED AREAS.

THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND STRUCTURES AND PARKING AREAS SHOWN ON THE PLANS.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL AREAS NOT DESIGNATED FOR DISTURBANCE OR CONSTRUCTION.

THE CONTRACTOR SHALL COORDINATE ALL NEW UTILITY INSTALLATION WORK WITH THE APPROPRIATE UTILITY COMPANY BEFORE CONSTRUCTION BEGINS.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL FIELD LAYOUT WORK.

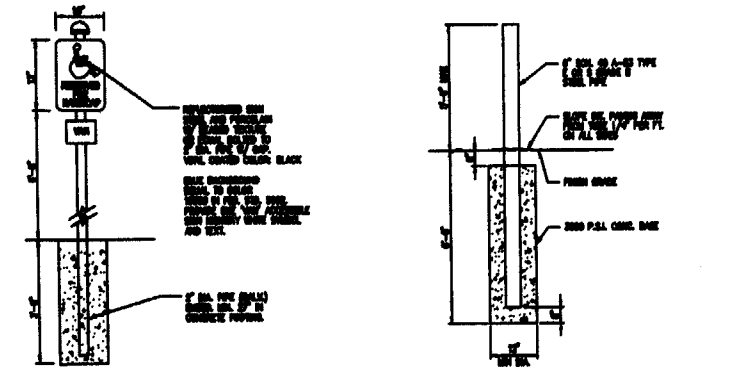
## LEGEND

SCALE: NTS

| EXISTING FEATURES | LABEL | PROPOSED FEATURES |
|---|---|---|
| ○ | IRON PIN | ● |
| — — — — | PROPERTY LINE | — — — — |
| x 170 | SPOT GRADE | x 170 |
| 170 | CONTOUR | —170— |
| ◇ | UTILITY POLE | —W— |
| — —OHE— — | ELECTRICAL LINE | —OHE— |
| — — —W— — | WATER LINE | —W— |
| — — —S— — | SEWER LINE | —S— |
| — — —SD— — | STORM DRAIN LINE | —SD— |
| | CATCH BASIN | ■ |
| | FENCE | —o—o— |

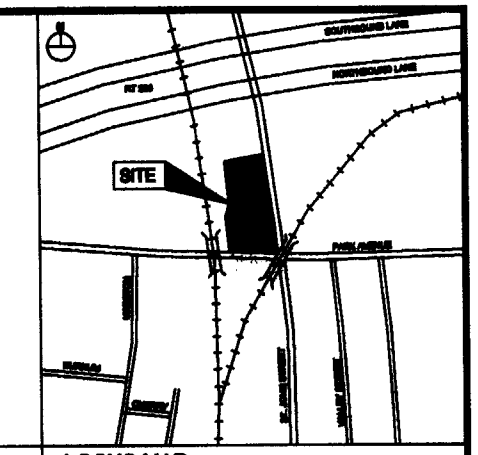
## HANDICAPPED SIGN DETAILS

SCALE: NTS

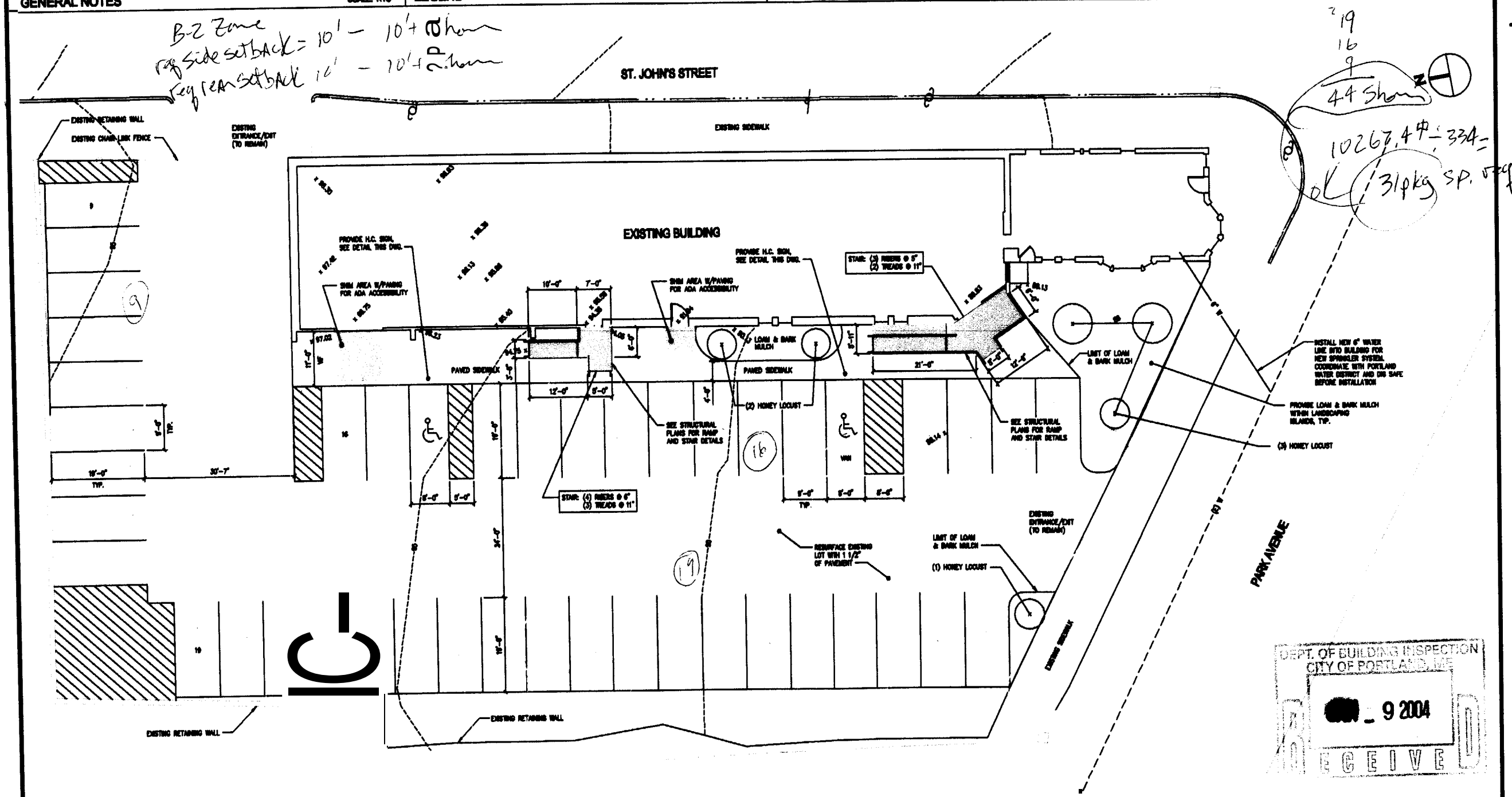


## LOCUS MAP

SCALE: NTS




B-2 Zone
req side setback = 10' – 10'+ shown
req rear setback 10' – 10'+ shown




DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
[redacted] _ 9 2004
RECEIVED

## PARKING LAYOUT PLAN

SCALE: 1"=10'-0"

CASCO BAY ENGINEERING
90 Mackworth Road
Pownal, ME 04069
Tel/Fax 207.688.4650

CLIENT:
TURNER BARKER REALTY
208 US ROUTE ONE
FALMOUTH, ME 04105

315 PARK AVENUE RENOVATION
PORTLAND MAINE

MAINE MEDICAL CENTER TENANT FIT-UP

| REVISIONS | | | |
|---|---|---|---|
| No. | DATE | ISSUE | |
| 0 | 1-12-04 | ISSUE FOR CONSTRUCTION | |
| No. | DATE | ISSUE | |

SHEET TITLE:
PARKING LAYOUT PLAN

| | |
|---|---|
| DESIGNED: | ED |
| DRAWN: | ED |
| DATE: | 11-12-03 |
| CADD FILE: | 3CH-CLDWG |
| PROJECT NUMBER: | 3CH |

C1

100 of 99

## GENERAL NOTES:

1. BUILDING SHALL BE RETROFITTED W/ A STATE OF MAINE APPROVED NFPA 13 SPRINKLER SYSTEM. PERMITTING SHALL BE THE RESPONSIBILITY OF THE SPRINKLER SYSTEM CONTRACTOR.

2. CONSTRUCTION AND CONSTRUCTION METHODS ARE TO BE IN ACCORDANCE WITH 1996 BOCA, MAINE PLUMBING CODE, NFPA 101 & NATIONAL ELECTRIC CODE & GOVERNMENT AGENCIES.

3. THE CONTRACTORS SHALL VISIT THE SITE AND BECOME COMPLETELY FAMILIAR WITH ALL EXISTING CONDITIONS IN THE AREAS OF CONSTRUCTION PRIOR TO STARTING WORK.

4. CHANGES OR DEVIATIONS FROM THE PLANS MADE WITHOUT THE CONSENT OF THE ARCHITECT AND OWNER ARE UNAUTHORIZED, AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARRIVING OUT OF SUCH CHANGES.

5. ALL SITE, MECHANICAL, AND UTILITY DEMOLITION ARE BY OTHERS.

6. THE GENERAL CONTRACTOR SHALL COORDINATE ALL ELECTRICAL OUTLETS & SPECIAL ELECTRICAL REQUIREMENTS (VOICE, DATA, & SECURITY LOCATIONS) WITH TENANTS PRIOR TO WORK.

7. THE ELECTRICAL CONTRACTOR SHALL PROVIDE THE GENERAL CONTRACTOR WITH ELECTRICAL LOAD CALCULATIONS FOR THE PROPOSED BUILDING RENOVATIONS. THESE CALCULATIONS SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR. SCHEMATIC DIAGRAMS OF THE MAIN POWER SUPPLY LINES TO REMOTE CIRCUIT PANELS SHALL BE MADE A PART OF THE REQUIREMENTS.

8. DIMENSIONS FOR NEW CONSTRUCTION ARE ROUGH-IN (U.N.O. NOTED OTHERWISE).

9. DO NOT SCALE DRAWINGS WITHOUT NOTIFYING THE ARCHITECT.

10. VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT WITH MANUFACTURER.

11. CONTRACTOR SHALL PROVIDE ADEQUATE BLOCKING IN WALLS TO RECEIVE ALL ATTACHED EQUIPMENT, PLUMBING FIXTURES, MILLWORK, CABINETRY, ETC.

12. INSTALL ALL MATERIALS AND COMPONENTS IN NEW CONDITION (UNLESS NOTED OTHERWISE) PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS FOR FULL WARRANTY.

13. PROVIDE SEALANT AROUND ALL PLUMBING FIXTURES, PIPING AND EQUIPMENT ABUTTING OR PENETRATING A WALL OR PARTITION. INSTALL PIPE COLLARS @ PIPE RATED WALLS.

14. NO PROPANE/NATURAL GAS LINES, DOMESTIC OR SPRINKLER SYSTEM WATER SUPPLY LINES ARE TO BE PLACED UNDER CONCRETE SLAB. COORDINATE LOCATION OF SUCH UTILITIES WITH THE GENERAL CONTRACTOR.

15. ALL WORK SHALL CONFORM TO THE REGULATIONS AND ORDINANCES OF THE CITY OF PORTLAND, MAINE, AND ALL OTHER REGULATORY AGENCIES HAVING JURISDICTION.

16. PROVIDE INSULATION AS NOTED ON THE DRAWINGS.

17. ALL EXTERIOR DOORS LEADING TO UNHEATED SPACES ABOVE GRADE TO BE WEATHER STRIPPED.

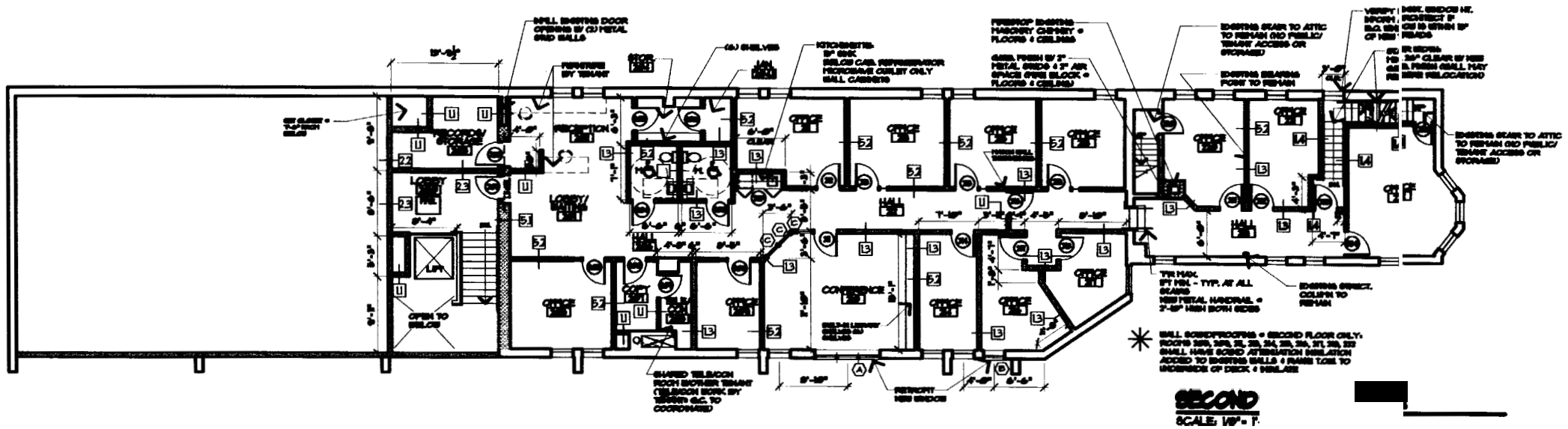
18. PROVIDE TEMPERED GLASS AT HAZARDOUS LOCATIONS, INCLUDING DOORS, WINDOWS, AND ANY OTHER LOCATIONS AS REQUIRED BY APPLICABLE REGULATORY AGENCIES.

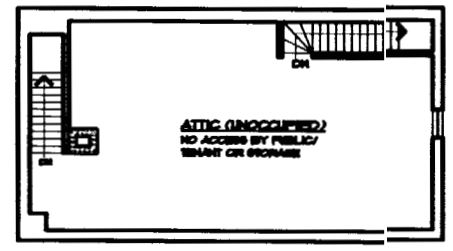
19. STAIRS TO COMPLY WITH BOCA 1996 STANDARDS AND REQUIREMENTS.

20. INSTALL CONTINUOUS PERFORATED DRAINAGE PIPE AT BOTTOM OF PERIMETER FOOTINGS, CONNECT TO EXISTING IF APPROPRIATE (OR DRAIN TO DAYLIGHT).

21. SLOPE GRADE AWAY FROM STRUCTURE MINIMUM OF 1/4" PER FOOT.

22. PROVIDE MOISTURE RESISTANCE GWB AT ANY WET WALL. (i.e. KITCHEN AREA).



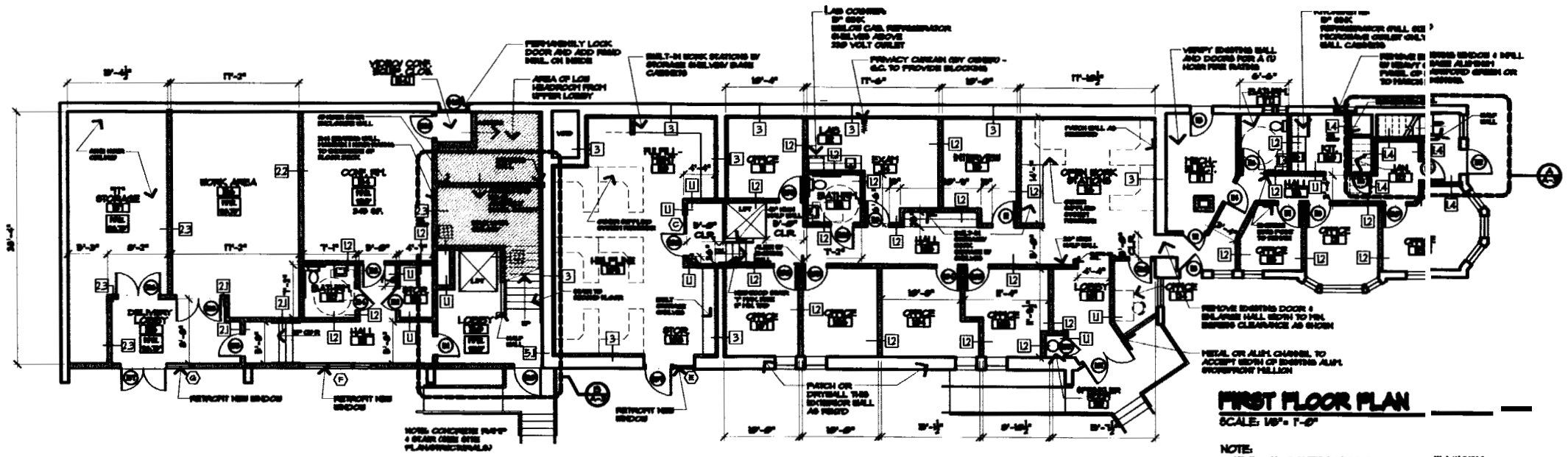




LEGEND:

- EXISTING WALL TO REMAIN
- PROPOSED NEW WALL
- EXISTING CMU WALL
- RATED 1 HR. FIRE WALL

## ATTIC PLAN

SCALE: 1/8" = 1'-0"




## FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

NOTE:
GENERAL CONTRACTOR TO VERIFY ALL WORK REQUIREMENTS W/ TENANTS


MARK MUELLER ARCHITECTS
A.I.A.
100 Commercial Street
Suite 205
Portland, Maine 04101
Phone/Fax 207.774.9057
Email: mm.arch@rcn.com


© COPYRIGHT MARK MUELLER ARCHITECTS

RENOVATION OF:
315 PARK AVENUE BUILDING
PORTLAND, MAINE

| REVISIONS | DATE |
|---|---|
| | Jan 08, 2004 |

PROJECT: 315 PARK AVE
DRAWN BY: MRP
CHECK BY: MLM

A-1

# DOOR SCHEDULE

**DOOR SCHEDULE ABBREVIATIONS**

| | | | | | |
|---|---|---|---|---|---|
| EXT | EXTERIOR | MAG. | MAGNETIC | FR | FAIR |
| FR | FIRE RATED | MC | MINERAL CORE | SC | SOLID CORE |
| DR | DOOR | MIN | MINUTE | S. LTS. | SIDELITES |
| HC | HOLLOW CORE | MLD | MOLDED CORE | TEMP | TEMPERED |
| HM | HOLLOW METAL | MTL | METAL | THK | THICKNESS |
| INS | INSULATED | N.I.C. | NOT IN CONTRACT | WD | WOOD |
| L.L. | LEAD LINED | NO | NUMBER | WG | WIRE GLASS |

| DOORS | | | | | | FRAMES | | | | | THRESHOLD | | | |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| NO. | TYPE | SIZE | THK. | FR. | MAT. | TYPE | MAT. | FR. | DETAILS HEAD JAMB | | MAT. | DETAIL SILL INT. | DETAIL SILL EXT. | REMARKS |
| 1ST FLOOR | | | | | | | | | | | | | | |
| 101 | - | EXIST. TO REMAIN | - | - | - | - | - | - | - | - | - | - | - | - |
| 102 | B | 2'-6" X 6'-8" | 1 3/4" | - | WD | HM | - | - | - | - | - | - | - | - |
| 103 | B | 3'-0" X 6'-8" | 1 3/4" | - | WD | HM | - | - | - | - | - | - | - | - |
| 104 | B | 3'-0" X 6'-8" | 1 3/4" | - | WD | HM | - | - | - | - | - | - | - | - |
| 105 | - | EXIST. TO REMAIN | - | - | - | - | - | - | - | - | - | - | - | - |
| 106 | B | 3'-0" X 6'-8" | 1 3/4" | - | WD | HM | - | - | - | - | - | - | - | - |
| 107 | E | 3'-0" X 6'-8" | 1 3/4" | - | HM | HM | - | - | - | - | - | - | - | - |
| 108 | D | 3'-0" X 6'-8" | 1 3/4" | - | WD | HM | - | - | - | - | - | - | - | - |
| 109 | B | 3'-0" X 6'-8" | 1 3/4" | - | WD | HM | - | - | - | - | - | - | - | - |
| 110 | B | 3'-0" X 6'-8" | 1 3/4" | - | WD | HM | - | - | - | - | - | - | - | - |
| 110.1 | B | 3'-0" X 6'-8" | 1 3/4" | - | WD | HM | - | - | - | - | - | - | - | PRIVACY, CLOSER |
| 111 | B | 3'-0" X 6'-8" | 1 3/4" | - | WD | HM | - | - | - | - | - | - | - | - |
| 112 | - | EXIST. TO REMAIN | - | - | - | - | - | - | - | - | - | - | - | - |
| 113 | - | EXIST. TO REMAIN | - | - | - | - | - | - | - | - | - | - | - | - |
| 114 | - | EXIST. TO REMAIN | - | - | - | - | - | - | - | - | - | - | - | - |
| 115 | - | EXIST. TO REMAIN | | | | | - | - | - | - | - | - | - | - |
| 116 | B | 3'-0" X 6'-8" | 1 3/4" | - | WD | HM | - | - | - | - | - | - | - | PRIVACY, CLOSER |
| 117 | B | 3'-0" X 6'-8" | 1 3/4" | - | WD | HM | - | - | - | - | - | - | - | - |
| 118 | B | 3'-0" X 6'-8" | 1 3/4" | - | WD | HM | - | - | - | - | - | - | - | - |
| 119 | B | 2'-6" X 6'-8" | 1 3/4" | 1 HR. | WD | HM | - | 1 HR. | - | - | - | - | - | CLOSER |
| 119.1 | B | 3'-0" X 6'-8" | 1 3/4" | - | WD | HM | - | - | - | - | - | - | - | - |
| 121 | A | 3'-0" X 6'-8" | 1 3/4" | 1 HR. | WD | HM | - | 1 HR. | - | - | - | - | - | CLOSER, WIRE GLASS, LEVER HANDLE |
| 122 | - | EXIST. TO REMAIN | - | - | - | - | - | - | - | - | - | - | - | - |
| 123 | B | 3'-0" X 6'-8" | 1 3/4" | - | HM | HM | - | - | - | - | - | - | - | - |
| | | | | | | | - | - | - | - | - | - | - | - |
| 124 | E | 3'-0" X 6'-8" | 1 3/4" | - | HM | HM | - | - | - | - | - | - | - | CLOSER, EXIT DEVICE |
| 131 | A | 3'-0" X 6'-8" | 1 3/4" | 1 HR. | WD | HM | - | 1 HR. | - | - | - | - | - | WIRE GLASS, CLOSER, EXIT DEVICE |
| 132 | B | 3'-0" X 6'-8" | 1 3/4" | - | WD | HM | - | - | - | - | - | - | - | - |
| 133 | B | 3'-0" X 6'-8" | 1 3/4" | - | WD | HM | - | - | - | - | - | - | - | CLOSER, PUSH/ PULL |
| 133.1 | B | 3'-0" X 6'-8" | 1 3/4" | - | WD | HM | - | - | - | - | - | - | - | - |
| 134 | B | 3'-0" X 6'-8" | 1 3/4" | - | WD | HM | - | - | - | - | - | - | - | PRIVACY, CLOSER |
| 135 | B | 3'-0" X 6'-8" | 1 3/4" | - | WD | HM | - | - | - | - | - | - | - | CLOSER |
| 136 | F | 6'-0" X 6'-8" | 1 3/4" | 1 HR. | HM | HM | - | 1 HR. | - | - | - | - | - | CLOSER, NO ASTRAGAL |
| 137 | E, SIM. | 6'-0" X 6'-8" | 1 3/4" | - | HM | HM | - | - | - | - | - | - | - | CLOSER, NO ASTRAGAL |
| 138 | D, SIM. | 6'-0" X 6'-8" | 1 3/4" | - | WD | HM | - | - | - | - | - | - | - | CLOSER, NO ASTRAGAL |
| 139 | - | NOT USED | - | - | - | - | - | - | - | - | - | - | - | - |
| 140 | B | 3'-0" X 6'-8" | 1 3/4" | - | HM | HM | - | - | - | - | - | - | - | - |

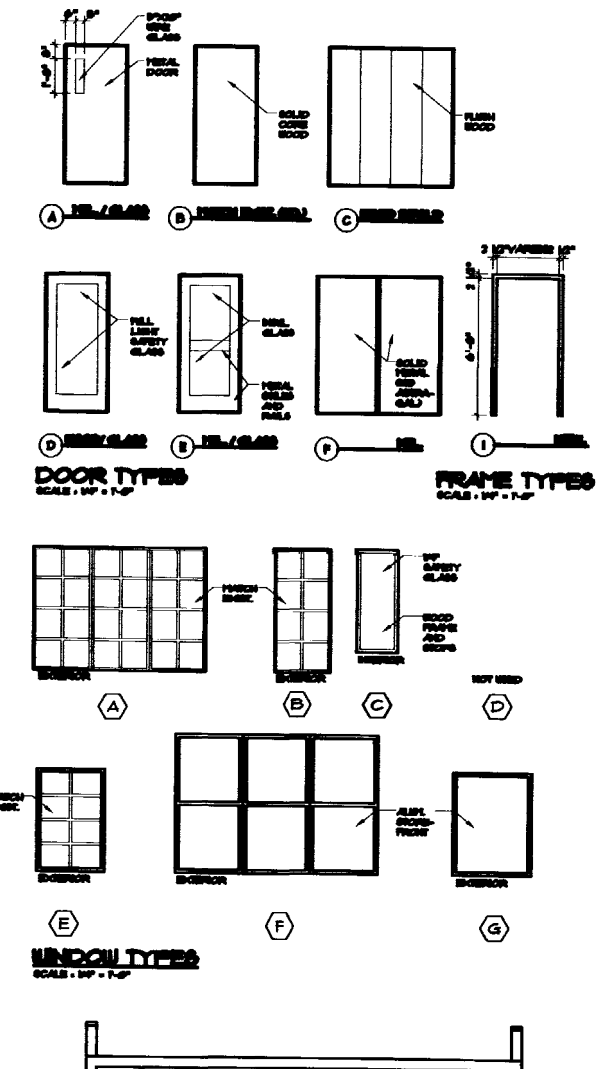
NOTE:
1. ALL NEW DOOR HARDWARE SHALL BE LEVER HANDLE & MEET REQUIREMENTS OF ANSI 101 (A.D.A.).
2. ALL EXISTING KNOB HARDWARE SHALL BE REPLACED W/ LEVER HANDLES.
3. VERIFY SECURITY DOOR CONTACTS AT EXISTING EXTERIOR DOORS.
4. EXISTING & NEW DOORS TO BE RE-KEYED TO REQUIREMENTS OF TENANT

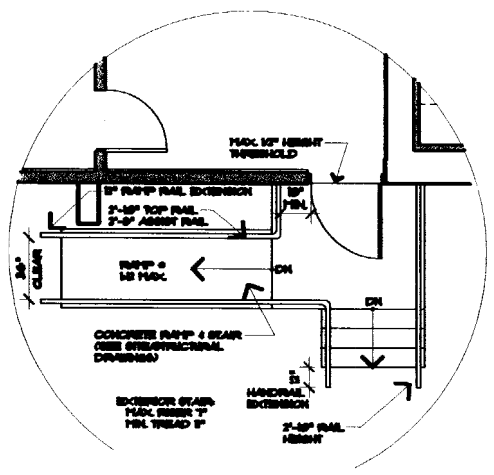

# DOOR SCHEDULE

**DOOR SCHEDULE ABBREVIATIONS**

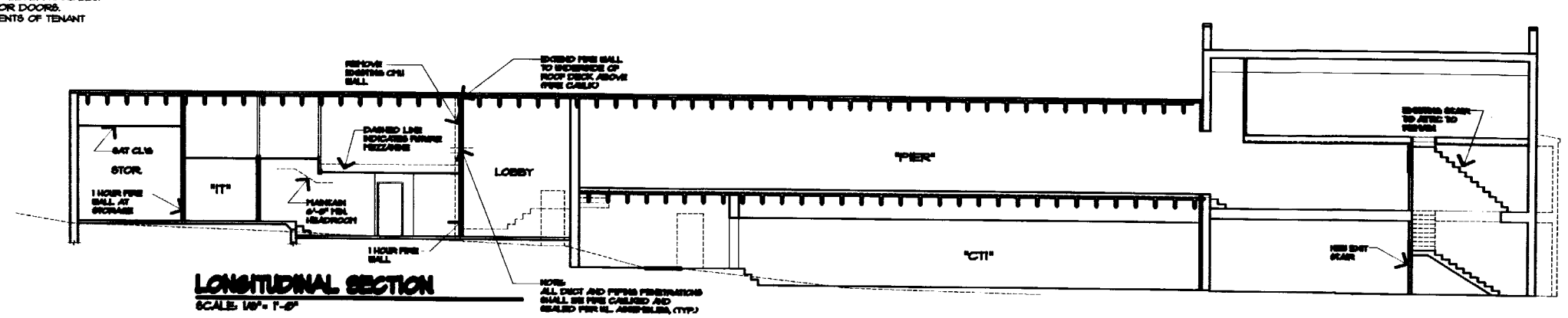
| | | | | | |
|---|---|---|---|---|---|
| EXT | EXTERIOR | MAG. | MAGNETIC | FR | FAIR |
| FR | FIRE RATED | MC | MINERAL CORE | SC | SOLID CORE |
| DR | DOOR | MIN | MINUTE | S. LTS. | SIDELITES |
| HC | HOLLOW CORE | MLD | MOLDED CORE | TEMP | TEMPERED |
| HM | HOLLOW METAL | MTL | METAL | THK | THICKNESS |
| INS | INSULATED | N.I.C. | NOT IN CONTRACT | WD | WOOD |
| L.L. | LEAD LINED | NO | NUMBER | WG | WIRE GLASS |


| DOORS | | | | | | FRAMES | | | | | THRESHOLD | | | |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| NO. | TYPE | SIZE | THK. | FR. | MAT. | TYPE | MAT. | FR. | DETAILS HEAD JAMB | | MAT. | DETAIL SILL INT. | DETAIL SILL EXT. | REMARKS |
| 2ND FLOOR | | | | | | | | | | | | | | |
| 201 | A | 3'-0" X 6'-8" | 1 3/4" | 1 HR. | WD | HM | - | 1 HR. | - | - | - | - | - | CLOSER, WIRE GLASS, LEVER HANDLE |
| 202 | B | 3'-0" X 6'-8" | 1 3/4" | - | WD. | HM | - | - | - | - | - | - | - | - |
| 203.1 | B | 3'-0" X 6'-8" | 1 3/4" | - | WD. | HM | - | - | - | - | - | - | - | - |
| 203 | - | EXIST. TO REMAIN | - | - | - | - | - | - | - | - | - | - | - | - |
| 204 | B | 3'-0" X 6'-8" | 1 3/4" | - | WD. | HM | - | - | - | - | - | - | - | PRIVACY, CLOSER |
| 205 | B | EXIST. TO REMAIN | - | - | - | - | - | - | - | - | - | - | - | - |
| 206 | B | 3'-0" X 6'-8" | 1 3/4" | - | WD. | HM | - | - | - | - | - | - | - | - |
| 207 | B | 3'-0" X 6'-8" | 1 3/4" | - | WD. | HM | - | - | - | - | - | - | - | - |
| 208 | B | 3'-0" X 6'-8" | 1 3/4" | - | WD. | HM | - | - | - | - | - | - | - | PRIVACY, CLOSER |
| 209 | - | EXIST. TO REMAIN | - | - | - | - | - | - | - | - | - | - | - | - |
| 210 | C | 6'-0" X 6'-8" | - | - | WD. | - | - | - | - | - | - | - | - | - |
| 211 | D | 3'-0" X 6'-8" | 1 3/4" | - | WD. | HM | - | - | - | - | - | - | - | - |
| 212 | B | EXIST. TO REMAIN | 1 3/4" | - | WD. | HM | - | - | - | - | - | - | - | RELOCATED FROM OFFICE 210 |
| 213 | - | EXIST. TO REMAIN | - | - | - | - | - | - | - | - | - | - | - | - |
| 214 | B | 3'-0" X 6'-8" | 1 3/4" | - | WD. | HM | - | - | - | - | - | - | - | - |
| 215 | B | EXIST. TO REMAIN | 1 3/4" | - | WD. | HM | - | - | - | - | - | - | - | RELOCATED FROM OFFICE 211 |
| 216 | B | 3'-0" X 6'-8" | 1 3/4" | - | WD. | HM | - | - | - | - | - | - | - | - |
| 217 | B | 3'-0" X 6'-8" | 1 3/4" | - | WD. | HM | - | - | - | - | - | - | - | - |
| 218 | B | 3'-0" X 6'-8" | 1 3/4" | - | WD. | HM | - | - | - | - | - | - | - | - |
| 219 | - | EXIST. TO REMAIN | - | - | - | - | - | - | - | - | - | - | - | - |
| 220 | - | EXIST. TO REMAIN | - | - | - | - | - | - | - | - | - | - | - | - |
| 221 | B | 3'-0" X 6'-8" | 1 3/4" | - | WD. | HM | - | - | - | - | - | - | - | - |
| 222 | B | 3'-0" X 6'-8" | 1 3/4" | - | WD. | HM | - | - | - | - | - | - | - | - |
| 223 | A | 3'-0" X 6'-8" | 1 3/4" | 1 HR. | WD. | HM | - | 1 HR. | - | - | - | - | - | CLOSER, WIRE GLASS, LEVER |
| 224 | B | 3'-0" X 6'-8" | 1 3/4" | - | WD. | HM | - | - | - | - | - | - | - | - |
| 225 | - | EXIST. TO REMAIN | - | - | - | - | - | - | - | - | - | - | - | - |

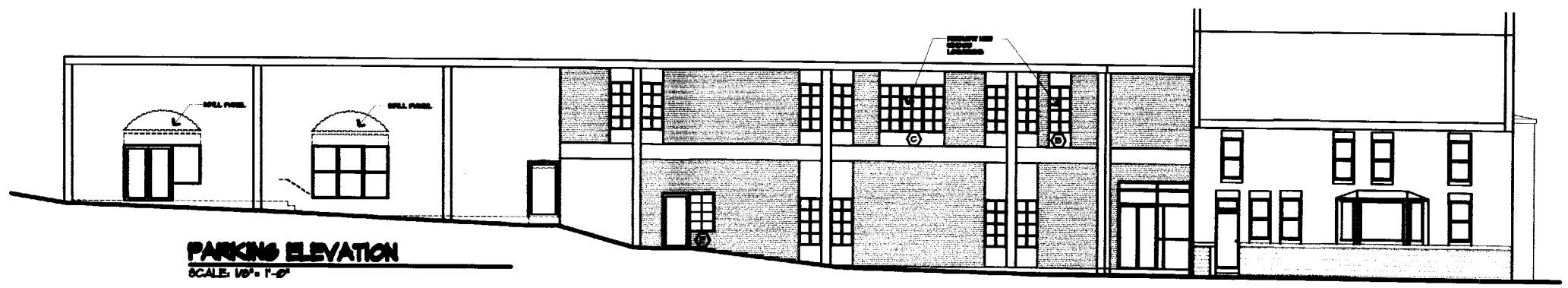



## REAR HANDICAP RAMP
SCALE: 1/8" = 1'-0"




## LONGITUDINAL SECTION
SCALE: 1/8" = 1'-0"




## PARKING ELEVATION
SCALE: 1/8" = 1'-0"


LICENSED ARCHITECT MARK L. MUELLER No. 5257 STATE OF MAINE

MARK MUELLER ARCHITECTS
A.I.A.
100 Commercial Street
Suite 205
Portland, Maine 04101
Phone/Fax: 207.774.9057
Email: mm.arch@rcn.com

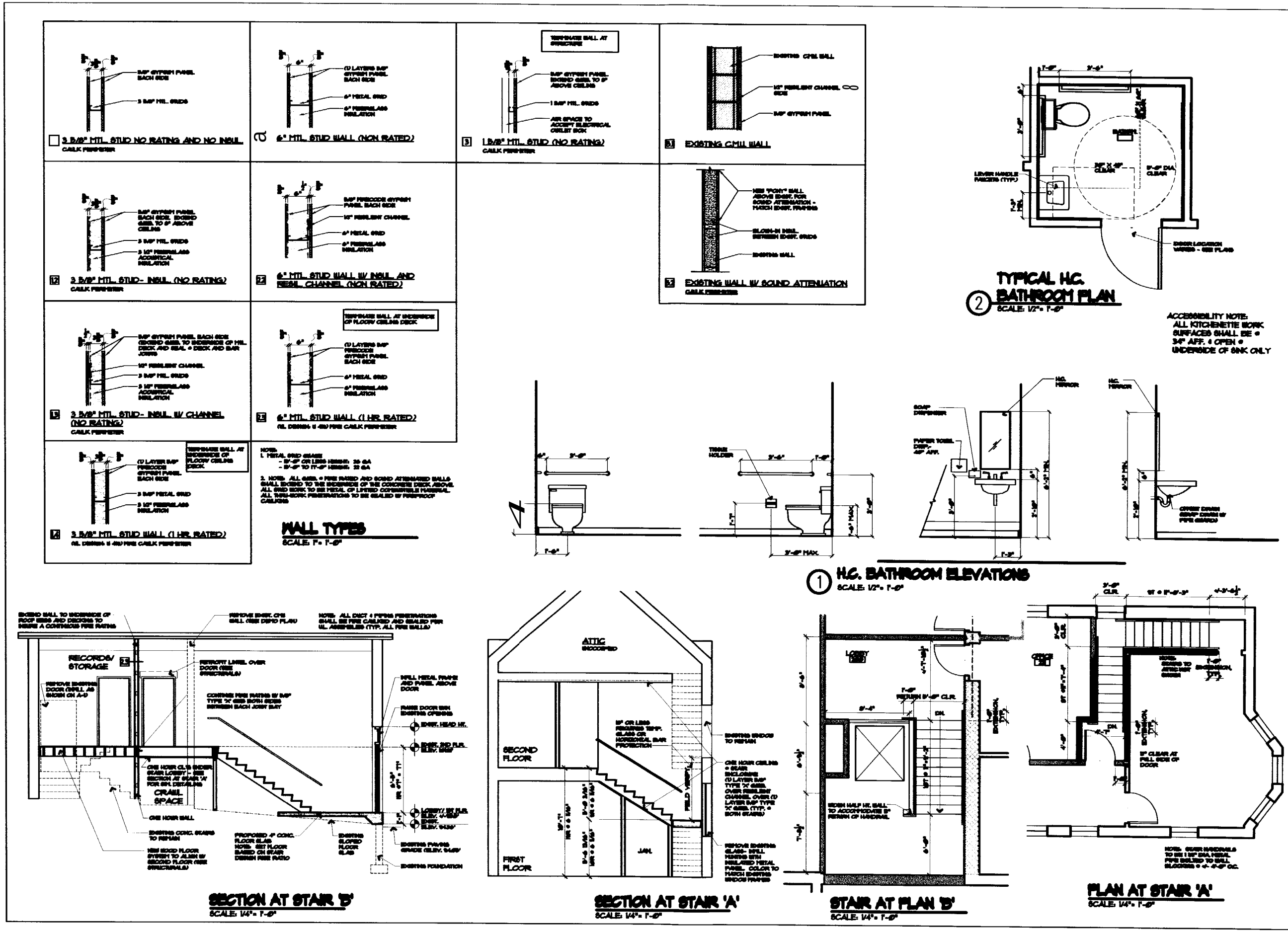

© COPYRIGHT MARK MUELLER ARCHITECTS

RENOVATION OF:
315 PARK AVENUE BUILDING
PORTLAND, MAINE

ELEVATIONS, SECTIONS & SCHEDULES

| REVISIONS | |
|---|---|
| DATE | |
| PROJECT | 315 PARK AVE |
| DRAWN BY | MRP |
| CHECK BY | MLM |

A-2




MARK MUELLER ARCHITECTS
A.I.A.
100 Commercial Street
Suite 205
Portland, Maine 04101
Phone/Fax 207.774.9057
Email: mm.arch@rcn.com

RENOVATION OF:
315 PARK AVENUE BUILDING
PORTLAND, MAINE

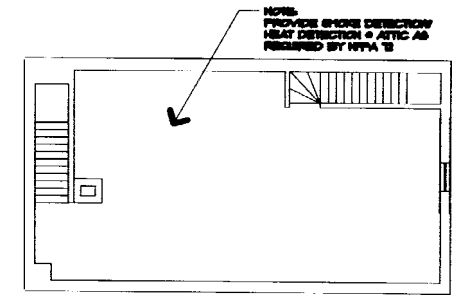
STAIRS/ DETAILS

| REVISIONS | |
|---|---|
| DATE | Jan 08, 2004 |
| PROJECT | 315 PARK AVE |
| DRAWN BY | MRP |
| CHECK BY | MLM |

A-3

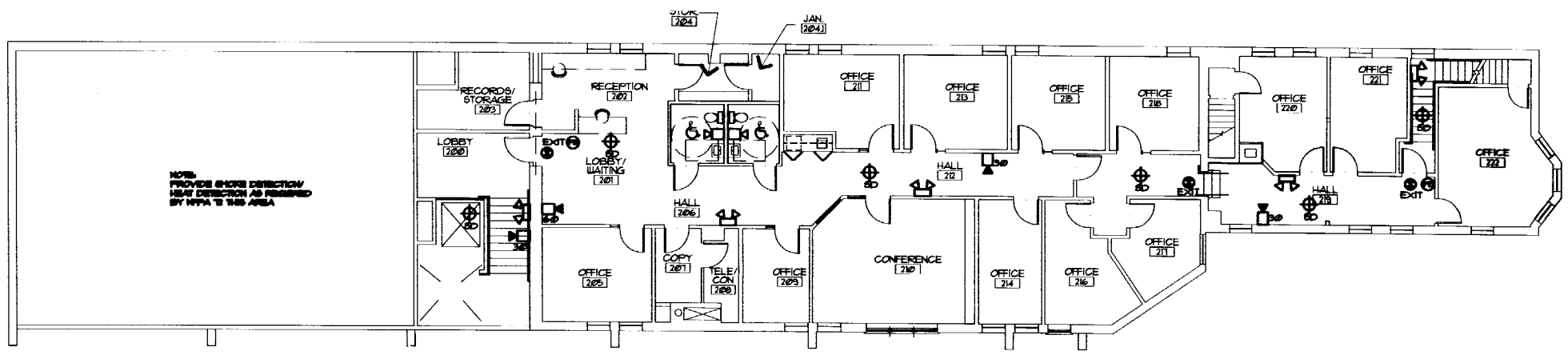
## LEGEND

| | |
|---|---|
| | EMERGENCY BACKUP LIGHT |
| | DATA/PHONE OUTLET |
| | VENT/LIGHT FIXTURE |
| EXIT | EXIT LIGHT |
| SD | SMOKE DETECTOR |
| HD | HEAT DETECTOR |
| | HORN/STROBE |
| | STROBE - 15 CANDELLAS + BATHROOMS |
| | FIRE EXTINGUISHER |
| | FIRE ALARM PULL STATION |



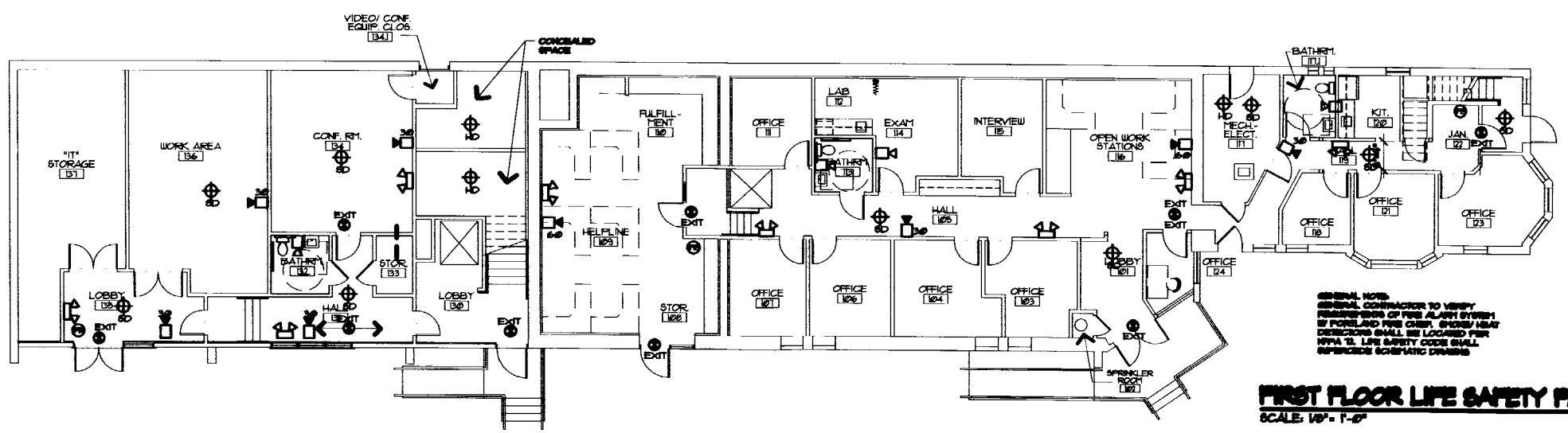

## THIRD FLOOR LIFE SAFETY PLAN

SCALE: 1/8" = 1'-0"




## SECOND FLOOR LIFE SAFETY PLAN

SCALE: 1/8" = 1'-0"




GENERAL NOTE:
GENERAL CONTRACTOR TO VERIFY
REQUIREMENTS OF FIRE ALARM SYSTEM
W/ PORTLAND FIRE CHIEF. SHOW HEAT
DETECTORS SHALL BE LOCATED PER
NFPA 72. LIFE SAFETY CODE SHALL
SUPERSEDE SCHEMATIC DRAWING

## FIRST FLOOR LIFE SAFETY PLAN

SCALE: 1/8" = 1'-0"

LICENSED ARCHITECT
MARK L. MUELLER
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MARK MUELLER ARCHITECTS


RENOVATION OF:
# 315 PARK AVENUE BUILDING
PORTLAND, MAINE

LIFE SAFETY PLANS

REVISIONS -

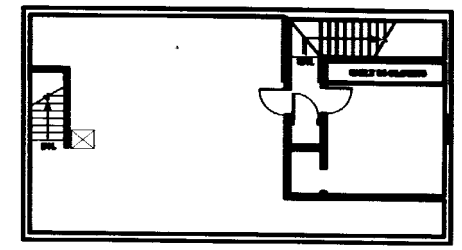
DATE: Jan 08, 2004

PROJECT: 315 PARK AVE

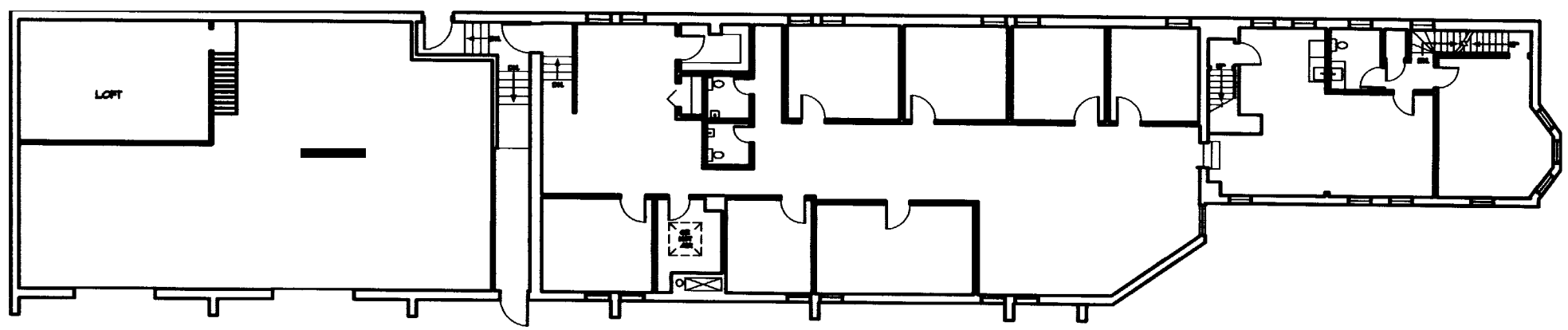
DRAWN BY: MRP

CHECK BY: MLM

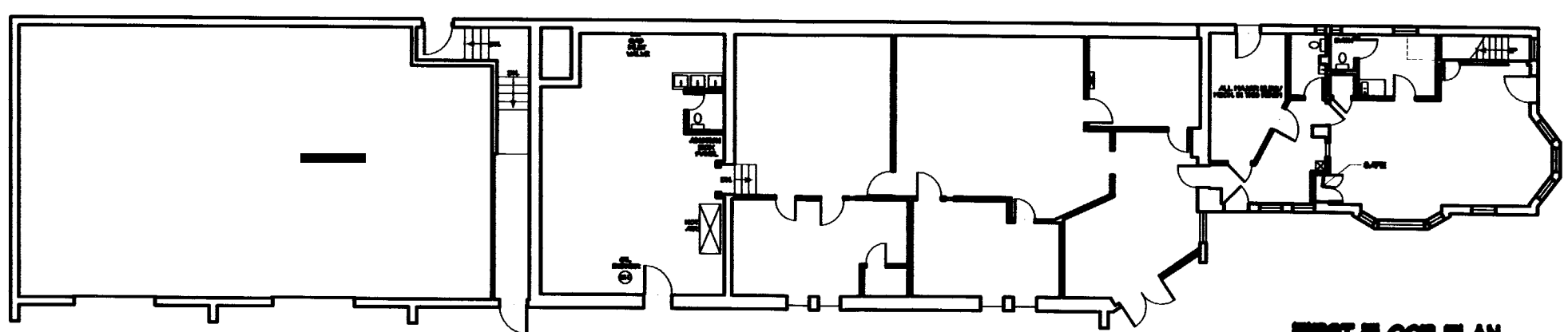
A-4



ATTIC PLAN
SCALE: 1/8" = 1'-0"




SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"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RENOVATION OF
315 PARK AVENUE BUILDING
PORTLAND, MAINE

EXISTING CONDITIONS PLAN

REVISIONS
DATE: Jan 08, 2008
PROJECT: 315 PARK AVE
DRAWN BY: MRP
CHECK BY: MLM

A-5

THE FOLLOWING BUILDING CODES AND STANDARDS SHALL BE REFERENCED DURING CONSTRUCTION:

| | |
|---|---|
| BOCA | 1996 EDITION OF THE BOCA NATIONAL BUILDING CODE |
| ASCE 7-95 | AMERICAN SOCIETY OF CIVIL ENGINEERS, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES |
| AISC | AMERICAN INSTITUTE OF STEEL CONSTRUCTION, MANUAL OF STEEL CONSTRUCTION, NINTH EDITION |
| ACI 301-96 | AMERICAN CONCRETE INSTITUTE SPECIFICATION FOR STRUCTURAL CONCRETE |
| ACI 318-95 | AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE |
| ASTM | AMERICAN SOCIETY OF TESTING AND MATERIALS |
| NDS | NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY NATIONAL FOREST PRODUCTS ASSOCIATION, 2001. |

REFERENCE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN. REFERENCE MECHANICAL, ELECTRICAL, AND ARCHITECTURAL PLANS FOR SIZES AND LOCATIONS OF WALL AND SLAB OPENINGS, DUCTS, PIPING, CURBS, AND EQUIPMENT PADS. IN THE EVENT OF A CONFLICT BETWEEN THE DRAWINGS, SPECIFICATIONS, OR NOTES ON THE DRAWINGS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION.

EXISTING DIMENSIONS AND CONDITIONS ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL EXISTING CONSTRUCTION AND DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION OR FABRICATION. ALL DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER PRIOR TO COMMENCING WORK.

THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF DEVIATIONS OR CHANGES ARE REQUIRED TO THE CONTRACT DOCUMENTS OR APPROVED SHOP DRAWINGS DUE TO INTERFERENCES, FABRICATION ERRORS, OR OTHER CAUSES.

THE STRUCTURE IS SELF-SUPPORTING AND STABLE AFTER THE ENTIRE BUILDING IS COMPLETELY CONSTRUCTED. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ERECTION PROCEDURES AND SEQUENCING DURING CONSTRUCTION AND ERECTION TO PROVIDE AND ENSURE LOCAL AND OVERALL STABILITY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION AND ERECTION. THE CONTRACTOR SHALL RETAIN A LICENSED STRUCTURAL ENGINEER TO DESIGN TEMPORARY BRACING/SHORING AND DETERMINE WHERE THE TEMPORARY BRACING/SHORING IS NEEDED.

## GENERAL NOTES

SCALE: NTS

SUBGRADE PREPARATION AND DETERMINATION (INCLUDING ALLOWABLE BEARING PRESSURE, STRUCTURAL FILL GRADATION REQUIREMENTS, AND COMPACTION REQUIREMENTS) BENEATH FOOTINGS AND SLABS-ON-GRADE AND BEHIND FOUNDATION WALLS SHALL BE PROVIDED BY A GEOTECHNICAL ENGINEER. ALL FILL USED TO SUPPORT FOUNDATIONS AND SLABS-ON-GRADE SHALL CONSIST OF A WELL-GRADED, GRANULAR MATERIAL PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. STRUCTURAL SLABS SHALL BE CONSTRUCTED ON A MINIMUM 12-INCH THICK LAYER OF STRUCTURAL FILL SOIL WITH PROPERTIES PER THE GEOTECHNICAL ENGINEER.

PRESUMED ALLOWABLE SOIL BEARING PRESSURE USED IN DESIGN = 2500 PSF. BEARING CAPACITIES SHALL BE VERIFIED BY GEOTECHNICAL ENGINEER. MINIMUM FROST DEPTH COVER = 4'-0" FOR EXTERIOR FOOTINGS BELOW FINAL EXTERIOR GRADE. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES.

FOUNDATIONS SHALL BEAR ON UNDISTURBED NATIVE SOIL, UNLESS NOTED OTHERWISE. BEARING ELEVATIONS [illegible] BE LOWERED WHERE SUITABLE SOILS ARE NOT ENCOUNTERED. WHERE OVEREXCAVATION HAS OCCURRED, CONTRACTOR MAY PLACE LEAN CONCRETE ON TOP OF NATIVE SOIL. THE CONTRACTOR SHALL NOTIFY THE GEOTECHNICAL AND STRUCTURAL ENGINEER IF ANY UNSUITABLE SOILS ARE ENCOUNTERED PRIOR TO PLACING FOUNDATIONS.

FOUNDATION WALLS SHALL BE BACKFILLED SIMULTANEOUSLY ON BOTH SIDES OF THE WALL. FOUNDATION WALLS AND SLAB-ON-GRADES SHALL REACH THEIR FULL 28 DAY COMPRESSIVE STRENGTH PRIOR TO BACKFILLING. THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING/BRACING FOR WALLS WHEN BACKFILL IS PLACED PRIOR TO CONCRETE ACHIEVING ITS FULL 28 DAY STRENGTH. BACKFILL FOR FOUNDATION WALLS IS BASED ON DRAINED CONDITIONS. SEE ARCHITECTURAL, CIVIL, AND MECHANICAL DRAWINGS FOR FOUNDATION DRAINAGE SYSTEM.

PROTECT FOUNDATIONS FROM FROST AND KEEP BOTTOM OF TRENCH DRY DURING CONSTRUCTION. IF GROUNDWATER IS ENCOUNTERED NEAR OR ABOVE THE BASE OF THE FOOTINGS, EXCAVATIONS SHALL BE DEWATERED DURING CONSTRUCTION. SURFACE WATER SHALL BE DIVERTED AWAY FROM EXCAVATIONS.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE SHORING AND BRACING OF EXISTING STRUCTURES DURING EXCAVATION, BACKFILLING, AND CONSTRUCTION. CONTRACTOR SHALL SLOPE EXCAVATIONS TO ACHIEVE SOIL STABILITY.

## FOUNDATION NOTES

SCALE: NTS

USE DEFORMED BILLET-STEEL REINFORCING BARS, GRADE 60, IN CONFORMANCE WITH ASTM A 615. REINFORCEMENT SHALL BE ACCURATELY PLACED AND SUPPORTED PRIOR TO CONCRETE PLACEMENT, AND SHALL BE SECURED AGAINST DISPLACEMENT.

THE CONTRACTOR SHALL SUBMIT REINFORCING SHOP DRAWINGS TO THE ENGINEER FOR REVIEW AND ACCEPTANCE PRIOR TO COMMENCING FABRICATION. REINFORCEMENT SHALL BE DETAILED IN ACCORDANCE WITH ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING OF REINFORCED CONCRETE STRUCTURES". SHOP DRAWINGS SHALL SHOW REINFORCING STEEL PLACEMENT DETAILS AND SECTIONS.

| MINIMUM CONCRETE COVER FOR REINFORCEMENT | |
|---|---|
| CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH | 3 INCHES |
| CONCRETE EXPOSED TO EARTH OR WEATHER | 2 INCHES |
| CONCRETE NOT EXPOSED TO EARTH OR WEATHER IN SLABS AND WALLS (FOR PRIMARY REINFORCEMENT, TIES, AND STIRRUPS) | 1-1/2 INCHES |
| CONCRETE NOT EXPOSED TO EARTH OF WEATHER IN COLUMNS AND BEAMS | 1-1/2 INCHES |

CONTINUOUS REINFORCEMENT SHALL BE TENSION LAP SPLICED PER LAP SPLICE LENGTH TABLE, UNLESS OTHERWISE NOTED.

| LAP SPLICE LENGTH TABLE | | | | | | | |
|---|---|---|---|---|---|---|---|
| BAR SIZE | #3 | #4 | #5 | #6 | #7 | #8 | #9 |
| MIN LAP SPLICE (INCHES) | 18 | 24 | 30 | 36 | 48 | 64 | 81 |

WELDING OF REINFORCEMENT IS NOT PERMITTED, UNLESS OTHERWISE NOTED.

## CONCRETE REINFORCEMENT NOTES

SCALE: NTS

SCALE: NTS

ALL CONCRETE WORK, INCLUDING MATERIAL SELECTION, ADMIXTURES, MIXING, AND PLACEMENT OF CONCRETE SHALL BE IN CONFORMANCE WITH APPLICABLE BUILDING CODES. IN ADDITION, REFERENCE THE FOLLOWING CONCRETE STANDARDS AND SPECIFICATIONS:

| | |
|---|---|
| ACI 318 | AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE |
| ACI 301 | AMERICAN CONCRETE INSTITUTE SPECIFICATIONS FOR STRUCTURAL CONCRETE |
| ACI 305 | STANDARD SPECIFICATIONS FOR HOT WEATHER CONCRETING |
| ACI 306 | STANDARD SPECIFICATION FOR COLD WEATHER CONCRETING |
| ACI 308 | STANDARD PRACTICE FOR CURING CONCRETE |

REQUIRED CONCRETE PARAMETERS ARE AS FOLLOWS:

| LOCATION | MAX W/C RATIO | f'c |
|---|---|---|
| FOUNDATIONS, FOOTINGS & FOUNDATION WALLS | .52 | 3,000 PSI |
| SLAB-ON-GRADE | .50 | 4,000 PSI |

WHERE: W/C = WATER TO CEMENT RATIO AND
f'c = COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS

MAXIMUM AGGREGATE SIZE SHALL BE 3/4 INCH, IN CONFORMANCE WITH ASTM C33.
USE PORTLAND CEMENT TYPE II, IN CONFORMANCE WITH ASTM 150.
AIR ENTRAINING ADMIXTURES SHALL CONFORM TO ASTM C 260.
ADMIXTURES SHALL CONFORM TO "SPECIFICATION FOR CHEMICAL ADMIXTURES FOR CONCRETE" ASTM C 494.
FLY ASH USED AS ADMIXTURES SHALL CONFORM TO ASTM C 618.
CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CALCIUM CHLORIDE IS NOT PERMITTED.

MAXIMUM SLUMP AFTER THE ADDITION OF A WATER-REDUCING ADMIXTURE IS 8 INCHES.

CONCRETE EXPOSED TO FREEZING AND THAWING, INCLUDING FOUNDATIONS, FOOTINGS, FOUNDATION WALLS, AND EXTERIOR WALKWAYS SHALL BE AIR ENTRAINED WITH AIR CONTENT BETWEEN 5% AND 8%. CONTRACTOR SHALL NOT PLACE CONCRETE ON FROZEN GROUND OR IN WATER. ADEQUATE EQUIPMENT SHALL BE PROVIDED FOR HEATING CONCRETE MATERIALS AND PROTECTING CONCRETE DURING NEAR-FREEZING OR FREEZING WEATHER. REFERENCE ACI 306, AS NOTED ABOVE, FOR RECOMMENDATIONS FOR COLD WEATHER CONCRETING.

CONTRACTOR SHALL SUBMIT PROPOSED CONCRETE MIX DESIGN AND LABORATORY TESTS OF FABRICATED CYLINDERS VERIFYING CONCRETE STRENGTH OR PERFORMANCE HISTORY OF MIX TO ENGINEER FOR ACCEPTANCE PRIOR TO PLACEMENT OF CONCRETE. CONCRETE USED ON SITE SHALL BE FIELD TESTED IN ACCORDANCE WITH AND IN THE PRESENCE OF AN APPROVED TESTING AGENCY. FIELD TESTING INFORMATION SHALL INDICATE SLUMP, AIR CONTENT, AND TEMPERATURE. COMPRESSION TEST 1 CYLINDER AT 7 DAYS AND 2 AT 28 DAYS. HOLD AN ADDITIONAL CYLINDER FOR A 56 DAY BREAK, IF NECESSARY. PROVIDE A SET OF 4 CYLINDERS FOR EACH PLACEMENT AND PER 50 CUBIC YARDS OF CONCRETE PLACED. THE OWNER SHALL PAY FOR ALL CONCRETE TESTING.

CONSTRUCTION JOINTS IN WALLS SHALL BE PERMITTED AS DETAILED ON THE STRUCTURAL DRAWINGS. SURFACES OF CONCRETE CONSTRUCTION JOINTS SHALL BE CLEANED AND LAITANCE REMOVED. IMMEDIATELY BEFORE NEW CONCRETE IS PLACED, CONSTRUCTION JOINTS SHALL BE WETTED AND STANDING WATER REMOVED. VERTICAL CONSTRUCTION JOINTS IN WALLS SHALL NOT EXCEED A SPACING OF 40 FEET.

WHERE ELECTRICAL CONDUIT/ RADIANT HEATING TUBES RUN IN THE SLAB, THEY SHALL BE LOCATED AT MID-DEPTH OF THE SLAB. ALUMINUM CONDUIT AND SLEEVES ARE NOT PERMITTED.

ANCHOR BOLTS SHALL CONFORM TO ASTM A307. ANCHOR BOLTS SHALL HAVE HEAVY HEX NUTS AND LOCK WASHERS.

## CONCRETE NOTES

SCALE: NTS

MASONRY CONSTRUCTION AND MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530/ASCE5/TMS 402) AND SPECIFICATION FOR MASONRY STRUCTURES (ACI 530.1/ASCE6/TMS 602).

MINIMUM COMPRESSIVE STRENGTH OF MASONRY SHALL BE f'm = 1500 PSI AT 28 DAYS.

ALL CONCRETE UNITS SHALL CONFORM TO ASTM C 90, GRADE N, TYPE 1, NORMAL WEIGHT. MINIMUM BLOCK COMPRESSIVE STRENGTH IS 1900 PSI. UNITS ARE SAMPLED AND TESTED IN ACCORDANCE WITH ASTM C 140. SUBMIT TEST RESULTS TO ENGINEER. SEE ARCH FOR COLOR.

MORTAR SHALL CONFORM TO ASTM C 270, TYPE S. SEE ARCH FOR COLOR.

GROUT SHALL CONFORM TO ASTM C476. SLUMP SHALL RANGE FROM 8 TO 11 INCHES.
COMPRESSIVE STRENGTH OF GROUT SHALL NOT BE LESS THAN 2000 PSI.
ALL CELLS THAT CONTAIN REINFORCEMENT SHALL BE FILLED SOLID WITH GROUT.
ALL CELLS THAT INCLUDE ANCHOR BOLTS OR EMBEDDED ITEMS SHALL BE FILLED WITH SOLID GROUT.
VIBRATE GROUT DURING PLACEMENT.

REINFORCING STEEL SHALL BE BILLET STEEL AND CONFORM TO ASTM A615, GRADE 60. PLACE REINFORCEMENT AND TIES IN GROUT SPACES PRIOR TO GROUTING. CLEAN ALL REINFORCEMENT OF MUD, OIL AND OTHER MATERIALS THAT WILL ADVERSELY AFFECT OR REDUCE BOND AT TIME MORTAR OR GROUT IS PLACED. SUPPORT REINFORCEMENT TO PREVENT DISPLACEMENT BEYOND TOLERANCES ALLOWED BY PLACEMENT OF GROUT OR MORTAR OR BY CONSTRUCTION LOADS. MAINTAIN CLEAR DISTANCE BETWEEN REINFORCING BARS. MAINTAIN CLEAR DISTANCE BETWEEN REINFORCEMENT AND FACE OF MASONRY UNIT OR FORMED SURFACE OF NOT LESS THAN 1/2 INCHES.

HORIZONTAL JOINT REINFORCING SHALL BE DUR-O-WAL LADUR MEDIUM, 8 GAGE, TRUSS REINFORCEMENT OR EQUIVALENT PER ASTM 951, HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A153. JOINT REINFORCING SHALL BE SPACED AT A MAXIMUM 16" O.C. VERTICAL, AT EVERY SECOND COURSE. PLACE REINFORCEMENT SUCH THAT LONGITUDINAL WIRES ARE EMBEDDED IN MORTAR WITH A MINIMUM COVER OF 5/8 INCHES WHEN EXPOSED TO EARTH AND WEATHER AND 1/2 INCHES WHEN NOT EXPOSED.

ALL UNITS SHALL BE LAID IN RUNNING BOND, UNLESS NOTED OTHERWISE. VERTICAL CELLS TO BE GROUTED SHALL BE ALIGNED AND OPENINGS SHALL BE UNOBSTRUCTED TO RECEIVE GROUT. CONSTRUCT GROUT SPACES FREE OF DEBRIS, MORTAR DROPPING, LOOSE MATERIAL, AND ANY OTHER MATERIAL DELETERIOUS TO MASONRY GROUT. PLACE CLEAN MASONRY UNITS WHILE MORTAR IS SOFT AND PLASTIC. REMOVE ANY UNIT DISTURBED TO THE EXTENT THAT THE INITIAL BOND IS BROKEN AFTER INITIAL POSITIONING AND RELAY IN FRESH MORTAR. NOTIFY THE ARCHITECT/ ENGINEER WHEN BEARING OF THE MASONRY WYTHE ON ITS SUPPORT IS LESS THAN 2/3 TIMES THE THICKNESS OF THE WYTHE. PREFABRICATE L AND T SECTIONS TO RECEIVE REINFORCEMENT.

UNLESS NOTED OTHERWISE, DO NOT EXCEED THE MAXIMUM GROUT POUR HEIGHT OF 4 FEET OR AS INDICATED IN TABLE 7 OF SPECIFICATIONS FOR MASONRY STRUCTURES ACI 530.1/ASCE 5/TMS 402. WHEN THE POUR HEIGHT EXCEEDS 4 FEET, PROVIDE CLEANOUTS IN THE BOTTOM COURSE OF MASONRY FOR EACH GROUT POUR. CONSTRUCT CLEANOUTS WITH AN OPENING SIZE OF SUFFICIENT SIZE TO ALLOW DEBRIS TO BE REMOVED WITH MINIMUM OPENING DIMENSION OF 3 INCHES. AFTER CLEANING, CLOSE CLEANOUTS WITH CLOSURES BRACED AND CAPABLE OF RESISTING GROUT PRESSURE.

CONSTRUCT CHASES FOR PIPES, CONDUITS, ETC. AS MASONRY UNITS ARE LAID. ALUMINUM CONDUITS, PIPES, AND ACCESSORIES IN MASONRY, GROUT, OR MORTAR ARE NOT PERMITTED UNLESS EFFECTIVELY COATED OR COVERED TO PREVENT REACTION BETWEEN ALUMINUM AND STEEL. PENETRATIONS ARE NOT PERMITTED THROUGH GROUTED CELLS (BOND BEAMS, LINTELS, ETC).

PROVIDE (1) #5 ON ALL SIDES OF WALL OPENINGS. EXTEND HORIZONTAL REINFORCING 2'-0" MINIMUM BEYOND OPENINGS, UNLESS NOTED OTHERWISE. EXTEND VERTICAL REINFORCING ENTIRE STORY HEIGHT, UNLESS NOTED OTHERWISE.

CONTRACTOR TO SUBMIT CONSTRUCTION PROCEDURES IF CONSTRUCTING DURING COLD OR HOT WEATHER (BELOW 40 DEGREES AND ABOVE 100 DEGREES FAHRENHEIT RESPECTIVELY).

LAP SPLICE #5 BARS EQUALS 30 INCHES, UNLESS NOTED OTHERWISE.

PROVIDE VERTICAL CONTROL JOINTS IN WALLS AT A MAXIMUM SPACING OF 25'-0". REINFORCING IS CONTINUOUS THROUGH BOND BEAMS. ROUGHEN JOINT IN BOND BEAM AND APPLY SEALANT TO BOTH SIDES.

SECURE ALL CMU WALL SUPPORTED FIXTURES, EQUIPMENT, ETC. TO CMU WALL PER STRUCTURAL DRAWINGS AND MANUFACTURER'S RECOMMENDATIONS. DO NOT USE EXPANSION ANCHORS.

## MASONRY NOTES

SCALE: NTS

ALL LUMBER SHALL BE VISUALLY GRADED AND STAMPED WITH GRADE DESIGNATION, SPECIES, AND ADDITIONAL INSPECTION INFORMATION, U.N.O.

CARE SHALL BE TAKEN TO PROTECT TIMBER FROM WEATHER AND DAMPNESS. DO NOT STACK IN SUCH A WAY AS TO CAUSE WARPING OR PREVENT ADEQUATE AIR CIRCULATION.

WOOD GRADES AND SPECIES:

SPRUCE-PINE-FIR, No.1/No.2 OR BETTER FOR TYPICAL LUMBER (JOISTS, WALLS, ETC) U.N.O.

USE SOUTHERN YELLOW PINE FOR EXTERIOR EXPOSURE APPLICATIONS AND WHERE SHOWN ON DRAWINGS AS PRESERVATIVE PRESSURE TREATED LUMBER (PT OR PPT).

WHERE NOTED LVL ON DRAWINGS, PROVIDE VERSALAM MEMBERS BY BOISE CASCADE, OR EQUIVALENT, WHICH HAVE THE FOLLOWING MINIMUM ALLOWABLE STRESSES:

| | |
|---|---|
| Fb = 2800 PSI | Fc = 1800 PSI (PARALLEL TO GRAIN) |
| Fv = 280 PSI | Fc = 900 PSI (PERPENDICULAR TO GRAIN) |
| Ft = 2100 PSI | E = 2,000,000 PSI |

STRUCTURAL LUMBER SHALL HAVE A MAXIMUM MOISTURE CONTENT OF 19%.

PROVIDE PRESSURE TREATED LUMBER FOR ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE.

NOMINAL SIZES ARE TYPICALLY REFERENCED ON THE DRAWINGS. PROVIDE ACTUAL SIZES AS SET FORTH IN U.S. DEPARTMENT OF COMMERCE VOLUNTARY PRODUCT STANDARD PS20-99.

ALL PLYWOOD SHALL BE APA RATED CDX SHEATHING. USE 1/2-INCH PLYWOOD WALL SHEATHING AND 5/8-INCH PLYWOOD ROOF SHEATHING. USE SHEATHING CLIPS BETWEEN ROOF MEMBERS WHERE BLOCKING IS NOT REQUIRED.

PROVIDE FULL DEPTH BLOCKING AT ENDS AND INTERIOR SUPPORTS OF ALL JOISTS AND RAFTERS WHERE JOISTS AND RAFTERS FRAME OVER SUPPORTS. PROVIDE 1x3 DIAGONAL BRIDGING OR FULL DEPTH SOLID BLOCKING FOR EACH 8'-0" OF SPAN FOR ALL JOISTS AND RAFTERS.

FASTENERS SHALL COMPLY WITH RECOMMENDED FASTENING SCHEDULE PER BOCA TABLE 2305.2, U.N.O. ON DRAWINGS. SPIKE TOGETHER ALL FRAMING MEMBERS WHICH ARE BUILT-UP USING A MINIMUM OF 2-ROWS OF 16d NAILS AT 12" O.C. STAGGERED, UNLESS OTHERWISE NOTED IN BOCA OR ON THE DRAWINGS. NAIL MULTIPLE LVL'S TOGETHER AS RECOMMENDED BY THE MANUFACTURER USING A MINIMUM OF 2-ROWS OF 16d NAILS AT 12" O.C. STAGGERED. ALL FASTENERS, NUTS, AND WASHERS SHALL BE HOT-DIPPED GALVANIZED.

ALIGN COLUMNS SUCH THAT COLUMNS BEAR CONTINUOUSLY TO FOUNDATION SUPPORT.

BLOCK ALL LOAD BEARING WALLS VERTICALLY AT 4'-0" O.C. MAXIMUM.

## WOOD FRAMING NOTES

SCALE: NTS

ALL STRUCTURAL STEEL WORK SHALL CONFORM TO:

| | |
|---|---|
| AISC | AMERICAN INSTITUTE OF STEEL CONSTRUCTION, MANUAL OF STEEL CONSTRUCTION, NINTH EDITION |
| AISC | CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES |

STRUCTURAL STEEL MEMBERS SHALL BE IN CONFORMANCE WITH THE FOLLOWING:

| | |
|---|---|
| ALL STEEL, UNO | ASTM A572, GRADE 50 |
| ANGLES, PLATES | ASTM A36, Fy=36 KSI |
| STRUCTURAL TUBING | ASTM A500, GRADE B, Fy=46 KSI |
| STEEL PIPE | ASTM A53, TYPE E OR S, GRADE B, Fy=35 KSI |

SHOP DRAWINGS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW PRIOR TO COMMENCING FABRICATION. SHOP DRAWINGS SUBMITTALS SHALL INCLUDE:

CERTIFIED MILL TEST REPORTS OF STRUCTURAL STEEL (INCLUDING NAMES AND LOCATIONS OF MILLS AND SHOPS).
CERTIFIED MILL TEST REPORTS OF BOLTS, NUTS AND WASHERS (INCLUDING NAMES AND LOCATIONS OF MILLS AND SHOPS).
STRUCTURAL STEEL FABRICATION AND ERECTION DRAWINGS WHICH INCLUDE BOLTED CONNECTIONS (SHOP AND FIELD) AND WELDED CONNECTIONS (SHOP AND FIELD) DEPICTING AWS WELDING SYMBOLS.
METAL DECK SHOP DRAWINGS DEPICTING SHEAR STUD LAYOUT ON BEAMS AND GIRDERS.

OWNER SHALL RETAIN A QUALIFIED TESTING AGENCY TO PERFORM AND VERIFY THE FOLLOWING:

VISUAL INSPECTION OF ALL WELDS.
ULTRASONIC TESTING, IN ACCORDANCE WITH ASTM E-164, ON 100% OF ALL FIELD FULL PENETRATION WELDS.
PROVIDE RANDOM VERIFICATION VIA ULTRASONIC TESTING OF SHOP FULL PENETRATION WELDS.
FIELD BOLTED CONNECTIONS, INCLUDING VERIFICATION OF BOLT GRADES.
SHEAR STUD QUANTITY, PROPER INSTALLATION, SIZE, AND SPACING. SHEAR STUDS SHALL CONFORM TO AWS D1.1.

BOLTED CONNECTIONS

FIELD CONNECTIONS SHALL UTILIZE MINIMUM 3/4-INCH DIAMETER A325 HIGH STRENGTH BOLTS, UNO. BOLTED CONNECTION SHALL BE SLIP CRITICAL (SC) AT ALL MOMENT FRAMES, BRACED FRAMES, AND AT ADDITIONAL LOCATIONS INDICATED IN THE DRAWINGS. SLIP CRITICAL CONNECTIONS SHALL UTILIZE LOAD INDICATOR WASHERS OR TENSION CONTROL BOLTS. BOLT HOLES SHALL BE STANDARD SIZE, UNO.

HIGH STRENGTH BOLTS SHALL BE INSTALLED AND TIGHTENED PER AISC SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 BOLTS.

ANCHOR BOLTS SHALL CONFORM TO ASTM A307, GRADE A, STANDARD HEX HEAD FURNISHED WITH HEAVY HEX NUTS AND LOCK WASHERS.

CONTRACTOR SHALL DESIGN CONNECTIONS NOT ALREADY DETAILED ON STRUCTURAL DRAWINGS. DESIGN SHALL BE STAMPED BY A LICENSED STRUCTURAL ENGINEER AND SUBMITTED PRIOR TO COMMENCING FABRICATION.

WELDED CONNECTIONS

WELDING SHALL CONFORM TO AWS D1.1. USE LOW-HYDROGEN SMAW ELECTRODES WITH MINIMUM TENSILE STRENGTH OF 70 KSI.

STRUCTURAL STEEL SHALL RECEIVE THE FOLLOWING PROTECTIVE COATINGS:

DO NOT PAINT SURFACES TO RECEIVE METAL DECK AND/ OR SHEAR CONNECTORS FASTENED BY WELDING, CONTACT SURFACES OF HIGH STRENGTH BOLTED CONNECTIONS, FINISHED BEARING SURFACES, AND SURFACES TO BE WELDED IN THE FIELD. IF REQUIRED, PROTECT THESE SURFACES BY RUST-INHIBITING COATING THAT CAN BE REMOVED EASILY PRIOR TO ERECTION

UNEXPOSED STRUCTURAL STEEL SHALL BE CLEANED IN ACCORDANCE WITH SSPC-SP3 AND PAINTED WITH PRIMER PAINT,TNEMEC 10-99, OR EQUIVALENT, UNO.

EXPOSED STRUCTURAL STEEL TO RECEIVE ZINC-RICH EPOXY PAINT SHALL BE FIRST CLEANED IN ACCORDANCE WITH SSPC-SP6 ,COMMERCIAL BLAST CLEANING. USE TNEMEC ZN-RICH EPOXY PAINT, OR EQUIVALENT. APPLY FINISH COAT PER ARCHITECT.

EXPOSED STRUCTURAL STEEL TO BE HOT-DIPPED GALVANIZED SHALL BE IN ACCORDANCE WITH ASTM A123.

SHEAR CONNECTOR STUDS

SHEAR CONNECTOR STUDS SHALL BE NELSON, OR EQUIVALENT, 3/4-INCH DIAMETER, UNO. WELD STUDS PER STUD MANUFACTURER'S RECOMMENDATIONS THROUGH METAL DECKING. STUD LENGTH SHALL BE 1-INCH BELOW TOP OF CONCRETE SLAB ON DECK.

SHEAR STUDS, WHERE REQUIRED, ARE INDICATED ON THE DRAWINGS AS [XX], WHERE XX IS THE NUMBER OF STUDS EQUALLY SPACED BETWEEN SUPPORTS ON A BEAM OR GIRDER.

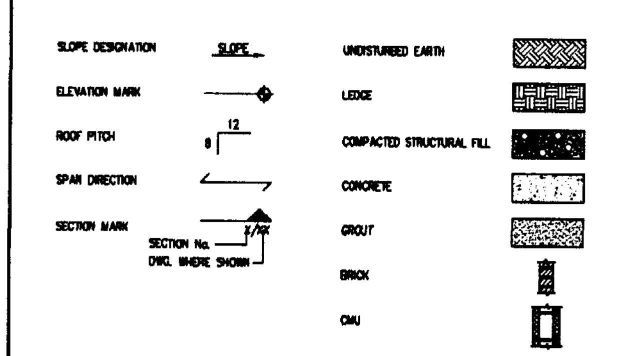
## STRUCTURAL STEEL NOTES

SCALE: NTS

| | | | |
|---|---|---|---|
| AB | ANCHOR BOLT | L | ANGLE |
| ADDL | ADDITIONAL | LL | DOUBLE ANGLE |
| ARCH | ARCHITECT | LB | POUND |
| & | AND | LF | LINEAR FOOT |
| B/FTG, BOF | BOTTOM OF FOOTING | LLH | LONG LEGS HORIZONTAL |
| BLDG | BUILDING | LLV | LONG LEGS VERTICAL |
| BM | BEAM | MAX | MAXIMUM |
| BOT | BOTTOM | MECH | MECHANICAL |
| BRG | BEARING | MFR | MANUFACTURER |
| BTWN | BETWEEN | MIN | MINIMUM |
| C | STRUCTURAL STEEL CHANNEL | MISC | MISCELLANEOUS |
| CANT | CANTILEVER | NF | NEAR FACE |
| CIP | CAST-IN-PLACE CONCRETE | NO | NUMBER |
| CJ | CONTROL JOINT | NS | NEAR SIDE |
| CL | CENTERLINE | NTS | NOT TO SCALE |
| CLR | CLEAR | OC | ON CENTER |
| CMU | CONCRETE MASONRY UNIT | OF | OUTSIDE FACE |
| CNJ | CONSTRUCTION JOINT | OPNG | OPENING |
| COL | COLUMN | OPP | OPPOSITE |
| CONC | CONCRETE | P | PIER DESIGNATION |
| CONN | CONNECTION | PL | PLATE |
| CONT | CONTINUOUS | PP | PARTIAL PENETRATION WELD |
| CONTR | CONTRACTOR | PREFAB | PREFABRICATED |
| CP | COMPLETE PENETRATION WELD | PSF | POUNDS PER SQUARE FOOT |
| CTR, CEN | CENTER | PSI | POUNDS PER SQUARE INCH |
| CY | CUBIC YARD | REINF | REINFORCING STEEL |
| DIA | DIAMETER | REQ, REQD | REQUIRED |
| DIM | DIMENSION | SC | SLIP CRITICAL |
| DISCONT | DISCONTINUOUS | SECT | SECTION |
| DWG | DRAWING | SHEATH | SHEATHING |
| (E), EX, EXIST | EXISTING | SIM | SIMILAR |
| EA | EACH | SOG | SLAB ON GRADE |
| EF | EACH FACE | SPAC | SPACING |
| EL, ELEV | ELEVATION | SPECS | SPECIFICATIONS |
| EQ | EQUAL | SS | STAINLESS STEEL |
| EQUIP | EQUIPMENT | STD | STANDARD |
| ES | EACH SIDE | STIFF | STIFFENER |
| EW | EACH WAY | STL | STEEL |
| EXP | EXPANSION | STR | STRAIGHT |
| EXT | EXTERIOR | STRUCT | STRUCTURAL |
| F | FOOTING DESIGNATION | T | TOP |
| FDN | FOUNDATION | T/ | TOP OF... |
| FF | FINISH FLOOR | T&B | TOP AND BOTTOM |
| FLG | FLANGE | TOC, T/CONC | TOP OF CONCRETE |
| FLR | FLOOR | T/FTG, TOF | TOP OF FOOTING |
| FT | FOOT | TEMP | TEMPERATURE |
| FTG | FOOTING | T/SHELF | TOP OF SHELF |
| FV | FIELD VERIFY | T/SLAB | TOP OF SLAB |
| GA | GAGE | T/STL | TOP OF STEEL |
| GALV | GALVANIZED | TS | STRUCTURAL TUBING |
| HOR, HORIZ | HORIZONTAL | TYP | TYPICAL |
| HSS | HOLLOW STRUCTURAL SHAPE | UNO | UNLESS NOTED OTHERWISE |
| HT | HEIGHT | VER, VERT | VERTICAL |
| IF | INSIDE FACE | VIF | VERIFY IN FIELD |
| IN | INCH | W | STRUCTURAL STEEL WIDE FLANGE |
| INFO | INFORMATION | W/ | WITH |
| JT | JOINT | W/O | WITHOUT |
| K | KIP (1000#) | WT | WEIGHT |
| KSI | KIPS PER SQUARE INCH | WWF | WELDED WIRE FABRIC |

## ABBREVIATIONS

SCALE: NTS




## LEGEND

SCALE: NTS

CASCO BAY ENGINEERING
90 Hodsdon Road
Pownal, ME 04069
Tel/Fax 207.688.4690

CLIENT

TURNER BARKER REALTY
202 US ROUTE ONE
FALMOUTH, ME 04105

315 PARKAVENUE BUILDING
PORTLAND MAINE

| REVISIONS | | | | | |
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| No. | DATE | ISSUE | No. | DATE | ISSUE |
| 0 | 1-8-04 | FOR CONSTRUCTION | | | |

SHEET TITLE:

NOTES, LEGEND, & ABBREVIATIONS

| | |
|---|---|
| DESIGNED: | CCB |
| DRAWN: | CCB |
| DATE: | 12-21-03 |
| CADD FILE: | 3011-S1-0.DWG |
| PROJECT NUMBER: | 3011 |

S10

NOTES:

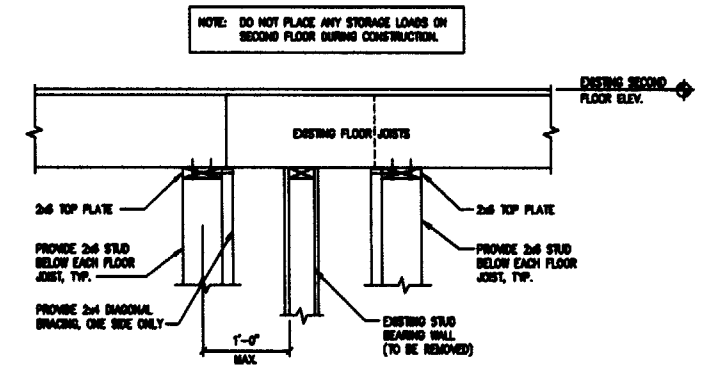
1. LOCATIONS OF ALL EXISTING UTILITIES TO BE FIELD VERIFIED PRIOR TO DEMOLITION WORK.
2. CONTRACTOR IS RESPONSIBLE FOR TEMPORARY SHORING INCLUDING, BUT NOT LIMITED TO PROCEDURES, SEQUENCING, AND DESIGN OF TEMPORARY SHORING.
3. CONTRACTOR SHALL ENSURE THE STRUCTURAL INTEGRITY OF THE BUILDING DURING DEMOLITION. NOTIFY THE STRUCTURAL ENGINEER IF ANY DEVIATIONS ARE FOUND DURING DEMOLITION OR CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING, ERECTING AND MAINTAINING ALL TEMPORARY BARRIERS AND SECURITY/SAFETY APPARATUS NECESSARY FOR PUBLIC SAFETY.

LEGEND:

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- SECTIONS TO BE REMOVED

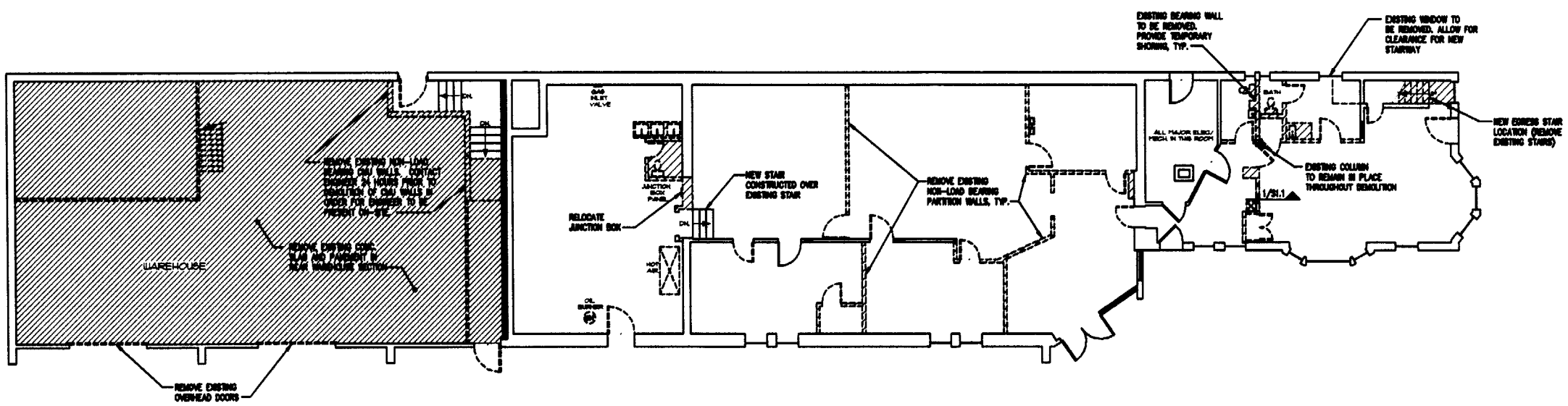
## DEMOLITION NOTES AND LEGEND

SCALE: NTS



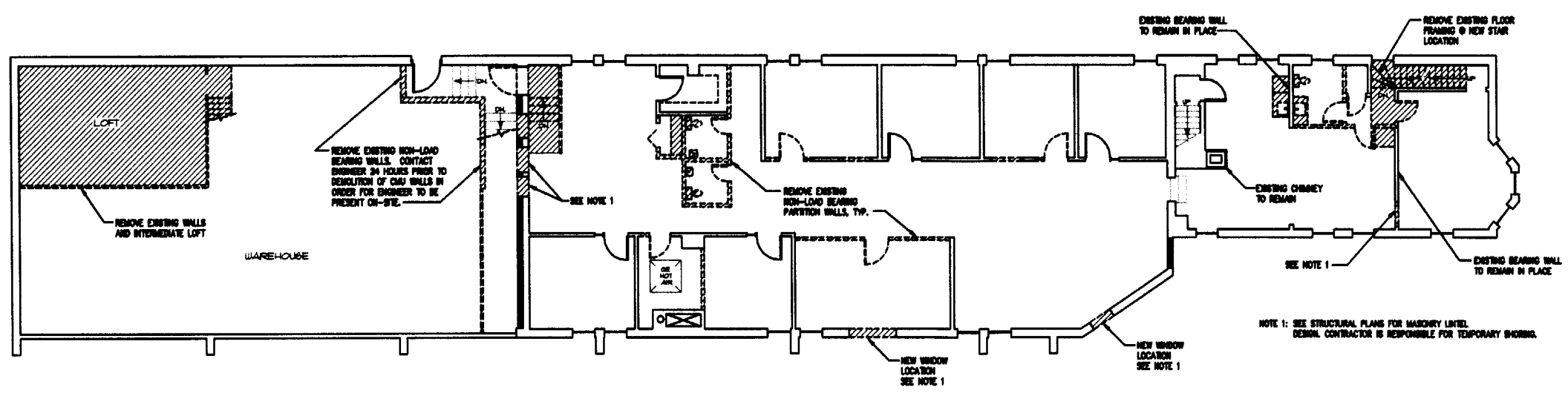

## SECTION 1 - TEMPORARY SHORING SECTION

SCALE: NTS




## GROUND FLOOR DEMOLITION PLAN

SCALE: 1/8"=1'-0"




NOTE 1: SEE STRUCTURAL PLANS FOR MASONRY LINTEL DESIGN. CONTRACTOR IS RESPONSIBLE FOR TEMPORARY SHORING.

## SECOND FLOOR DEMOLITION PLAN

SCALE: 1/8"=1'-0"


CASCO BAY ENGINEERING
90 Manchester Road
Freeport, ME 04032
Tel/Fax 207.865.1690


CLIENT:

TURNER BARKER REALTY
200 US ROUTE ONE
FALMOUTH, ME 04105

315 PARK AVENUE RENOVATION
PORTLAND MAINE

MAINE MEDICAL CENTER TENANT FIT-UP

| NO. | DATE | REVISIONS ISSUE | NO. | DATE | ISSUE |
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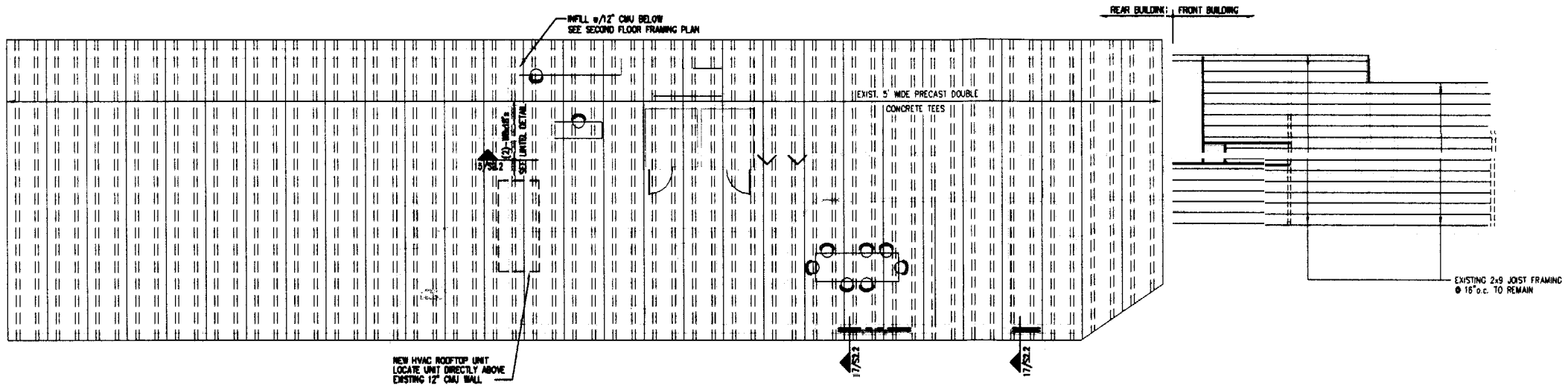
| | | | | | |

SHEET TITLE:

DEMOLITION PLANS

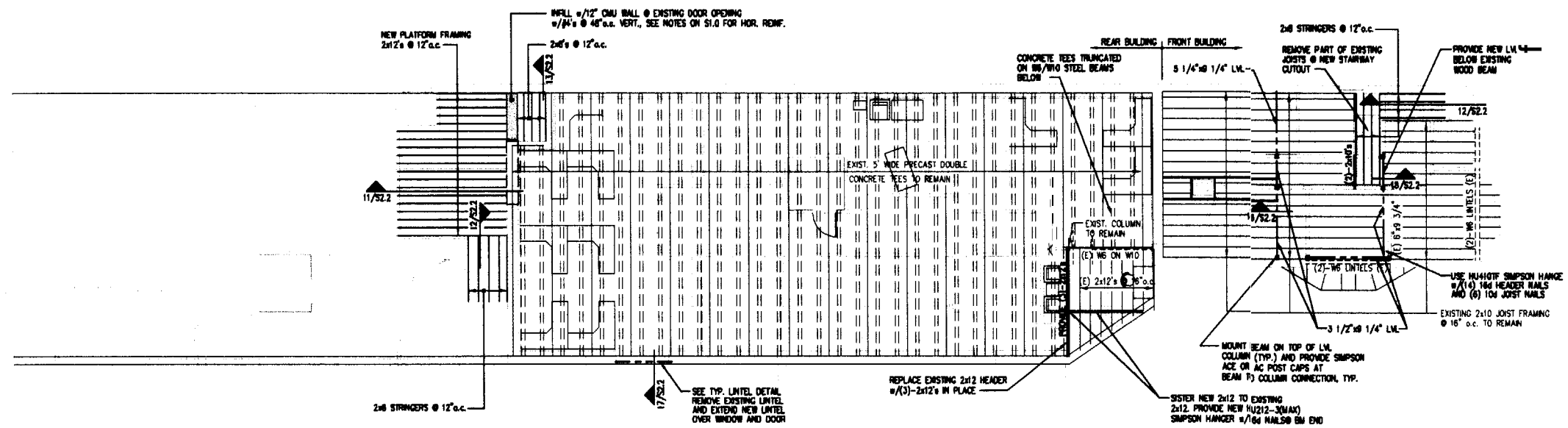
| | |
|---|---|
| DESIGNED: | ED |
| DRAWN: | ED |
| DATE: | 9-24-09 |
| CADD FILE: | 309-BLDWG |
| PROJECT NUMBER: | 309 |

S1.1



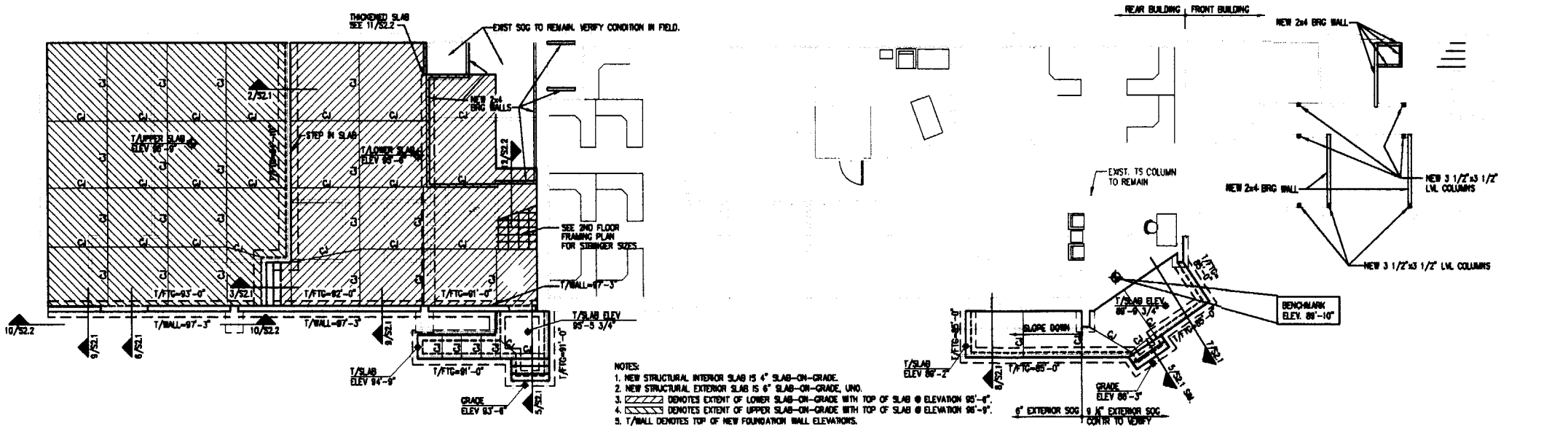

## ROOF FRAMING PLAN - REAR BUILDING & ATTIC FRAMING PLAN - FRONT BUILDING

SCALE: 1/8"=1'-0"




## SECOND FLOOR FRAMING PLAN - REAR AND FRONT BUILDING

SCALE: 1/8"=1'-0"




## GROUND FLOOR & FOUNDATION PLAN - REAR BUILDING & FRONT BUILDING

SCALE: 1/8"=1'-0"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90 Mackerdon Road
Freeport, ME 04069
Tel/Fax 207.688.4690


CLIENT:

**TURNER BARKER REALTY**
202 US ROUTE ONE
FALMOUTH, ME 04105

**315 PARKAVENUE BUILDING**
PORTLAND MAINE

REVISIONS

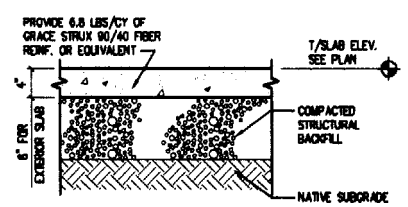
| No | DATE | ISSUE | No | DATE | ISSUE |
|---|---|---|---|---|---|
| 0 | 1-9-04 | FOR CONSTRUCTION | | | |

SHEET TITLE:

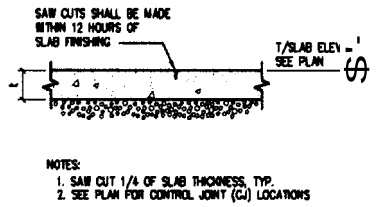
**FRAMING PLANS**

| | |
|---|---|
| DESIGNED: | ED |
| DRAWN | ED |
| DATE: | 12-21-03 |
| CADD FILE. | 3011-S1-2.DWG |
| PROJECT NUMBER | 3011 |

S1.2

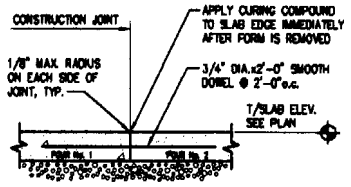



INTERIOR/ EXTERIOR SLAB-ON-GRADE



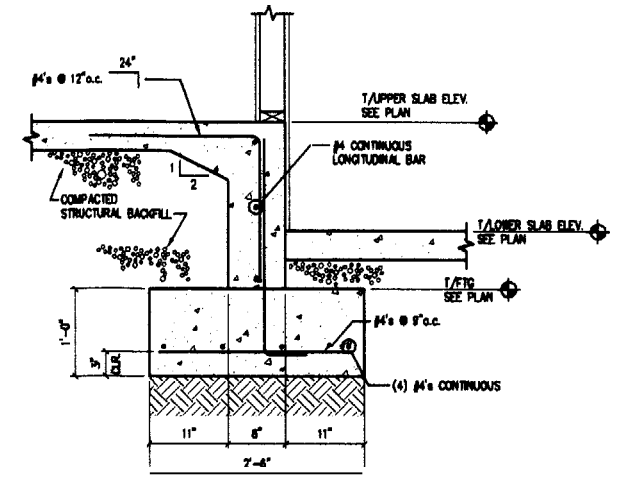

NOTES:
1. SAW CUT 1/4 OF SLAB THICKNESS, TYP.
2. SEE PLAN FOR CONTROL JOINT (CJ) LOCATIONS

CONTROL JOINT

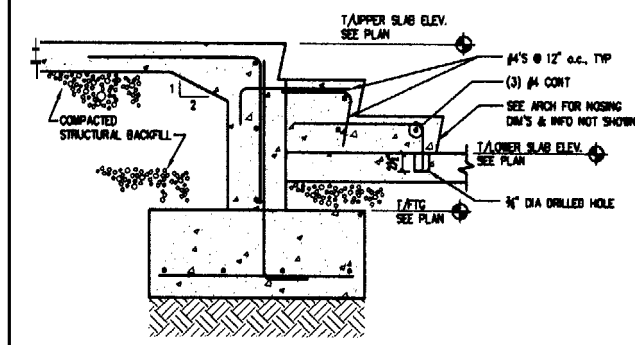



CONSTRUCTION JOINT

TYPICAL SLAB-ON-GRADE DETAILS — SCALE: NTS | 1

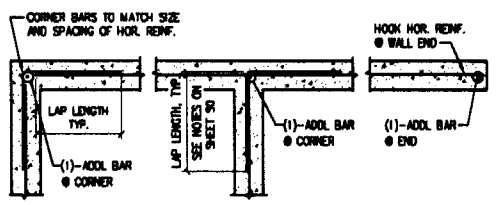



SECTION — SCALE: 1"=1'-0" | 2




NOTE:
1. SEE SECTION 2/S2.1 FOR INFO NOT SHOWN.

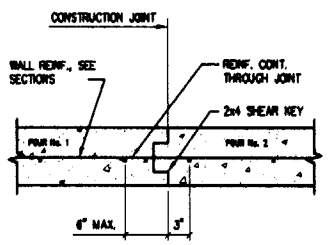
SECTION — SCALE: 1"=1'-0" | 3



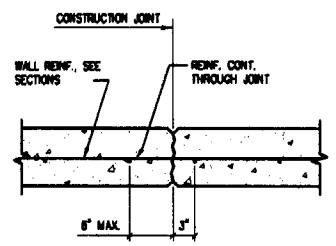

DETAIL @ WALL CORNER

DETAIL @ WALL INTERSECTION

DETAIL @ WALL END



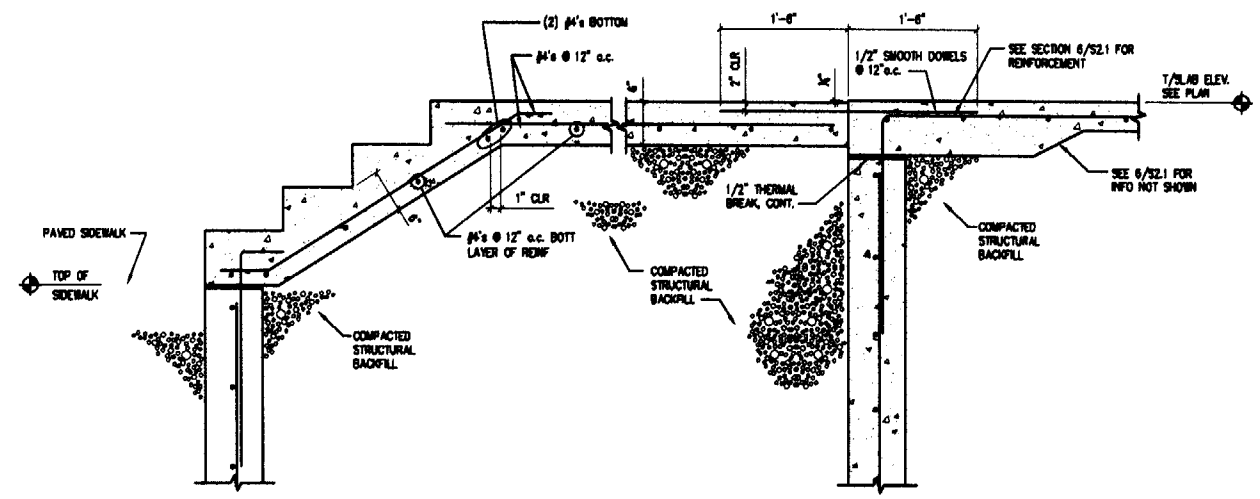

CONSTRUCTION JOINT DETAIL




NOTE:
PLACE @ 40'-0"o.c. MAX. OR AS SHOWN OF FDN PLAN. DO NOT LOCATE JOINT WITHIN 3'-0" OF ANY GRID LINE OR BUILDING CORNER.

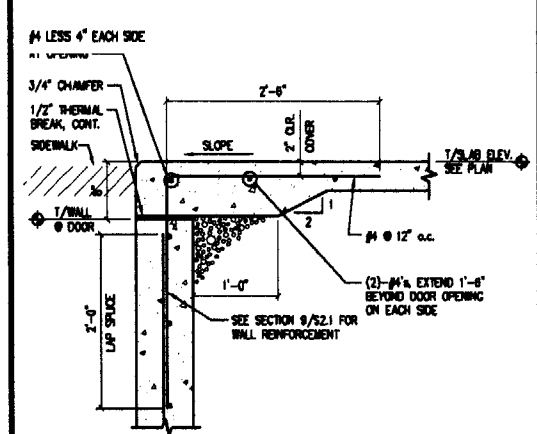
CONTROL JOINT DETAIL

TYPICALCONCRETE WALL DETAILS — SCALE: NTS | 4

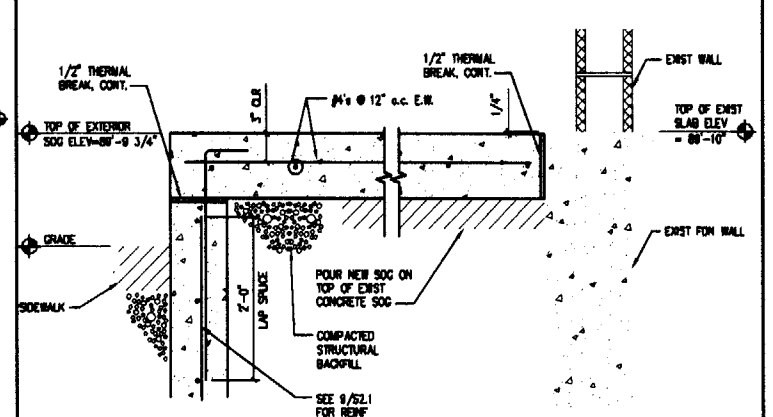



NOTE:
1. SEE SECTION 9/S2.1 FOR REINF AND INFO NOT SHOWN.

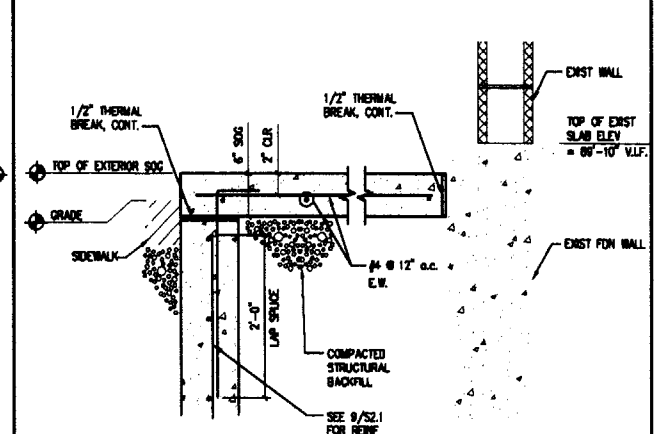
SECTION — SCALE: 1"=1'-0" | 5



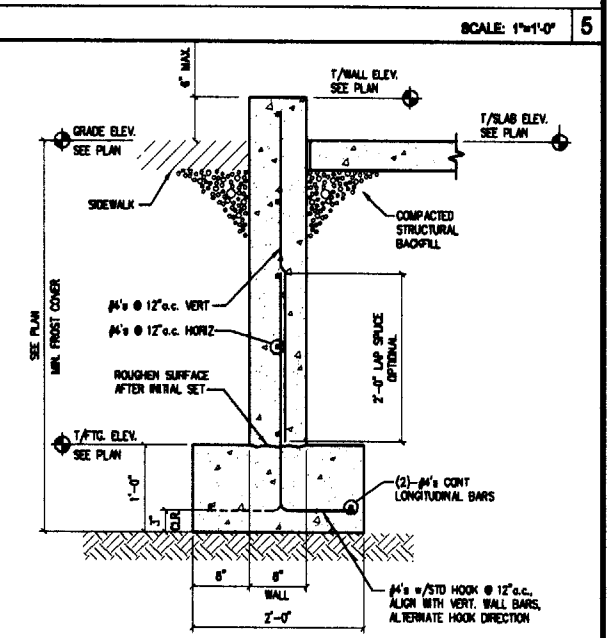

SECTION — SCALE: 1"=1'-0" | 6




SECTION — SCALE: 1"=1'-0" | 7




SCALE: 1"=1'-0" | 8




SCALE: 1"=1'-0" | 9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Tel/Fax 207.688.4630


CLIENT:

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202 US ROUTE ONE
FALMOUTH, ME 04105

315 PARK AVENUE BUILDING
PORTLAND MAINE

REVISIONS

| No. | DATE | ISSUE |
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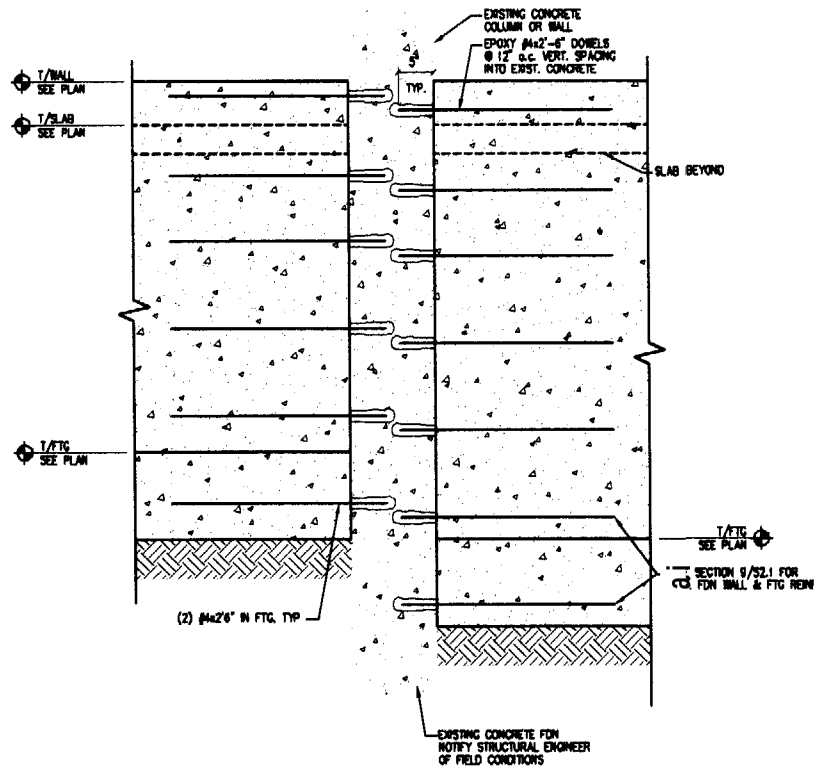
| 0 | 1-8-04 | FOR CONSTRUCTION |
| No. | DATE | ISSUE |

SHEET TITLE:

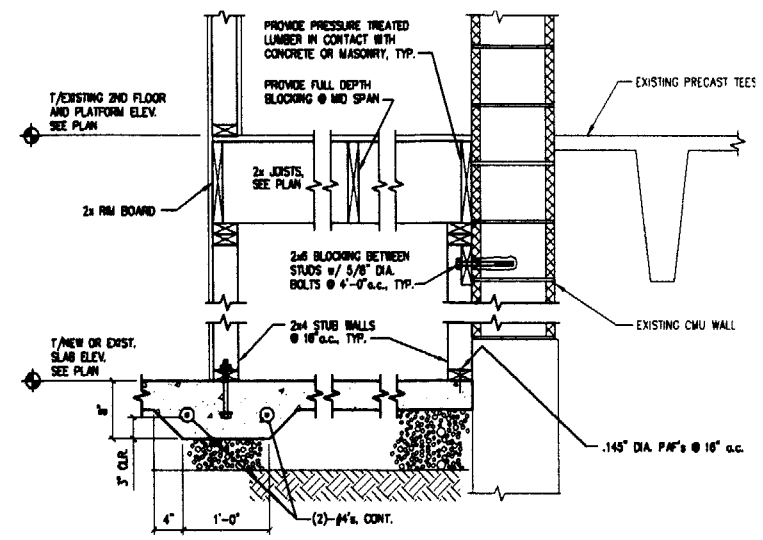
SECTIONS & DETAILS

| | |
|---|---|
| DESIGNED: | CCB |
| DRAWN: | ED |
| DATE: | 10-27-03 |
| CADD FILE: | 3011-S1-2.DWG |
| PROJECT NUMBER: | 3011 |

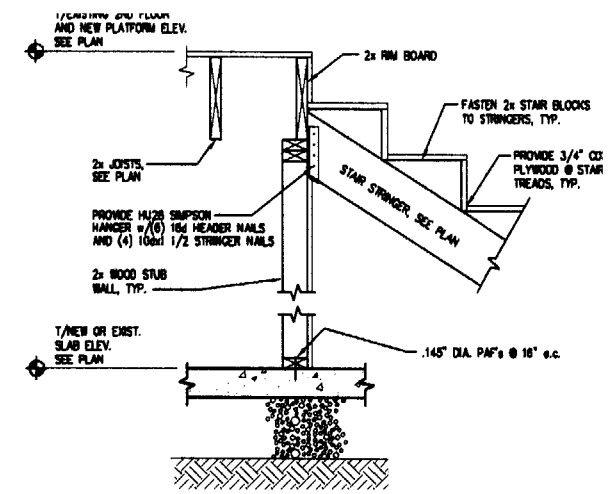
S2.1



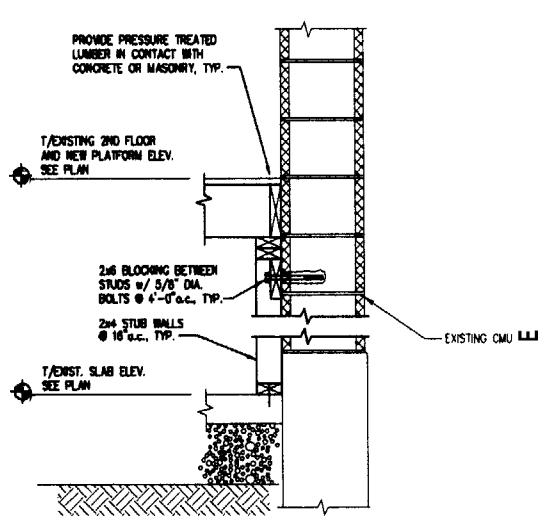

SECTION SCALE: 1"=1'-0" 10



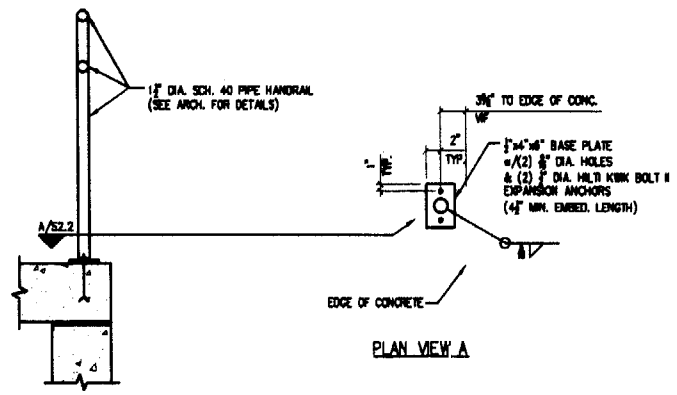

SECTION SCALE: 1"=1'-0" 11




SECTION SCALE: 1"=1'-0" 12




SECTION SCALE: 1"=1'-0" 13

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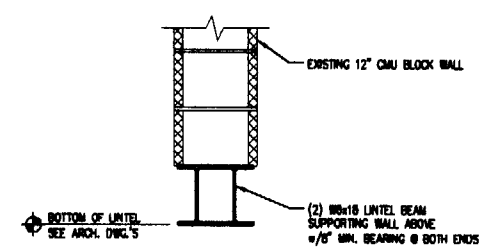
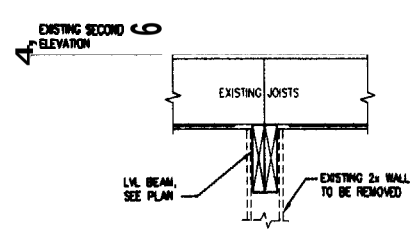
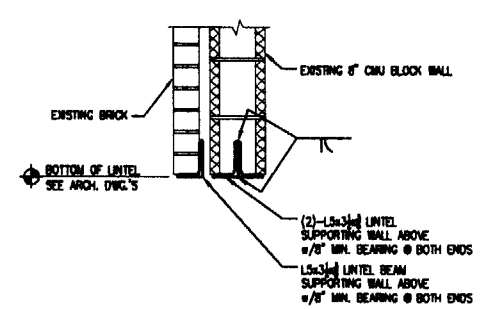


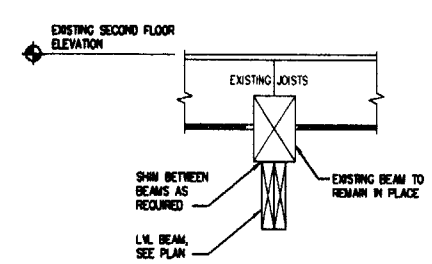

SECTION SCALE: 1"=1'-0" 15




SECTION SCALE: 1"=1'-0" 16




SECTION SCALE: 1"=1'-0" 17




SECTION SCALE: 1"=1'-0" 18


CASCO BAY ENGINEERING
90 Hadaden Road
Pownal, ME 04069
Tel/Fax 207.688.4650


CLIENT:

TURNER BARKER REALTY
202 US ROUTE ONE
FALMOUTH, ME 04105

315 PARK AVENUE BUILDING
PORTLAND MAINE

REVISIONS

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| 0 | 1-8-04 | FOR CONSTRUCTION | | | |

SHEET TITLE:

SECTIONS & DETAILS

| | |
|---|---|
| DESIGNED: | CCB |
| DRAWN: | ED |
| DATE: | 10-27-03 |
| CADD FILE: | 3011-S1-2.DWG |
| PROJECT NUMBER: | 3011 |

S2.2

NOTES:

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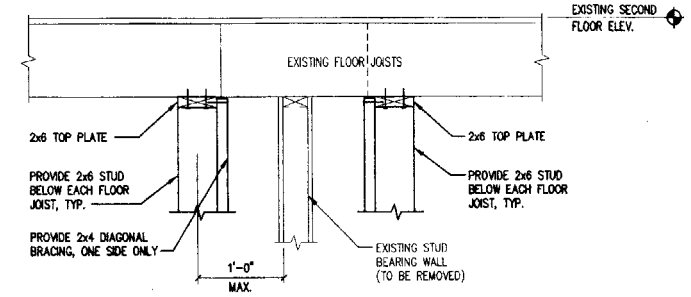
LEGEND:

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- SECTIONS TO BE REMOVED

DEMOLITION NOTES AND LEGEND

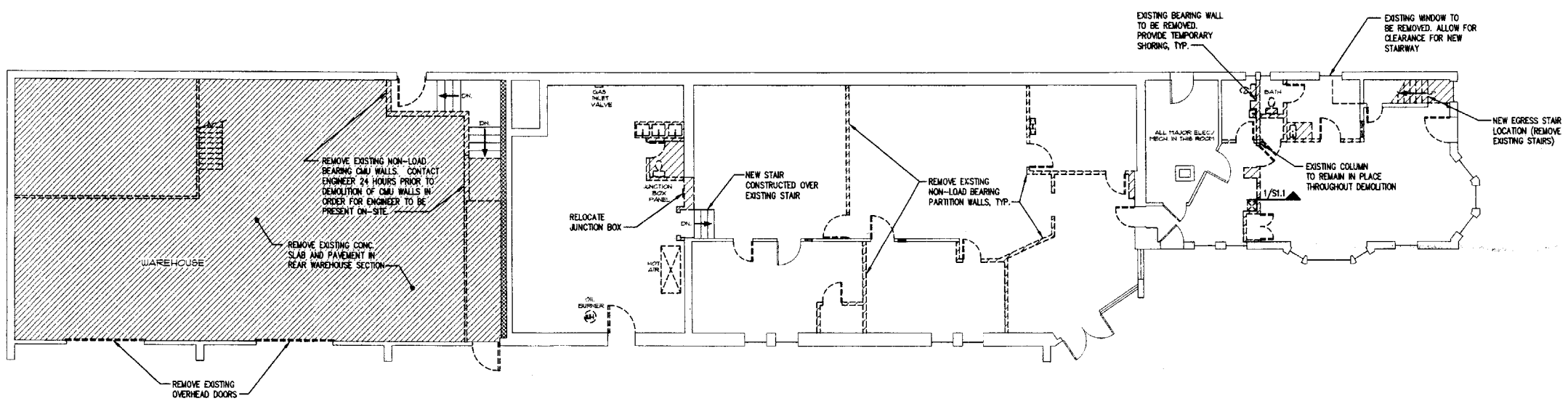
SCALE: NTS

NOTE: DO NOT PLACE ANY STORAGE LOADS ON SECOND FLOOR DURING CONSTRUCTION.



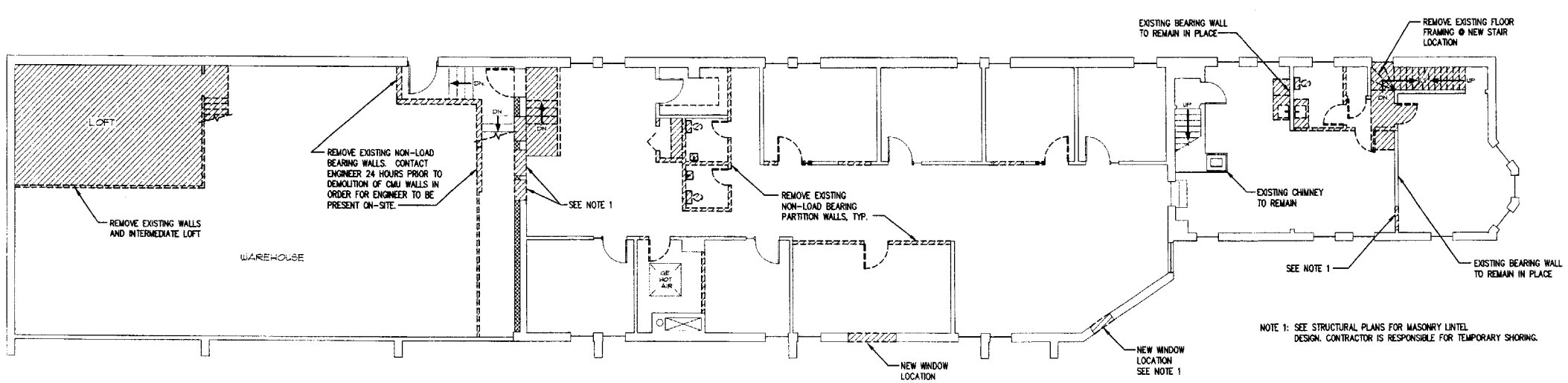

SECTION 1 - TEMPORARY SHORING SECTION

SCALE: NTS




GROUND FLOOR DEMOLITION PLAN

SCALE: 1/8"=1'-0"




NOTE 1: SEE STRUCTURAL PLANS FOR MASONRY LINTEL DESIGN. CONTRACTOR IS RESPONSIBLE FOR TEMPORARY SHORING.

SECOND FLOOR DEMOLITION PLAN

SCALE: 1/8"=1'-0"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Pownal, ME 04069
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PORTLAND MAINE

MAINE MEDICAL CENTER TENANT FIT-UP

REVISIONS

| No. | DATE | ISSUE |
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| No. | DATE | ISSUE |
|---|---|---|
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SHEET TITLE:

DEMOLITION PLANS

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|---|---|
| DESIGNED: | ED |
| DRAWN: | ED |
| DATE: | 11-24-03 |
| CADD FILE: | 3011-S1.DWG |
| PROJECT NUMBER: | 3011 |

S1.1