

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 01-0178	Issue Date: <b>MAR 19 2001</b>	CBL: 066 D001001
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Location of Construction: 349 Park Ave	Owner Name: H P Hood & Sons Inc	Owner Address: 90 Everett Ave.	Phone: 207-865-3300
Business Name: H P Hood & Sons Inc	Contractor Name: Center Line Construction, Inc.	Contractor Address: P.O. Box 1264 Portland	Phone:
Lessee/Buyer's Name: 849 Park Ave.	Phone:	Permit Type: Commercial	Zone:

Past Use: Commercial, Dairy; Ice Maker	Proposed Use: Commercial, Dairy; Change of use to compressor room	Permit Fee: * 108.00 \$0.00	Cost of Work: \$14,000.00
Proposed Project Description: Change of use from, ice maker to compressor room.		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <b>AD</b> Type: <b>2C</b> <b>PERMIT ISSUED WITH REQUIREMENTS</b> 03/14/2001

Signature: <i>H.M.M.</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature:	Date:

Permit Taken By: cjh	Date Applied For: 03/13/2001	<b>Zoning Approval</b>	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p><b>Special Zone or Reviews</b></p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Major <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <i>3/16/01</i></p>	<p><b>Zoning Appeal</b></p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p><b>Historic Preservation</b></p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>S</i></p>
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**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

**Minor/Minor Site Review for New Detached Single Family Dwelling,  
All Purpose Building Permit Application**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: <b>349 PARK AVE</b>
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Total Square Footage of Proposed Structure <b>EXISTING</b>	Square Footage of Lot <b>64910</b>
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<b>Tax Assessor's Chart, Block &amp; Lot Number</b>  Chart# <b>66</b> Block# <b>D</b> Lot# <b>146</b>	<b>Owner:</b> <b>H.R. HOOD &amp; SONS, INC</b> <b>349 PARK AVE</b> <b>TORRINGTON, ME.</b>	<b>Telephone#:</b> <b>*865.3300*</b>
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<b>Lessee/Buyer's Name (If Applicable)</b> <b>N/A</b>	<b>Owner's/Purchaser/Lessee Address:</b> <b>H.R. HOOD &amp; SONS, INC</b>	<b>Cost Of Work: Fee:</b> <b>\$14,000 \$100.00</b>
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<b>Current use:</b> <u>PARK</u> Proposed <b>use:</b> <u>PARK</u>
<b>Project description:</b> <u>REBUILD AN ICE MAKER BUILDING INTO A COMPRESSOR ROOM.</u>

<b>Contractor's Name, Address &amp; Telephone</b> <b>CENTER LINE CONSTRUCTION, INC</b> <b>P.O. BOX 1264, TORRINGTON, ME. 04104</b>	<b>Rec'd By:</b> <u>3.13</u> <u>CH</u>
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**A "minor/minor" site plan review is required for New Single Family Homes Only. The Site/Plot plan must be prepared and sealed by a registered land surveyor. The following must be submitted:**

- 4 copies of the site/plot plan
- 1 copy of the building/construction plan on 32" x 48"
- 1 copy of the site plan/plot plan and construction/building plan on paper no larger than 11" x 17"

*\* call Richard when ready*

**On all commercial permits the following must be submitted:**

- 1 copy of the site/plot plan
- 2 X copy of the building/construction plan on 32" x 48"
- 1 copy of the site/plot and construction /building plan on paper no larger than 11" X 17"

Please note that single family additions and alterations may be hand drawn on regular paper, however the below details will still apply.

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

**A PLOT PLAN INCLUDES THE FOLLOWING:**

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation ( based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

**A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING:**

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
  - Floor Plans & Elevations
  - Window and door schedules
  - Foundation plans with required drainage and damp proofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

**SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC AND ELECTRICAL INSTALLATIONS**

- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

**Certification**

*I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

<b>Signature of applicant:</b>	<b>Date:</b>
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Minor/Minor Site Review Fee: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

**ONE SET OF SUBMISSIONS INCLUDING CONSTRUCTION AND SITE PLAN DRAWINGS MUST BE SUBMITTED ON PAPER NO LARGER THAN 11" x 17" BEFORE ANY BUILDING PERMIT WILL BE ISSUED**

BUILDING PERMIT REPORT

DATE: 14 March 2001 ADDRESS: 349 Park Ave. CBL: 066-D-001001

REASON FOR PERMIT: Change of use from, ice maker to compressor room

BUILDING OWNER: H.P. Hood's Sons Inc.

PERMIT APPLICANT: CONTRACTOR Center Line Const. Inc.

USE GROUP: F-2 CONSTRUCTION TYPE: 2C CONSTRUCTION COST: 14000 PERMIT FEES: 108.00

The City's Adopted Building Code (The BOCA National Building code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

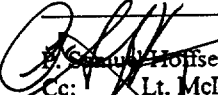
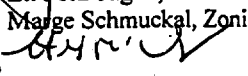
CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met: \*1, \*11, \*13, 22
\*21, \*24, \*25, \*27, \*32

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts.
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete from freezing. Section 1908.0
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
12. Headroom in habitable space is a minimum of 7'6".
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/4" maximum rise.
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
15. Width: The minimum required width of passageways and corridors shall be determined by the most restrictive criteria of section 1011.3.
16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
17. Each apartment shall have access to two (2) separate, remote and approved means of egress.
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's.
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment.

3/13

- 20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
  - In the immediate vicinity of bedrooms
  - In all bedrooms
  - In each story within a dwelling unit, including basements
- \* 21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- 22. The Fire Alarm System shall maintained to NFPA #72 Standard.
- 23. The Sprinkler System shall maintained to NFPA #13 Standard.
- \* 24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
- 25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- 27. Ventilation shall meet the requirements of Chapter 12 Sections 1210.0 of the City's Building Code. (Crawl spaces & attics).
- \* 28. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- 29. All requirements must be met before a final Certificate of Occupancy is issued.
- 30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1999).
- 31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- 32. Please read and implement the attached Land Use Zoning report requirements.
- \* 33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
- 34. Bridging shall comply with Section 2305.16.
- 35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2405.0)
- 36. All signage, shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).
- \* 37. Masonry work shall comply with Chapter 21 of The Bldg. Code -  
Anchorage Section 2110.0, Lateral Support Sec. 2107.0 and  
Section 2109.0, Cold Weather Const. Sec. 2111.0.

  
 E. Schumacher, Building Inspector  
 Cc: Lt. McDougall, PFD  
 Marge Schmuckal, Zoning Administrator  


PSH 11/25/99

**\*\*This Permit is herewith issued, on the basis of plans submitted and conditions placed the plans, any deviations shall require a separate approval.**

**\*\*\*THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD.**

**\*\*\*\* Certificate of Occupancy Fees: \$50.00 each**

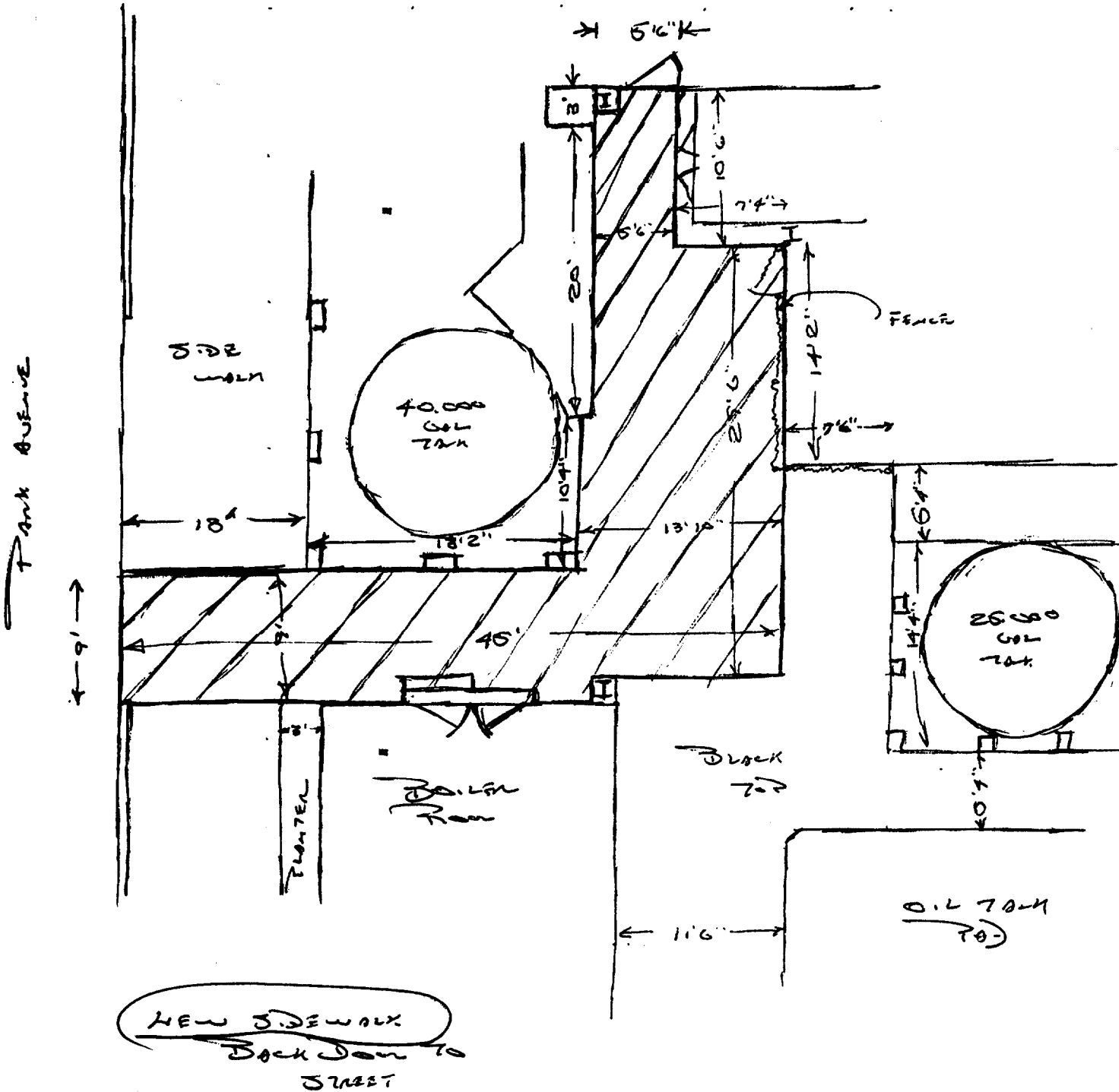
**\*\*\*\*\* ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGN'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE ) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000 OR REQUIVALENT.**

H.P. Hood Co.

10/2/00

Back Door Sidewalk

£ cost.



Remove Existing Block  
 Install concrete sidewalk (6")  
 w/ 6x6 10/10 w.w.m.

H.P. Hood ca. 20

349 Tank Ave

Corrosion Room

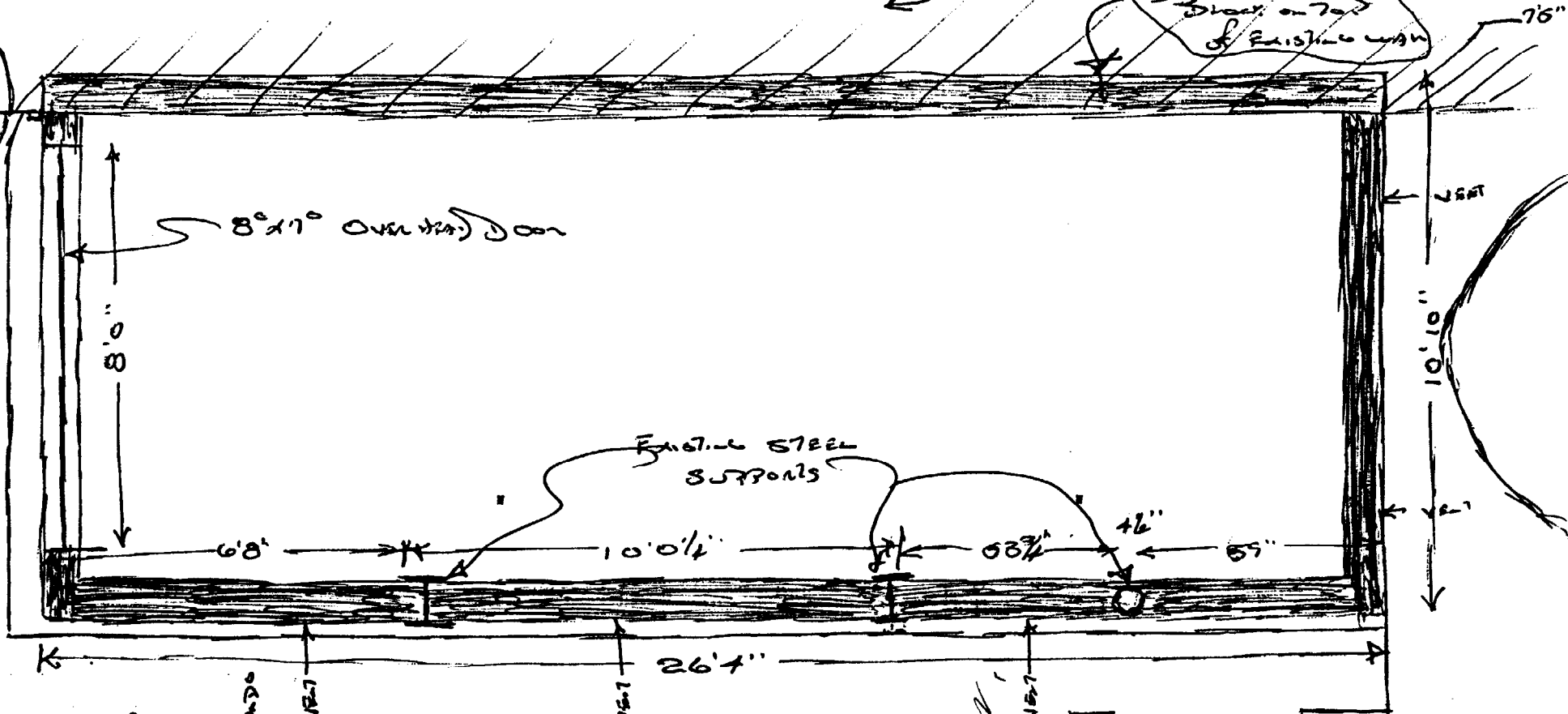
3/12/01

& Const.

HASTON

EXISTING BUILDING

2 courses of  
slab on top  
of existing wall



Rubber Roof

3/4" Plywood

2x8 @ 16" oc

8" c.m.c.

Load Wall

Existing Slab

1/2" x 20

60

60

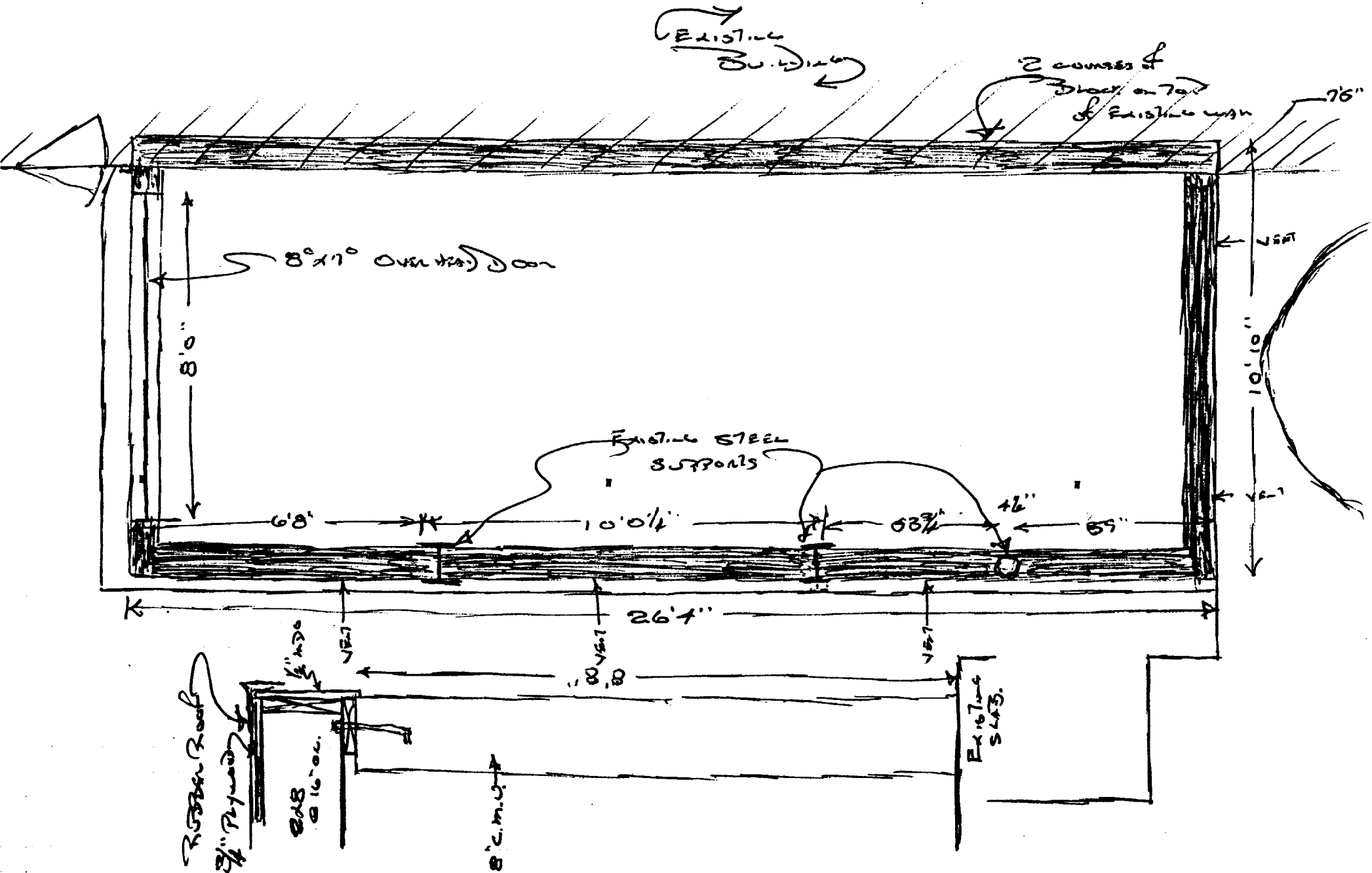
H.P. Hood Co. 20

349 Tank Ave

CONDENSOR ROOM

3/12/01

2 COND.



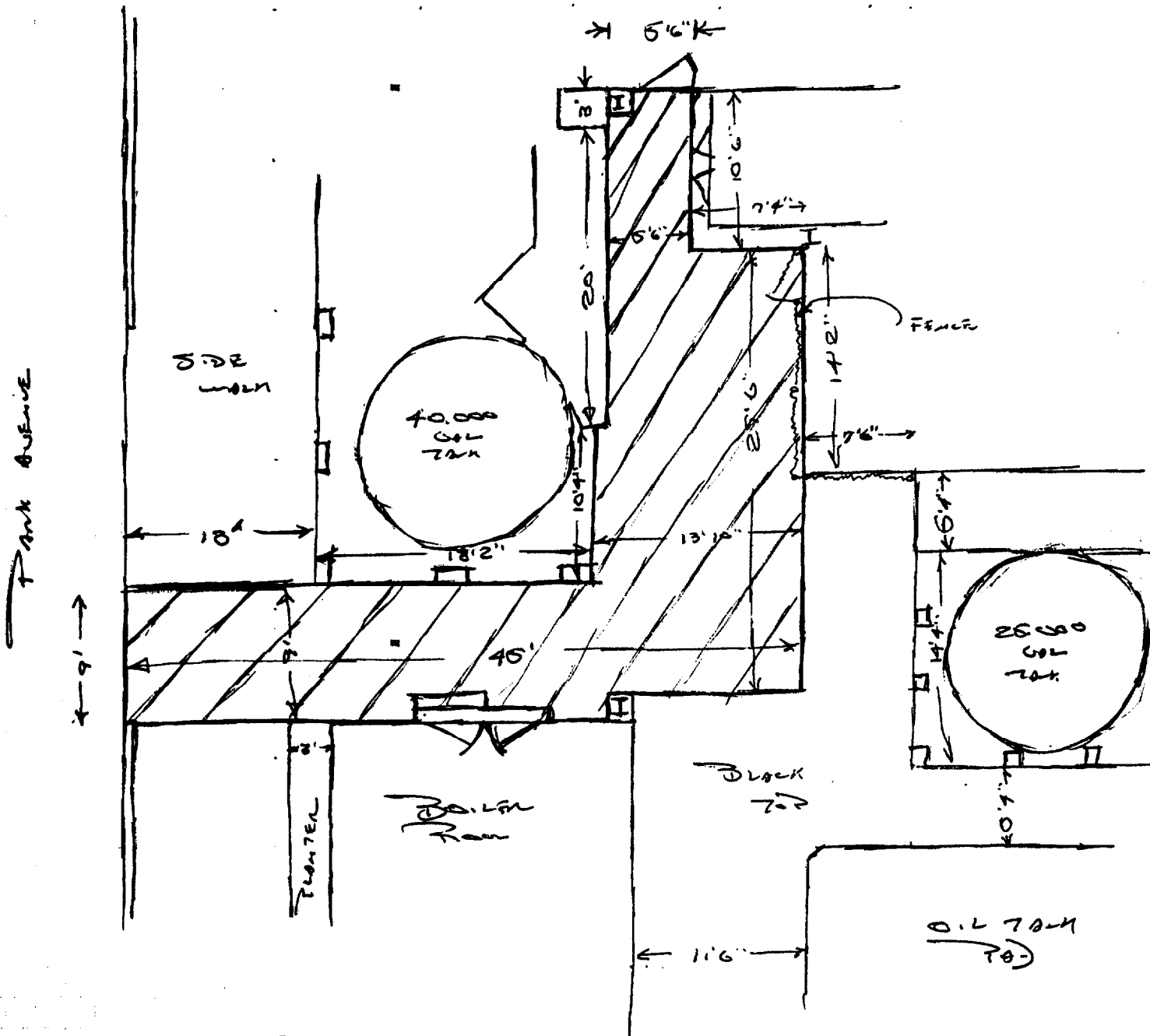


H.P. Hood Co.

10/2/00

Back Door Sidewalk

£ cost.



NEW SIDEWALK  
Back Door TO  
STREET

REMOVE EXISTING BLOCK TOP  
INSTALL CONCRETE SIDEWALK (6")  
w/ 6x6 10/10 W.W.M.

SEE PLAN REF. 5

GUARD RAIL WITH INTERNAL POWER

#054.2

149.58'

POWER TO GUARD RAIL FROM POLE

HOOD 1st PARCEL  
11,816 S.F.  
0.2713 Ac.  
SEE NOTE 11

LEASE LOT  
8,480 S.F.  
0.1947 Ac.  
SEE NOTE 6

HOOD 2nd PARCEL  
55,467 S.F.  
1.2733 Ac.

N/F  
PORTLAND TERMINAL COMPANY

APPROX. EDGE OF PAVEMENT

LIMITS OF OLD LOCATION OF ST. JAMES STREET RECORD WIDTH 60.00' SEE NOTE 5

NO RECORD EASEMENT WAS FOUND FOR THESE LINES

TEMP. BLDG

LOADING DOCKS

H.P. HOOD & SONS

N/F COMPANY

POSSIBLE CLAIM TO E. OF OLD LOCATION BY BOTH ABUTTERS

POSSIBLE LOCATION OF N.E.T. EASEMENT 4933/21

LOADING DOCKS

PROPOSED CONC. BLOCK CONNECTOR

FIRE ESCAPE

CONC. PAD 3' ABOVE EXISTING GRADE

TWO 25,000 GAL. MILK STORAGE TANKS

SEE NOTE 8

GUARD RAIL WITH INTERNAL POWER HOOK-UPS FOR TRUCKS

BLDG

CONC.

U/G TANK

CONC. PAD

HOLDING TANKS

BOILER BUILDING 54,00'

PLANTER

42.49'

157.51'

27.56'

S89°45'59"E

S89°54'59"E

S89°54'59"E

S89°54'59"E

GRANITE CURB

POWER FEEDS

PARK AVENUE

APP. NEW SIDEWALK

6'

SS

SS

SS

TO ST. JAMES STREET

OUTSIDE RAILROAD

SEE PLAN REF. 5

GUARD RAIL WITH INTERNAL POWER

#054.2  
#054.2  
149.58'

POWER TO GUARD RAIL FROM POLE

HOOD 1st PARCEL  
11,816 S.F.  
0.2713 Ac.  
SEE NOTE 11

HOOD 2nd PARCEL  
55,467 S.F.  
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LEASE LOT  
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N/F  
PORTLAND TERMINAL COMPANY

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TWO 25,000 GAL. MILK STORAGE TANKS

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GUARD RAIL WITH INTERNAL POWER HOOK-UPS FOR TRUCKS

N/F COMPANY

POSSIBLE CLAIM TO E. OF OLD LOCATION BY HOH ABUTTERS

POSSIBLE LOCATION OF N.E.T. EASEMENT 49.33/21

LOADING DOCKS

BLDG

CONC.

CONC. PAD

HOLDING TANKS

BOILER BUILDING 54,00'

CONC.

42.49'

157.51'

27.56'

S89°45'59"E

S89°54'59"E

S89°54'59"E

S89°54'59"E

GRANITE CURB

POWER FEEDS

PARK AVENUE

1/2" GAS

OUTSIDE RAILROAD

TO ST. JAMES STREET

