

City of Portland  
Development Review Application  
Planning Division Transmittal form

**Application Number:** 10-79900022      **Application Date:**  
8-3-10

**Project Name:** SKATE PARK  
**Address:** Douglass St      **CBL:** 066 - A-002-001

**Project Description:** Skatepark; Doughty Field, Douglass Street; City of Portland,  
Hardcore Shotcrete Skateparks, Applicant.

**Zoning:** R5

**Other Reviews Required:**

**Review Type:** MINOR SITE PLAN

**Applicant:**  
Mark Leone  
601 McKinley Avenue  
Joplin Mo 64801

**Applicant:**  
Sally Deluca  
134 Congress Street  
Portland Me 04101

**Distribution List:**

<input checked="" type="checkbox"/> Planner	Jean Fraser	<input type="checkbox"/> Parking	John Peverada
<input type="checkbox"/> Zoning Administrator	Marge Schmuckal	<input type="checkbox"/> Design Review	Alex Jaegerman
<input type="checkbox"/> Traffic	Tom Errico	<input type="checkbox"/> Corporation Counsel	Danielle West-Chuhta
<input type="checkbox"/> Stormwater	Dan Goyette	<input type="checkbox"/> Sanitary Sewer	John Emerson
<input type="checkbox"/> Fire Department	Keith Gautreau	<input type="checkbox"/> Inspections	Tammy Munson
<input type="checkbox"/> City Arborist	Jeff Tarling	<input type="checkbox"/> Historic Preservation	Deb Andrews
<input type="checkbox"/> Engineering	David Margolis-Pineo	<input type="checkbox"/> Outside Agency	
		<input type="checkbox"/> DRC Coordinator	Phil DiPierro

**Preliminary Comments needed by: August 11, 2010**

**Final Comments needed by: August 18, 2010**



**Development Review Application**  
**PORTLAND, MAINE**  
Department of Planning and Urban Development,  
Planning Division and Planning Board

**PROJECT NAME:** Dougherty Field Skatepark

**PROPOSED DEVELOPMENT ADDRESS:**  
Douglas Street, Portland Maine

**PROJECT DESCRIPTION:**  
Design and construction of an in-ground concrete skatepark

**CHART/BLOCK/LOT:** \_\_\_\_\_

**CONTACT INFORMATION:**

**APPLICANT** Mark Leone, Project Manager  
**Name:** Hardcore Shotcrete Skateparks, Inc.  
**Address:** 601 McKinley Ave.  
Joplin, Missouri  
**Zip Code:** 64801  
**Work #:** 888-758-2695  
**Cell #:** 858-829-9264  
**Fax #:** 417-206-6888  
**Home:** 858-829-9264  
**E-mail:** mark@hardcoreskateparks.com

**PROPERTY OWNER**  
**Name:** City of Portland  
**Address:** Exposition Building  
239 Park Ave., Portland ME  
**Zip Code:** 04102  
**Work #:** 207-874-8654  
**Cell #:** 207-874-8801  
**Fax #:** 207-874-8669  
**Home:** na  
**E-mail:** tgc@portlandmaine.gov

**BILLING ADDRESS**  
**Name:** Hardcore Shotcrete Skateparks, Inc.  
**Address:** 601 McKinley Ave.  
Joplin, Missouri  
**Zip:** 64801  
**Work #:** 888-758-2695  
**Cell #:** 858-829-9264  
**Fax #:** 417-206-6888  
**Home:** 858-829-9264  
**E-mail:** mark@hardcoreskateparks.com

~As applicable, please include additional contact information on the next page~

**AGENT/REPRESENTATIVE**

**Name:** Sally Deluca, Recreation Div Manager  
**Address:** 134 Congress St.  
Portland ME  
**Zip Code:** 04101  
**Work #:** 207-756-8275  
**Cell #:**  
**Fax #:**  
**Home:**  
**E-mail:** sld@portlandmaine.gov

**ENGINEER**

Paul Hayman, PE  
Hayman Engineering Servcies

**Name:**  
**Address:** 206 Park Central East, Ste. 412  
Springfield, Missouri  
**Zip Code:** 65806  
**Work #:** 417-831-5550  
**Cell #:** 417-880-1396  
**Fax #:** 417-831-5551  
**Home:**  
**E-mail:** jchamberlain@haymanengineering.com  
phayman@haymanengineering.com

**ARCHITECT**

**Name:** Hardcore Shotcrete Skateparks, Inc.  
**Address:** 601 McKinley Ave.  
Joplin, Missouri  
**Zip Code:** 64801  
**Work #:** 888-758-2695  
**Cell #:** 858-829-9264  
**Fax #:** 417-206-6888  
**Home:** 858-829-9264  
**E-mail:** mark@hardcoreskateparks.com

**CONSULTANT**

**Name:** Hardcore Shotcrete Skateparks, Inc.  
**Address:** 601 McKinley Ave.  
Joplin, Missouri  
**Zip Code:** 64801  
**Work #:** 888-758-2695  
**Cell #:** 858-829-9264  
**Fax #:** 417-206-6888  
**Home:** 858-829-9264  
**E-mail:** mark@hardcoreskateparks.com

**SURVEYOR**

**Name:** Hardcore Shotcrete Skateparks, Inc.  
**Address:** 601 McKinley Ave.  
Joplin, Missouri  
**Zip Code:** 64801  
**Work #:** 888-758-2695  
**Cell #:** 858-829-9264  
**Fax #:** 417-206-6888  
**Home:** 858-829-9264  
**E-mail:** mark@hardcoreskateparks.com

**ATTORNEY**

**Name:**  
**Address:**  
**Zip Code:**  
**Work #:**  
**Cell #:**  
**Fax #:**  
**Home:**  
**E-mail:**

# PROJECT DATA

The following information is required where applicable, in order complete the application

Total Site Area \_\_\_\_\_ sq. ft.  
 Proposed Total Disturbed Area of the Site \_\_\_\_\_ sq. ft.  
 (If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland)

## IMPERVIOUS SURFACE AREA

Proposed Total Paved Area \_\_\_\_\_ 9,000 sf \_\_\_\_\_ sq. ft.  
 Existing Total Impervious Area \_\_\_\_\_ 0 sf \_\_\_\_\_ sq. ft.  
 Proposed Total Impervious Area \_\_\_\_\_ 0 sf \_\_\_\_\_ sq. ft.  
 Proposed Impervious Net Change \_\_\_\_\_ 9,000 sf \_\_\_\_\_ sq. ft.

## BUILDING AREA

Existing Building Footprint \_\_\_\_\_ NA \_\_\_\_\_ sq. ft.  
 Proposed Building Footprint \_\_\_\_\_ NA \_\_\_\_\_ sq. ft.  
 Proposed Building Footprint Net change \_\_\_\_\_ NA \_\_\_\_\_ sq. ft.  
 Existing Total Building Floor Area \_\_\_\_\_ NA \_\_\_\_\_ sq. ft.  
 Proposed Total Building Floor Area \_\_\_\_\_ NA \_\_\_\_\_ sq. ft.  
 Proposed Building Floor Area Net Change \_\_\_\_\_ NA \_\_\_\_\_ sq. ft.  
 New Building \_\_\_\_\_ NA \_\_\_\_\_ (yes or no)

## ZONING

Existing \_\_\_\_\_  
 Proposed, if applicable \_\_\_\_\_

## LAND USE

Existing \_\_\_\_\_  
 Proposed \_\_\_\_\_

## RESIDENTIAL, IF APPLICABLE

Proposed Number of Affordable Housing Units \_\_\_\_\_ NA \_\_\_\_\_  
 Proposed Number of Residential Units to be Demolished \_\_\_\_\_ NA \_\_\_\_\_  
 Existing Number of Residential Units \_\_\_\_\_ NA \_\_\_\_\_  
 Proposed Number of Residential Units \_\_\_\_\_ NA \_\_\_\_\_  
 Subdivision, Proposed Number of Lots \_\_\_\_\_ NA \_\_\_\_\_

## PARKING SPACES

Existing Number of Parking Spaces \_\_\_\_\_ NA \_\_\_\_\_  
 Proposed Number of Parking Spaces \_\_\_\_\_ NA \_\_\_\_\_  
 Number of Handicapped Parking Spaces \_\_\_\_\_ NA \_\_\_\_\_  
 Proposed Total Parking Spaces \_\_\_\_\_ NA \_\_\_\_\_

## BICYCLE PARKING SPACES

Existing Number of Bicycle Parking Spaces \_\_\_\_\_ NA \_\_\_\_\_  
 Proposed Number of Bicycle Parking Spaces \_\_\_\_\_ NA \_\_\_\_\_  
 Total Bicycle Parking Spaces \_\_\_\_\_ NA \_\_\_\_\_

## ESTIMATED COST OF PROJECT

\$240,000.00 \_\_\_\_\_

Please answer the following with a Yes/No response on all that apply to the proposed development

Institutional	<u>no</u>	Change of Use	<u>no</u>
Parking Lot	<u>no</u>	Design Review	<u>no</u>
Manufacturing	<u>no</u>	Flood Plain Review	<u>no</u>
Office	<u>no</u>	Historic Preservation	<u>no</u>
Residential	<u>no</u>	Housing Replacement	<u>no</u>
Retail/Business	<u>no</u>	14-403 Street Review	<u>no</u>
Warehouse	<u>no</u>	Shoreland	<u>no</u>
Single Family Dwelling	<u>no</u>	Site Location	<u>no</u>
2 Family Dwelling	<u>no</u>	Stormwater Quality	<u>no</u>
Multi-Family Dwelling	<u>no</u>	Traffic Movement	<u>no</u>
B-3 Ped Activity Review	<u>no</u>	Zoning Variance	<u>no</u> (or date)
Change of Use	<u>no</u>	Historic Dist./Landmark	<u>no</u>
		Off Site Parking	<u>no</u>

**APPLICATION FEE:**

Check all reviews that apply. Payment may be made in cash or check to the City of Portland.

<p><b>Major Development (more than 10,000 sq. ft.)</b></p> <p><input type="checkbox"/> Under 50,000 sq. ft. (\$500.00)</p> <p><input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000.00)</p> <p><input type="checkbox"/> Parking Lots over 100 spaces (\$1,000.00)</p> <p><input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000.00)</p> <p><input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000.00)</p> <p><input type="checkbox"/> Over 300,000 sq. ft. (\$5,000.00)</p> <p><input type="checkbox"/> After-the-fact Review (\$1,000.00 plus applicable application fee)</p>	<p><b>Plan Amendments</b></p> <p><input type="checkbox"/> Planning Staff Review (\$250.00)</p> <p><input type="checkbox"/> Planning Board Review (\$500.00)</p> <p><b>Subdivision</b></p> <p><input type="checkbox"/> Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$_____ + (applicable Major site plan fee)</p>
<p><b>Minor Site Plan Review</b></p> <p><input checked="" type="checkbox"/> Less than 10,000 sq. ft. (\$400.00)</p> <p><input type="checkbox"/> After-the-fact Review (\$1,000.00 plus applicable application fee)</p>	<p><b>Other Reviews</b></p> <p><input type="checkbox"/> Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____)</p> <p><input type="checkbox"/> Traffic Movement (\$1,000.00)</p> <p><input type="checkbox"/> Storm water Quality (\$250.00)</p> <p><input type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot)</p> <p><input type="checkbox"/> Other _____</p>

**DEVELOPMENT REVIEW APPLICATION SUBMISSION**

Submissions shall include seven (7) packets with folded plans containing the following materials:

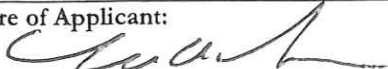
1. Seven (7) full size site plans that must be folded.
2. Application form that is completed and signed.
3. Cover letter stating the nature of the project.
4. All Written Submittals (Sec. 14-525 2. (c), including evidence of right, title and interest.
5. A stamped standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 100 feet.
6. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
7. Copy of the checklist completed for the proposal listing the material contained in the submitted application.
8. One (1) set of plans reduced to 11 x 17.

Refer to the application checklist (page 9) for a detailed list of submittal requirements.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: [www.portlandmaine.gov](http://www.portlandmaine.gov) Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for site review only; a Performance Guarantee, Inspection Fee, Building Permit Application and associated fees will be required prior to construction.

<p>Signature of Applicant:</p> 	<p>Date: 7/29/10</p>
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# Site Plan Checklist

Portland, Maine

Department of Planning and Urban Development, Planning Division and Planning Board

Dougherty Field Skate Park Douglas St., Portland Maine

**Project Name, Address of Project**

**Application Number**

(The form is to be completed by the Applicant or Designated Representative)

Check Submitted		Required Information	Section 14-525 (b,c)
Applicant	Staff		
_____	_____	Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:	1
_____	_____	Name and address of applicant and name of proposed development	a
_____	_____	* Scale and north points	b
_____	_____	* Boundaries of the site	c
_____	_____	* Total land area of site	d
_____	_____	* Topography - existing and proposed (2 feet intervals or less)	e
_____	_____	Plans based on the boundary survey including:	2
_____	_____	* Existing soil conditions	a
_____	_____	* Location of water courses, wetlands, marshes, rock outcroppings and wooded areas	b
_____	_____	* Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used	c
_____	_____	* Approx location of buildings or other structures on parcels abutting the site and a zoning summary of applicable dimensional standards ( <u>example page 11 of packet</u> )	d
_____	_____	* Location of on-site waste receptacles	e
_____	_____	* Public utilities	
_____	_____	* Water and sewer mains	e
_____	_____	* Culverts, drains, existing and proposed, showing size and directions of flows	e
_____	_____	* Location and dimensions, and ownership of easements, public or private rights-of-way, both existing and proposed	f
_____	_____	* Location and dimensions of on-site pedestrian and vehicular access ways	g
_____	_____	* Parking areas	
_____	_____	* Loading facilities	g
_____	_____	* Design of ingress and egress of vehicles to and from the site onto public streets	g
_____	_____	* Curb and sidewalks	g
_____	_____	Landscape plan showing:	g
_____	_____	* Location of existing vegetation and proposed vegetation	h
_____	_____	* Type of vegetation	h
_____	_____	* Quantity of plantings	h
_____	_____	* Size of proposed landscaping	h
_____	_____	* Existing areas to be preserved	h
_____	_____	* Preservation measures to be employed	h
_____	_____	* Details of planting and preservation specifications	h
_____	_____	* Location and dimensions of all fencing and screening	i
_____	_____	Location and intensity of outdoor lighting system	j
_____	_____	Location of fire hydrants, existing and proposed ( <u>refer to Fire Department checklist – page 11</u> )	k
_____	_____	Written statements to include:	c
_____	_____	* Description of proposed uses to be located on site	cl
_____	_____	* Quantity and type of residential, if any	cl
_____	_____	* Total land area of the site	c2
_____	_____	* Total floor area, total disturbed area and ground coverage of each proposed Building and structure	c2
_____	_____	* General summary of existing and proposed easements or other burdens	c3
_____	_____	* Type, quantity and method of handling solid waste disposal	c4
_____	_____	* Applicant's evaluation or evidence of availability of off-site public facilities, including sewer, water and streets ( <u>refer to the wastewater capacity application – page 12</u> )	c5
_____	_____	* Description of existing surface drainage and a proposed stormwater management plan or description of measures to control surface runoff.	c6

_____	_____	* An estimate of the time period required for completion of the development	7
_____	_____	* A list of all state and federal regulatory approvals to which the development may be subject to. the status of any pending applications, anticipated timeframe for obtaining such permits, or letters of non-jurisdiction.	8
_____	_____	* Evidence of financial and technical capability to undertake and complete the development including a letter from a responsible financial institution stating that it has reviewed the planned development and would seriously consider financing it when approved.	
_____	_____	* Evidence of applicant's right title or interest, including deeds, leases, purchase options or other documentation.	
_____	_____	* A description of any unusual natural areas, wildlife and fisheries habitats, or archaeological sites located on or near the site.	
_____	_____	A jpeg or pdf of the proposed site plan, if available.	
_____	_____	Final sets of the approved plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.	

Note: Depending on the size and scope of the proposed development, the Planning Board or Planning Authority may request additional information, including (but not limited to):

- |   |   |
|---|---|
| - drainage patterns and facilities                                  | - an environmental impact study                           |
| - erosion and sedimentation controls to be used during construction | - a sun shadow study                                      |
| - a parking and/or traffic study                                    | - a study of particulates and any other noxious emissions |
| - a wind impact analysis  | - a noise study   |

### Example of Zoning Summary

1.	Property is located in the IM Zone (Moderate Impact Industrial)		
2.	Parcel Acreage: 1.37 AC (59,677.2 sf)		
	<b>Regulations</b>	<b><u>Required/Allowed</u></b>	<b><u>Provided</u></b>
	Min Lot Area	none	59,677.2 sf.
	Min Street Frontage	60 ft.	314,46 ft.
	Min Front Yard Setback	1 ft./1 ft. Building Height	72.04 ft.
	Min Rear Yard Setback	1 ft./1 ft. Building Height	35.66 ft.
	Min Side Yard Setback	1 ft./1 ft. Building Height	82.80 and 38.22
	Max Building Height	75 ft.	65 ft.
4.	Parking – Warehouse Distribution:	1 space/1000 sf.	10 spaces
5.	Maximum Impervious Surface Ratio:	75%	43%

### Portland Fire Department Checklist

A separate drawing[s] shall be provided to the Portland Fire Department for all site plan reviews, which shall include:

1. Name, address, telephone number of applicant.
2. Name address, telephone number of architect
3. Proposed uses of any structures [NFPA and IBC classification]
4. Square footage of all structures [total and per story]
5. Elevation of all structures
6. Proposed fire protection of all structures
7. Hydrant locations
8. Water main[s] size and location
9. Access to any fire department connections
10. Access to all structures [min. 2 sides]
11. A code summary shall be included referencing NFPA 1 and all fire department. Technical standards.
12. Elevators shall be sized to fit an 81" x 23" stretcher and two personnel.
13. Some structures may require Fire flows using annex H of NFPA 1

### **Additional Submission for Subdivisions:**

#### Street Names and Street Numbering for Proposed Subdivisions

##### **Notice to Developers of New Subdivisions**

Effective January 1, 1998, the City of Portland requests that developers of new subdivisions submit information regarding the origin of the name of any new street(s) created within the City limits. This information shall be submitted to the Planning Division with all other related application materials and shall include information regarding the person or subject for which all new streets are being named. In the case of a person, the full name should be submitted, as well as their vocation, relationship to the developer or the area, or other pertinent information.

##### **Street Numbering Assignments**

The assignment of official street addresses is the sole responsibility of the Department of Public Services. These assignments proceed by a set of guidelines and are done from submitted site plans whenever possible. For Enhanced 9-1-1 purposes, they need to be as accurate as possible and, depending on size and site layout, the creation of new street names may be required. Despite addresses listed on such things as the check sheet for site plan approval, building inspection documents or tax maps, it is requested you contact the Department of Public Services for your official address(es). Please call, Leslie Kaynor, GIS Surveyor at (207) 874-8346.



# CITY OF PORTLAND WASTEWATER CAPACITY APPLICATION

Department of Public Services,  
55 Portland Street,  
Portland, Maine 04101-2991



Mr. Frank J. Brancely,  
Senior Engineering Technician,  
Phone #: (207) 874-8832,  
Fax #: (207) 874-8852,  
E-mail: fjb@portlandmaine.gov

Date: \_\_\_\_\_

## 1. Please, Submit Utility, Site, and Locus Plans.

Site Address: \_\_\_\_\_  
*(Regarding addressing, please contact Leslie Kaynor, either at 756-8346, or at LMK@portlandmaine.gov)*

Proposed Use: \_\_\_\_\_

Previous Use: \_\_\_\_\_

Existing Sanitary Flows: \_\_\_\_\_ GPD

Existing Process Flows: \_\_\_\_\_ GPD

Description and location of City sewer, at proposed building sewer lateral connection: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Chart Block Lot Number: \_\_\_\_\_

Site Category	Commercial _____	
	Industrial <i>(complete part 4 below)</i> _____	
	Governmental _____	
	Residential _____	
	Other <i>(specify)</i> _____	

Clearly, indicate the proposed connection, on the submitted plans.

## 2. Please, Submit Domestic Wastewater Design Flow Calculations.

Estimated Domestic Wastewater Flow Generated: \_\_\_\_\_ GPD

Peaking Factor/ Peak Times: \_\_\_\_\_

Specify the source of design guidelines: *(i.e. "Handbook of Subsurface Wastewater Disposal in Maine," "Plumbers and Pipe Fitters Calculation Manual," Portland Water District Records, Other (specify)*

\_\_\_\_\_

**Note: Please submit calculations showing the derivation of your design flows, either on the following page, in the space provided, or attached, as a separate sheet.**

## 3. Please, Submit Contact Information.

Owner/Developer Name:	City of Portland Maine		
Owner/Developer Address:	239 Park Ave., Portland Maine 04102		
Phone: 207-874-8654	Fax: 207-874-8669	E-mail: tgc@portlandmaine.gov	
Engineering Consultant Name:	_____		
Engineering Consultant Address:	_____		
Phone: _____	Fax: _____	E-mail: _____	
City Planner's Name:	_____		Phone: _____

**Note: Consultants and Developers should allow +/- 15 days, for capacity status, prior to Planning Board Review.**

## 4. Please, Submit Industrial Process Wastewater Flow Calculations

Estimated Industrial Process Wastewater Flows Generated: \_\_\_\_\_ GPD

Do you currently hold Federal or State discharge permits? Yes \_\_\_\_\_ No \_\_\_\_\_

Is the process wastewater termed categorical under CFR 40? Yes \_\_\_\_\_ No \_\_\_\_\_

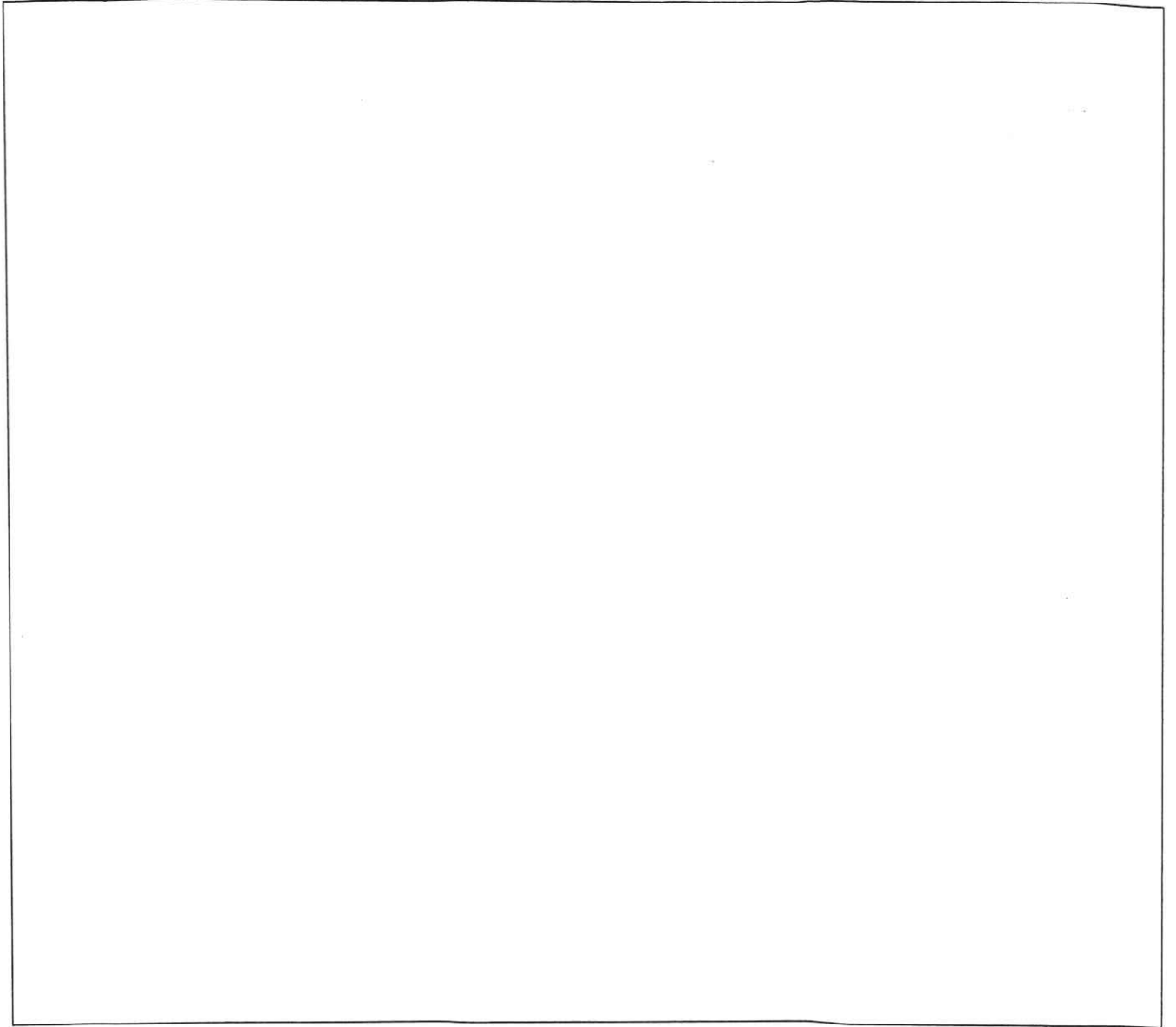
OSHA Standard Industrial Code (SIC): \_\_\_\_\_

Peaking Factor/Peak Process Times: \_\_\_\_\_

*(<http://www.osha.gov/oshstats/sicser.html>)*

**Note: On the submitted plans, please show the locations, where the building's sanitary, and process water sewer laterals, exit the facility, where they enter the city's sewer, the location of any control manholes, wet wells, or other access points, and the locations of any filters, strainers, or grease traps.**

**Notes, Comments, or Calculations:**

A large, empty rectangular box with a thin black border, intended for providing notes, comments, or calculations related to the submitted plans.



# PORTLAND MAINE

*Strengthening a Remarkable City. Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

**Planning & Urban Development Department**  
Penny St. Louis Littell, Director

September 16, 2010

Ethan Owens, Athletic Facilities Manager  
Department of Recreation & Facilities Management.  
City of Portland  
134 Congress Street, Suite 2  
Portland, ME 04101-3608

**Re: Request for Preliminary Site Work Commencement  
SkatePark, Dougherty Fields ( HTE Application #10-79900022)**

Dear Ethan,

On September 16, 2010 the site plan for the Skatepark was approved with conditions. Based on your letter of September 10, 2010, I approve the following preliminary site work activities prior to the building permits being issued.

- Put up site temporary fencing;
- Install erosion control;
- Minor site preparation, consisting of removal of debris, smoothing out rough gravel area and improving the existing construction access road; and
- Stock some materials.

This approval is subject to the following conditions:

- 1) That all work and materials remain within Dougherty Field; and
- 2) That part of the parking lot may be used as a construction staging area, provided that the remainder of the parking lot and the nearby street parking remains accessible; and
- 3) Adjacent sidewalks and street to remain safe, clear of debris and passable; and
- 4) That the siltation barrier around the Skatepark site shall be installed prior to any vehicle access or regrading on the site.

Please contact Jean Fraser if you have any questions at 874-8728 or [jf@portlandmaine.gov](mailto:jf@portlandmaine.gov).

Sincerely,

Penny St Louis Littell  
Director of Planning and Urban Development

2.

Electronic copies:

Alexander Jaegerman, Planning Division Director  
Barbara Barhydt, Development Review Services Manager  
Jean Fraser, Planner  
Phil DiPierro, Development Review Coordinator  
Marge Schmuckal, Zoning Administrator  
Tammy Munson, Inspections Division

Michael Bobinsky, Public Works Director  
Katherine Earley, Public Works Engineering Manager  
Al Palmer, Engineering Reviewer  
David Margolis-Pineo, Deputy Engineer  
Tom Errico, Traffic Engineering Reviewer

Paper copy: Mark Leone, Hardcore Shotcrete Skateparks Inc.

*This was  
agreed w/  
renewals +  
applicants*



Marge S

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Department of Recreation & Facilities Management  
Anita LaChance, Director

Recreation Division  
Sally L. DeLuca CPRP, Director

9/10/2010

To: Barbara Barhydt & Jean Fraser - Portland Planning Dept

From: Ethan Owens – Portland Recreation Dept

Subject: #HTE 10-7990022 City of Portland Skate Park submitted 8-3-2010

Barbara and Jean,

The Recreation Department would like to request permission from the Director of Planning and Urban Development – Penny St Louis Littell, to begin preliminary site work of the skate park while we await the final site plan approval.

We intend to submit the building permit application shortly for the concrete Skate Park and its foundations and drainage; we are currently waiting on 2 pages of the final construction plans from the builder.

While waiting the final approvals, we would like to begin the following;

- Put up job site temporary fencing
- Install erosion control
- Minor site preparation consisting of removal of debris, smoothing out rough gravel areas and improving the existing construction access road.
- Stock some materials.

We are requesting this permission because the fall weather is coming quickly and we would like to have the minor site work finished and be ready to begin the real construction once the approval is ready.

Thank you for this consideration and certainly call me or Sally with any questions or concerns -  
Rec office 756-8275 & my cell 671-2036

Sincerely,



Ethan Owens

Athletic Facilities Manager



Tammy M.

*Strengthening a Remarkable City, Building a Community for Life* - www.portlandmaine.gov

Department of Recreation & Facilities Management  
Anita LaChance, Director

Recreation Division  
Sally L. DeLuca CPRP, Director

9/10/2010

To: Barbara Barhydt & Jean Fraser - Portland Planning Dept

From: Ethan Owens - Portland Recreation Dept

Subject: #HTE 10-7990022 City of Portland Skate Park submitted 8-3-2010

Barbara and Jean,

The Recreation Department would like to request permission from the Director of Planning and Urban Development - Penny St Louis Littell, to begin preliminary site work of the skate park while we await the final site plan approval.

We intend to submit the building permit application shortly for the concrete Skate Park and its foundations and drainage; we are currently waiting on 2 pages of the final construction plans from the builder.

While waiting the final approvals, we would like to begin the following;

- Put up job site temporary fencing
- Install erosion control
- Minor site preparation consisting of removal of debris, smoothing out rough gravel areas and improving the existing construction access road.
- Stock some materials.

We are requesting this permission because the fall weather is coming quickly and we would like to have the minor site work finished and be ready to begin the real construction once the approval is ready.

Thank you for this consideration and certainly call me or Sally with any questions or concerns - Rec office 756-8275 & my cell 671-2036

Sincerely,



Ethan Owens  
Athletic Facilities Manager



# PORTLAND, MAINE

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Rec office 756-8275 & my cell 671-2036

Sincerely,

  
Ethan Owens  
Athletic Facilities Manager

**Jean Fraser - Skate Park - Letter re prep work**

---

**From:** Jean Fraser  
**To:** Owens, Ethan  
**Date:** 9/10/2010 1:43 PM  
**Subject:** Skate Park - Letter re prep work  
**CC:** Barhydt, Barbara

---

Ethan,

As promised this is the Site Plan Ordinance provision that authorizes our director (Penny St Louis Littell) to give you permission to start on work in advance of final permits.

The Ordinance (14-532 (d) (2) b) states:

- (2) No alterations shall be made to a site with a pending or approved site plan application until:**
- a.** The performance guarantee has been posted and final site plans have been submitted to the Planning Authority.
  - b.** Written permission has been received from the Director of Planning and Urban Development or his/her designee. Such permission shall be granted only after submission of a written request describing the proposed scope of work to be conducted on the site and the planning authority concludes that the request is reasonable, time is imperative and the work will not compromise any aspect of the ensuing review process. All such work shall be done in compliance with information provided with the site plan application including, but not limited to, an erosion control plan. Such written permission shall not be required if the only work proposed is the digging of test pits.

Please address the letter to me or Barbara, quote the site plan # HTE 10-79900022, as submitted 8-3-2010.

As Barbara mentioned, please outline what the prep work will be (including any measures to avoid soil erosion etc if relevant) prior to the concrete work; also note why urgent and that you are awaiting final construction plans for the concrete SkatePark area which is the part subject to a Building Permit.

Please call if any questions.

Jean

Note: See file on Dougherty field imp's site plan for cont. of const + main access.

9.8.10

update 9.15.10

**MINOR SITE PLAN DEVELOPMENT REVIEW**  
**Final review and sign off**

**PROJECT:** Skate Park **Application #:** HTE 10-79900022  
**Date of completion:** under review based on 9.7.10 & 9.8. (dmtr) info.

Review item	Status	Who signed off on this
Evidence of Right, Title & Interest	need survey	Submitted
MDEP/MP etc issues		NO
Additional info provided as requested:	addl info req. re area right around SP - drainage; erosion stabilization; paths/links, plot	
Access and parking layout (including contributions)	Requested info on MP Plans submitted 9.3 (rec'd 9.7) + discussed 9.8	under review OK
Bicycle parking	incl. in MP info	
Stormwater Management	see note of 9.8 mtg.	revisions re MP wanted; SP OK w/ conditions - get from reviewers
Other engineering issues	SP foundations not a reviewed item	
Zoning		OK
Fire Department		OK see com.
Building materials etc		—
Landscape	incl. in MP info	under review OK - see comments
Two trees/lot; two foundation plantings per lot	N/R	— (too much)
Lighting	NOT proposed	— anything
Letter of financial capability	HCD financial confirmed	
Capacity letter water		N/R
Capacity letter sewer		N/R
Sidewalk/Curbing	incl. in MP info	under review - not relevant to SP
Dumpster location and enclosure/waste collection		N/R
Other issues	"Public comment" from Tom Noble 9.9.10 re need for spot lights to clarify slopes (1% vs 3%) to avoid localized ponding. - referred to eng reviewers to take into account	DMP suggests poss cond: ? "there shall be no ponding water on any concrete surface once completed"

**Fire Prevention Captain Keith Gautreau**

August 26, 2010

Fire Department is all set with this project. Ambulance access will be fine for all the broken wrists and ankles.

## Jean Fraser - Skate Board Park

---

**From:** Thomas Errico <Thomas.Errico@tylin.com>  
**To:** Jean Fraser <JF@portlandmaine.gov>  
**Date:** 9/14/2010 7:58 PM  
**Subject:** Skate Board Park  
**CC:** David Margolis-Pineo <DMP@portlandmaine.gov>, Katherine Earley <KAS@port...

---

Jean – I have reviewed the plans for the Skate Board Park application only and find the project to be acceptable from a traffic perspective. If you have any questions, please contact me.

Best regards,

Thomas A. Errico, PE  
Senior Associate  
Traffic Engineering Director

**TYLIN**INTERNATIONAL  
12 Northbrook Drive  
Falmouth, ME 04105  
207.347.4354 direct  
207.400.0719 mobile  
207.781.4753 fax  
[thomas.errico@tylin.com](mailto:thomas.errico@tylin.com)  
Visit us online at [www.tylin.com](http://www.tylin.com)

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Please consider the environment before printing.

**Zoning Administrator Marge Schmuckal**

September 13, 2010

This skateboard park is located within an ROS Zone. Such a use is allowable. The ROS setbacks and other dimensional standards are being met. There are 24 off-street parking spaces being provided which is more than meeting the parking requirements of zoning. It is assumed that these parking spaces shall be used by all users of Doughty Field and not just the skateboard users. There is a landscaping plan that shows screening in front of the parking area. Working with the City's Arborist, that landscaping should be beefed up a bit. This proposal only rises to the level of staff review for further development site standards.

Separate permits are required for any new signage.

September 14, 2010

To: Jean Fraser  
Barbara Barhydt  
From: David Margolis-Pineo  
Public Services Review Comments  
Re: Skate Park/Dougherty Field

Public Services staff has the following comments on this project.

1. Show location of toilet facilities.
2. Property pins will need to be set for Dougherty Field.
3. Grading shall be as shown on Drawing SP-1B. There shall be no ponding water on any of the concrete work upon completion.
4. Applicant shall show proposed access road for maintenance.
5. I believe show erosion control has been mentioned.

Public Services have no further comments at this time.

# Eng. Peer Review comments

**From:** Al Palmer <APalmer@gorrillpalmer.com>  
**To:** David Senus <dsenus@woodardcurran.com>, "Jean Fraser(JF@portlandmaine.go...  
**CC:** David Margolis-Pineo <DMP@portlandmaine.gov>  
**Date:** 9/15/2010 2:46 PM  
**Subject:** RE: Updated Site Plans - Skate Park Area Grading & Drainage

Jean,

Our comments regarding the "Skate Board Park" portion of the Dougherty Fields property have been adequately addressed based on the plans transmitted yesterday by David Senus. In addition, the Draft Approval letter that you circulated yesterday include the conditions regarding erosion control that we discussed.

Please contact me with any questions, or if you require any further review by our office on the "Skate Board Park" portion of the project.

Thanks,

Al Palmer

-----Original Message-----

From: David Senus [mailto:dsenus@woodardcurran.com]  
Sent: Tuesday, September 14, 2010 11:20 AM  
To: Jean Fraser  
Cc: Al Palmer; Barbara Barhydt; David Margolis-Pineo; Ethan Owens; Marge Schmuckal; Sally Deluca; Troy Moon; Tammy Munson; Regina S. Leonard  
Subject: RE: Updated Site Plans - Skate Park Area Grading & Drainage

Hello Jean:

Per our phone call, attached are the revisions to the plans (Hardcore's & W&C/RSL) to address comments received in the Site Plan review process.

We have included 4 updated Hardcore plans:

- >SP-1B - Updates to drainage to match W&C/RSL plan; addition of perimeter erosion control barrier; addition of diversion berm uphill of construction; addition of underdrains below skatepark
- >SP-1C - Iso 3d view of underdrain and drainage pipes for skatepark
- >SP-1D - Detailed spot grades within skatepark
- >SP-5D - Additional detail sheet

We have included 1 updated W&C/RSL plan:

- >Sheet 3 of 9 - Updates to drainage to match Hardcore plan; update of plan notes to address temporary site stabilization (interim period between Hardcore's work & final grading).

Ethan will be providing hard copies of the latest Hardcore Skatepark design plans to Tammy Munson for bldg permit review.



I will give Dan Goyette 2 hard copies of the attached plans to bring to tomorrow's meeting.

Thanks!

Dave Sensus

-----Original Message-----

From: Jean Fraser [mailto:JF@portlandmaine.gov]

Sent: Monday, September 13, 2010 10:36 AM

To: David Sensus

Cc: Al Palmer; Barbara Barhydt; David Margolis-Pineo; Ethan Owens; Marge Schmuckal; Sally Deluca; Troy Moon; Tammy Munson; Regina S. Leonard

Subject: RE: Updated Site Plans - Skate Park Area Grading & Drainage

David

These also need to go to the Inspections Division (Tammy Munson TMM@portlandmaine.gov copied to Marge Schmuckal MES@portlandmaine.gov) as they are reviewing the Building Permit for the concrete work.

David Margolis-Pineo is also reviewing this re Site Plan (along with Al Palmer).

Everyone is included in the cc list in view of the urgency.

Thanks  
Jean

>>> "David Sensus" <dsensus@woodardcurran.com> 9/13/2010 9:47 AM >>>

To update you all, Ethan and I contacted Hardcore Skateparks immediately following our meeting last Wednesday and we received a draft version (unstamped) of SP1-B on Friday afternoon. I had a few comments that I sent back to Hardcore on Friday afternoon (including that the plan must be stamped/signed). We have requested that they get us this finalized plan this morning for submittal to Planning & Gorrill-Palmer, and I'm awaiting it's arrival (hopefully soon).

I'll be sure to pass it along as soon as I receive it.

Thanks  
Dave

David Senus

---

**From:** David Senus  
**Sent:** Tuesday, September 14, 2010 11:20 AM  
**To:** Jean Fraser  
**Cc:** Al Palmer; Barbara Barhydt; David Margolis-Pineo; Ethan Owens; Marge Schmuckal; Sally Deluca; Troy Moon; Tammy Munson; Regina S. Leonard  
**Subject:** RE: Updated Site Plans - Skate Park Area Grading & Drainage  
**Attachments:** Rev skatepark plans.pdf; Sheet 3of9.pdf



Rev skatepark plans.pdf



Sheet 3of9.pdf

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✓ rec'd  
off.

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Sent: Monday, September 13, 2010 10:36 AM  
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Cc: Al Palmer; Barbara Barhydt; David Margolis-Pineo; Ethan Owens; Marge Schmuckal; Sally Deluca; Troy Moon; Tammy Munson; Regina S. Leonard  
Subject: RE: Updated Site Plans - Skate Park Area Grading & Drainage

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Thanks  
Dave

## Jean Fraser - Skate Board Park

---

**From:** Thomas Errico <Thomas.Errico@tylin.com>  
**To:** Jean Fraser <JF@portlandmaine.gov>  
**Date:** 9/14/2010 7:58 PM  
**Subject:** Skate Board Park  
**CC:** David Margolis-Pineo <DMP@portlandmaine.gov>, Katherine Earley <KAS@port...

---

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Best regards,

Thomas A. Errico, PE  
Senior Associate  
Traffic Engineering Director  
**TYLIN** INTERNATIONAL  
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207.347.4354 direct  
207.400.0719 mobile  
207.781.4753 fax  
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**To:** David Senus <dsenus@woodardcurran.com>  
**CC:** David Margolis-Pineo <DMP@portlandmaine.gov>, Jean Fraser <JF@portlandmaine.gov>, Ethan Owens <EOWENS@portlandmaine.gov>, Sally Deluca <SLD@portlandmaine.gov>, Troy Moon <THM@portlandmaine.gov>, Barbara Barhydt <BAB@portlandmaine.gov>, "Regina S. Leonard" <regina@rsldesign.com>  
**Date:** 9/9/2010 8:06 PM  
**Subject:** RE: Updated Site Plans - Skate Park Area Grading & Drainage

Hi David,

The revised plans (Woodard & Curran sheets #3 and #7) address the comments from our office's review of the storm water and permanent erosion control provisions for the overall design for the "Skateboard Park" area.

We still need to review Hardcore's response to the temporary stabilization and erosion control aspects of their portion of the project (Drawing SP1-B as you noted in your email). Please forward them after your receipt and we'll work with Jean regarding any necessary conditions of approval.

Thanks,

Al Palmer

-----Original Message-----

From: David Senus [mailto:dsenus@woodardcurran.com]  
Sent: Thursday, September 09, 2010 5:47 PM  
To: Al Palmer  
Cc: David Margolis-Pineo; Jean Fraser; Ethan Owens; Sally Deluca; Troy Moon; Barbara Barhydt; Regina S. Leonard  
Subject: Updated Site Plans - Skate Park Area Grading & Drainage

Hi Al:

Per our meeting yesterday, we've had the chance to address comments related to:

- >Size of the underdrain soil filter in Subcatchment D2 (previously 185 sf, now 680 sf or 87% DEP water quality volume);
- >Time of concentration line for Subcatchment D2 Change from riprap to
- >permanent soil stabilization matting for swale off parking lot
- >PVC liner below soil filters in areas of ash fill

See attached PDF's for updated plans sheets 3 & 7; and updated post development stormwater plan. I put a rev. cloud around our changes.

Ethan and I have been in contact with Hardcore, who anticipate sending us revisions to SP1-B tomorrow (and potentially other sheets related to base/subbase considerations, but I'll review to see if changes are applicable to site plan review).

Let me know if you have any questions. I'd be glad to provide hard copies of our revised plans, and certainly will provide hard copies to planning for the project record if there are no additional comments.

Thanks!  
Dave

David Senus, PE, Project Manager  
Woodard & Curran, Inc.  
41 Hutchins Drive  
Portland, ME 04102  
Phone: (800) 426-4262 x3241  
Fax: (207) 774-6635

Woodard & Curran  
[www.woodardcurran.com](http://www.woodardcurran.com)  
Commitment & Integrity Drive Results

**From:** Jeff Tarling  
**To:** Jean Fraser  
**CC:** David Margolis-Pineo  
**Date:** 9/10/2010 9:53 AM  
**Subject:** Skate Park Landscape Review

Hi Jean -

I have reviewed the proposed Skate Park / Dougherty Field landscape treatment and offer the following comments / recommendations:

The landscape plan uses a mix of shade, ornamental & evergreen trees to buffer the site, add shade and interest to this park.  
It would be good to have the flexibility to adjust the actual placement and density of the proposed trees 'in-the-field' once the skate park is constructed.

Overall, the landscape treatment is acceptable as proposed.

Jeff Tarling

## Jean Fraser - Re: Fwd: Skatepark Development Review Application

---

**From:** Tammy Munson  
**To:** Ethan Owens  
**Date:** 8/2/2010 3:16 PM  
**Subject:** Re: Fwd: Skatepark Development Review Application

---

Ethan, you do not need to submit plans for the site work to our office. We may generate a building permit for the work but nothing additional is needed from you. I have spoken with the designer of the skate park and reviewed what they will need for a building permit for the park. There is a lot of concrete work, etc so they do need a building permit.

>>> Ethan Owens 8/2/2010 3:04 PM >>>

No, actually with all the Dougherty construction - field realignment and skate park construction - there are no buildings. Now there is a phase 4 I think, where they want to build a restroom/concession stand but that would be years away and would have to be in line for CIP money and I doubt that would ever happen considering our other needs around the City. The skate park is a concrete pad basically with a couple of pool type elements and several banks type elements. The field project will replace two existing back stops and some ground work and that is about it.

Have a great day,

Ethan Owens  
Athletic Facilities, Playground & Courts Manager  
Recreation Department ~ City of Portland  
134 Congress St  
Portland, Maine 04103 ~ USA  
207-756-8275/Fax 207-756-8279  
[eowens@portlandmaine.gov](mailto:eowens@portlandmaine.gov)

>>> Tammy Munson 8/2/2010 2:53 PM >>>

Is there any "building construction" going on or is it all site work?

>>> Ethan Owens 8/2/2010 2:44 PM >>>

Hi Tammy,

Here is the link to download the plans - I thought to e-mail but it was too big - and I can bring a hard copy up when they get done.

Have a great day,

Ethan Owens  
Athletic Facilities, Playground & Courts Manager  
Recreation Department ~ City of Portland  
134 Congress St  
Portland, Maine 04103 ~ USA  
207-756-8275/Fax 207-756-8279  
[eowens@portlandmaine.gov](mailto:eowens@portlandmaine.gov)

>>> Sally Deluca 8/2/2010 2:32 PM >>>



>>> "Mark Leone" <[Mark2@hardcoreskateparks.com](mailto:Mark2@hardcoreskateparks.com)> 7/29/2010 3:25 PM >>>

Hi Barbara,

I spoke with Sheukira from your office this morning and she agreed it would be acceptable to email you our Development Review Application and Site Plan to save time. We have sent the application fee overnight via FedEx to your attention. My experience with plan checks is they often take a few rounds before approval is given. In an effort to save time I have attached a link to download the entire set of construction drawings and details of the skatepark. We have already begun getting our mobilization plan in line and are prepared to begin work quickly once plans are approved. Please let me know if any addition information is needed and will supply right away.

A file has been sent to you via the **YouSendIt** ( <http://www.yousendit.com> ) File Delivery Service.  
Download the file - Maine Skatepark.pdf ( <https://www.yousendit.com/download/T1VuV0p5Tk1GR0UwTVE9PQ> )  
Your file will expire after 7 days or 100 downloads.

Lastly, will there be a construction contact assigned to the project for field coordination? Our construction manager would like to schedule a phone call to prepare for the upcoming construction activity.

Thanks for your help, we are looking forward to building you a great park!

**mark leone**

VP of Design

p 888-SK8-BOWL

f 888-SK8-FLOW

c 858-829-9264

( <http://www.hardcoreskateparks.com/> )

*Skater Owned/Operated Since 2001*

( <http://www.youtube.com/user/HardcoreSkateparks> ) ( <http://www.facebook.com/pages/Hardcore-Shotcrete-Skateparks/112764115429497?v=wall> ) ( <http://www.flickr.com/photos/hardcoreskateparks/> )

( <http://twitter.com/HardcoreSk8park> ) ( <http://www.myspace.com/hardcoreskateparks> )

PROMO VIDEO ( <http://www.youtube.com/user/HardcoreSkateparks#p/a/u/2/Tj-i6kwJIJk> ) | 2010 CATALOG  
( <http://hardcoreskateparks.com/images/stories/sl-hcscatalog.pdf> )

**From:** "David Senus" <dsenus@woodardcurran.com>  
**To:** "Jean Fraser" <JF@portlandmaine.gov>  
**CC:** "Barbara Barhydt" <BAB@portlandmaine.gov>, "Ethan Owens" <EOWENS@portlandmaine.gov>, "Troy Moon" <THM@portlandmaine.gov>, "Sally Deluca" <SLD@portlandmaine.gov>  
**Date:** 9/9/2010 4:15 PM  
**Subject:** RE: Dougherty Fields Site plan application

Thanks Jean.

As you mentioned, the Skate Park is and should continue to be under Ethan's name as applicant.

You can identify Troy Moon with DPS as the applicant for the full park improvements submission.

**Troy Moon, Environmental Programs Manager  
City of Portland DPS  
55 Portland Street  
Portland, Maine 04101**

**207-874-8467 (office)  
207-874-8816 (fax)**

**THM@portlandmaine.gov**

With regard to review comments, yes, that is me.

Thanks,  
Dave

## Jean Fraser - Eng. comments re Skate Park

---

**From:** Jean Fraser  
**To:** APalmer@gorrillpalmer.com; Margolis-Pineo, David  
**Date:** 9/9/2010 11:40 AM  
**Subject:** Eng. comments re Skate Park

---

Al and David,

A member of the public came in today to look at the Skate Park plans.

He happens to be Tom Noble who has a company that builds large skate parks all over the country and bid for the skate park at Dougherty Fields. Although he may be a disappointed bidder and probably likely to be critical of the Hardcore proposal, he clearly has a lot of experience regarding the design and construction of skate parks and of problems associated with them.

He will be sending me written comments, but in the meantime I am forwarding to you his concern and I would ask that you take this into account in formulating your comments.

He looked at all of the plans, both from Hardcore and from W&C and commented that spot heights for the flatter areas/spaces between the dips were missing and that there is a real risk of ponding all over the park area unless these are articulated. He says that a common problem with concrete skate parks is that the skateboard designers want slopes of 1% but that for drainage there really is a need for 3%; where 1% a real problem re localized ponding.

He appreciates that we do not see these kind of projects every day but I think that means he is more concerned that we may not understand this issue. Hopefully there is some info about this issue available to you.

Incidentally, he stated that this is the first time the actual intended skate park proposals have been available to public review (since the original winning design of 20,000 sq ft was selected earlier this year) - and now that he has seen what is likely to be constructed I understand that he will be raising other issues (ie how come so much smaller for same money etc) with others in City Hall - I did clarify that this issue was not a planning issue.

thanks  
Jean

## Jean Fraser - Skate park/Dougherty Fields Site Plan Reviews

---

**From:** Jean Fraser  
**To:** APalmer@gorillpalmer.com; Errico, Thomas; Gautreau, Keith; Margolis-...  
**Date:** 9/9/2010 3:02 PM  
**Subject:** Skate park/Dougherty Fields Site Plan Reviews  
**CC:** Barhydt, Barbara; Jaegerman, Alex

---

To all reviewers:

I am writing to clarify the "process" re these applications following the 9.8.2010 Dev Rev discussions and the subsequent meeting with the applicants later that day.

**1. SKATEPARK MINOR SITE PLAN APPLICATION** - HTE 10-79900022 - applicant "Hardcore Shotcrete Skateparks Inc

The information and plans from Woodard & Curran circulated yesterday, as it relates to the Skatepark area and the area immediately surrounding the Skatepark, should be considered supplemental info to the original application and reviewed immediately - **for a final review on Wed Sept 15th**; David, Al, and Jeff please send comments asap.

**2. DOUGHERTY FIELDS IMPROVEMENTS LEVEL II APPLICATION** (Administrative Review) - HTE Transmittal form with # will be circulated next week but review starting now based on application circulated yesterday)

The letter dated 9.3.2010 and plans etc as circulated in support of the SkatePark application will also be processed as an independent application for **all reviewers to review as a whole and under the new Tech stds, with preliminary comments due on Sept 15th** - the applicant has confirmed that the actual area of new work is very small but bits are spread out over the park and much of it is rehabilitation or replacement in kind. Most of these improvements will be done in the Spring 2011 and some of the details are still being fine tuned (for example, having both a sidewalk and a path parallel to St James is under review).

thanks  
Jean

## Jean Fraser - Public comments re Skate Park

---

**From:** Jean Fraser  
**To:** DSensus@woodardcurran.com; Owens, Ethan  
**Date:** 9/9/2010 3:35 PM  
**Subject:** Public comments re Skate Park  
**CC:** Barhydt, Barbara; DSensus@woodardcurran.com; Deluca, Sally

---

Ethan,

I am letting you know (as you have been representing Hardcore as applicant re the SkatePark) that we have received "public comment" on the SkatePark application (as you may know, all site plan files are open to the public and all site plans are noticed to the public to some extent depending on the nature of the project).

Tom Noble asked to see these public site plan files and has (today) looked at both the original Hardcore plans as well as the W&C plans we received tuesday and discussed with you and reviewers yesterday.

He will be sending me written comments, but I understand he is concerned that spot heights for the flatter areas/spaces between the dips are missing and that there is a real risk of ponding all over the park area unless these are articulated. He says that a common problem with concrete skate parks is that the skateboard designers want slopes of 1% but that for drainage there really is a need for 3%; where 1% a real problem re localized ponding is likely. I have asked the Site Plan Review engineers to take this comment into account as they complete the review of the plans.

Incidentally, Tom stated that this is the first time the actual intended skate park proposals have been available to public review (since the original winning design of 20,000 sq ft was selected earlier this year) - and now that he has seen what is likely to be constructed I understand that he will be raising other issues (ie how come so much smaller for same money etc) with others in the City - I did clarify that this issue was not a planning issue ie not something that we can review under the Site Plan Ordinance.

I am copying to David Sensus as I understand that he may be advising you/the City regarding the integrity/engineering aspects of the Hardcore plans.

thanks  
Jean

**From:** "David Senus" <dsenus@woodardcurran.com>  
**To:** "Jean Fraser" <JF@portlandmaine.gov>  
**CC:** "Barbara Barhydt" <BAB@portlandmaine.gov>, "Ethan Owens" <EOWENS@portlan...>  
**Date:** 9/9/2010 4:15 PM  
**Subject:** RE: Dougherty Fields Site plan application

Thanks Jean.

As you mentioned, the Skate Park is and should continue to be under Ethan's name as applicant.

You can identify Troy Moon with DPS as the applicant for the full park improvements submission.

Troy Moon, Environmental Programs Manager  
City of Portland DPS  
55 Portland Street  
Portland, Maine 04101

207-874-8467 (office)  
207-874-8816 (fax)

THM@portlandmaine.gov

With regard to review comments, yes, that is me.

Thanks,  
Dave

-----Original Message-----

From: Jean Fraser [mailto:JF@portlandmaine.gov]  
Sent: Thursday, September 09, 2010 3:13 PM  
To: David Senus  
Cc: Barbara Barhydt  
Subject: Dougherty Fields Site plan application

David,

I confirm that we will be logging the submission you sent on 9.3.2010 (and discussed yesterday) as an independent Level II Site Plan application.

I was just reviewing the documentation and noticed that you have listed the applicant as "Ethan Owens, City of Portland" although the submitted plans are marked "Public Services Department".

I think Ethan was the appropriate person to be submitting additional/supplemental information related to the earlier SkatePark application, but I am not sure he makes sense for the entire improvement project that is the subject of this new application. The Site Plan approval letter is usually addressed to the applicant.

We can easily amend the "applicant" so just let me know if you want him

listed as applicant or someone else/some other entity (eg "City of Portland, c/o XXX). I am assuming you will be the point of contact re review comments etc.

Thanks  
Jean

9/8/10

SPI = Site Plan  
SP = Skatepark  
MP = Master Plan  
DF = rough in field

Technical Mtg. - SPI Review

(Meeting requested by D Sensus of Woodward + Curran as he's working on overall MP as well as trying to provide SP info - feels helpful for reviewers and MP consultants to understand how MP & SP integrate)

Attendees: Sally Deluca + Ethan Owens - Rec.  
David Sensus + Regina Leonard <sup>w/eq to P. Son</sup>  
Site Plan Reviewers: David M-P, P.S.  
Jeff Tarkenton, (City Arborist)  
Al Palmer, Eug. Leo  
(drainage exp)  
Jean Fraser ?  
Barbara Bauhyst

1. JF - purpose of mtg - reviewers to better understand technical aspects of SP (eq. info prev. requested) so can complete review soon

2. DS - confirmed SP impervious surface #'s  
8200 sq ft approx compared to  
24600 sq ft of tennis cts.  
decrease of 16,400 sq ft. so amount  
of drainage net increased.

Rest of DF  $\approx$  100,000 sq ft disturbed  
over a number of small areas  
will confirm



3. Area around SP - question of erosion control + seeding etc. on interim basis will be done by Hardcore + AP to provide technical conds for SP.
- Note - only plan SP - 1B from Hardcore is of interest of Site Plan.

4. Confirmed in general discussion that there are 2 SPLapps =
1. Skate Park
  2. Dongherm Field.

Some info common to both - several of the DF plans are supporting info for SP.

5. DS described components of DF MP Phase 1 (\$ avail for all that shown on plan)

- paths (6' wide, most asphalt) / sidewalk
- problem of ledge near plg lot so reverse crown trying to heat (for water quality)
- bike racks + trash cans + some planting
- replace perm. fences w/ temp fences to facilitate multiple use of fields.

6. Meeting of engineers just to discuss drainage: (relates only to the Master Plan work not Hardcore Project)

pipe / scour blanket or rrap

what y ash found OK with layer of material pouring in 10/25 yr storm.

PBR permit needed for larger project not SP  
DS to update his plans + send to reviewers.

8/11/10.

Mtg w/ Sally Deluca + Ethan Owens + Troy Moon  
to clarify context/<sup>integration</sup> for skate park +  
what info needed.

Planning: Jean Fraser + Barbara Barhydt.

① Planning - Site Plan Review (administrative)

② Sally + Ethan - background

- City Council app. MP + designated  
terms cts for skate park (BMX + skateboards  
at same time)
- MP went to CC 2008
- Phased - playing fields need to be  
done piecemeal so can continue to  
be used
- Skateboard first phase <sup>along</sup> with  
expansion of plot (Phases 1 + 2  
have #)
- future phases incl childrens park +  
amenities.
- No lightning.

③ Planning need more info / so can review against  
stds in SP Ordinance re:

drainage

parking

paths + infrastructure

survey

approved MP

④ Ethan confirmed wd. send MP + ask w/c <sup>address</sup> to other m to  
needed.

## Jean Fraser - Skate Park

---

**From:** Barbara Barhydt  
**To:** Bobinsky, Michael; Deluca, Sally  
**Date:** 8/9/2010 3:56 PM  
**Subject:** Skate Park  
**CC:** Fraser, Jean; Jaegerman, Alex

---

Hello:

I assigned the skate park to Jean Fraser for review. The plans show the specifics for the skate board park, but there is limited information on how it relates to the rest of the park. I know that Woodard and Curran were working with Regina Leonard on a Master Plan for Dougherty Field.

We wondered if it would be helpful to get together to understand any other work that will be done in conjunction with this project and how it all fits together.

Do you have time this week to discuss and provide background for this project?

Thanks.

Barbara

Barbara Barhydt  
Development Review Services Manager  
Planning Division  
389 Congress Street 4th Floor  
Portland, ME 04101  
(207) 874-8699  
Fax: (207) 756-8256  
bab@portlandmaine.gov

## Jean Fraser - Re: Dougherty Field Phasing

---

**From:** Jean Fraser  
**To:** Owens, Ethan  
**Date:** 8/11/2010 12:00 PM  
**Subject:** Re: Dougherty Field Phasing  
**CC:** Barhydt, Barbara; Deluca, Sally; Margolis-Pineo, David

---

Ethan

Thank you for the Master Plan info.

Also, I just received the following comments from the engineering peer reviewer (not in DPS) who is part of the site plan review team; I suggest you might want to forward these to W&C as well so that they can be addressed as part of the additional information that is being brought together. Re the last item - that is probably something that will be resolved when further discussions take place with DPS:

- While no storm water calculations were provided, it is noted that in excess of 95% of the proposed skate board park overlies the existing tennis courts. Therefore, no significant increase in impervious surfaces will result from the project, and we would not anticipate that any increase in storm water runoff would occur.
- No information has been shown on the plans that indicate what will occur in the area of the existing tennis courts that would remain, outside the limits of the skate park. Will the existing paved surface of the tennis courts be removed, and replaced with loam & seed?
- It is unclear as to how disturbed areas outside of the skate park will be stabilized? Drawing SP-5A shows a Typ. Turf Swale detail that notes "Seed, Sod or Hyrdoseed, Refer to Specs.". No specifications were included in the packet. It would appear to be beneficial to specify whether seed or sod is proposed, and whether this treatment would apply to fill areas around the perimeter of the park in addition to any swales.
- No information has been shown on the plan views relative to construction phase erosion & sedimentation control measures, although details for the measures have been provided. We would recommend that the proposed measures be added to the plan view.
- There are two depressions within the skate park that will require a drain, which is shown on the plan, along with a proposed outlet. No pipe size is shown for the drain. We'd recommend that the pipe size be noted on the plan.

One last question- the application was submitted by Mark leone in Missouri and maybe he needs to be copied into some of the correspondence? Will he be amending some of the submitted plans or were you just anticipating that W&C would provide additional plans that incorporate some info from Mark's plans?

Thanks  
Jean

Jean Fraser, Planner  
City of Portland  
874 8728

>>> Ethan Owens 8/11/2010 11:14 AM >>>

Hi Jean,

This is what was approved by the City Council for the 2008 "new" Dougherty Field master plan. I have asked W & C to get together the information you asked for this morning and I will bring it over as soon as I get it. Please feel free to shoot me any other questions or concerns.

Have a great day,

Ethan Owens  
Athletic Facilities, Playground & Courts Manager  
Recreation Department ~ City of Portland  
134 Congress St  
Portland, Maine 04103 ~ USA  
207-756-8275/Fax 207-756-8279  
eowens@portlandmaine.gov

# Jean Fraser - Fwd: SkatePark, Dougherty Field

**From:** Jean Fraser  
**To:** APalmer@gorrillpalmer.com; Errico, Thomas  
**Date:** 8/25/2010 2:07 PM  
**Subject:** Fwd: SkatePark, Dougherty Field  
**CC:** Barhydt, Barbara

Hi

Forwarded mostly for information.

We (actually Barbara as I will be away) will forward the plans to you by pdf on Friday of next week (Sept 3) and I will touch base with you the following Tuesday (Sept 7); I am not sure you will need to attend this meeting.

The plans (paper, at scale) will also be circulated (Sept 7th/8th) for formal comments; the meeting is just to help put it all in context, clarify any details, and agree on how we pin down a phased set of improvements.

Thanks  
Jean

>>> Jean Fraser 8/25/2010 1:56 PM >>>  
Hello all:

8/24 774 2112  
 9:20  
 David Seanus  
 Dougherty Field  
 project  
 Ethan/Sally  
 subm. overall  
 SP app.  
 Schedule mtg  
 Regina + David  
 wkg diligently -  
 submit end of next  
 week  
 called 1:15 + left message

My  
 than  
 Roy Moon  
 D.  
 Regina  
 dsenus@woodard  
 regma@rsldesign.com

... will be submitted at the end of next week  
... to flesh out what is happening on and near  
... landscaping etc. This info all flows from the  
... and being progressed through DPS.

... a Leonard who is also working on the  
... sites with the Master Plan.

**FRIDAY, SEPT 8TH afternoon** (say  
...ing; later that week is difficult for staff so  
...nday.

... vacation next week and hope to get this

**Jean Fraser - Fwd: MEETING CONFIRMED: 9.8.2010 1:30 re SkatePark, Dougherty Field**

---

**From:** Jean Fraser  
**To:** APalmer@gorrillpalmer.com; Errico, Thomas  
**Date:** 8/26/2010 2:24 PM  
**Subject:** Fwd: MEETING CONFIRMED: 9.8.2010 1:30 re SkatePark, Dougherty Field  
**CC:** Barhydt, Barbara

---

As previously mentioned, I will ask Barbara to send you the plans as soon as they get to the Planning Division and then I will contact you on the tues (Sept 7th) to see whether there are any issues that need your attendance at this meeting.

Thank you  
Jean

>>> Jean Fraser 8/26/2010 2:21 PM >>>  
To all:

Thank you for your prompt replies to my e-mail and the meeting is confirmed for the date suggested:

**WEDNESDAY, SEPT 8TH 1:30pm PLANNING CONFERENCE ROOM**

I understand that David Senus will send 5 paper copies at scale and the pdf to Barbara Barhydt at the end of next week and Barbara will get them around to site plan reviewers (or if they arrive on Friday I will get to you on Tuesday 9.7 AM) so we have a chance to digest the info before the meeting. (I am assuming Sally and Ethan will get a set directly from David).

Please note that the Planning Division has not asked for detailed information about the whole of Dougherty Field proposed improvements, but just those that impinge on the Skatepark, provide info re the area around the actual Skatepark, and that integrate the Skatepark in terms of drainage, grading, paths, landscaping and access to parking.

See you then  
Jean

PS I am on vacation next week so if any questions please direct them to Barbara Barhydt at [BAB@portlandmaine.gov](mailto:BAB@portlandmaine.gov) or 874 8699.

**Jean Fraser - MEETING CONFIRMED: 9.8.2010 1:30 re SkatePark, Dougherty Field**

---

**From:** Jean Fraser  
**To:** DSenus@woodardcurran.com; Deluca, Sally; Margolis-Pineo, David; Moon,...  
**Date:** 8/26/2010 2:21 PM  
**Subject:** MEETING CONFIRMED: 9.8.2010 1:30 re SkatePark, Dougherty Field  
**CC:** Barhydt, Barbara

---

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## Jean Fraser - Fwd: Re: Dougherty Field Phasing

---

**From:** Jean Fraser  
**To:** Margolis-Pineo, David  
**Date:** 8/16/2010 3:23 PM  
**Subject:** Fwd: Re: Dougherty Field Phasing  
**Attachments:** Final Recommendations 081218.pdf; Dougherty Field Option 2-Aug 2010 from MB.pdf

---

Thanks David-

Barbara and I met with Sally DeLuca and Ethan last week and clarified that we needed the survey to be submitted along with details of the drainage; parking; paths and infrastructure around the skate park. I believe Barbara asked for that because it was brought up at your DPS meeting last week.

Some of this information is contained in the attached Master Plan and Phasing which Ethan recently sent (first attachment); the rest (including a survey) is being pulled together by Ethan and Woodard & Curran.

W&C are doing the Master Plan which was very recently tweaked and Mike Bobinsky sent us the most recent version (also attached) and I understand W&C have the survey.

So I anticipate circulating a package of information soon so that you and other reviewers can complete the review.

Thanks  
Jean

>>> David Margolis-Pineo (David Margolis-Pineo) 8/16/2010 2:55 PM >>>  
Jean,

I haven't looked at the attached but one of my comments is to have a property survey included in the submittal package.

>>> William Scott 8/16/2010 8:56 AM >>>  
Here's the plan we produced for Tom Civiello in February 2009. I don't think Lynda's been involved in any design plans for the Skate Park.

We also have a topo plan of the whole field from November 2000, if you need that for any reason, as well as a Boundary Worksheet of the property.

>>> William Clark 8/16/2010 8:42 AM >>>  
William Scott is The Man with the Plan.

>>> David Margolis-Pineo (David Margolis-Pineo) August 11, 2010 2:08 PM >>>  
Bill,

Do we have a survey of the Dougherty Field property?

>>> Jean Fraser 8/11/2010 12:00 PM >>>  
Ethan

Thank you for the Master Plan info.

Also, I just received the following comments from the engineering peer reviewer (not in DPS) who is part of the site plan review team; I suggest you might want to forward these to W&C as well so that they can be addressed as part of the additional information that is being brought together. Re the last item - that is probably something that will be resolved when further discussions take place with DPS:

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Thanks  
Jean

Jean Fraser, Planner  
City of Portland  
874 8728

>>> Ethan Owens 8/11/2010 11:14 AM >>>

Hi Jean,

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Have a great day,

Ethan Owens  
Athletic Facilities, Playground & Courts Manager  
Recreation Department ~ City of Portland  
134 Congress St  
Portland, Maine 04103 ~ USA  
207-756-8275/Fax 207-756-8279  
eowens@portlandmaine.gov



**From:** Ethan Owens  
**To:** Barbara Barhydt; Jean Fraser  
**CC:** Sally Deluca  
**Date:** 8/11/2010 11:14 AM  
**Subject:** Dougherty Field Phasing  
**Attachments:** Final Recommendations 081218.pdf

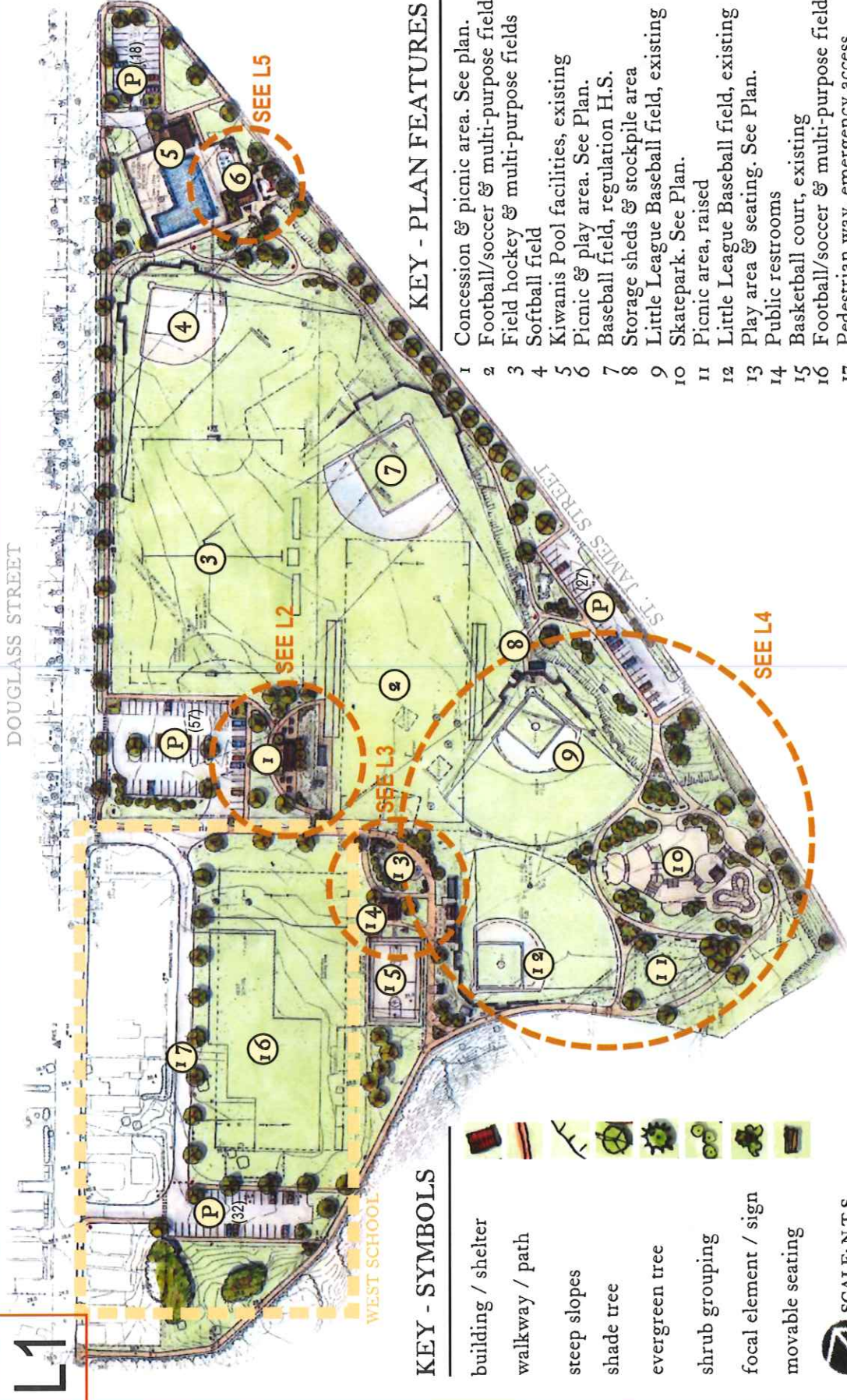
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Ethan Owens  
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134 Congress St  
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eowens@portlandmaine.gov

Rec'd in Planning 8.11.10 from E.O. rec Dept











DOUGLASS STREET

WEST SCHOOL

ST. JAMES STREET

L1

**KEY - SYMBOLS**

-  building / shelter
-  walkway / path
-  steep slopes
-  shade tree
-  evergreen tree
-  shrub grouping
-  focal element / sign
-  movable seating

 SCALE: N.T.S.

**KEY - PLAN FEATURES**


- 1 Concession & picnic area. See plan.
- 2 Football/soccer & multi-purpose fields
- 3 Field hockey & multi-purpose fields
- 4 Softball field
- 5 Kiwanis Pool facilities, existing
- 6 Picnic & play area. See Plan.
- 7 Baseball field, regulation H.S.
- 8 Storage sheds & stockpile area
- 9 Little League Baseball field, existing
- 10 Skatepark. See Plan.
- 11 Picnic area, raised
- 12 Little League Baseball field, existing
- 13 Play area & seating. See Plan.
- 14 Public restrooms
- 15 Basketball court, existing
- 16 Football/soccer & multi-purpose fields
- 17 Pedestrian way, emergency access
- P Parking areas

DATE: 12/18/08

prepared for the  
 Dept. of Public Services  
 55 Portland Street  
 Portland, Maine 04101



**DOUGHERTY FIELD**  
**FINAL MASTER PLAN**  
 CITY OF PORTLAND, MAINE







 Regina S. Leonard  
 landscape architecture & design  
 29 Bridge Street, Topsham, ME 04086  
 Tel. 207.450.9700

L2



SCALE: N.T.S.

**KEY - SYMBOLS**

-  building
-  shade tree
-  evergreen tree
-  shrub grouping
-  planting area
-  picnic table

**KEY - PLAN FEATURES**

- 1 Parking area (57 spaces)
- 2 Entrance sign & plantings
- 3 Picnic tables
- 4 Concession window
- 5 Concession & services building
- 6 Concession window
- 7 Picnic tables
- 8 Directional signage & plantings
- 9 Picnic lawn
- 10 Low-profile portable benches
- 11 Soccer & multi-purpose field

DATE: 12/18/08

prepared for the



Dept. of Public Services  
 55 Portland Street  
 Portland, Maine 04101

# DOUGHERTY FIELD CONCESSION & PICNIC AREA

CITY OF PORTLAND, MAINE

Regina S. Leonard  
 landscape architecture & design  
 29 Bridge Street, Topsham, ME 04086  
 Tel. 207-450-9700 Regina@rslsdesign.com

KEY - SYMBOLS

-  building
-  shade tree
-  evergreen tree
-  shrub grouping
-  planting area
-  bench/seating
-  natural stone
-  focal element
-  directional sign



KEY - PLAN FEATURES

- 1 Path to concession area
- 2 Natural stone exploration area
- 3 Soccer & multi-use field
- 4 Raised lawn area
- 5 Information kiosk & seating area
- 6 Seating & natural stone exploration area
- 7 Natural stone exploration area
- 8 Lawn area & gentle berm
- 9 To little league fields & skatepark
- 10 Little league field
- 11 Public restrooms & storage
- 12 Football & multi-purpose field
- 13 Basketball court

SCALE: N.T.S.

# DOUGHERTY FIELD

## NATURAL PLAYSPACE AREA

CITY OF PORTLAND, MAINE

Regina S. Leonard  
 landscape architecture & design  
 29 Bridge Street, Topsham, ME 04086  
 Tel. 207-450-9700 Regina@rslsdesign.com




DATE: 12/18/08  
 prepared for the  
 Dept. of Public Services  
 55 Portland Street  
 Portland, Maine 04101

L4



SCALE: N.T.S.

KEY - SYMBOLS

-  building
-  shade tree
-  evergreen tree
-  shrub grouping
-  planting area
-  picnic table

KEY - PLAN FEATURES

- 1 Natural playspace & public restrooms
- 2 To concession & picnic area
- 3 Seasonal, removable athletic fencing
- 4 Little league field
- 5 Loop trail
- 6 Picnic area & seating
- 7 Buffer plantings
- 8 Skatepark (By WhoSkates)
- 9 Little league field
- 10 Parking area (27 spaces)
- 11 Storage & utility area
- 12 To Kiwanis Pool area & athletic fields



Regina S. Leonard  
 landscape architecture & design  
 29 Bridge Street, Topsham, ME 04086  
 Tel. 207.450.9700 Regina@rsldesign.com

DOUGHERTY FIELD

SKATE PARK AREA

CITY OF PORTLAND, MAINE



prepared for the










Dept. of Public Services  
 55 Portland Street  
 Portland, Maine 04101

DATE: 12/18/08



# L5

## KEY - SYMBOLS

-  building / shelter
-  play equipment
-  boulder grouping
-  shade tree
-  evergreen tree
-  planting area
-  drinking fountain
-  bench seating
-  picnic table

## KEY - PLAN FEATURES

- 1 Kiwanis Pool
- 2 Splash pad area
- 3 Seating area
- 4 Playground/splash pad entrance
- 5 Playground equipment
- 6 Covered picnic pavilion
- 7 Picnic area
- 8 Trail entrance to Dougherty Field
- 9 Existing walkway around building



SCALE: N.T.S.

DATE: 12/18/08  
 prepared for the  
 Dept. of Public Services  
 55 Portland Street  
 Portland, Maine 04101



# DOUGHERTY FIELD KIWANIS PLAYGROUND PLAN CITY OF PORTLAND, MAINE

Regina S. Leonard  
 landscape architecture & design  
 29 Bridge Street, Topsham, ME 04086  
 Tel. 207.450.9700 Regina@rslsdesign.com



### PHASE ONE

Sports field realignment & revitalization

Trail improvements

Utilities preparation

Landscape improvements

\$399,500



SCALE: N.T.S.

Regina S. Leonard  
 landscape architecture & design  
 29 Bridge Street, Topsham, ME 04086  
 Tel. 207.450.9700

# DOUGHERTY FIELD

## PHASING & COSTS

CITY OF PORTLAND, MAINE



DATE: 12/18/08  
 prepared for the  
 Dept. of Public Services  
 55 Portland Street  
 Portland, Maine 04101



### PHASE TWO

St. James Street Improvements

Sidewalk installation

Parking lot redevelopment

Utilities preparation

Landscape improvements

\$86,000



Regina S. Leonard  
 landscape architecture & design  
 29 Bridge Street, Topsham, ME 04086  
 Tel. 207.450.9700

# DOUGHERTY FIELD

## PHASING & COSTS

CITY OF PORTLAND, MAINE

DATE: 12/18/08

prepared for the  
 Dept. of Public Services  
 55 Portland Street  
 Portland, Maine 04101





**PHASE THREE**  
 Kiwanis Pool Site Improvements

New playground & picnic area

New parking & entrance

Sidewalks & path installation

Utilities preparation

Landscape Improvements

**\$186,500**



SCALE: N.T.S.



Regina S. Leonard  
 landscape architecture & design  
 29 Bridge Street, Topsham, ME 04086  
 Tel. 207.450.9700

**DOUGHERTY FIELD**

**PHASING & COSTS**  
 CITY OF PORTLAND, MAINE



DATE: 12/18/08  
 prepared for the  
 Dept. of Public Services  
 55 Portland Street  
 Portland, Maine 04101

L9



**PHASE FOUR**  
Concession Area

- New concession & picnic area
- New parking lot & entrance drive
- Sidewalks & path installation
- Utilities preparation
- Landscape improvements

**\$384,000**



SCALE: N.T.S.



Regina S. Leonard  
landscape architecture & design  
29 Bridge Street, Topsham, ME 04086  
Tel. 207.450.9700

**DOUGHERTY FIELD**  
**PHASING & COSTS**  
CITY OF PORTLAND, MAINE

DATE: 12/18/08  
prepared for the  
Dept. of Public Services  
55 Portland Street  
Portland, Maine 04101



L10



### PHASE FIVE

Restroom & Natural Play Area

New public restroom building

Natural play area development

Basketball court reconstruction

Utilities preparation

Landscape improvements

\$168,000



SCALE: N.T.S.



Regina S. Leonard  
 landscape architecture & design  
 29 Bridge Street, Topsham, ME 04086  
 Tel. 207.450.9700

# DOUGHERTY FIELD

## PHASING & COSTS

CITY OF PORTLAND, MAINE



DATE: 12/18/08

prepared for the  
 Dept. of Public Services  
 55 Portland Street  
 Portland, Maine 04101



**KEY - LIGHTING**

-  Bollard lighting
-  Parking lot lighting
-  Post lighting
-  Athletic area lighting



SCALE: N.T.S.

**PHASE SIX**

Site lighting (optional)

Bollard lighting along loop trail

Post lighting along major walkway of the park interior

Lighting of the parking areas

Lighting of the skate park & basketball court

**\$132,500**



Regina S. Leonard  
 landscape architecture & design  
 29 Bridge Street, Topsham, ME 04086  
 Tel. 207.450.9700

**DOUGHERTY FIELD**

**PHASING & COSTS**

CITY OF PORTLAND, MAINE



DATE: 12/18/08

prepared for the  
 Dept. of Public Services  
 55 Portland Street  
 Portland, Maine 04101

L12



**PHASE SEVEN**  
West School Site\*

- New football & soccer field
- Parking lot reconstruction
- Installation of sidewalks & paths
- Utilities preparation & lighting
- Landscape improvements



SCALE: N.T.S.

Regina S. Leonard  
landscape architecture & design  
29 Bridge Street, Topsham, ME 04086  
Tel. 207.459.9700

**\$491,000**

\*does not include demolition of existing school buildings

DATE: 12/18/08

prepared for the  
Dept. of Public Services  
55 Portland Street  
Portland, Maine 04101



**DOUGHERTY FIELD**

**PHASING & COSTS**

CITY OF PORTLAND, MAINE



final (stamped) plan  
circulation 9-20-10

- ✓ Planning file
- ✓ Phil Di Pietro
- ✓ Tammu (inspections)
- ✓ OPS- Inspector
- ✓ OPS- Archives
- ✓ Jeff Tarling
- ✓ Assessors.

- SITE STABILIZATION NOTES:**
1. FINAL PLACEMENT OF TOPSOIL AND SEEDING TO BE DONE BY OTHERS
  2. CONTRACTOR TO REPAIR ANY DAMAGE TO EXISTING GROUND DUE TO CONSTRUCTION ACTIVITY (I.E. ANY DAMAGES TO SURROUNDING AREAS CAUSED BY CONSTRUCTION EQUIPMENT, TIRE TRACKS, DEBRIS, ETC) CAUSED BY THE CONSTRUCTION OF THE SKATEPARK.
  3. TEMPORARY TRUCK ENTRANCE TO BE INSTALLED NEXT TO PARKS PARKING LOT (LOCATED NORTH OF SITE) SUBJECT TO ANY FIELD DIRECTED ADJUSTMENTS BY CITY.
- SITE DRAINAGE NOTES:**
1. REFER TO SP-5d FOR ALL DETAILS RELATED TO DRAINAGE
  2. ALL ARROWS SHOW GENERAL DIRECTION OF SLOPE. CONCRETE SHALL BE SLOPED AT A MIN. 0.5% TO MAX 1.5% FOR PROPER DRAINAGE. NO PONDING ALLOWED.
  3. ALL BOWL AREAS TO BE SLOPED TOWARDS DRAINS. NO PONDING ALLOWED.

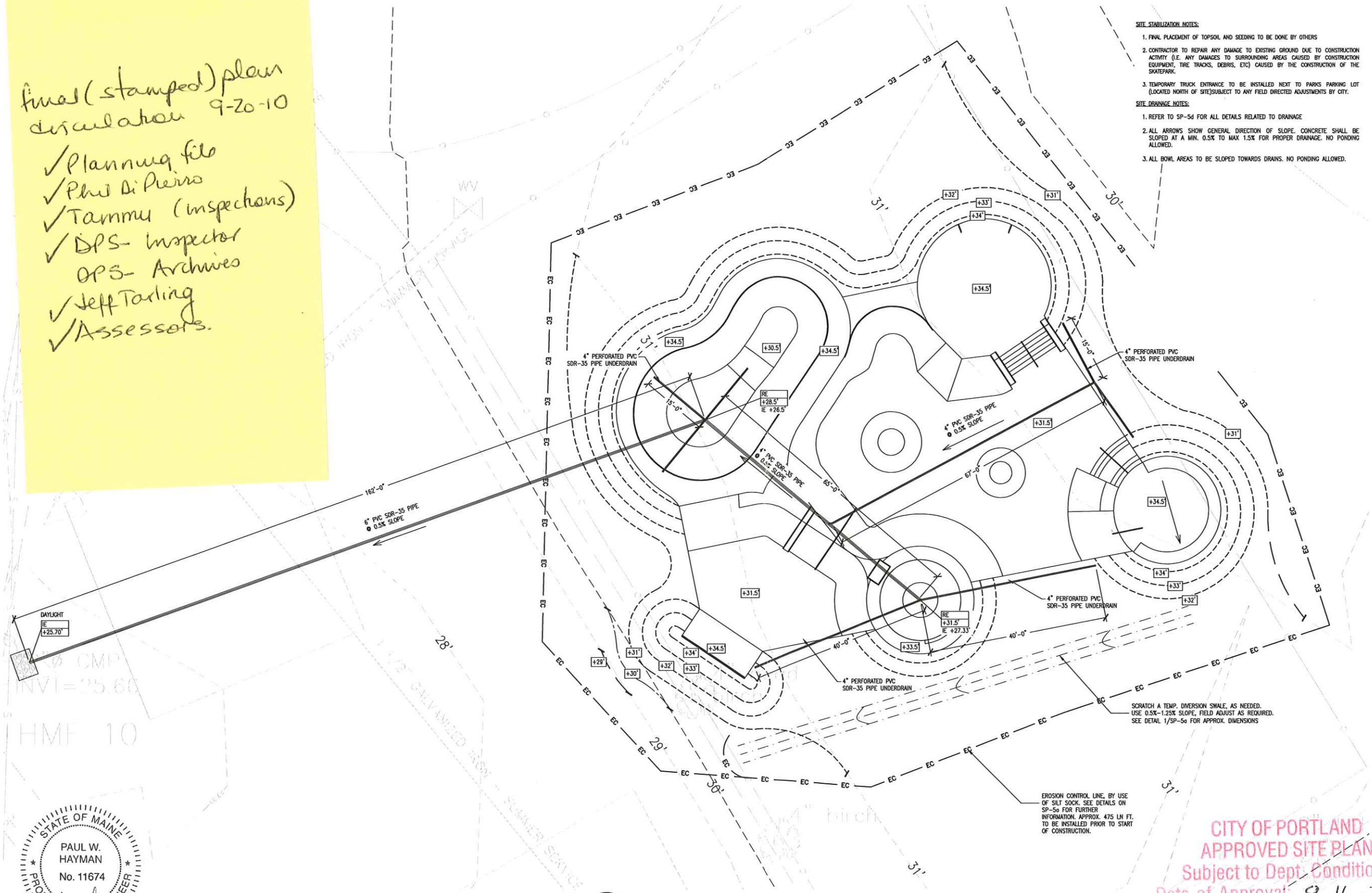
REV.	DESCRIPTION	DATE
1	ISSUE FOR CONSTRUCTION	07/13/10
2	REVISION	09/10/10
3		
4		

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**HARBORCORE**  
SHOTCRETE SKATEPARKS INC.  
SEATED OWNERS/OPERATED SINCE 2001

SKATEPARK GRADING PLAN  
DOUGHERTY PARK SKATEPARK  
PORTLAND, ME

Drawn By: J. HETHMON  
Approved By: N. LEONE  
Scale: AS NOTED  
Project No: 9078  
Drawing No: SP-1B

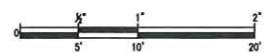


DAYLIGHT  
IE +25.70'  
CMP  
INVI = 25.60'  
HMF 10

STATE OF MAINE  
PAUL W. HAYMAN  
No. 11674  
LICENSED PROFESSIONAL ENGINEER



1 SKATEPARK GRADING PLAN  
Scale: 1"=10'-0"



CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Conditions  
Date of Approval: 9-16-2010

SKATEPARK GRADING PLAN

File set

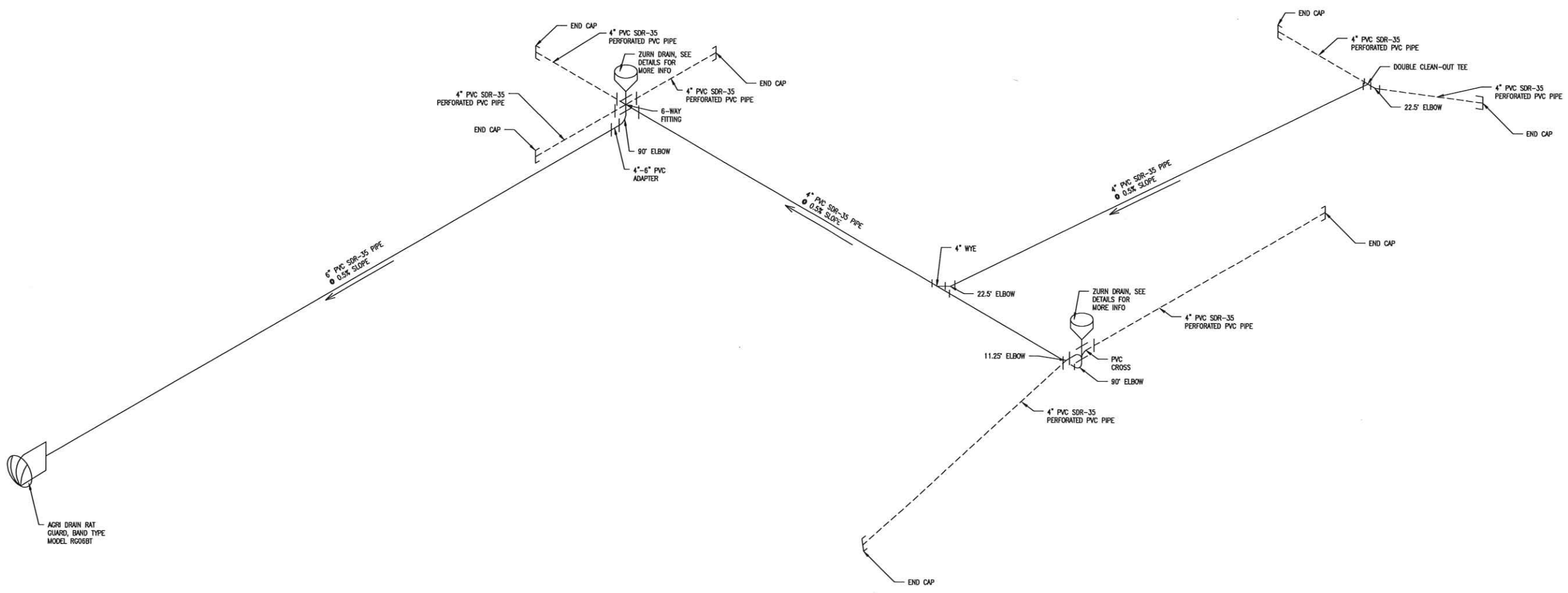
REV	DESCRIPTION	DATE
1	ISSUE FOR CONSTRUCTION	07/15/10
2	REVISION	09/15/10
3		
4		

**LEARD CORP**  
 SPORTS & RECREATION  
 1000 BROAD ST  
 PORTLAND, ME 04102  
 (207) 761-1111  
 FAX: (207) 761-1112  
 www.leardcorp.com

**SKATEPARK DRAINAGE ISO VIEW**  
**DOUGHERTY PARK SKATEPARK**  
**PORTLAND, ME**

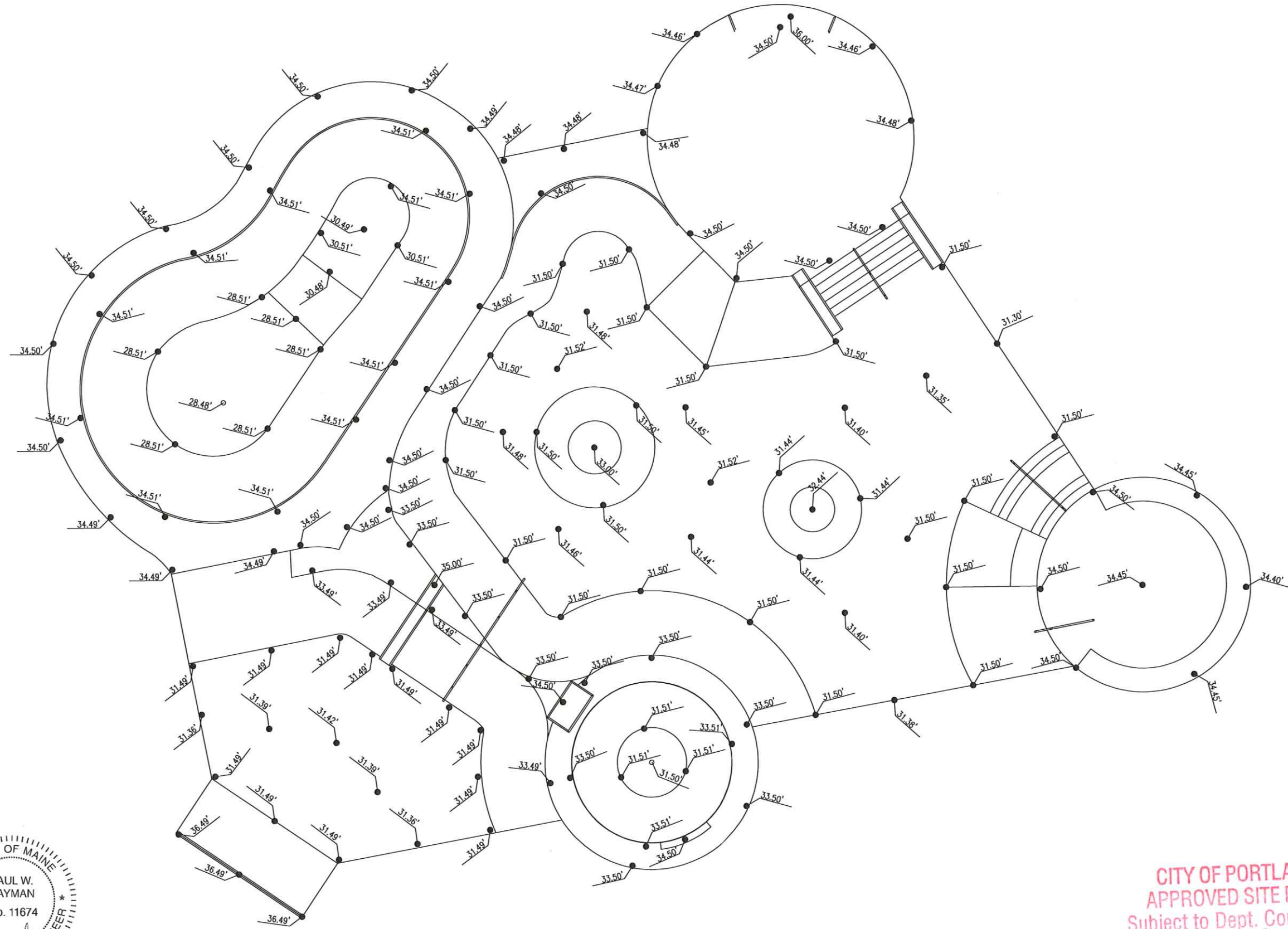
Drawn By: J. HETHMON  
 Approved By: M. LEONE  
 Scale: AS NOTED  
 Project No: 9078  
 Drawing No: **SP-1C**

CITY OF PORTLAND  
 APPROVED SITE PLAN  
 Subject to Dept. Conditions  
 Date of Approval: 9-16-2010



STATE OF MAINE  
 PAUL W. HAYMAN  
 No. 11674  
 LICENSED PROFESSIONAL ENGINEER

1 SKATEPARK DRAINAGE ISO VIEW  
 Scale: NONE



STATE OF MAINE  
 PAUL W. HAYMAN  
 No. 11674  
 LICENSED PROFESSIONAL ENGINEER

1 SKATEPARK ELEVATION PLAN  
 Scale: 3/16"=1'-0"  
 1" 2" 4" 8"

CITY OF PORTLAND  
 APPROVED SITE PLAN  
 Subject to Dept. Conditions  
 Date of Approval: 9-16-2010

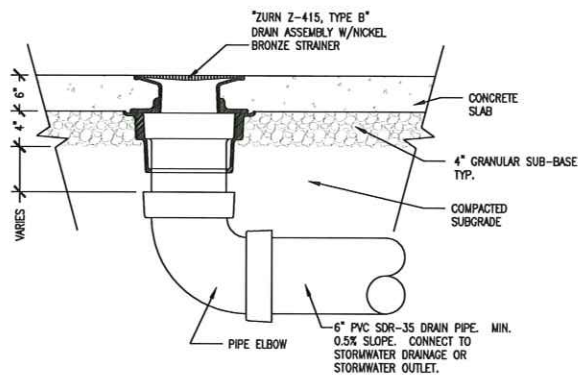
SKATEPARK ELEVATION PLAN  
 DOUGHERTY PARK SKATEPARK  
 PORTLAND, ME

Drawn By: J. HETHMON  
 Approved By: M. LEONE  
 Scale: AS NOTED  
 Project No: 9078  
 Drawing No: SP-1D

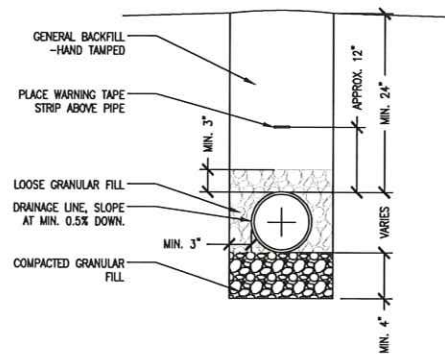
**HARDCORE**  
 SPORTS & RECREATION  
 CONSTRUCTION

REV	Description	DATE
1	ISSUE FOR CONSTRUCTION	07/15/10
2	REVISION	09/13/10
3		
4		

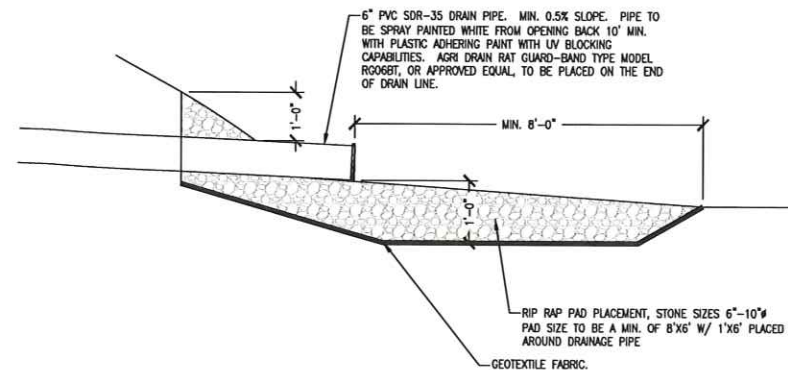
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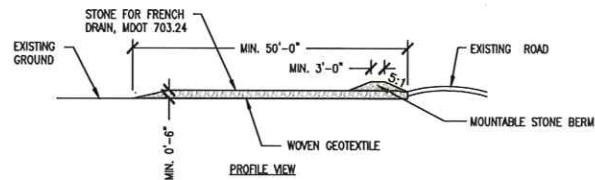
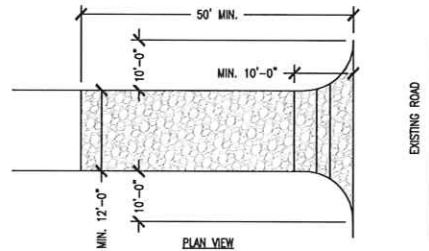
1 TYP. SLAB DRAIN  
Scale: NONE



2 BURIED DRAINAGE LINE  
Scale: NONE



3 DRAINAGE OUTFLOW  
Scale: NONE



NOTES:

- CONSTRUCTION ENTRANCES MAY BE RELOCATED AS CONSTRUCTION PROGRESSES.
- WHEEL WASH PITS MAY ALSO BE USED, IF APPROVED.

MAINTENANCE: INSPECT FOR EFFECTIVE REMOVAL OF SOIL FROM VEHICLES PRIOR TO LEAVING THE SITE. SWEEP ANY SOIL FROM ADJACENT ROADWAYS.

REMOVAL: AT LEAST ONE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED UNTIL ALL AREAS OF THE SITE ARE STABILIZED.

4 CONSTRUCTION ENTRANCE DETAIL  
Scale: NONE



REV.	DESCRIPTION	DATE
1	ISSUE FOR CONSTRUCTION	07/18/16
2		
3		
4		

**HARDCORE**  
SHOTCRETE SKATEPARKS INC.  
SEATTLE OREGON/CREATED SINCE 2001

DETAILS  
DOUGHTRY PARK SKATEPARK  
PORTLAND, ME

CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Conditions  
Date of Approval: \_\_\_\_\_

Drawn By: J. HETHMON  
Approved By: M. LEONE  
Scale: AS NOTED  
Project No: 9078  
Drawing No: SP-5D

C:\203939\_City of Portland-General Engineering Services\05 Doughtery Field Improvements\Deliverables\2010.09.14 Supplemental Site Plan Info\Drawings\ACAD\203939.05-C00A.dwg, Sep 14, 2010 - 11:18am

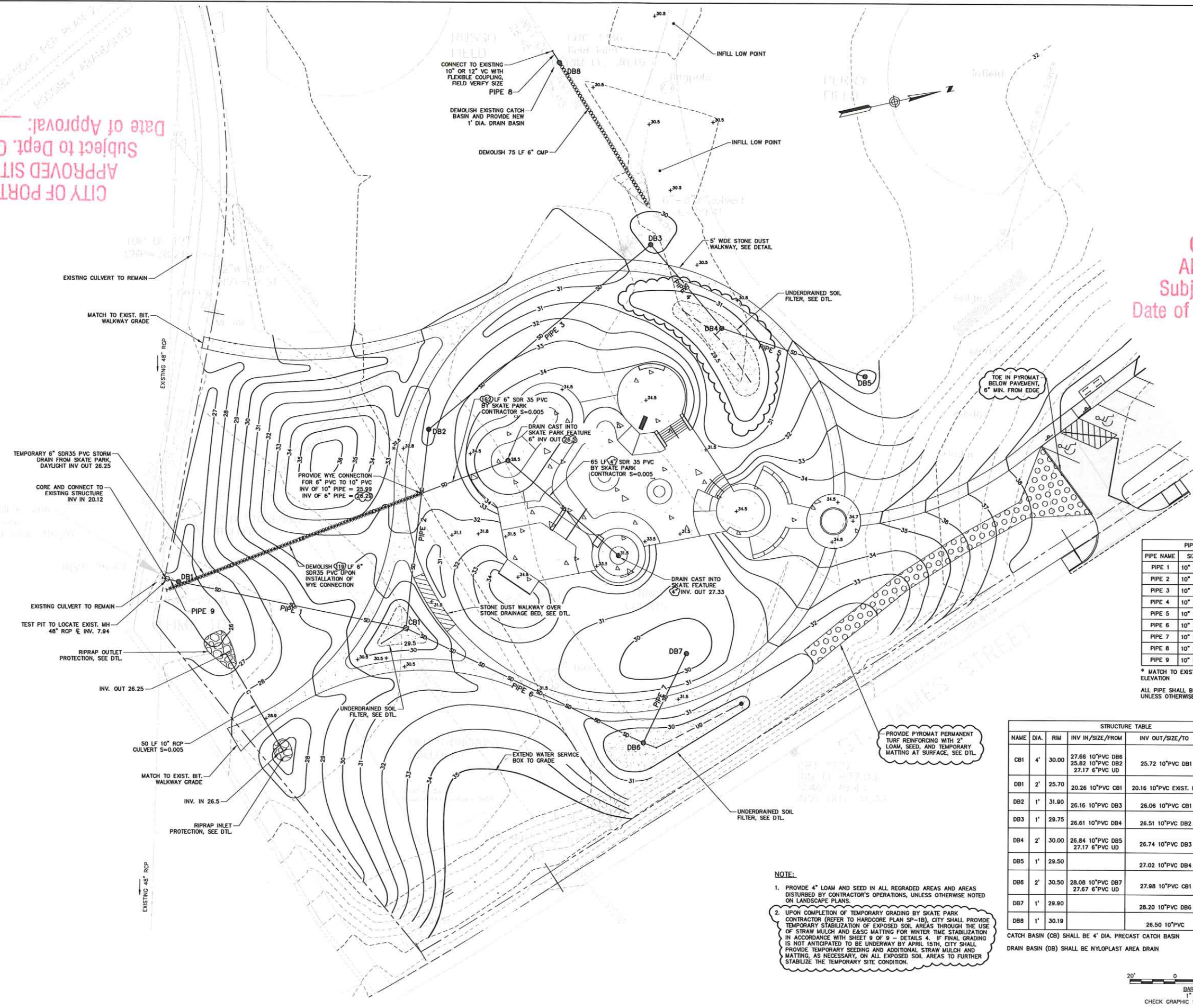
CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Conditions  
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APPROVED SITE PLAN  
Subject to Dept. Conditions  
Date of Approval: 9-16-2010

41 HUTCHINS DRIVE  
PORTLAND, MAINE 04102  
800.426.4262 | www.woodardcurran.com



COMMITMENT & INTEGRITY DRIVE RESULTS  
LDD PROJECT NAME: N/A  
DRAWING NAME: 203939.05-C00A.DWG  
FIELD BOOK USED: N/A



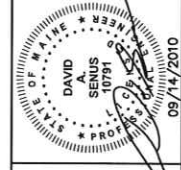
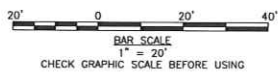
PIPE NAME	SIZE	LENGTH	SLOPE
PIPE 1	10" PVC	100'	0.0546
PIPE 2	10" PVC	86'	0.0028
PIPE 3	10" PVC	127'	0.0028
PIPE 4	10" PVC	47'	0.0028
PIPE 5	10" PVC	65'	0.0028
PIPE 6	10" PVC	114'	0.0028
PIPE 7	10" PVC	42'	0.0028
PIPE 8	10" PVC	5'	*
PIPE 9	10" PVC	4'	0.0100

\* MATCH TO EXISTING VC PIPE INVERT ELEVATION  
ALL PIPE SHALL BE SDR 35 PVC UNLESS OTHERWISE NOTED.

STRUCTURE TABLE					
NAME	DIA.	RIM	INV IN/SIZE/FROM	INV OUT/SIZE/TO	COVER TYPE
CB1	4'	30.00	27.66 10" PVC DB8 25.82 10" PVC DB2	25.72 10" PVC DB1	BEEHIVE
DB1	2'	25.70	20.26 10" PVC CB1	20.16 10" PVC EXIST. MH	BEEHIVE
DB2	1'	31.90	26.16 10" PVC DB3	26.06 10" PVC CB1	SOLID
DB3	1'	29.75	26.61 10" PVC DB4	26.51 10" PVC DB2	BEEHIVE
DB4	2'	30.00	26.84 10" PVC DB5 27.17 6" PVC UD	26.74 10" PVC DB3	BEEHIVE
DB5	1'	29.50		27.02 10" PVC DB4	BEEHIVE
DB6	2'	30.50	28.08 10" PVC DB7 27.67 6" PVC UD	27.98 10" PVC CB1	BEEHIVE
DB7	1'	29.90		28.20 10" PVC DB6	BEEHIVE
DB8	1'	30.19		26.50 10" PVC	FLAT GRATE

CATCH BASIN (CB) SHALL BE 4' DIA. PRECAST CATCH BASIN  
DRAIN BASIN (DB) SHALL BE NYLOPLAST AREA DRAIN

**NOTE:**  
1. PROVIDE 4" LOAM AND SEED IN ALL REGRADED AREAS AND AREAS DISTURBED BY CONTRACTOR'S OPERATIONS, UNLESS OTHERWISE NOTED ON LANDSCAPE PLANS.  
2. UPON COMPLETION OF TEMPORARY GRADING BY SKATE PARK CONTRACTOR (REFER TO HARDWARE PLAN SP-1B), CITY SHALL PROVIDE TEMPORARY STABILIZATION OF EXPOSED SOIL AREAS THROUGH THE USE OF STRAW MULCH AND EASC MATTING FOR WINTER TIME STABILIZATION IN ACCORDANCE WITH SHEET 9 OF 9 - DETAILS 4. IF FINAL GRADING IS NOT ANTICIPATED TO BE UNDERWAY BY APRIL 15TH, CITY SHALL PROVIDE TEMPORARY SEEDING AND ADDITIONAL STRAW MULCH AND MATTING, AS NECESSARY, ON ALL EXPOSED SOIL AREAS TO FURTHER STABILIZE THE TEMPORARY SITE CONDITION.



DESIGNED BY: DAS  
DRAWN BY: JBC  
CHECKED BY: DAS  
SCALE: 1"=50'  
DATE: 09/14/2010

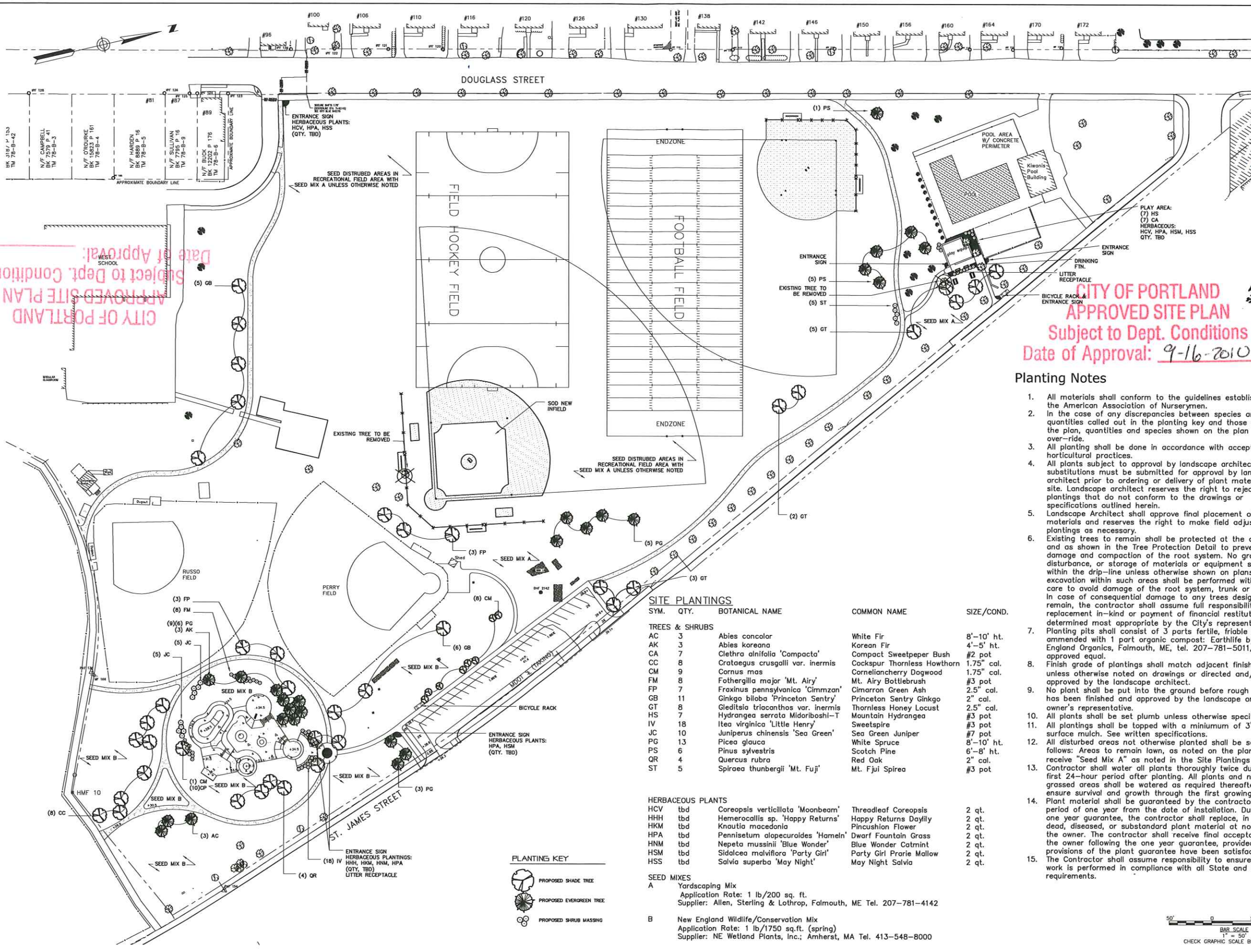
DOUGHTERY FIELD IMPROVEMENTS  
SKATE PARK AREA GRADING & DRAINAGE PLAN

CITY OF PORTLAND, MAINE  
PUBLIC SERVICES DEPARTMENT  
ENGINEERING SECTION



SHEET # 3 OF 9  
PLAN NUMBER

G:\2009\39 City of Portland-General Engineering Services\wp\_65 Dougherty Field Phase 1\Drawings\200909-05-LOOA.dwg, Sep. 03, 2010 - 2:59pm



CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Conditions  
Date of Approval:

CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Conditions  
Date of Approval: 9-16-2010

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PORTLAND, MAINE 04102  
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**WOODARD & CURRAN**  
COMMITMENT & INTEGRITY DRIVE RESULTS

Regina S. Leonard  
Landscape architecture & design  
Tel: 207.450.9700  
Regina@rsdesign.com  
29 Bridge Street  
Topsham, Me 04086

LDD PROJECT NAME: N/A  
DRAWING NAME: 200909-05-LOOA.DWG  
FIELD BOOK USED: N/A

**REFERENCES:**  
DESIGNED BY: RSL  
DRAWN BY: RSL  
CHECKED BY: RAS  
SCALE: 1"=50'  
DATE: 9/03/10

**Planting Notes**

- All materials shall conform to the guidelines established by the American Association of Nurserymen.
- In the case of any discrepancies between species and quantities called out in the planting key and those shown on the plan, quantities and species shown on the plan shall over-ride.
- All planting shall be done in accordance with acceptable horticultural practices.
- All plants subject to approval by landscape architect. All substitutions must be submitted for approval by landscape architect prior to ordering or delivery of plant material on site. Landscape architect reserves the right to reject any plantings that do not conform to the drawings or specifications outlined herein.
- Landscape Architect shall approve final placement of all plant materials and reserves the right to make field adjustments to plantings as necessary.
- Existing trees to remain shall be protected at the drip-line and as shown in the Tree Protection Detail to prevent damage and compaction of the root system. No grading, soil disturbance, or storage of materials or equipment shall occur within the drip-line unless otherwise shown on plans. Any excavation within such areas shall be performed with special care to avoid damage to any trees designated to remain. In case of consequential damage to any trees designated to remain, the contractor shall assume full responsibility for replacement in-kind or payment of financial restitution, as determined most appropriate by the City's representative.
- Planting pits shall consist of 3 parts fertile, friable loam amended with 1 part organic compost: Earthlife by New England Organics, Falmouth, ME, tel. 207-781-5011, or approved equal.
- Finish grade of plantings shall match adjacent finish grades unless otherwise noted on drawings or directed and/or approved by the landscape architect.
- No plant shall be put into the ground before rough grading has been finished and approved by the landscape architect or owner's representative.
- All plants shall be set plumb unless otherwise specified.
- All plantings shall be topped with a minimum of 3" of surface mulch. See written specifications.
- All disturbed areas not otherwise planted shall be seeded as follows: Areas to remain lawn, as noted on the plan, shall receive "Seed Mix A" as noted in the Site Plantings Key. Contractor shall water all plants thoroughly twice during the first 24-hour period after planting. All plants and newly grassed areas shall be watered as required thereafter to ensure survival and growth through the first growing season. Plant material shall be guaranteed by the contractor for a period of one year from the date of installation. During the one year guarantee, the contractor shall replace, in kind, any dead, diseased, or substandard plant material at no cost to the owner. The contractor shall receive final acceptance from the owner following the one year guarantee, provided the provisions of the plant guarantee have been satisfactorily met.
- The Contractor shall assume responsibility to ensure that all work is performed in compliance with all State and Local requirements.

**SITE PLANTINGS**

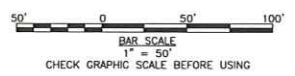
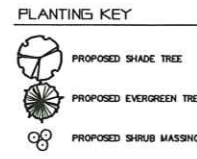
SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE/COND.
<b>TREES &amp; SHRUBS</b>				
AC	3	Abies concolor	White Fir	8'-10' ht.
AK	3	Abies koreana	Korean Fir	4'-5' ht.
CA	7	Clethra alnifolia 'Compacta'	Compact Sweetpeper Bush	#2 pot
CC	8	Crataegus crusgalli var. inermis	Cockspur Thornless Hawthorn	1.75" cal.
CM	9	Cornus mas	Corneliancherry Dogwood	1.75" cal.
FM	8	Fothergilla major 'Mt. Airy'	Mt. Airy Bottlebrush	#3 pot
FP	7	Fraxinus pennsylvanica 'Cimczan'	Cimarron Green Ash	2.5" cal.
GB	11	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	2" cal.
GT	8	Gleditsia triacanthos var. inermis	Thornless Honey Locust	2.5" cal.
HS	7	Hydrangea serrata Midariboshi-T	Mountain Hydrangea	#3 pot
IV	18	Itea virginica 'Little Henry'	Sweetspire	#3 pot
JC	10	Juniperus chinensis 'Sea Green'	Sea Green Juniper	#7 pot
PG	13	Picea glauca	White Spruce	8'-10' ht.
PS	6	Pinus sylvestris	Scotch Pine	6'-8' ht.
QR	4	Quercus rubra	Red Oak	2" cal.
ST	5	Spiraea thunbergii 'Mt. Fuji'	Mt. Fuji Spirea	#3 pot

**HERBACEOUS PLANTS**

HCV	tbd	Coreopsis verticillata 'Moonbeam'	Threadleaf Coreopsis	2 qt.
HHH	tbd	Hemerocallis sp. 'Happy Returns'	Happy Returns Daylily	2 qt.
HKM	tbd	Knaulia macedonia	Pincushion Flower	2 qt.
HPA	tbd	Pennisetum alopecuroides 'Hamel'	Dwarf Fountain Grass	2 qt.
HNM	tbd	Nepeta mussinii 'Blue Wonder'	Blue Wonder Catmint	2 qt.
HSM	tbd	Sidalcea malviflora 'Party Girl'	Party Girl Prairie Mallow	2 qt.
HSS	tbd	Salvia superba 'May Night'	May Night Salvia	2 qt.

**SEED MIXES**

- A** Yardscaping Mix  
Application Rate: 1 lb/200 sq. ft.  
Supplier: Allen, Sterling & Lothrop, Falmouth, ME Tel. 207-781-4142
- B** New England Wildlife/Conservation Mix  
Application Rate: 1 lb/1750 sq. ft. (spring)  
Supplier: NE Wetland Plants, Inc.; Amherst, MA Tel. 413-548-8000



Note: See condition as will need adjusting re density & location



DOUGHERTY FIELD IMPROVEMENTS  
LANDSCAPE PLAN

CITY OF PORTLAND, MAINE  
PUBLIC SERVICES DEPARTMENT  
ENGINEERING SECTION



SHEET # 5 OF 9  
PLAN NUMBER



0 10 20 40 60 80 Feet

N

## CONSTRUCTION DOCUMENTS: DOUGHERTY PARK SKATE PARK PORTLAND, MAINE



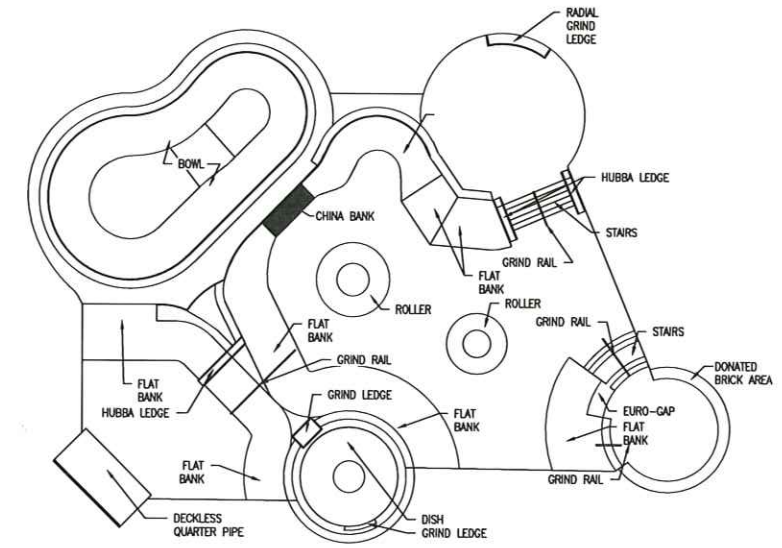
PROJECT VICINITY MAP



PROJECT LOCATION MAP

SKATEPARK SHEET INDEX:

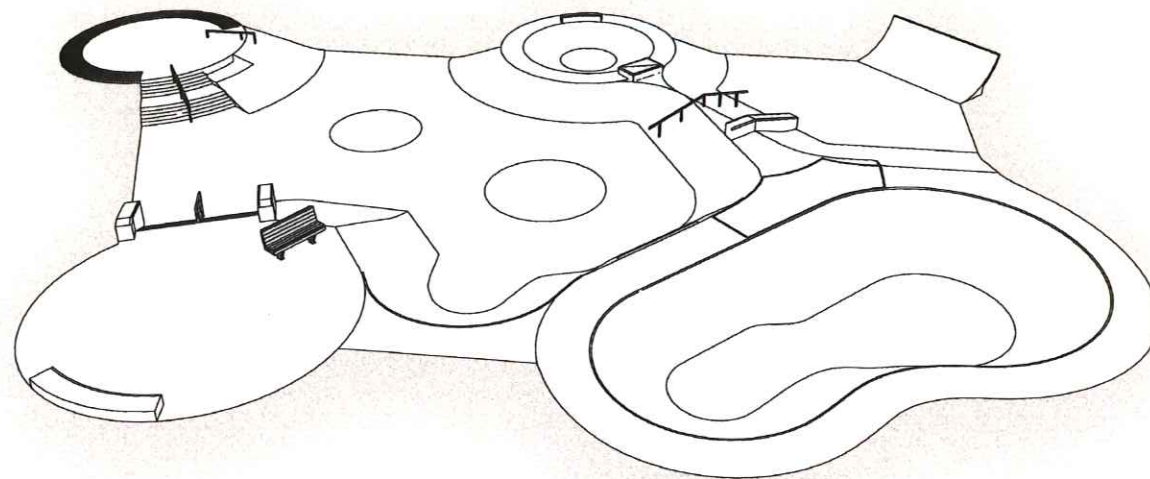
SP-0	SKATEPARK PROJECT NOTES
SP-0a	SKATEPARK GRID COORDINATES
SP-1	EXISTING SITE/CONDITIONS
SP-1a	PROPOSED SITE LAYOUT
SP-1b	SITE GRADING PLAN
SP-2	SKATEPARK CONCRETE PLAN
SP-2a	SKATEPARK JOINTING PLAN
SP-2b	SKATEPARK METALS PLAN
SP-3	SKATEPARK DIMENSIONS
SP-3a	SKATEPARK DIMENSIONS
SP-3b	SKATEPARK DIMENSIONS
SP-4	SKATEPARK ELEVATIONS
SP-4a	SKATEPARK ELEVATIONS
SP-4b	SKATEPARK ELEVATIONS
SP-5	SKATEPARK DETAILS
SP-5a	SKATEPARK DETAILS
SP-5b	SKATEPARK DETAILS
SP-5c	SKATEPARK DETAILS



SKATEPARK ELEMENTS MAP  
NOT TO SCALE

UNIFORM COLOR CODE

WHITE	Proposed Excavation
PINK	Temporary Survey Markings
RED	Electric Power Lines, Cables, Conduit and Lighting Cables
YELLOW	Gas, Oil, Steam, Petroleum or Gaseous Materials
ORANGE	Communication, Alarm or Signal Lines, Cables or Conduit
BLUE	Potable Water
PURPLE	Reclaimed Water, Irrigation and Storm Lines
GREEN	Storm and Drain Lines



SKATEPARK COMPUTER MODEL VIEW #1  
\*COMPUTER MODEL FOR GENERAL REFERENCE ONLY



SKATEPARK COMPUTER MODEL VIEW #2  
\*COMPUTER MODEL FOR GENERAL REFERENCE ONLY



**GENERAL NOTES:**

1. SITE TO BE GRADED AS PER PLAN.
2. ALL WORK PERFORMED TO COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND/OR LOCAL BUILDING CODES.
3. ALL SOIL USED IN CONSTRUCTION SHALL BE VIBRATORY HAND ROLLED TO 95% MAX. STANDARD PROCTOR DENSITY PRIOR TO ANY POURING OF CONCRETE ON SITE.
4. CONTRACTOR SHALL TAKE ALL PRECAUTIONS ON SITE INVOLVING RUN OFF, BY USING EITHER SILT SOCKS, OR HAY BALE DIKES, IN ACCORDANCE WITH COUNTY REGULATIONS.
5. CONTRACTOR SHALL NOTIFY ALL UTILITIES TO ALL FOR LOCATION OF ANY BURIED SERVICES IN THE AREA PRIOR TO BEGINNING OF CONSTRUCTION. ANY SERVICES SHOWN IN THE SET ARE FOR REFERENCE ONLY, AND MAY NOT SHOW ALL SERVICES CURRENTLY ON SITE. CONTRACTOR SHALL WAIT A MINIMUM OF TWO (2) BUSINESS DAYS TO ALLOW UTILITIES TO BE LOCATED.
6. CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR ANY DAMAGED PROPERLY MARK UTILITIES. ANY UTILITIES DAMAGED WILL BE SOLELY THE CONTRACTORS RESPONSIBILITY TO REPAIR AND SHALL PROVIDE ALL EXPENSES ASSOCIATED WITH THE DAMAGE.
7. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, AND SERVICES NECESSARY TO FURNISH AND INSTALL ALL CONSTRUCTION ELEMENTS AND SHOWN IN THIS SET OF PLANS AND NOTES.
8. CONTRACTOR SHALL IMPLEMENT THE CONSTRUCTION OF THE SKATEPARK PROJECT, INCLUDING BUT NOT LIMITED TO, CONSTRUCTION OF THE ENTRY WALKWAY, ON-STREET PARKING DESIGNATIONS, CONCRETE PLAZA, SITE GRADING, SKATE PARK IMPROVEMENTS, ANY SWPPP THAT MAY BE REQUIRED (PER LOCAL OR STATE REGULATIONS), AND/OR SITE PLANTINGS AND IRRIGATION.

**SHOTCRETE NOTES:**

1. ACI STANDARD 506, LATEST EDITION "SPECIFICATION FOR MATERIALS, PROPORTIONING, AND APPLICATION OF SHOTCRETE" AND ACI 506.2, LATEST EDITION "RECOMMENDED PRACTICES FOR SHOTCRETING" SHALL BE FOLLOWED.
2. ANY IN-PLACE SHOTCRETE MATERIAL WHICH EXHIBITS SAGS OR SLOUGHS, SEGREGATION, HONEYCOMBING, SAND POCKETS OR OTHER OBVIOUS DEFECTS SHALL BE REMOVED AND REPLACED.
3. ANY REBOUND OR ACCUMULATED LOOSE AGGREGATE SHALL BE REMOVED FROM THE SURFACES TO BE COVERED PRIOR TO PLACING THE INITIAL OR ANY SUCCEEDING LAYERS OF SHOTCRETE APPLICATION.
4. JOINTS IN WALLS ARE PERMISSIBLE. AT JOINTS, SHOTCRETE SHALL BE SLOPED TO A THIN EDGE. BEFORE PLACING ADDITIONAL MATERIAL, ALL SURFACES SHALL BE THOROUGHLY CLEANED AND WETTED AND ALL REINFORCING STEEL SHALL BE BRUSHED FREE OF LATENT SHOTCRETE MATERIALS.

**CONCRETE NOTES:**

1. ALL CONCRETE CONSTRUCTION SHALL CONFORM TO AMERICAN CONCRETE INSTITUTE'S "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318 - LATEST EDITION) AND "SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 301 - LATEST EDITION)
2. REINFORCEMENT SHALL CONFORM TO ASTM "SPECIFICATIONS FOR DEFORMED & PLAIN BILLET-STEEL BARS FOR CONCRETE REINFORCEMENT" - A515 GRADE 60, MINIMUM YIELD STRENGTH OF 60,000 PSI.
3. MINIMUM COVER FOR REINFORCEMENT IN SITE-CAST CONCRETE SHALL BE AS FOLLOWS:  
 CONCRETE CAST AGAINST EARTH-----3"  
 CONCRETE EXPOSED TO WEATHER OR EARTH (FORMED) #5 BAR & LARGER---3"  
 #4 BAR AND SMALLER-2"
4. FLOOR SLAB CONSTRUCTION SHALL BE SUCH THAT PERIMETER ELEVATIONS AND SCREENED LINES ARE ESTABLISHED SO THAT THERE IS NO PONDING IN THE FINISH WORK.
5. JOINT MATERIAL FOR SAW JOINTS AND CONSTRUCTION JOINTS SHALL BE "BAS F NP1" OR APPROVED EQUIVALENT, INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS.
6. CONDUITS, PIPES, AND SLEEVES EMBEDDED IN CONCRETE SHALL CONFORM TO THE 2003 IBC.
7. AGGREGATE BASE COURSE TO BE 4" [10.16cm] OF COMPACTED 1" [2.54cm] CRUSHED LIMESTONE COMPACTED TO NOT LESS THAN 95% OF MAX. STANDARD PROCTOR DENSITY. THE TOP 12" [300mm] OF SUBGRADE MATERIAL SHALL BE COMPACTED TO 95% OF STANDARD PROCTOR AS PER ASTM D-698.
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE SAFETY AND PERFORMANCE GUIDELINES PERTAINING TO IN-GROUND SKATEPARK FACILITIES AS SPECIFIED IN THE STANDARD GUIDE FOR IN-GROUND CONCRETE SKATEPARK ASTM F-2480
9. SECURE ALL REINFORCING, ANCHOR BOLTS, INSERTS, ETC. RIGIDLY IN PLACE PRIOR TO POURING CONCRETE.
10. ALL REBAR SHALL BE COLD BENT.
11. REMOVE FORMS AT FOLLOWING MINIMUM TIMES AFTER POURING, UNLESS OTHERWISE IDENTIFIED: SLAB EDGES = 24 HOURS, AT WALLS LESS THAN 4'-0" [1.22m] HIGH = 36 HOURS
12. DURING THE CURING PERIOD, CONCRETE SHALL BE MAINTAINED AT A TEMPERATURE ABOVE 40°F [4°C] AND IN MOIST CONDITION. FOR INITIAL CURING, CONCRETE SHALL BE KEPT CONTIGUOUSLY MOIST FOR 24 HOURS AFTER PLACEMENT IS COMPLETE. FINAL CURING SHALL CONTINUE FOR SEVEN DAYS AFTER PLACEMENT AND SHALL CONSIST OF APPLICATION OF CURING COMPOUND AS PER ASTM C309. APPLY AT A RATE SUFFICIENT TO RETAIN MOISTURE, BUT NOT LESS THAN 1 GALLON [4.55L] PER 200 SQUARE FT [18.58m<sup>2</sup>]. COVER CONCRETE WITH POLYETHYLENE PLASTIC TO MAINTAIN TEMPERATURE IF NECESSARY. LAP SEAMS IN THE PLASTIC 6" [15.24cm] AND TAPE, WEIGHT DOWN THE PLASTIC AS NEEDED.

**SKATEPARK NOTES:**

1. ALL SKATEPARK CONCRETE SHALL BE REINFORCED WITH #4 REINFORCING BARS @ 12" O.C. FOR SLABS (#3 @ 12" O.C. FOR ALL AREAS USING SHOTCRETE), BOTH DIRECTIONS, SEE DETAILS FOR SLAB THICKNESS USED.
2. ALL EDGES AND CORNERS OF CONCRETE FEATURES SHALL HAVE 1/2" RADI OR 3/4" CHAMFER, AS PER OWNERS CHOICE, UNLESS NOTED OTHERWISE ON PLANS.
3. CONTRACTOR SHALL VERIFY AND COORDINATE ALL FINISH GRADES AND CURB EDGES WITH RELATED SITE IMPROVEMENTS. CONTRACTOR SHALL REPORT IMMEDIATELY TO THE OWNER'S REPRESENTATIVE ANY CONFLICTS OR DISCREPANCIES FOUND.
4. CONTRACTOR SHALL REMOVE ANY RAIN WATER OR DEBRIS FROM SITE, PRIOR TO, AND DURING CONSTRUCTION, AS REQUIRED, PRIOR TO POURING ANY CONCRETE ON SITE.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL GROUND ELEVATIONS, INVERT AREAS, AND OVERALL TOPOGRAPHY OF THE SITE. CONTRACTOR SHALL VERIFY ALL SITE DIMENSIONS PRIOR TO BEGINNING OF CONSTRUCTION. CONTRACTOR SHALL REPORT IMMEDIATELY TO THE OWNER'S REPRESENTATIVE ANY CONFLICTS OR DISCREPANCIES FOUND WITH ANY ELEVATIONS, INVERT AREAS, ETC...
6. CONTRACTOR SHALL OBTAIN A PROJECT SPECIFIC GEOTECHNICAL REPORT PRIOR TO START OF ANY CONSTRUCTION, IF ONE IS NOT ALREADY PROVIDED. ALL SKATE PARK STRUCTURE GRADING AND EARTHWORK SHALL COMPLY WITH THE PROJECT SPECIFIC GEOTECHNICAL REPORTS RECOMMENDATIONS AND REQUIREMENTS.
7. WRITTEN DIMENSIONS ARE TO TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS, AND IN NO WAY SHALL THE CONTRACTOR SCALE ANY DIMENSIONS DIRECTLY FROM THIS SET FOR ACTUAL CONSTRUCTION USE. CONTRACTOR SHALL REPORT IMMEDIATELY TO THE OWNER'S REPRESENTATIVE ANY CONFLICTS OR DISCREPANCIES FOUND ON SITE.
8. ALL SKATEPARK CONCRETE SHALL HAVE A SMOOTH HARD TROWEL FINISH.
9. ALL REINFORCING BARS SHALL HAVE AN ALTERNATING 24" OVERLAP; TYP. SEE SPECIFICATIONS FOR FURTHER DETAILS.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY, NOTIFICATION OF UTILITIES, AND CONSTRUCTION STAKING.

**CONSTRUCTION NOTES:**

1. IN THE AREA OF THE SKATEPARK: EXISTING ORGANIC MATERIAL, UNSUITABLE SOIL, AND OTHER DELETERIOUS MATERIALS SHALL BE REMOVED. FILL MATERIAL REQUIRED SHALL BE OF A SIMILAR TYPE OF SOIL THAT IS PRESENT AT THE SITE EXHIBITING LIQUID LIMIT VALUES BELOW 45 AND PLASTIC INDEX VALUES LESS THAN 25. NO ROCK GREATER THAN 8" SHALL BE ALLOWED IN STRUCTURAL FILL MATERIAL. ALL FILL MATERIAL SHALL BE PLACED IN LOOSE LIFTS NO GREATER THAN 6" IN DEPTH AND SHALL BE COMPACTED TO A DENSITY NO LESS THAN 95% OF THE MAXIMUM STANDARD PROCTOR DRY DENSITY (ASTM D-698) AT A MOISTURE CONTENT OF 3% ABOVE OR BELOW OPTIMUM. ADEQUATE FIELD DENSITY AND MOISTURE CONTENT TESTS SHOULD BE PERFORMED TO INSURE COMPLIANCE WITH THE ABOVE SPECIFICATIONS.
2. ALL SOIL BELOW SLABS AND FOOTINGS SHALL BE PROPERLY COMPACTED AND SUBGRADE BROUGHT TO A REASONABLE TRUE AND LEVEL PLANE BEFORE PLACING CONCRETE. AFTER EXCAVATION FOR FOOTINGS AND FLAT SLABS, AND PRIOR TO PLACEMENT OF STEEL REINFORCEMENT OR CONCRETE, CONTRACTOR TO NOTIFY ENGINEER FOR INSPECTION OF SOIL CONDITIONS.
3. TESTING OF CONTROLLED STRUCTURAL FILL SHALL BE PERFORMED BY A QUALIFIED TEST LABORATORY RETAINED BY THE GENERAL CONTRACTOR AND APPROVED BY THE OWNER. SOIL COMPACTION TESTING SHALL BE AS DIRECTED BY THE ENGINEER OR "AS NECESSARY" TO INSURE COMPACTION.
4. EXCAVATION FOR FOOTINGS SHALL BE CUT TO ACCURATE SIZE AND DIMENSIONS AS SHOWN ON PLANS. IF ADEQUATE BEARING IS NOT ENCOUNTERED AT THE MINIMUM ELEVATIONS SPECIFIED, CONTACT THE ENGINEER FOR NEW BEARING ELEVATIONS.
5. ALL LOOSE SOILS OR SOILS SOFTENED DUE TO MOISTURE COLLECTION IN THE TRENCH AFTER EXCAVATION SHOULD BE REMOVED BEFORE CONCRETING.
6. EXTREME CARE SHOULD BE TAKEN DURING EXCAVATION TO AVOID UNDERMINING OR JEOPARDIZING THE STRUCTURAL INTEGRITY OF EXISTING FOUNDATIONS, OR DAMAGE TO SURROUNDING TREES OR NATURAL WATERWAYS.
7. LEVEL OUT BOTTOM OF EXCAVATIONS FOR STRUCTURES. DO NOT LEAVE HARD SPOTS. THE EXCAVATION FOR FOOTINGS SHALL BE CUT TO ACCURATE SIZE AND DIMENSIONS AS SHOWN ON THE PLANS. ALL SOIL BELOW THE SLAB AND FOOTINGS SHALL BE PROPERLY COMPACTED AND THE SUBGRADE BROUGHT UP TO A REASONABLE TRUE AND LEVEL PLANE BEFORE PLACING CONCRETE.

**GENERAL ABBREVIATIONS:**

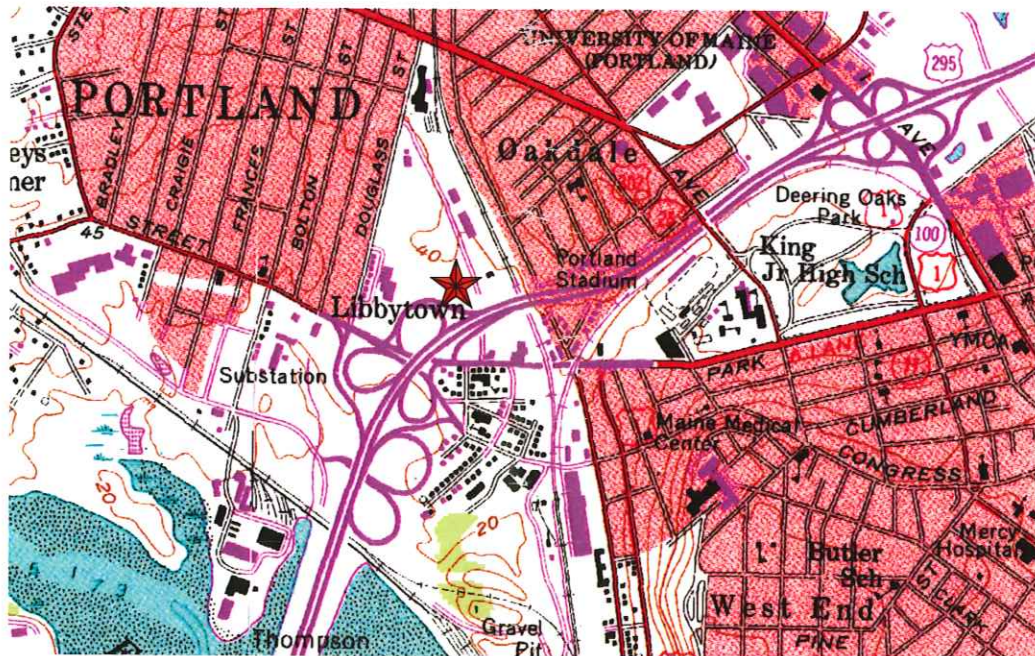
- F.F ----- FINISHED FLOOR
- W.P.L ----- WORK POINT LOCATION
- ELEV. ----- ELEVATION
- T.O.P. ----- TOP OF PAVEMENT
- T.O.L. ----- TOP OF LEDGE
- T.O.S. ----- TOP OF STRUCTURE
- T.O.R. ----- TOP OF RAIL
- O.C. ----- ON CENTER
- C.C. ----- CENTER TO CENTER
- EA. WAY ----- EACH WAY
- TYP. ----- TYPICAL
- IP ----- IRON PIN



0 1/2" 1" 2" 4" 8" Scale: NONE  
 EACH SHEET IN THIS SET CONTAINS A BAR SCALE FOR REFERENCING IN THE FIELD. ALL DIMENSIONS ON THE SHEET TAKE PRECEDENCE OVER SCALED DIMENSIONS. EACH DRAWING WITH A BAR SCALE MEANS THAT THE DRAWING/DETAIL HAS BEEN SCALED AS ACCURATELY AS POSSIBLE. IF NO BAR SCALE IS PRESENT, THEN THERE IS NO SCALE TO THAT DRAWING/DETAIL, AND SHOULD NOT BE SCALED FROM.

**SYMBOL LEGEND**

- WORK POINT LOCATION----- [Symbol]
- ELEVATIONAL POINT----- [Symbol]
- PROJECT LOCATION----- [Red Star Symbol]
- SECTIONAL VIEW----- [Symbol]
- DETAIL CALLOUT----- [Symbol]
- SLOPE DIRECTION----- [Symbol]
- NORTH ARROW----- [Symbol]
- BAR SCALE----- [Symbol]



1 PROJECT VICINITY  
 Scale: NONE

**HARDCORE**  
 SHOTCRETE SKATEPARKS INC.  
 EST. 1988 / REOPENED SINCE 2001

**SKATEPARK NOTES**  
 DOUGHTRY PARK SKATEPARK  
 PORTLAND, ME

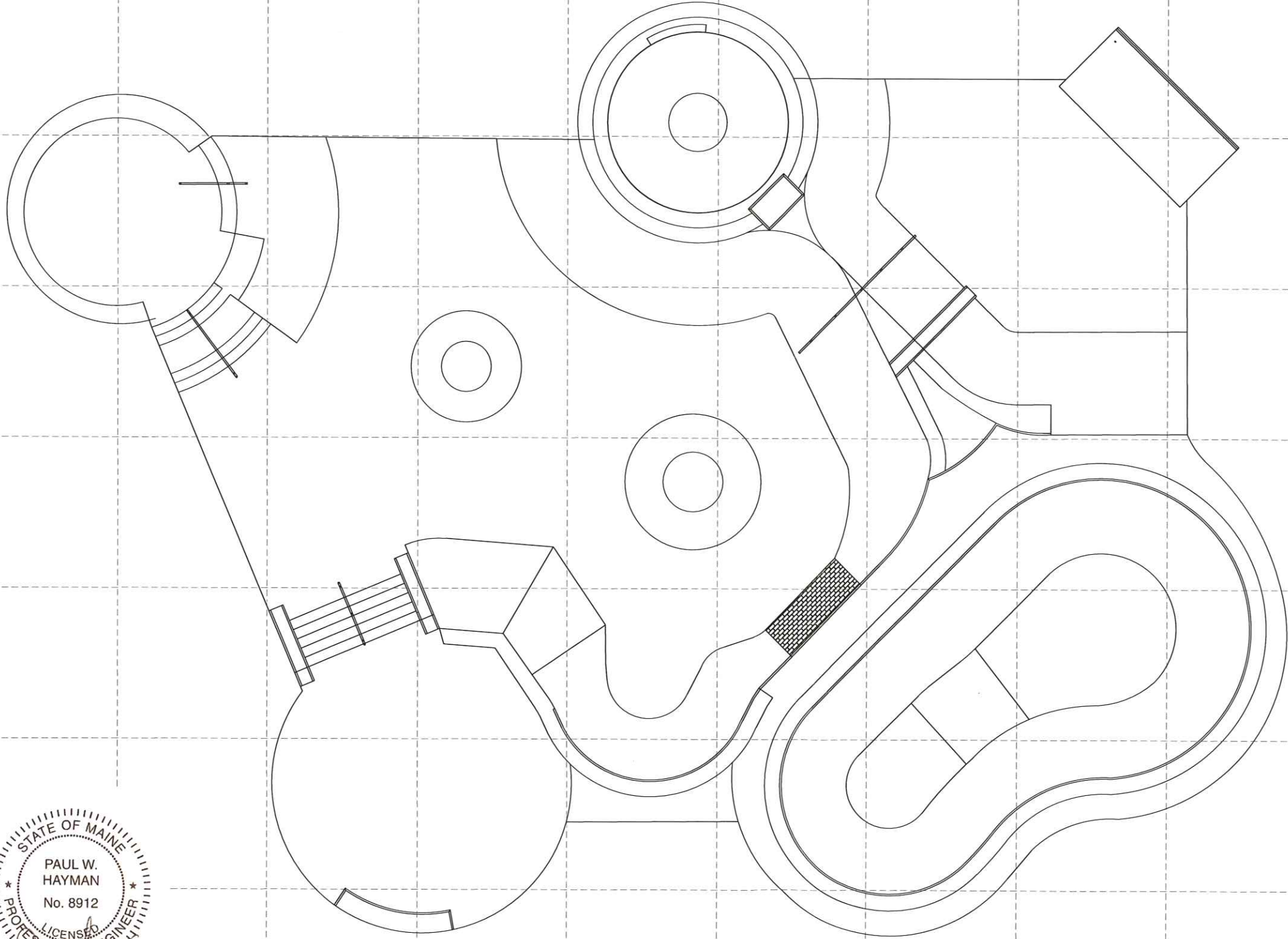
Drawn By: J. HETHMON  
 Approved By: M. LEONE  
 Scale: AS NOTED  
 Project No: 9078  
 Drawing No: **SP-0**

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STATE OF MAINE  
PAUL W. HAYMAN  
No. 8912  
LICENSED PROFESSIONAL ENGINEER

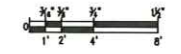
July 19, 2010



GRID LAYOUT IS SET AT A 15'X15' SQUARE



1 SKATEPARK GRID COORDINATES



Scale: 3/16"=1'-0"

SKATEPARK GRID COORDINATES

REV.	DESCRIPTION	DATE
1	ISSUE FOR CONSTRUCTION	07/19/10
2		
3		
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**THARDCORE**  
SPORTS & RECREATION INC.

SKATEPARK GRID COORDINATES  
DOUGHTRY PARK SKATEPARK  
PORTLAND, ME

Drawn By: J. HETHMON  
Approved By: M. LEONE  
Scale: AS NOTED  
Project No: 9078  
Drawing No:

SP-0A

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STATE OF MAINE  
 PAUL W. HAYMAN  
 No. 8912  
 LICENSED PROFESSIONAL ENGINEER  
 July 19, 2010

OLD STONEDUST

TENNIS COURTS

TENNIS COURTS

ST. JAMES STREET

1 EXISTING CONDITIONS  
 Scale: 1"=10'-0"

REV.	DESCRIPTION	DATE
1	ISSUE FOR CONSTRUCTION	07/19/10
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**HARDCORE**  
 SHOTCRETE SKATEPARKS INC.  
 LEADER OWNED/OPERATED SINCE 1981

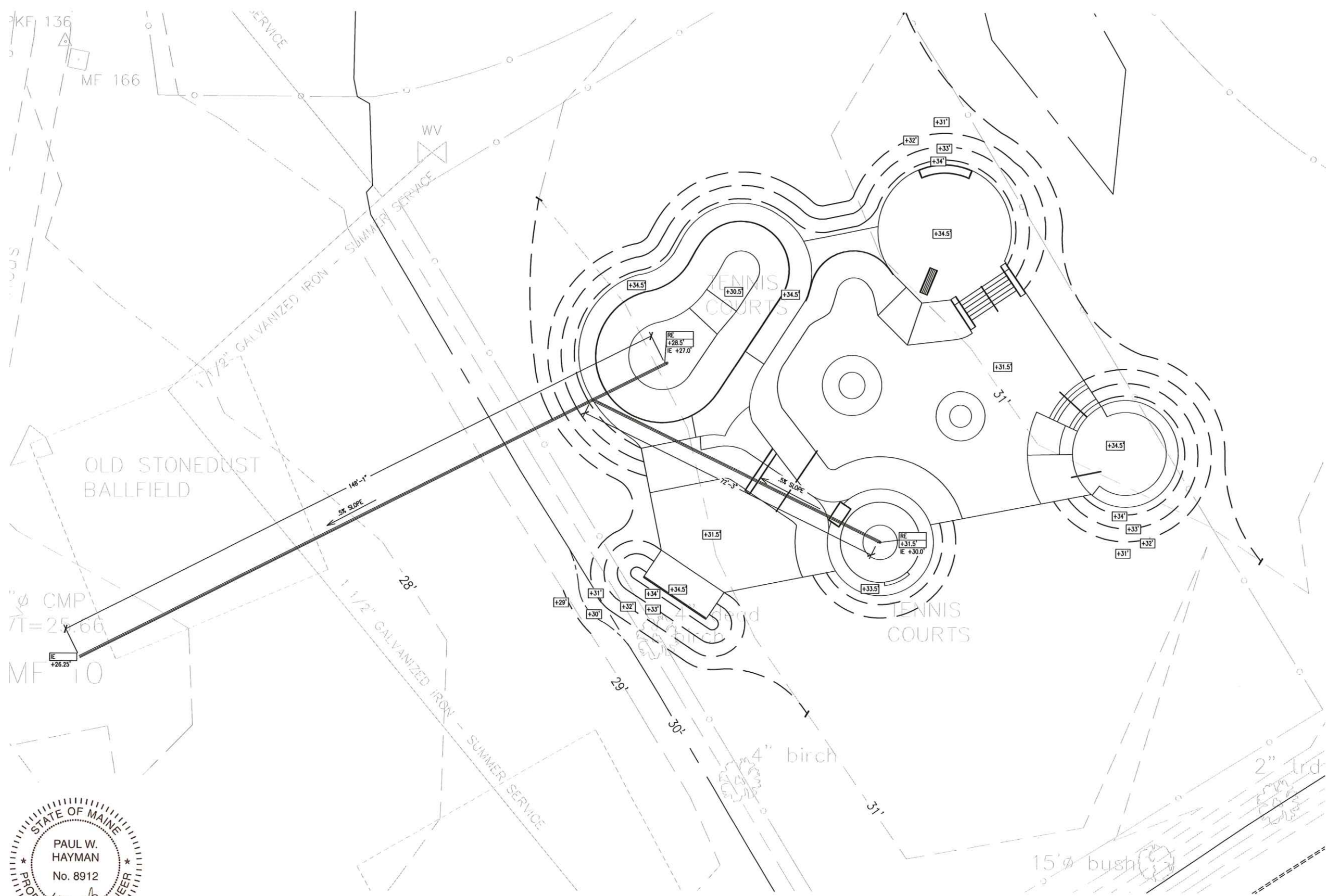
EXISTING CONDITIONS  
 DOUGHTY PARK SKATEPARK  
 PORTLAND, ME

Drawn By: J. HETHMON  
 Approved By: M. LEONE  
 Scale: AS NOTED  
 Project No: 9078  
 Drawing No:

EXISTING CONDITIONS

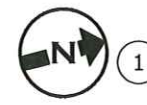
SP-1





STATE OF MAINE  
 PAUL W. HAYMAN  
 No. 8912  
 LICENSED PROFESSIONAL ENGINEER

July 19, 2010



1 SKATEPARK GRADING PLAN  
 Scale: 1"=10'-0"

REV	DESCRIPTION	DATE
1	ISSUE FOR CONSTRUCTION	07/19/10
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**FEARDCORP**  
 SPORTS RECREATION & SKATEPARKS INC.  
 LEADER OWNED/OPERATED SINCE 1987

SKATEPARK GRADING PLAN  
 DOUGHTRY PARK SKATEPARK  
 PORTLAND, ME

Drawn By: J. HETHMON  
 Approved By: M. LEONE  
 Scale: AS NOTED  
 Project No: 9078  
 Drawing No:

SKATEPARK GRADING PLAN

SP-1B

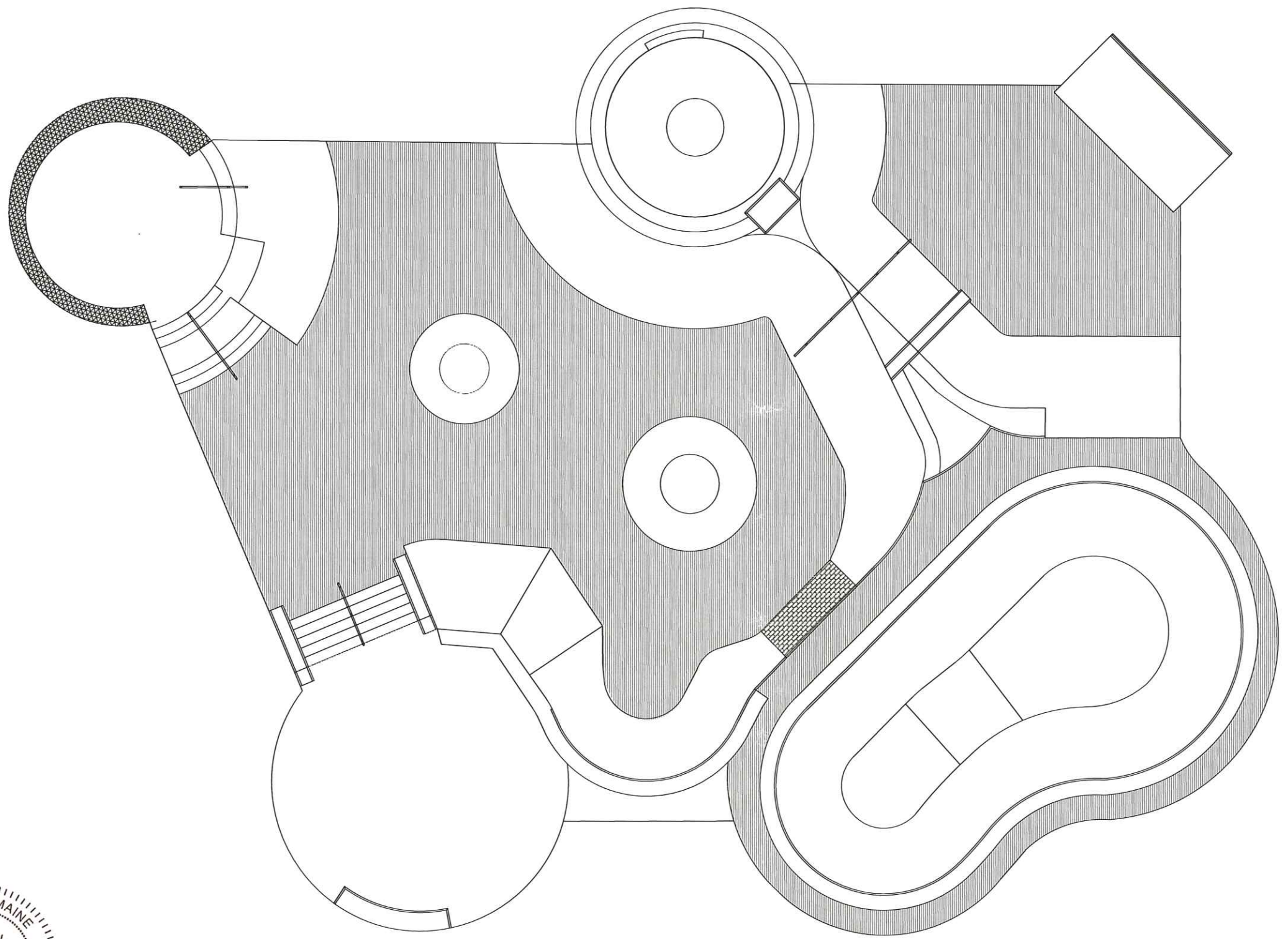
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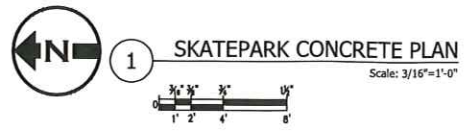
**HATHORCORE**  
 SHOTCRETE SKATEPARKS INC.  
 LEADER OWNED/OPERATED SINCE 2001

**SKATEPARK CONCRETE PLAN**  
**DOUGHTRY PARK SKATEPARK**  
**PORTLAND, ME**

Drawn By: J. HETHMON  
 Approved By: M. LEONE  
 Scale: AS NOTED  
 Project No: 9078  
 Drawing No: SP-2

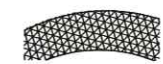


STATE OF MAINE  
 PAUL W. HAYMAN  
 No. 8912  
 LICENSED PROFESSIONAL ENGINEER  
 July 19, 2010

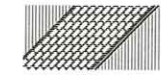


COLORED CONCRETE, "SOLOMON COLORS" "DRY PIGMENT READY MIX"; "920 SLATE" OR APPROVED EQUAL. INSTALL MIX ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. (EX. USE ONE (1) 25 LB. BAG PER 4 YARDS OF CONCRETE). CONCRETE TO BE A MIN. OF 4000 PSI WITH HARD TROWEL SURFACE.

COLORED CONCRETE, "SOLOMON COLORS" "DRY PIGMENT READY MIX"; "755 TRAIL DUST" OR APPROVED EQUAL. INSTALL MIX ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. (EX. USE ONE (1) 25 LB. BAG PER 4 YARDS OF CONCRETE). CONCRETE TO BE A MIN. OF 4000 PSI WITH HARD TROWEL SURFACE.



DONATED BRICKS. LAY BRICKS AROUND EXTERIOR OF POURED PAD. REFER TO DETAIL FOR ACTUAL PATTERN OF BRICK DESIGN. MORTAR IN PLACE.



BRICK STAMPED CHINA BANK. COLORED CONCRETE, "SOLOMON COLORS" "DRY PIGMENT READY MIX"; "920 SLATE" OR APPROVED EQUAL. INSTALL MIX ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. (EX. USE ONE (1) 25 LB. BAG PER 4 YARDS OF CONCRETE). CONCRETE TO BE A MIN. OF 4000 PSI WITH HARD TROWEL SURFACE.

SKATEPARK CONCRETE PLAN

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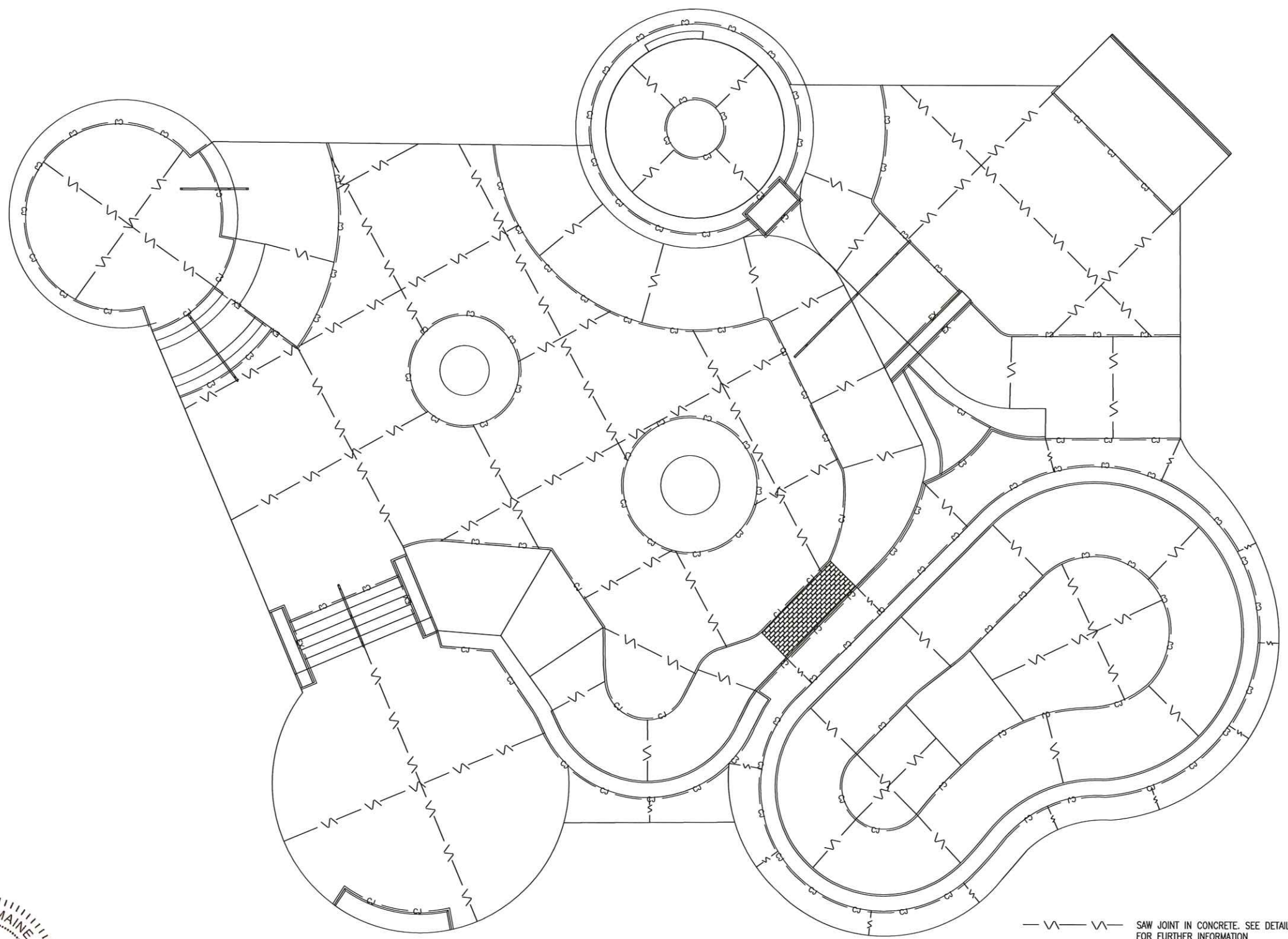
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**SKATEPARK JOINTING PLAN  
 DOUGHTRY PARK SKATEPARK  
 PORTLAND, ME**

Drawn By: J. HETHMON  
 Approved By: M. LEONE  
 Scale: AS NOTED  
 Project No: 9078  
 Drawing No:

**SP-2A**



- V — V — SAW JOINT IN CONCRETE. SEE DETAILS FOR FURTHER INFORMATION
- CJ — CJ — COLD JOINT LOCATED AROUND EACH SKATE FEATURE. SEE DETAILS FOR FURTHER INFORMATION
- EX — EX — EXPANSION JOINT. SEE DETAILS FOR FURTHER INFORMATION

\*THIS VIEW REPRESENTS AN APPROX. LOCATION OF JOINTING FOR THE SLAB. ACTUAL LOCATION MAY VARY, DEPENDING ON LOCATION OF PIECES, SITE ELEVATIONS, AND ACTUAL DIMENSIONS OF CONCRETE PAD.

STATE OF MAINE  
 PAUL W. HAYMAN  
 No. 8912  
 LICENSED PROFESSIONAL ENGINEER

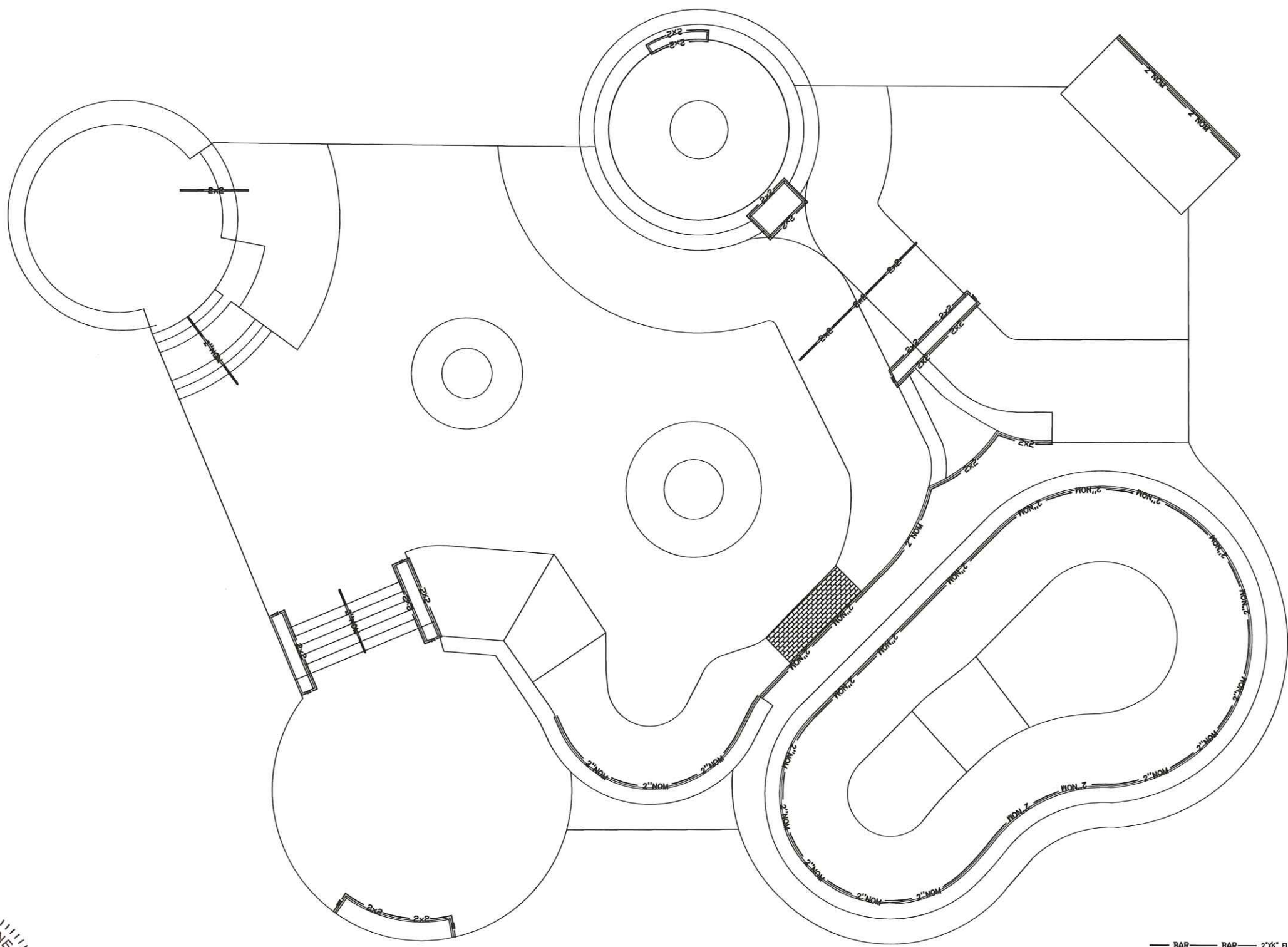
July 19, 2010



1

**SKATEPARK JOINTING PLAN**

Scale: 3/16"=1'-0"



STATE OF MAINE  
 PAUL W. HAYMAN  
 No. 8912  
 LICENSED PROFESSIONAL ENGINEER  
 July 19, 2010

**1** SKATEPARK METALS PLAN  
 Scale: 3/16"=1'-0"

— BAR — BAR — 2"x4" FLAT BAR W/ NELSON STUDS WELDED TO BACK OF BAR.  
 — 2"NOM — 2" PIPE COPING W/ NELSON STUDS ATTACHED  
 — 2x2 — 2x2 — 2"x2" SQUARE METAL TUBE

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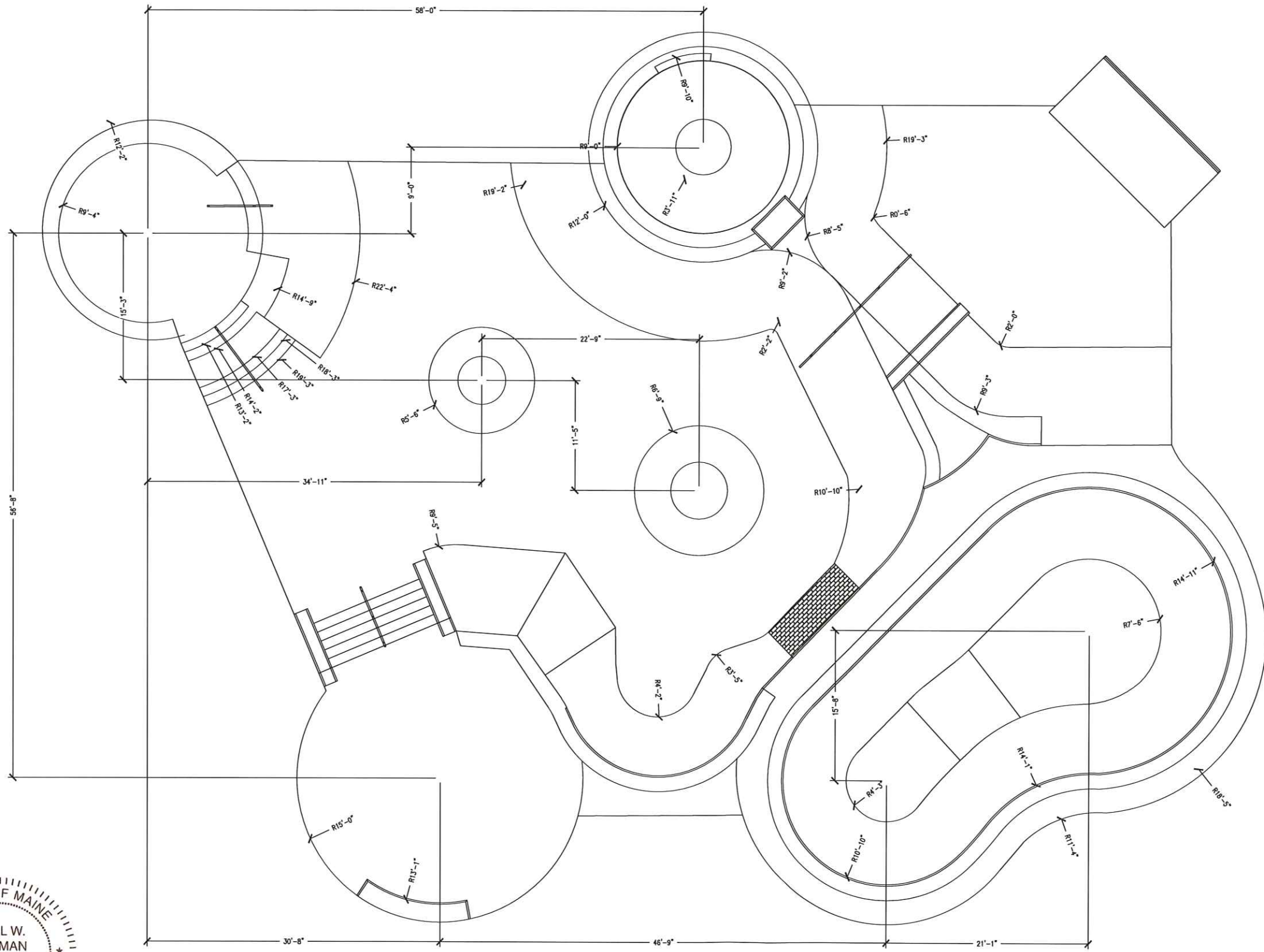
SKATEPARK METALS PLAN  
 DOUGHTRY PARK SKATEPARK  
 PORTLAND, ME

Drawn By: J. HETHMON  
 Approved By: M. LEONE  
 Scale: AS NOTED  
 Project No. 9078  
 Drawing No. SP-2B

SKATEPARK METALS PLAN

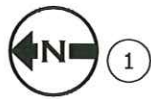
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STATE OF MAINE  
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July 19, 2010



1 SKATEPARK DIMENSIONS  
 Scale: 3/16"=1'-0"

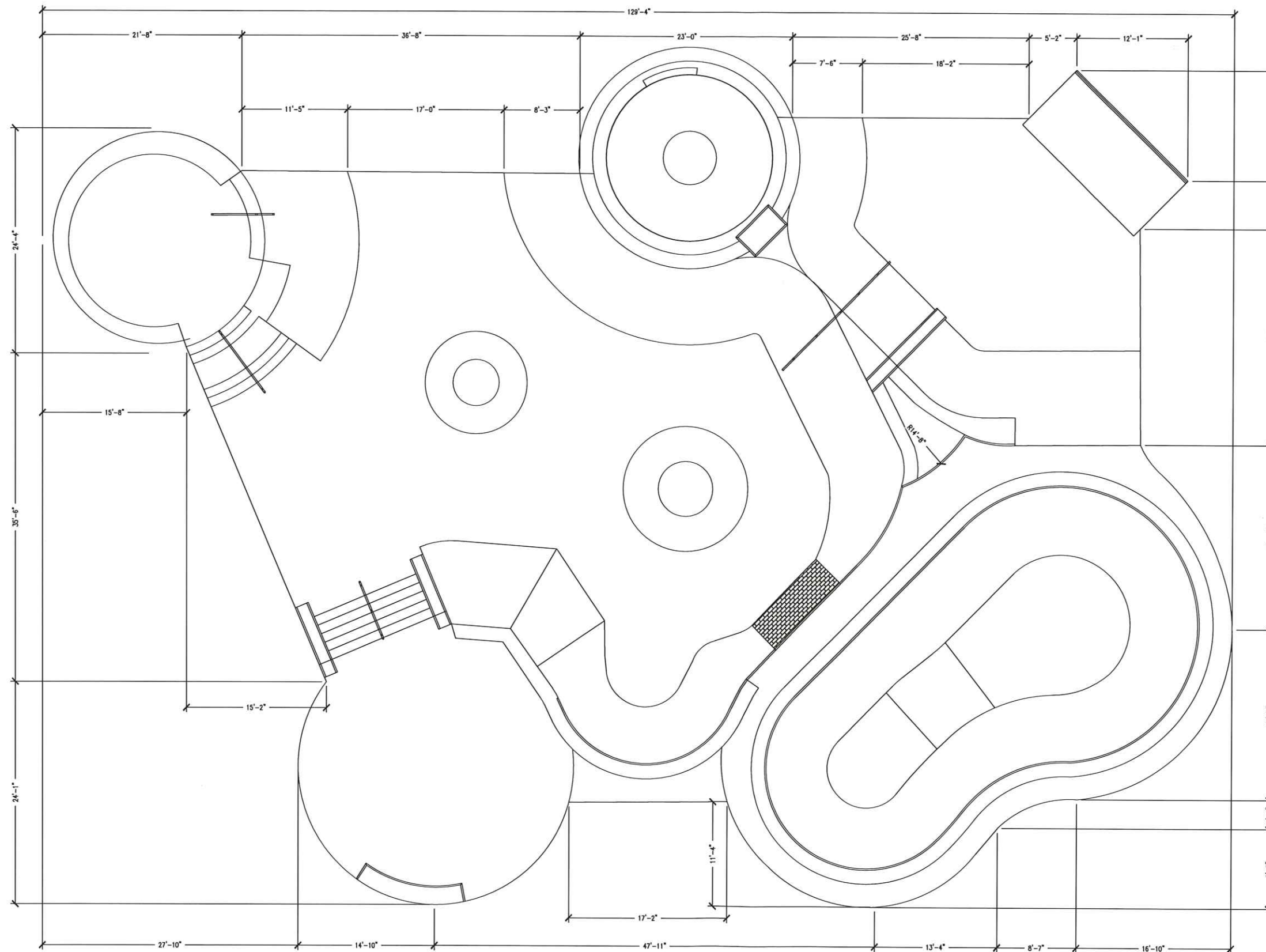
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 SKATEPARKS INC.  
 SEATED OWNED/OPERATED SINCE 2001

SKATEPARK DIMENSIONS  
 DOUGHTRY PARK SKATEPARK  
 PORTLAND, ME

Drawn By: J. HETHMON  
 Approved By: M. LEONE  
 Scale: AS NOTED  
 Project No: 9078  
 Drawing No:

SP-3




**1 SKATEPARK DIMENSIONS**  
 Scale: 3/16"=1'-0"



July 19, 2010

SKATEPARK DIMENSIONS

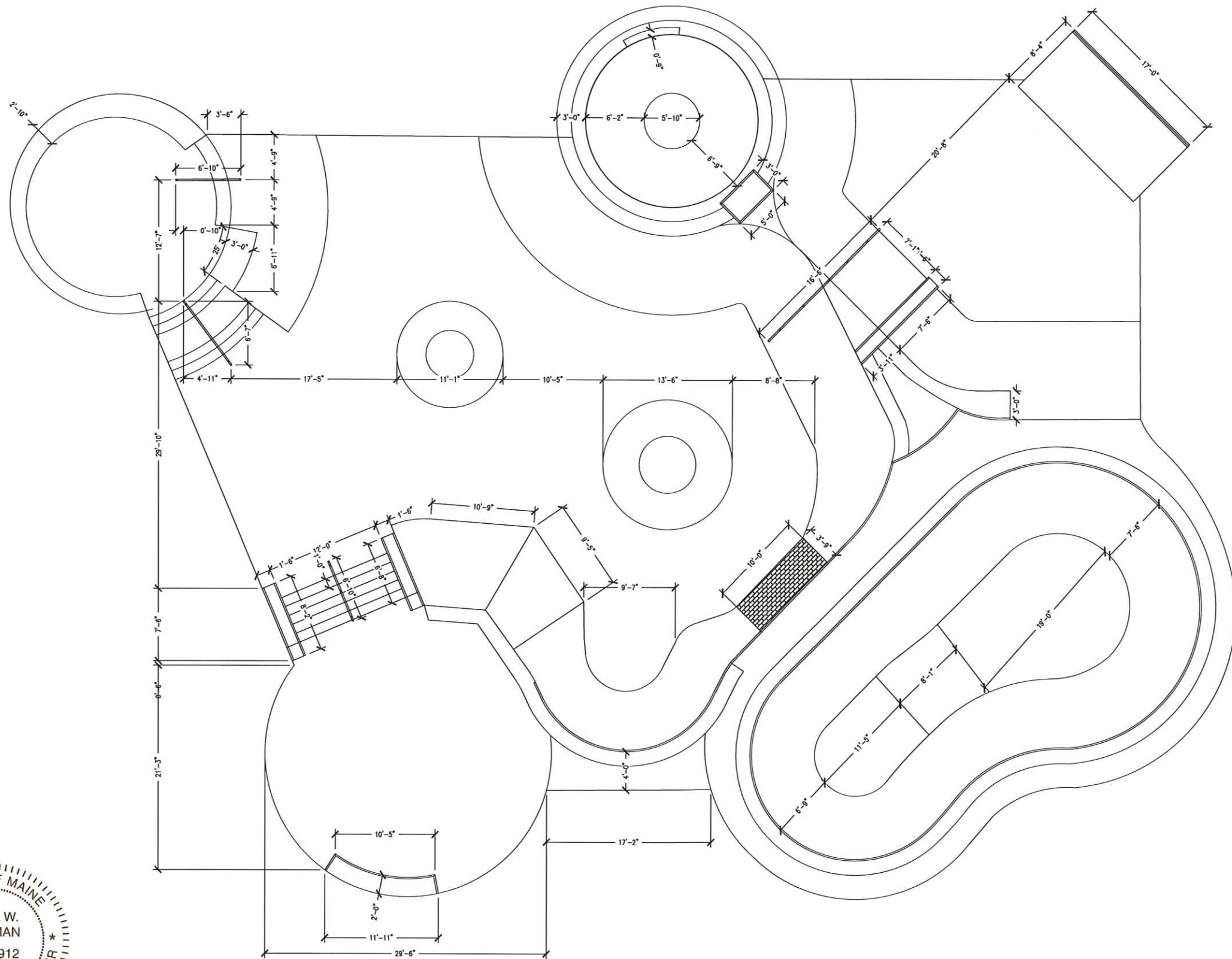
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**SKATEPARK DIMENSIONS**  
**DOUGHTRY PARK SKATEPARK**  
**PORTLAND, ME**

Drawn By: J. HETHMON  
 Approved By: M. LEONE  
 Scale: AS NOTED  
 Project No: 9078  
 Drawing No:

**SP-3A**



July 19, 2010



1 SKATEPARK DIMENSIONS

Scale: 3/16"=1'-0"

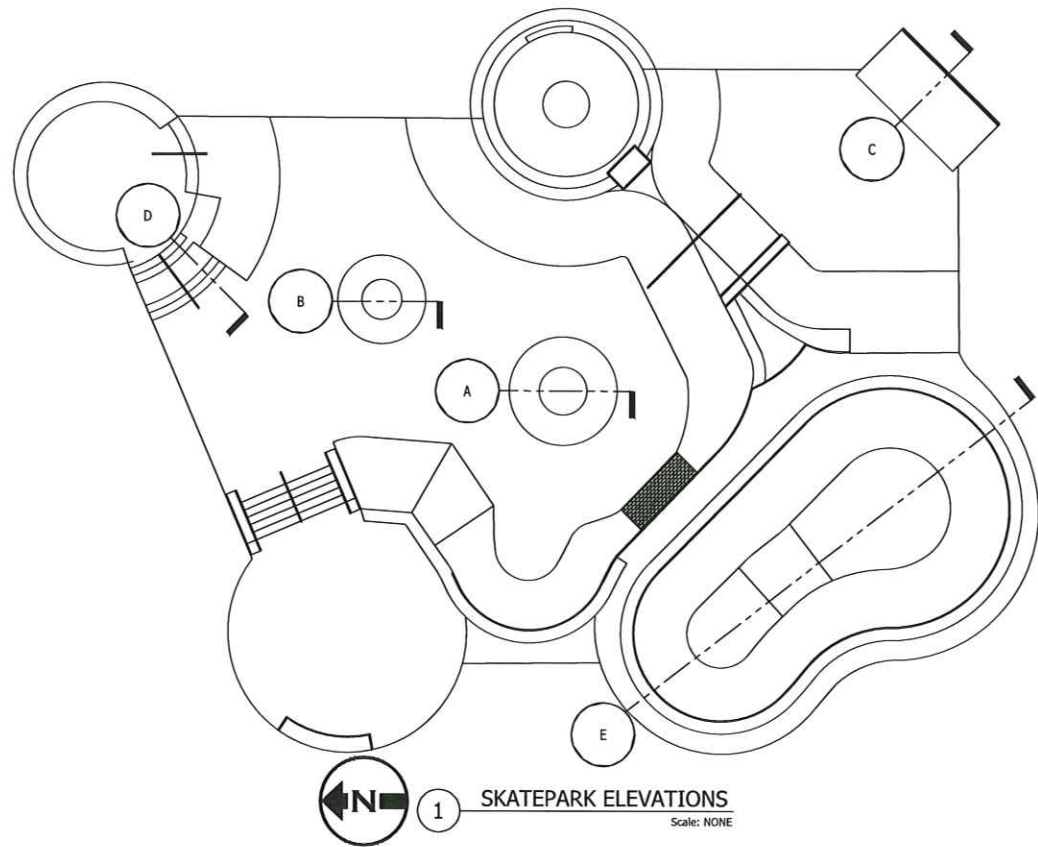
SKATEPARK DIMENSIONS  
DOUGHTRY PARK SKATEPARK  
PORTLAND, ME

Drawn By: J. HETHMON  
Approved By: M. LEONE  
Scale: AS NOTED  
Project No: 9078  
Drawing No:

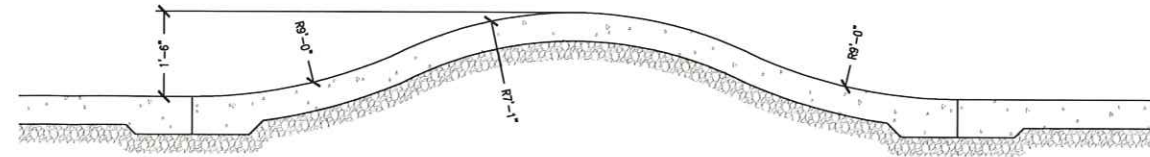


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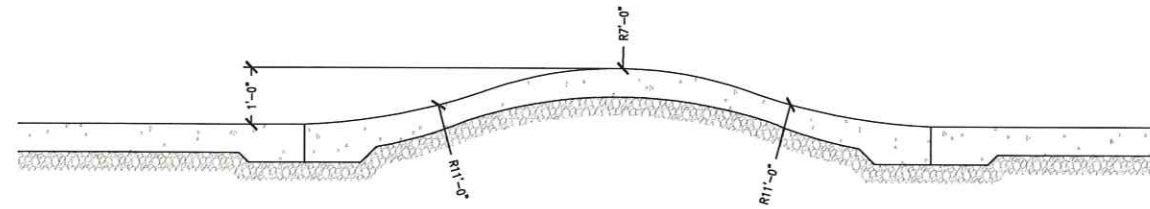
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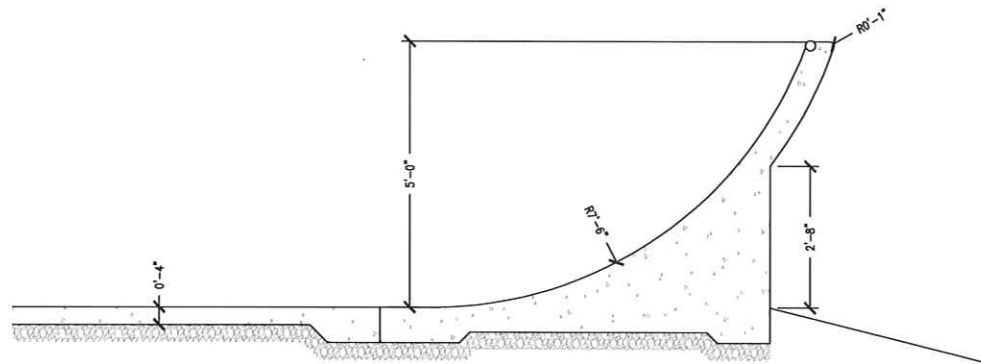
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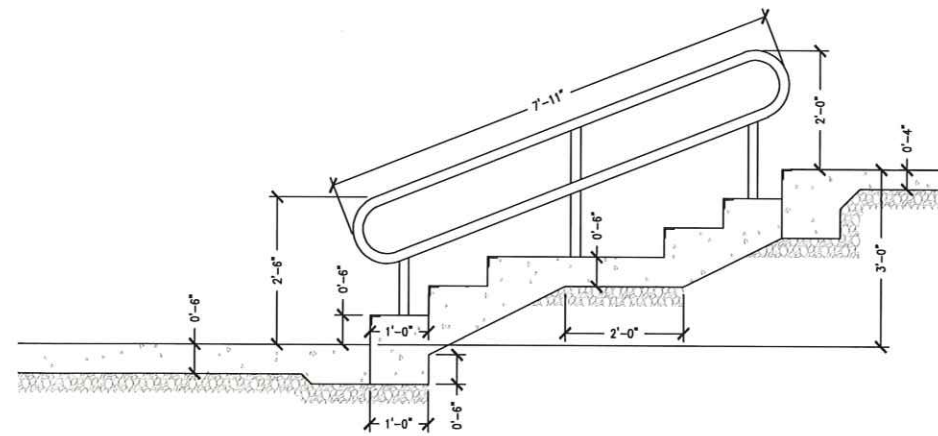
A SKATEPARK ELEVATIONS  
Scale: NONE



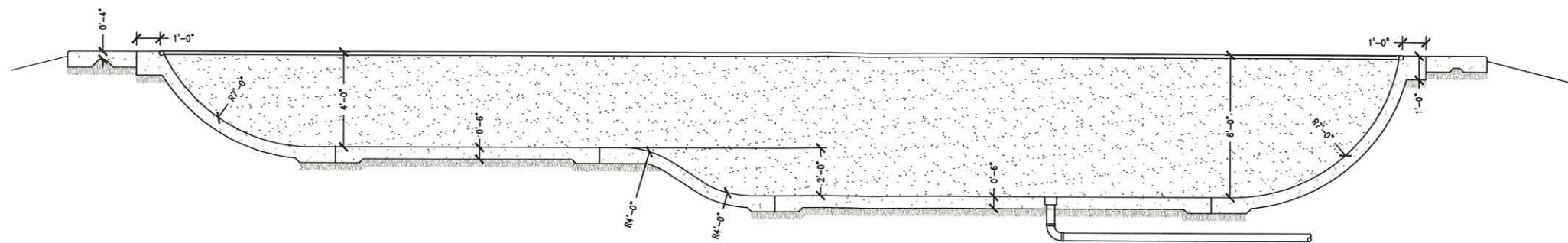
B SKATEPARK ELEVATIONS  
Scale: NONE



C SKATEPARK ELEVATIONS  
Scale: NONE



D SKATEPARK ELEVATIONS  
Scale: NONE



E SKATEPARK ELEVATIONS  
Scale: NONE



July 19, 2010

REV.	DESCRIPTION	DATE
1	ISSUE FOR CONSTRUCTION	07/19/10
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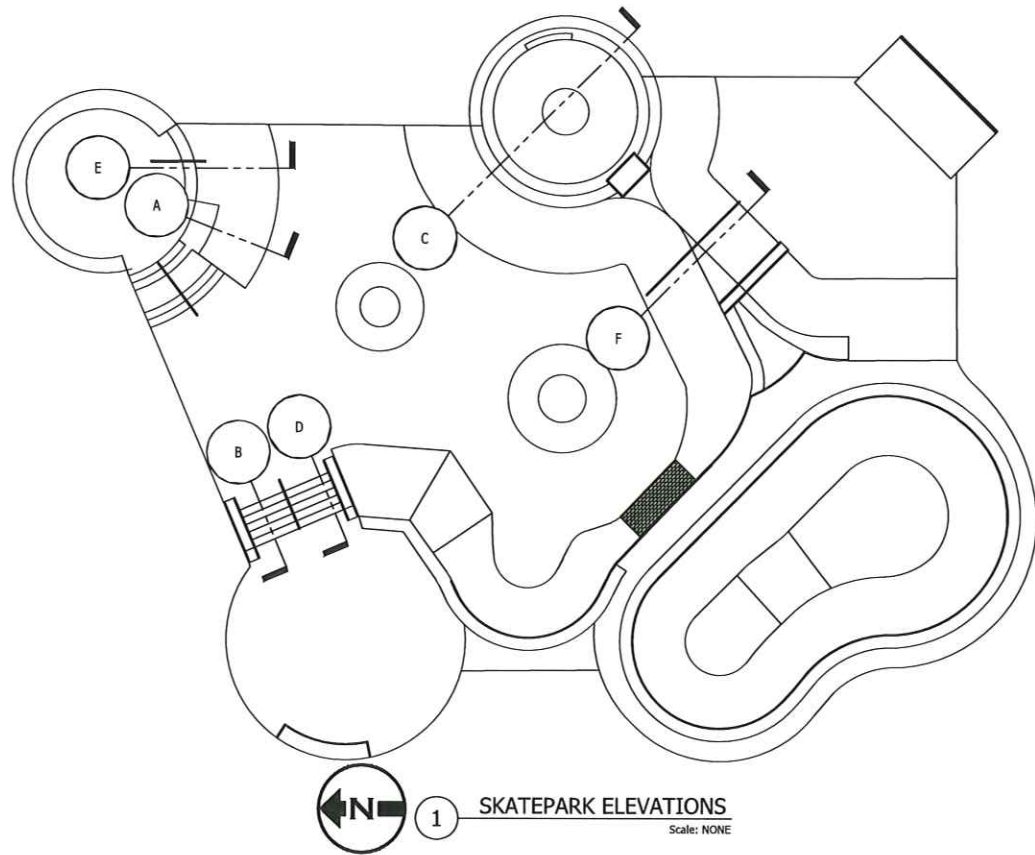
SEATTLE OWNED/OPERATED SINCE 2001

SKATEPARK ELEVATIONS  
DOUGHERTY PARK SKATEPARK  
PORTLAND, ME

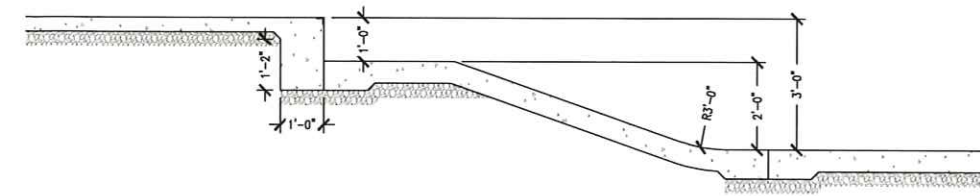
Drawn By: J. HETHMON  
Approved By: M. LEONE  
Scale: AS NOTED  
Project No: 9078  
Drawing No:

SKATEPARK ELEVATIONS

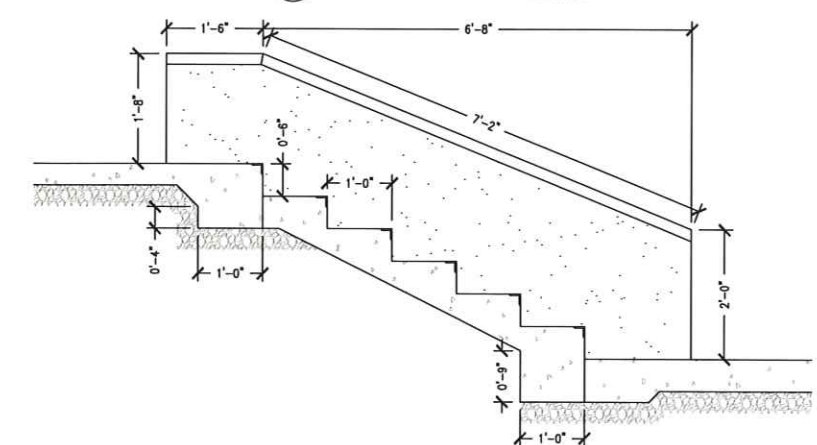
SP-4



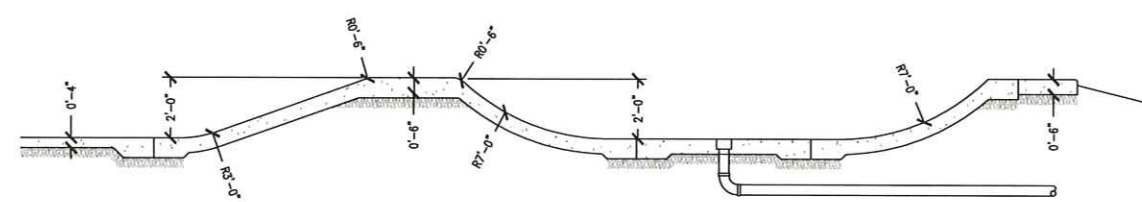
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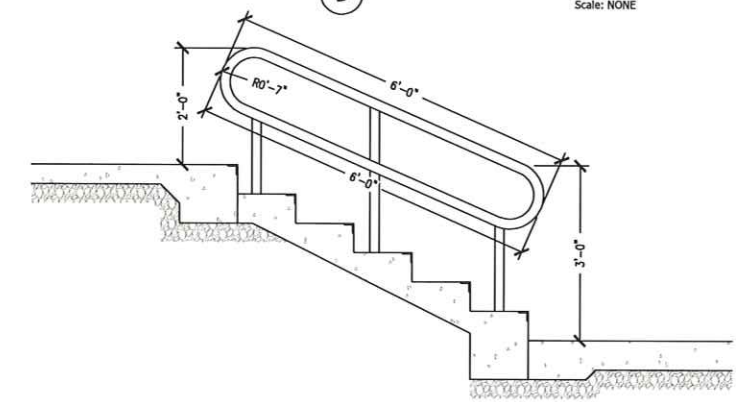
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B SKATEPARK ELEVATIONS  
Scale: NONE

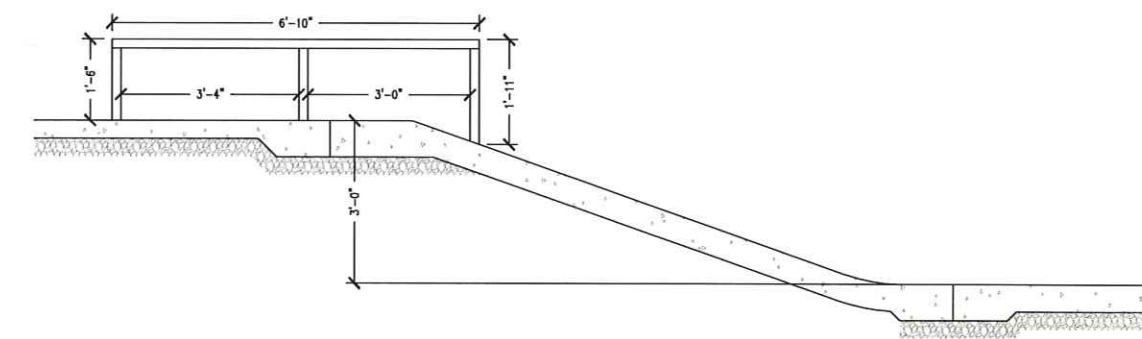


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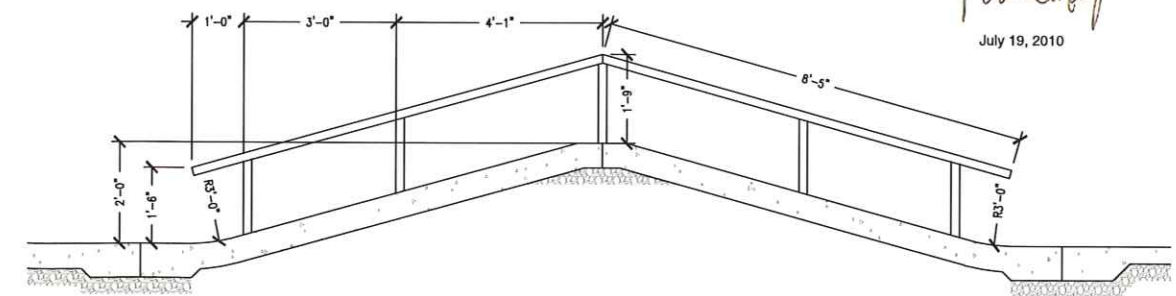


D SKATEPARK ELEVATIONS  
Scale: NONE

STATE OF MAINE  
PAUL W. HAYMAN  
No. 8912  
LICENSED PROFESSIONAL ENGINEER  
July 19, 2010



E SKATEPARK ELEVATIONS  
Scale: NONE



F SKATEPARK ELEVATIONS  
Scale: NONE

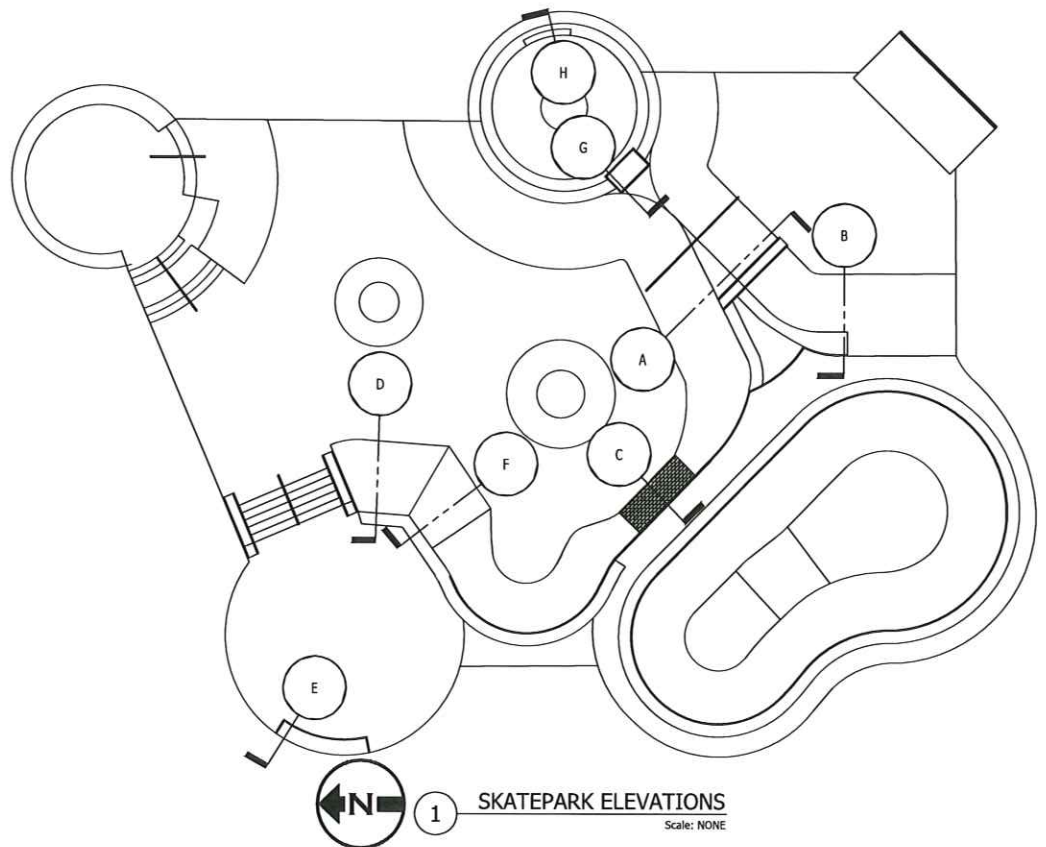
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1	ISSUE FOR CONSTRUCTION	07/19/10
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**HARDCORE**  
SHOTCRETE SKATEPARKS INC.  
SEATTLE, WA

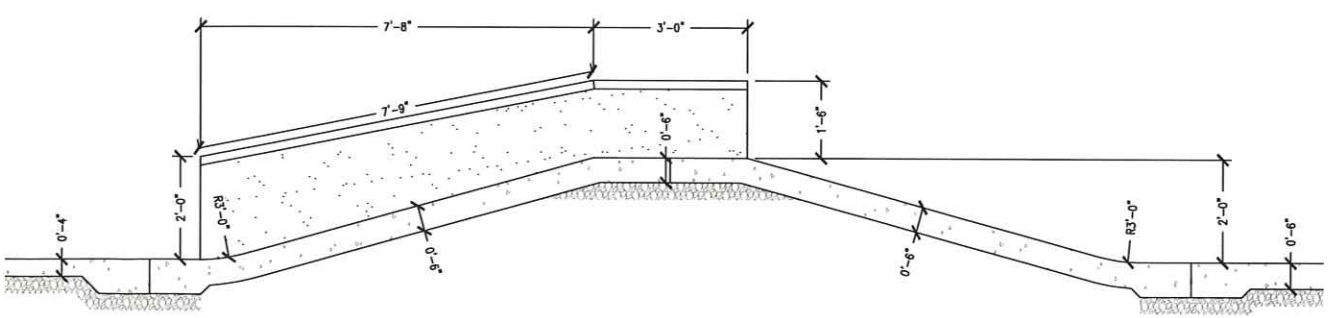
SKATEPARK ELEVATIONS  
DOUGHTRY PARK SKATEPARK  
PORTLAND, ME

Drawn By: J. HETHMON  
Approved By: M. LEONE  
Scale: AS NOTED  
Project No: 9078  
Drawing No: SP-4A

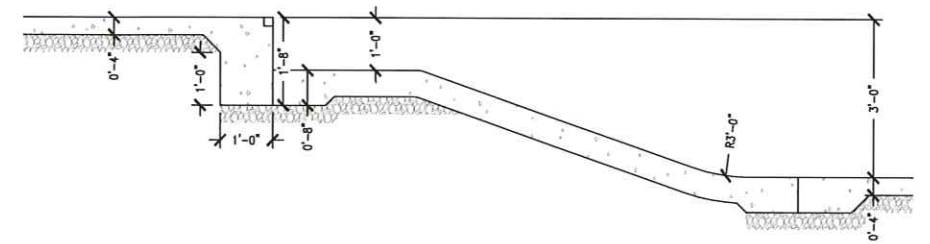
SKATEPARK ELEVATIONS



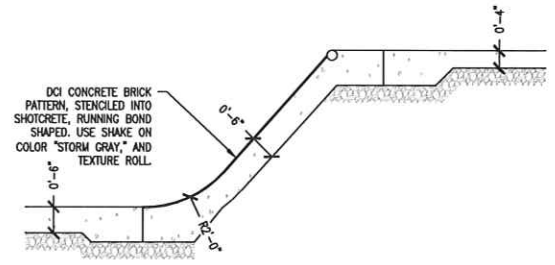
1 SKATEPARK ELEVATIONS  
Scale: NONE



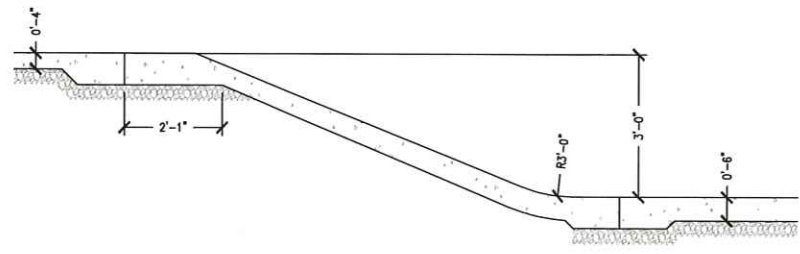
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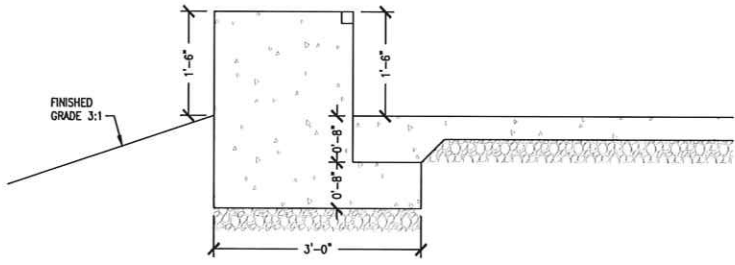
B SKATEPARK ELEVATIONS  
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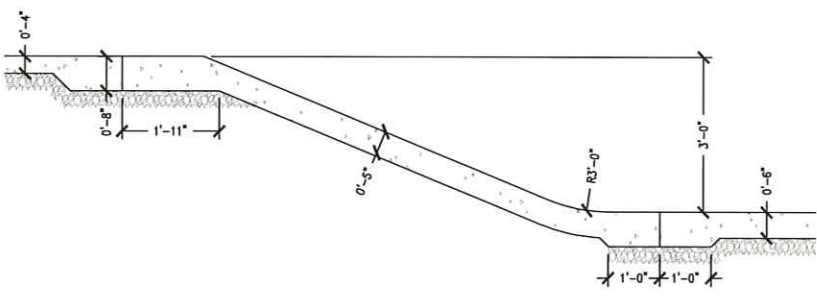
C SKATEPARK ELEVATIONS  
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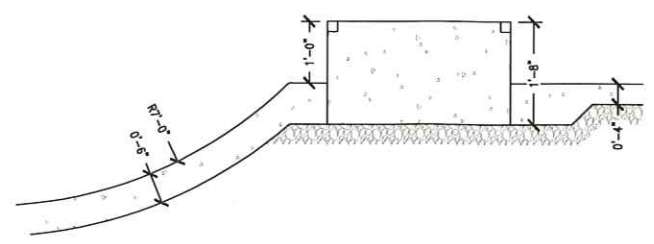
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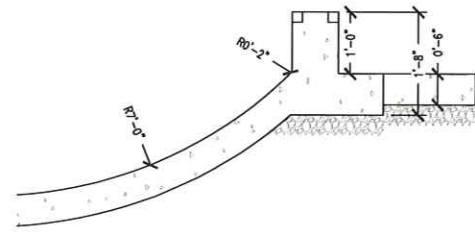
E SKATEPARK ELEVATIONS  
Scale: NONE



F SKATEPARK ELEVATIONS  
Scale: NONE



G SKATEPARK ELEVATIONS  
Scale: NONE



H SKATEPARK ELEVATIONS  
Scale: NONE

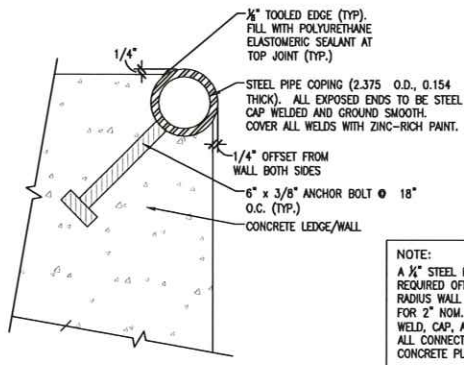


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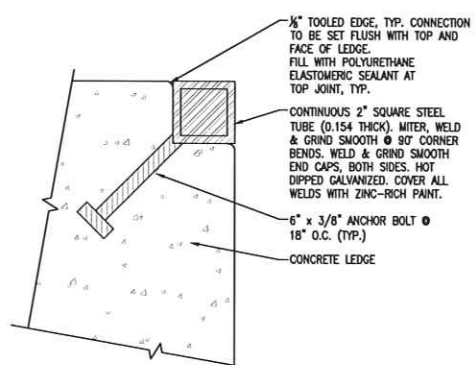
**HARDCORE**  
SHOTCRETE SKATEPARKS INC.  
SEATER OWNED/OPERATED SINCE 2001

SKATEPARK ELEVATIONS  
DOUGHTRY PARK SKATEPARK  
PORTLAND, ME

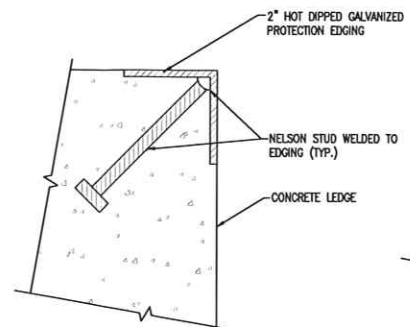
Drawn By: J. HETHMON  
Approved By: M. LEONE  
Scale: AS NOTED  
Project No: 9078  
Drawing No:



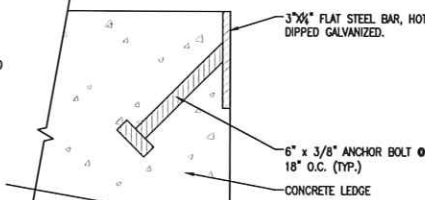
1 2" ROUND STEEL PIPE EDGING  
Scale: NONE



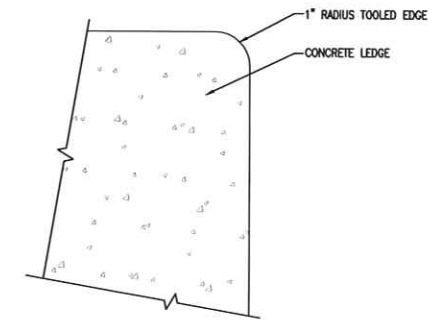
2 2" SQUARE STEEL PIPE EDGING  
Scale: NONE



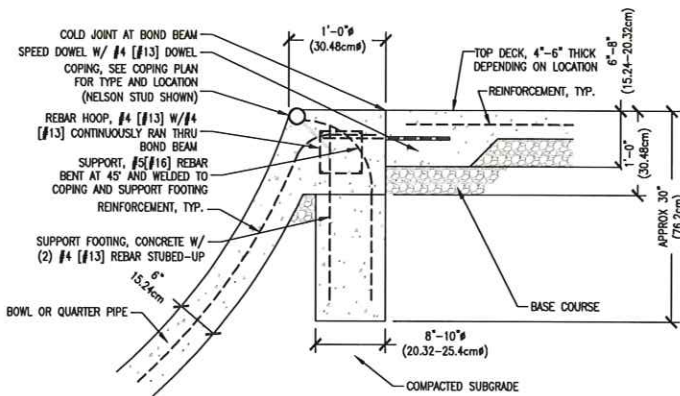
3 STEEL PLATE EDGING-BENT & ANGLE  
Scale: NONE



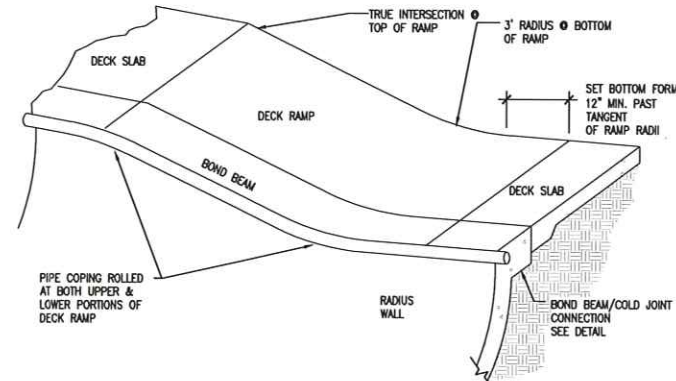
4 EXPOSED CONCRETE EDGE  
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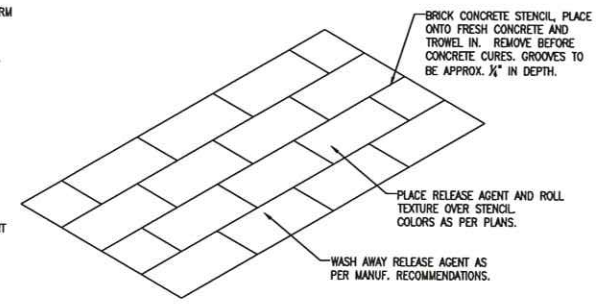
5 BOND BEAM/KEY JOINT CONNECTION  
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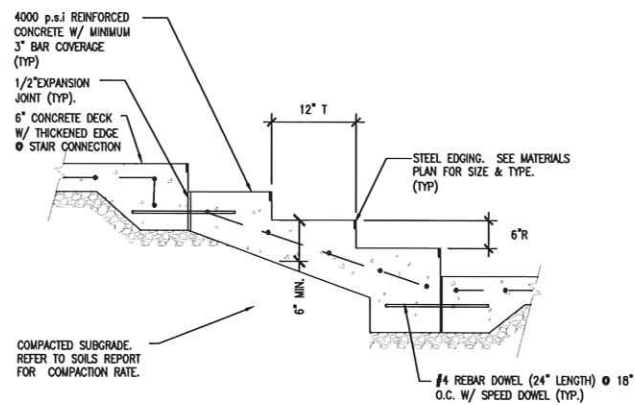
6 COPING CONSTRUCTION SUPPORT  
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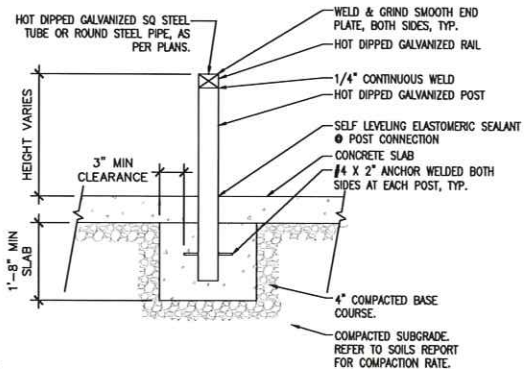
7 COPING ELEVATION AT DECK RAMP  
Scale: NONE



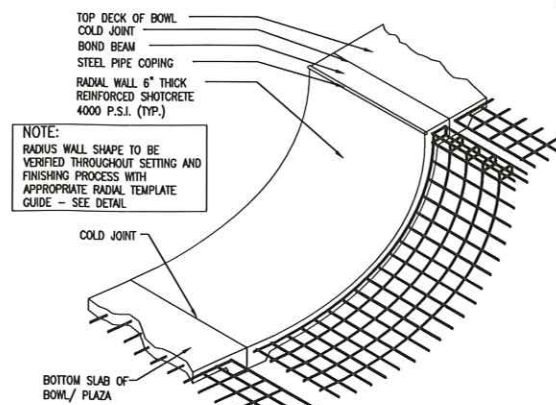
8 CONCRETE STENCIL  
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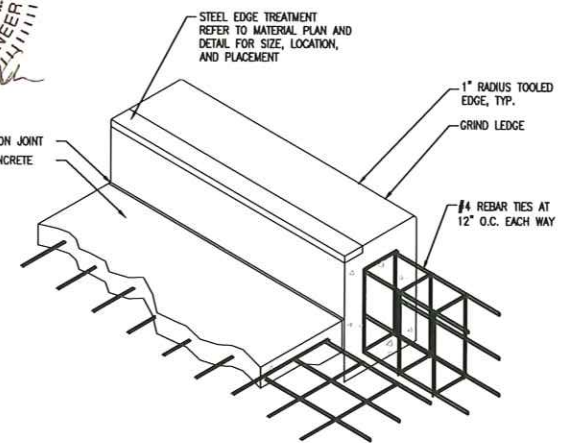
9 STAIR DETAIL  
Scale: NONE



10 GRIND RAIL  
Scale: NONE



11 TYP. RADIAL WALL PROFILE  
Scale: NONE



12 TYP. GRIND LEDGE PROFILE  
Scale: NONE

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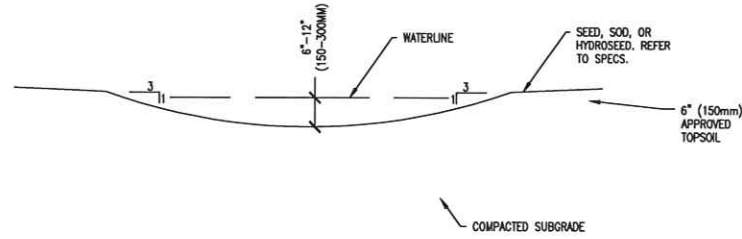
**LEARDCORE**  
SHOTCRETE SKATEPARKS INC.  
LEADER OWNED/OPERATED SINCE 2001

DETAILS  
DOUGHTRY PARK SKATEPARK  
PORTLAND, ME

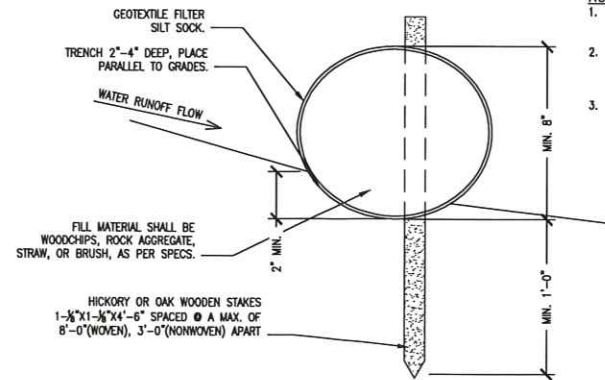
Drawn By: J. HETHMON  
Approved By: M. LEONE  
Scale: AS NOTED  
Project No: 9078  
Drawing No:

SP-5

DETAILS

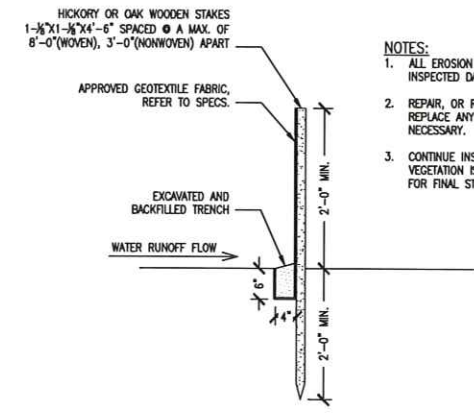


1 TYP. TURF SWALE  
Scale: NONE



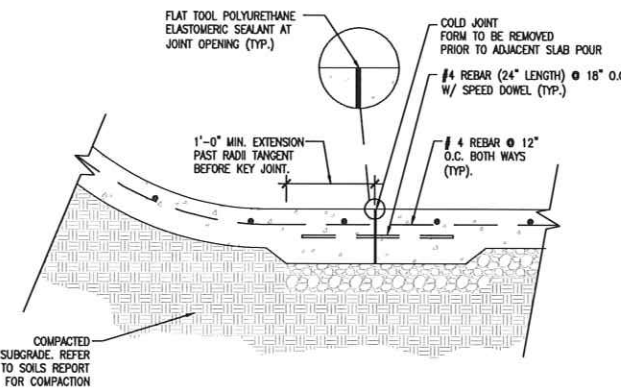
- NOTES:
1. ALL EROSION BARRIERS TO BE INSPECTED DAILY.
  2. REPAIR, OR REMOVE AND REPLACE ANY PARTS AS NECESSARY.
  3. CONTINUE INSPECTIONS UNTIL VEGETATION IS ESTABLISHED FOR FINAL STABILIZATION.

2 SILT SOCK BARRIER  
Scale: NONE

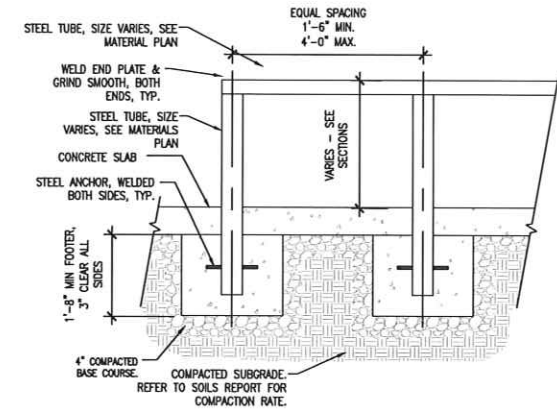


- NOTES:
1. ALL EROSION BARRIERS TO BE INSPECTED DAILY.
  2. REPAIR, OR REMOVE AND REPLACE ANY PARTS AS NECESSARY.
  3. CONTINUE INSPECTIONS UNTIL VEGETATION IS ESTABLISHED FOR FINAL STABILIZATION.

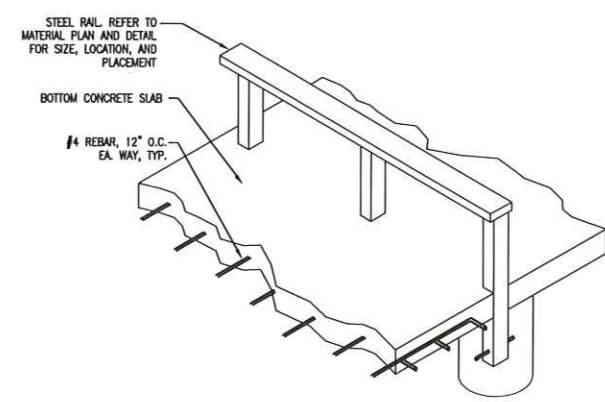
3 SILT FENCE  
Scale: NONE



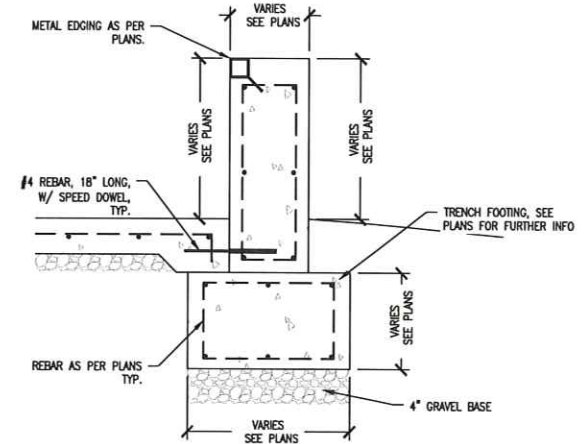
4 KEY JOINT/SLAB CONNECTION  
Scale: NONE



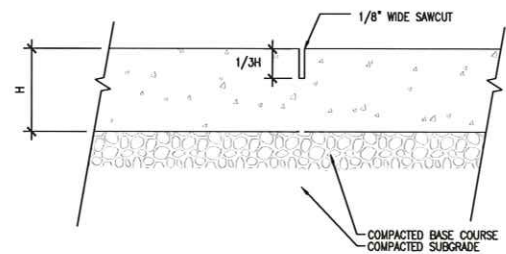
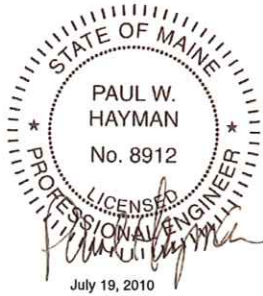
5 TYP. RAIL & FOOTING DETAIL  
Scale: NONE



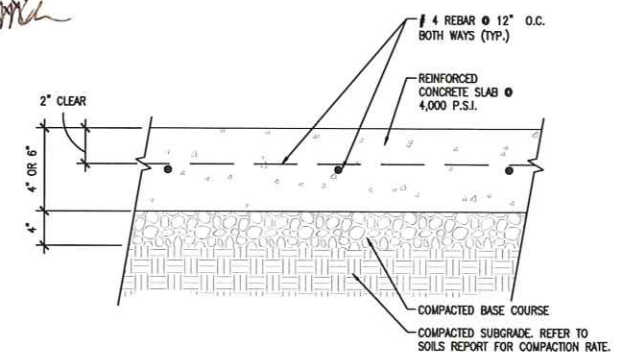
6 TYP. RAIL & FOOTING PROFILE  
Scale: NONE



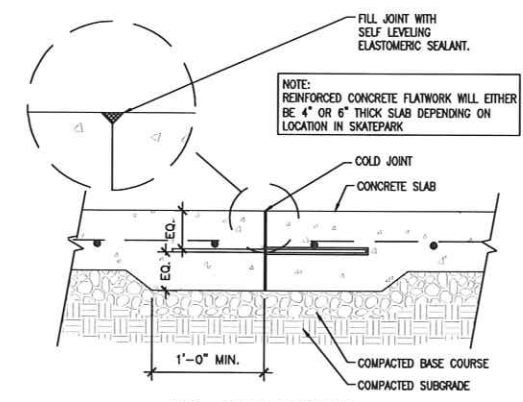
7 TRENCH FOOTING DETAIL  
Scale: NONE



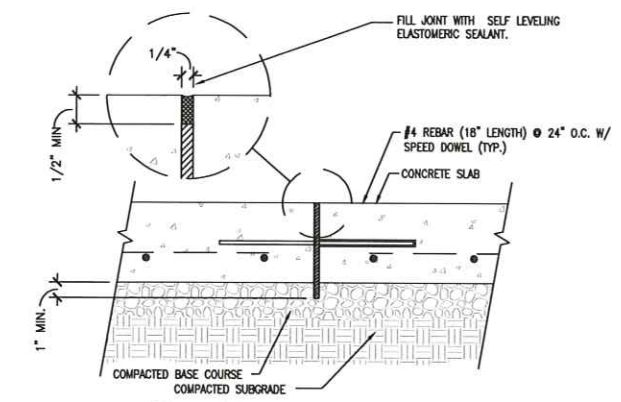
8 1/8" SAW-CUT JOINT  
Scale: NONE



9 BOTTOM CONCRETE SLAB  
Scale: NONE



10 COLD JOINT  
Scale: NONE



11 1/4" EXPANSION JOINT  
Scale: NONE

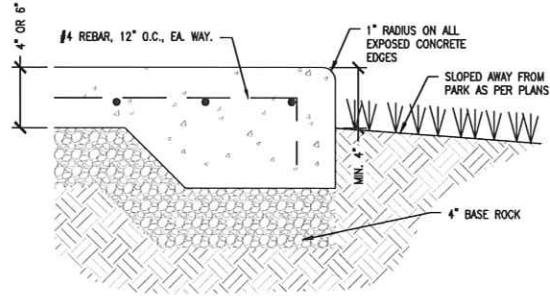
DETAILS  
 DOUGHTRY PARK SKATEPARK  
 PORTLAND, ME

Drawn By: J. HETHMON  
 Approved By: M. LEONE  
 Scale: AS NOTED  
 Project No: 9078  
 Drawing No:

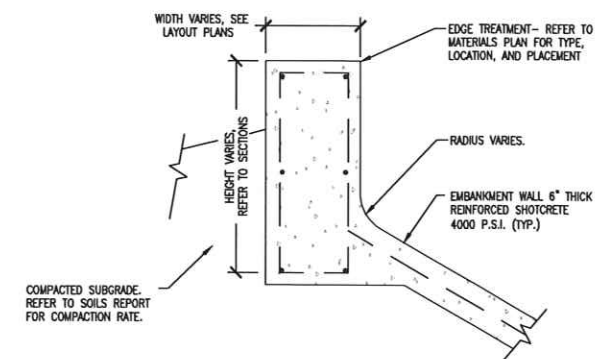
**LEONARD CORE**  
 SITEWORK & SKATEPARKS INC.  
 LEONARD CORE/SKATEPARKS SINCE 2001

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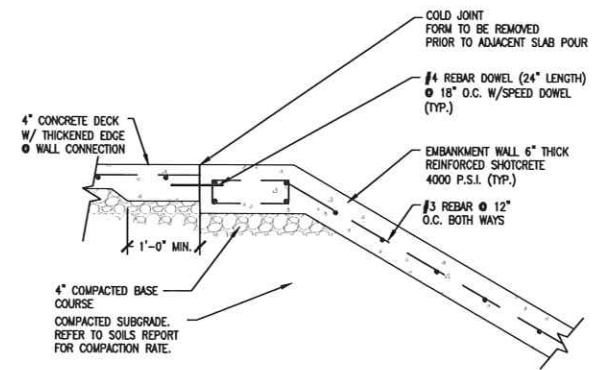




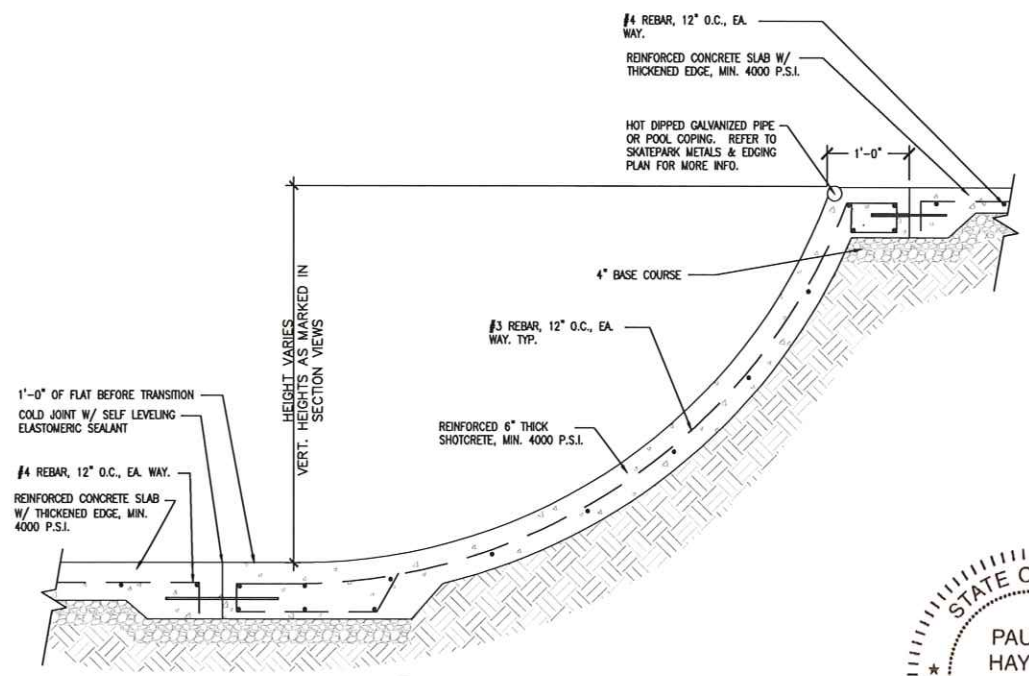
1 CONCRETE PARK EDGE  
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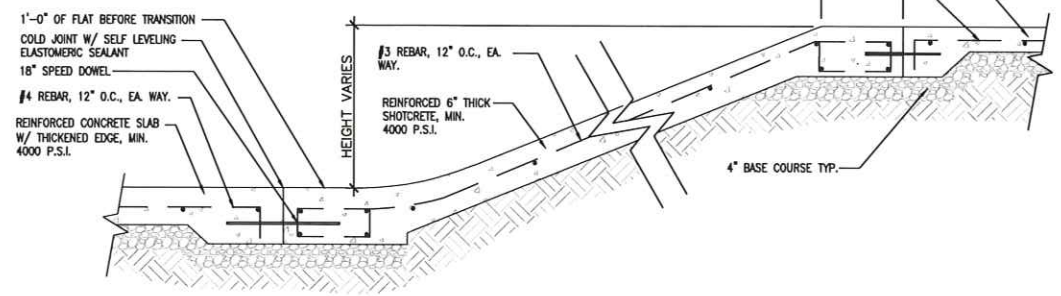
2 EMBANKMENT TO WALL DETAIL  
Scale: NONE



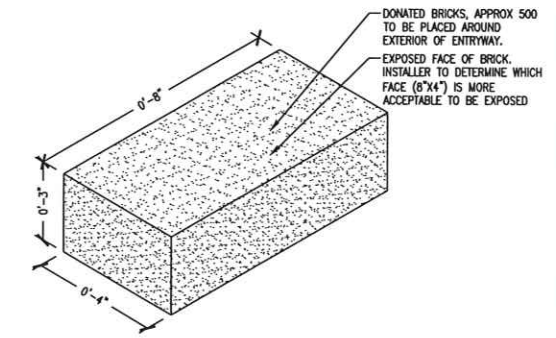
3 EMBANKMENT DETAIL  
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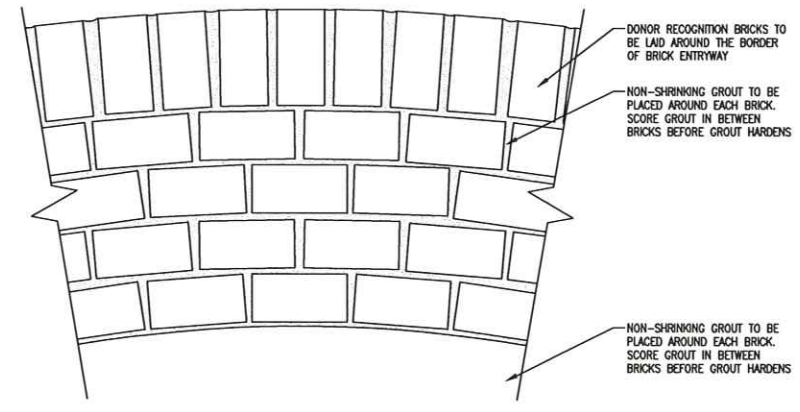
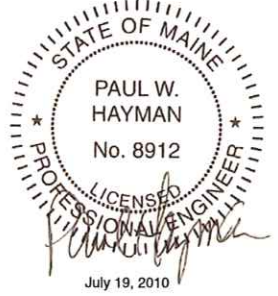
4 TYPICAL SHOTCRETE SKATEPARK QP  
Scale: NONE



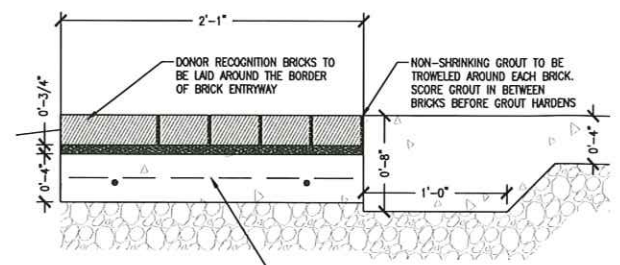
5 TYPICAL SHOTCRETE SKATEPARK BANK  
Scale: NONE



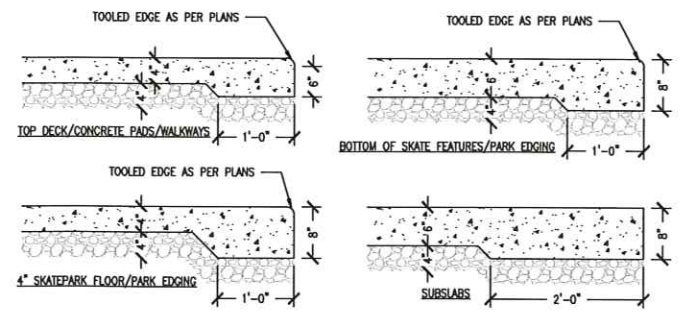
6 STANDARD BRICK  
Scale: NONE



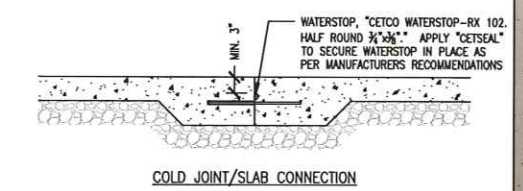
7 BRICK PAVER ENTRYWAY  
Scale: NONE



8 BRICK PAVER ENTRYWAY-PROFILE  
Scale: NONE



9 SPREAD FOOTING DETAIL  
Scale: NONE



10 WATERSTOP DETAIL  
Scale: NONE  
DETAILS

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**IFARDCORP**  
SHOTCRETE SKATEPARKS INC.  
SEATTLE OMBSD/OPERATED SINCE 2001

DETAILS  
DOUGHTRY PARK SKATEPARK  
PORTLAND, ME

Drawn By: J. HETHMON  
Approved By: M. LEONE  
Scale: AS NOTED  
Project No: 9078  
Drawing No: SP-5B

REV.	DESCRIPTION	DATE
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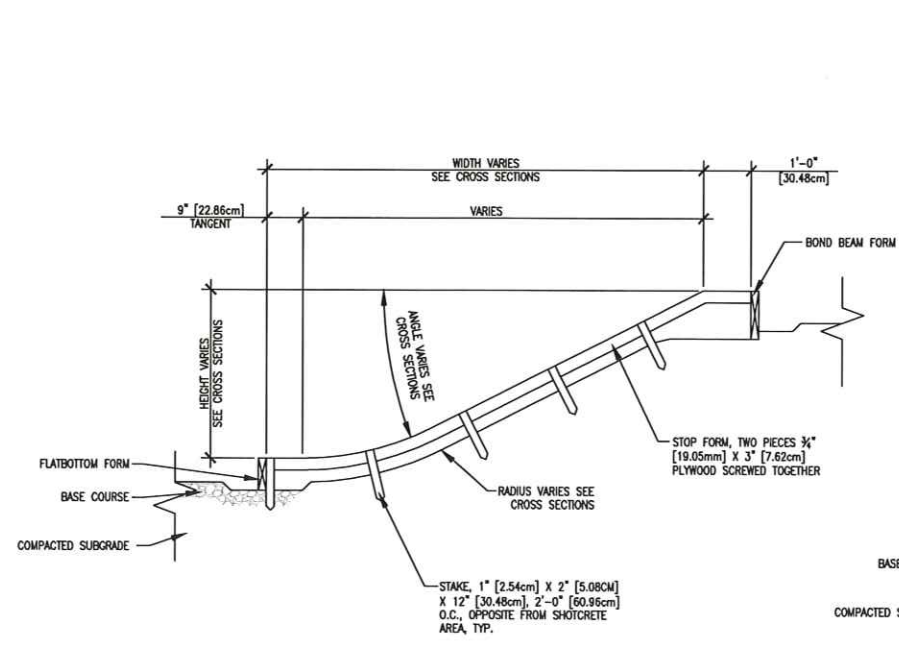
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# HARDCORE SKATEPARKS INC.

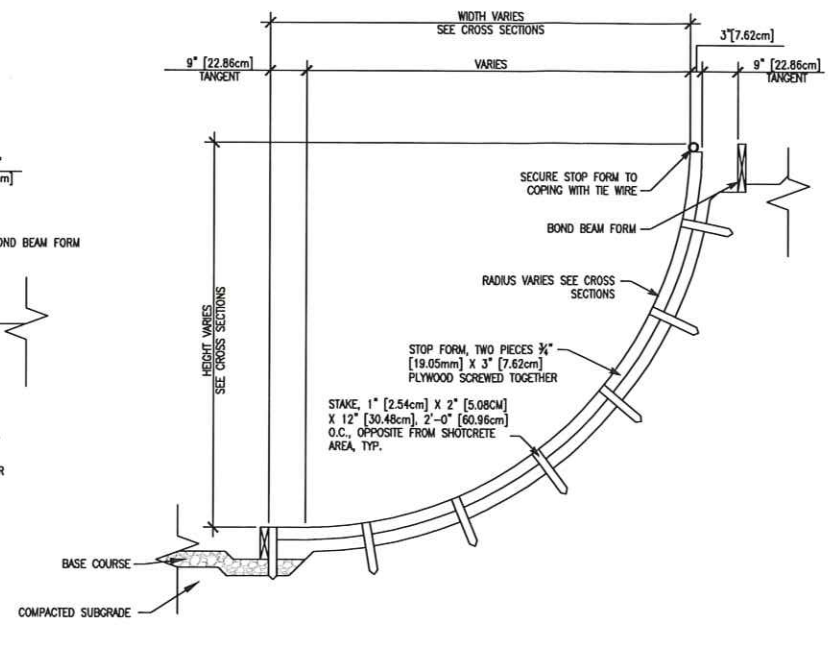
## DETAILS DOUGHTRY PARK SKATEPARK PORTLAND, ME

Drawn By: J. HETHMON  
 Approved By: M. LEONE  
 Scale: AS NOTED  
 Project No: 9078  
 Drawing No: SP-5c

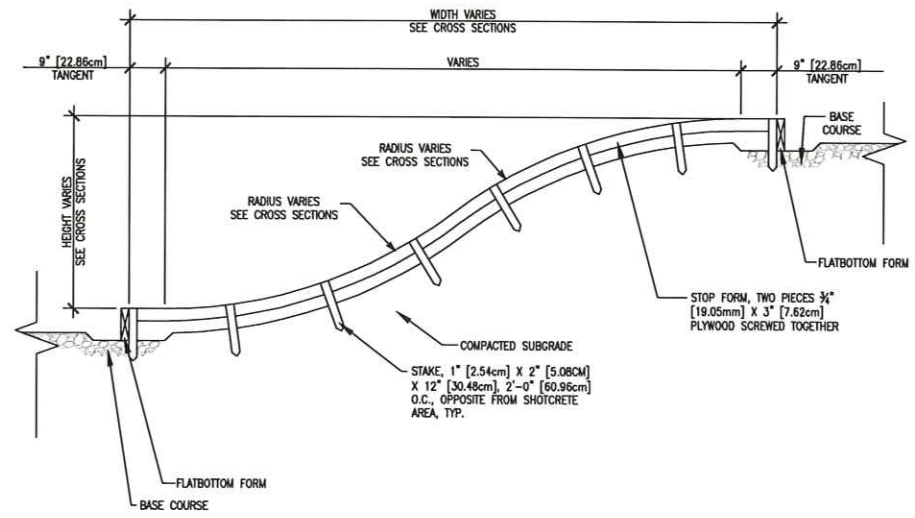
DETAILS



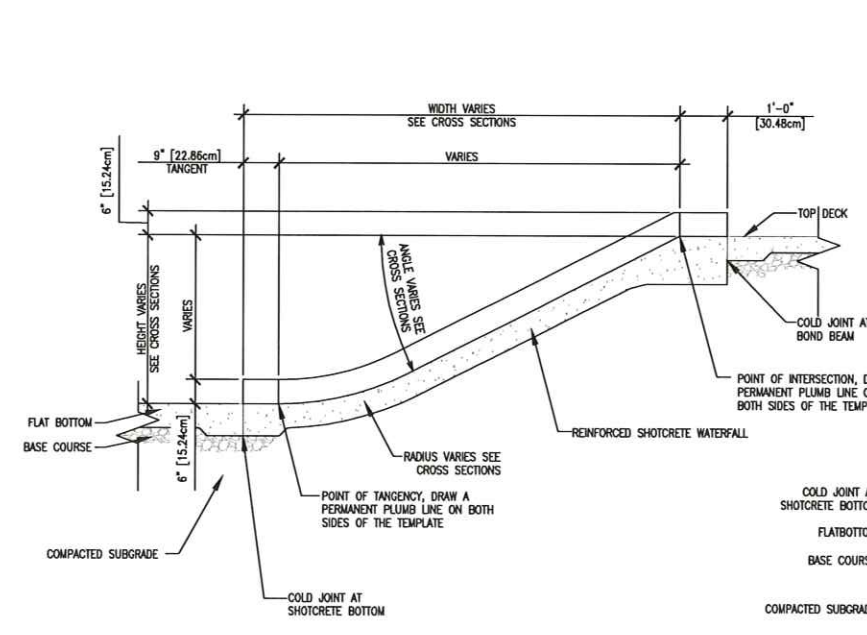
1 STOP FORM-BANK  
Scale: NONE



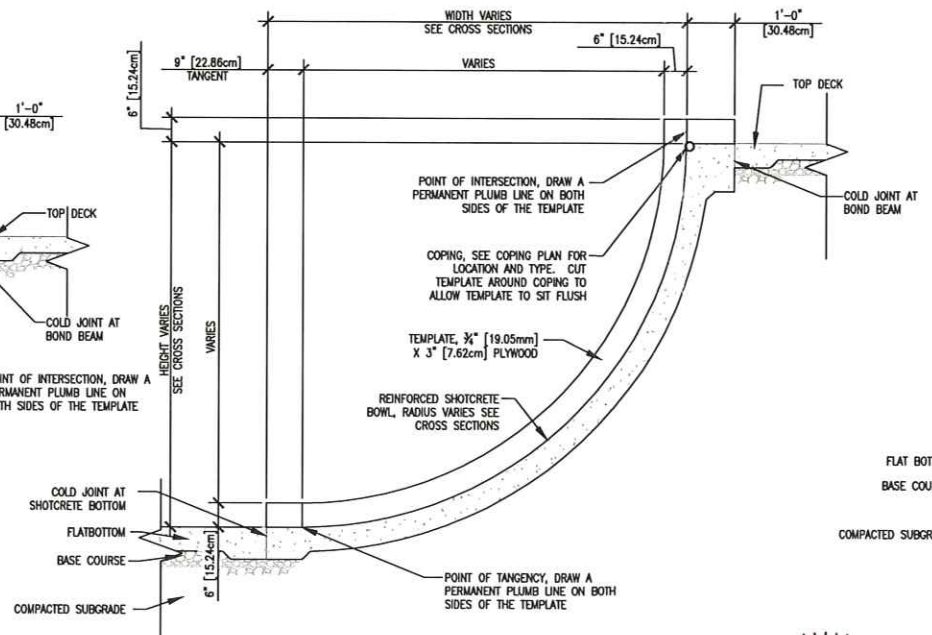
2 STOP FORM-BOWL  
Scale: NONE



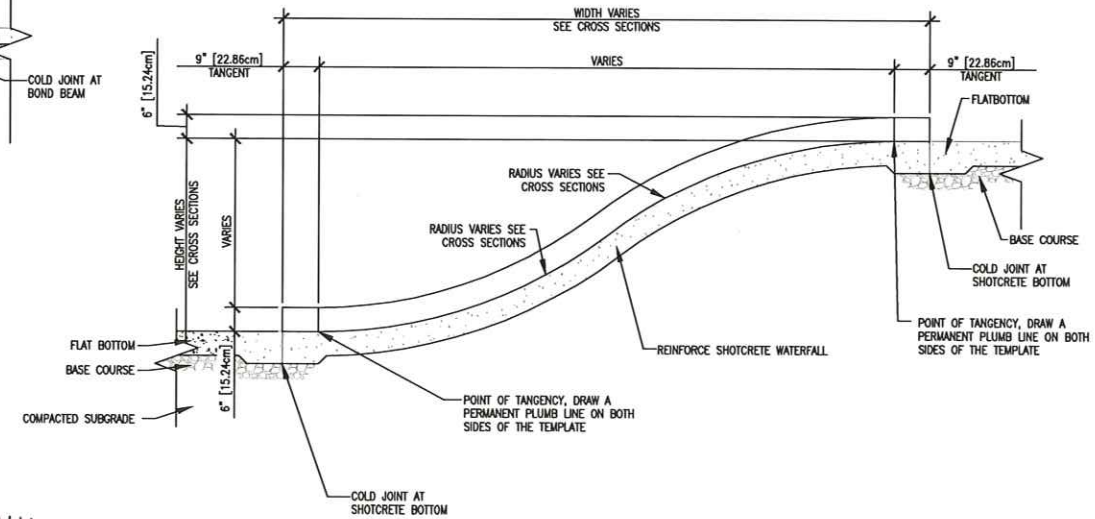
3 STOP FORM-WATERFALL  
Scale: NONE



4 TEMPLATE-BANK  
Scale: NONE



5 TEMPLATE-BOWL  
Scale: NONE



6 TEMPLATE-WATERFALL  
Scale: NONE

STATE OF MAINE  
 PAUL W. HAYMAN  
 No. 8912  
 LICENSED PROFESSIONAL ENGINEER  
 July 19, 2010