

Listed below are key characters (in bold) for searching within this file.

Hold down the control key and select the “f” key. Enter either a key character from the list below or document name and select enter for a list of documents containing the search word you entered.

**APL** – all documents behind this target sheet pertain to the original application submitted by the Applicant.

**REVIEW** – all documents behind this target sheet pertain to those documents submitted to and from staff as part of the project review.

**PBM1** – all documents behind this target sheet are any Planning Board memos with attachments that went to the Board.

**PBR1** - all documents behind this target sheet are any Planning Board reports with attachments that went to the Board.

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**CC1** - all documents behind this target sheet are any City Council memos/reports that went to the City Council.

**DRC1** - all documents behind this target sheet are those pertaining to the post review of the project by the Development Review Coordinator.

**MISC1** - all documents behind this target sheet are those that may not be included in any of the categories above.

**APL**



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

**Planning & Urban Development Department**  
Penny St. Louis Littell, Director

**Planning Division**  
Alexander Jaegerman, Director

November 10, 2009

**Henry Dunn**  
**Maine Medical Center**  
**22 Bramhall Street**  
**Portland ME 04102**

RE: 261-269 Valley Street (former site of Eagles Club)  
Accessory 10 space Parking Lot

CBL: 065 - H- 009 -001  
Application ID: 09-79900010 (HTE)

Dear Mr Dunn:

On November 10, 2009, the Portland Planning Authority approved a minor site plan for paving and landscaping to create a 10 space parking lot on the site of 261-269 Valley Street (former site of Eagles Club) as an accessory use to the building at 48-52 Gilman Street. The approval is based on the submissions made on behalf of Maine Medical Center and as shown on the approved plans (Sheet 2 Rev B and Sheet 3 Rev B) prepared by Sebago Technics and dated 11/3/2009 with the following conditions:

- i. That this parking lot shall not be divided off as a separate parking lot from the principal medical building lot known as 42-58 Gilman Street; and
- ii. That the relocated/new tip downs at the access shall be of granite material and the curb on both sides of the driveway cut shall be symmetrical; the granite "bug" shown on Sheet 2 (Rev B) shall not be installed; and
- iii. That the thickness of the base and finish asphalt pavement to be placed in front of the curb shall be in accordance with the specifications set out in the comments from Public Services (David Margolis-Pineo) dated November 10, 2009; and
- iv. That a permit through Inspection Services is required for construction of the lot.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. The site shall be developed and maintained as depicted in the site plan and the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the

subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or the planning authority pursuant to the terms of this article. Any such parcel lawfully altered prior to the enactment date of these revisions shall not be further altered without approval as provided herein. Modification or alteration shall mean and include any deviations from the approved site plan including, but not limited to, topography, vegetation and impervious surfaces shown on the site plan. No action, other than an amendment approved by the planning authority or Planning Board, and field changes approved by the Public Services authority as provided herein, by any authority or department shall authorize any such modification or alteration.

2. The above approvals do not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
3. Final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (\*.dwg), release AutoCAD 2005 or greater.
4. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Services Dept. prior to the release of a building permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised subdivision or site plan application for staff review and approval.
5. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
6. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
7. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
8. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Jean Fraser at 874- 8728.

Sincerely,



Alexander Jaegerman  
Planning Division Director

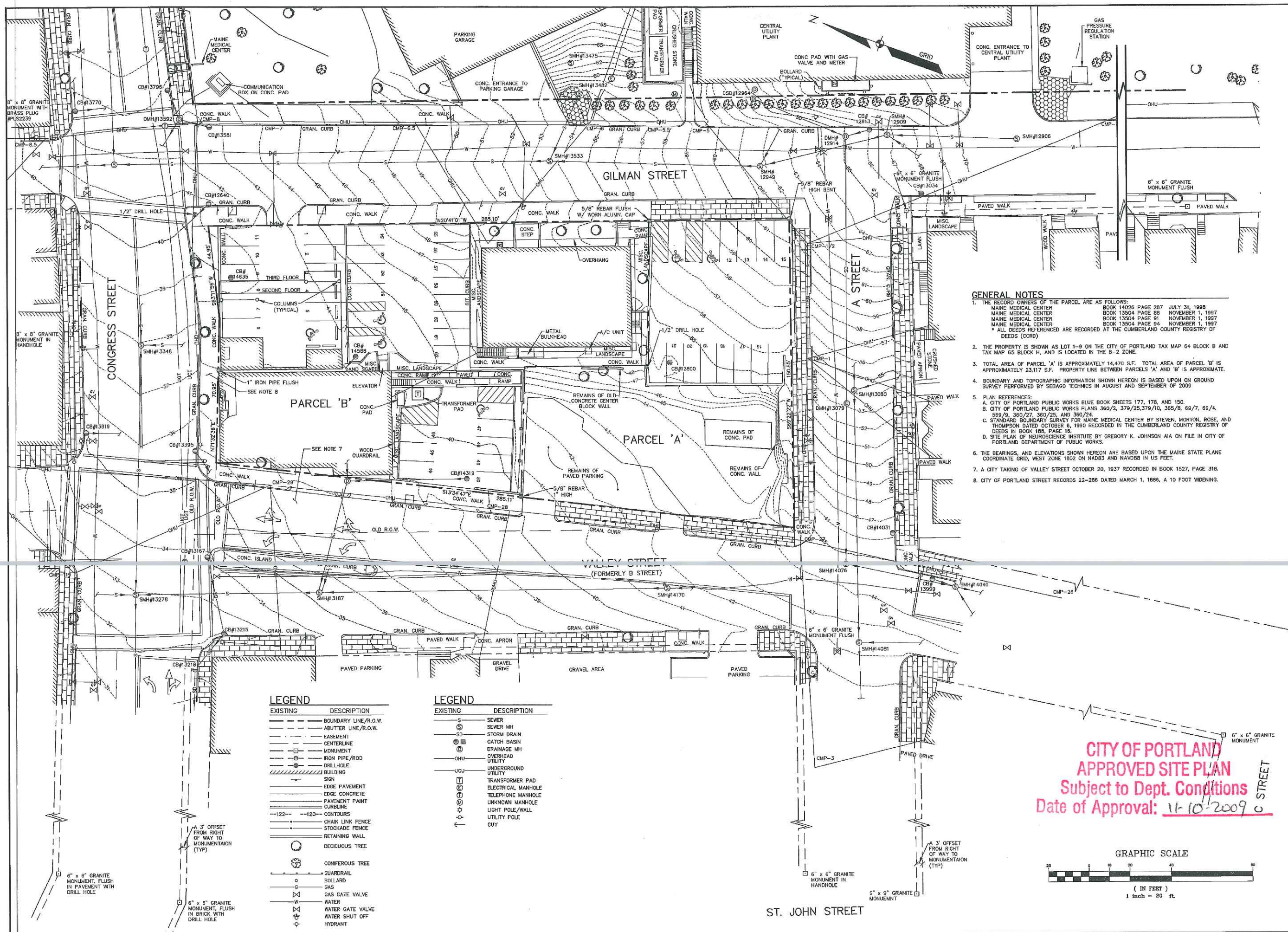
**Attachments:**

1. Comments of Public Services (David Margolis-Pineo) dated November 10, 2009
2. Performance Guarantee Packet

**Electronic Distribution:**

Penny St. Louis Littell, Director of Planning and Urban Development  
Alexander Jaegerman, Planning Division Director  
Barbara Barhydt, Development Review Services Manager  
Jean Fraser, Planner  
Philip DiPierro, Development Review Coordinator  
Marge Schmuckal, Zoning Administrator  
Tammy Munson, Inspections Division Director  
Gayle Guertin, Inspections Division  
Lisa Danforth, Inspections Division  
Lannie Dobson, Inspections Division  
Michael Bobinsky, Public Services Director  
Kathi Earley, Public Services  
Bill Clark, Public Services  
David Margolis-Pineo, Deputy City Engineer  
Todd Merkle, Public Services  
Greg Vining, Public Services  
John Low, Public Services  
Jane Ward, Public Services  
Keith Gautreau, Fire  
Jeff Tarling, City Arborist  
Tom Errico, Wilbur Smith Consulting Engineers  
Dan Goyette, Woodard & Curran  
Assessor's Office  
Approval Letter File

**Hard Copy:** Project File



**GENERAL NOTES**

- THE RECORD OWNERS OF THE PARCEL ARE AS FOLLOWS:  
 MAINE MEDICAL CENTER BOOK 14025 PAGE 287 JULY 31, 1998  
 MAINE MEDICAL CENTER BOOK 13504 PAGE 88 NOVEMBER 1, 1997  
 MAINE MEDICAL CENTER BOOK 13504 PAGE 91 NOVEMBER 1, 1997  
 MAINE MEDICAL CENTER BOOK 13504 PAGE 94 NOVEMBER 1, 1997  
 \* ALL DEEDS REFERENCED ARE RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CORD)
- THE PROPERTY IS SHOWN AS LOT 1-9 ON THE CITY OF PORTLAND TAX MAP 64 BLOCK B AND TAX MAP 65 BLOCK H, AND IS LOCATED IN THE B-2 ZONE.
- TOTAL AREA OF PARCEL 'A' IS APPROXIMATELY 14,470 S.F. TOTAL AREA OF PARCEL 'B' IS APPROXIMATELY 23,117 S.F. PROPERTY LINE BETWEEN PARCELS 'A' AND 'B' IS APPROXIMATE.
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON GROUND SURVEY PERFORMED BY SEBAGO TECHNICS IN AUGUST AND SEPTEMBER OF 2009
- PLAN REFERENCES:  
 A. CITY OF PORTLAND PUBLIC WORKS BLUE BOOK SHEETS 177, 178, AND 150.  
 B. CITY OF PORTLAND PUBLIC WORKS PLANS 389/2, 379/25, 379/10, 365/8, 69/7, 69/4, 589/9, 380/27, 360/25, AND 360/24.  
 C. STANDARD BOUNDARY SURVEY FOR MAINE MEDICAL CENTER BY STEVEN, MORTON, ROSE, AND THOMPSON DATED OCTOBER 6, 1990 RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 188, PAGE 16.  
 D. SITE PLAN OF NEUROSCIENCE INSTITUTE BY GREGORY K. JOHNSON AIA ON FILE IN CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS.
- THE BEARINGS, AND ELEVATIONS SHOWN HEREON ARE BASED UPON THE MAINE STATE PLANE COORDINATE GRID, WEST ZONE 1802 ON NAD83 AND NAVD88 IN US FEET.
- A CITY TAKING OF VALLEY STREET OCTOBER 20, 1937 RECORDED IN BOOK 1527, PAGE 318.
- CITY OF PORTLAND STREET RECORDS 22-286 DATED MARCH 1, 1886, A 10 FOOT WIDENING.

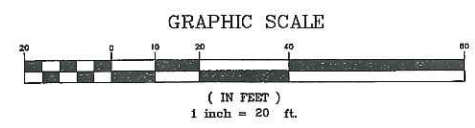
**LEGEND**

EXISTING	DESCRIPTION
---	BOUNDARY LINE/R.O.W.
---	ABUTTER LINE/R.O.W.
---	EASEMENT
---	CENTERLINE
---	MONUMENT
---	IRON PIPE/ROD
---	DRILLHOLE
---	BUILDING
---	SIGN
---	EDGE PAVEMENT
---	EDGE CONCRETE
---	PAVEMENT PAINT
---	CURBLINE
---	CONTOURS
---	CHAIN LINK FENCE
---	STOCKADE FENCE
---	RETAINING WALL
---	DECIDUOUS TREE
---	CONIFEROUS TREE
---	GUARDRAIL
---	BOLLARD
---	GAS
---	GAS GATE VALVE
---	WATER
---	WATER GATE VALVE
---	WATER SHUT OFF
---	HYDRANT

**LEGEND**

EXISTING	DESCRIPTION
S	SEWER
S	SEWER MH
SD	STORM DRAIN
CB	CATCH BASIN
DMH	DRAINAGE MH
OHU	OVERHEAD UTILITY
UGU	UNDERGROUND UTILITY
TP	TRANSFORMER PAD
EM	ELECTRICAL MANHOLE
TM	TELEPHONE MANHOLE
UM	UNKNOWN MANHOLE
LP	LIGHT POLE/WALL
UP	UTILITY POLE
G	GUY

**CITY OF PORTLAND**  
**APPROVED SITE PLAN**  
 Subject to Dept. Conditions  
 Date of Approval: 11-10-2009

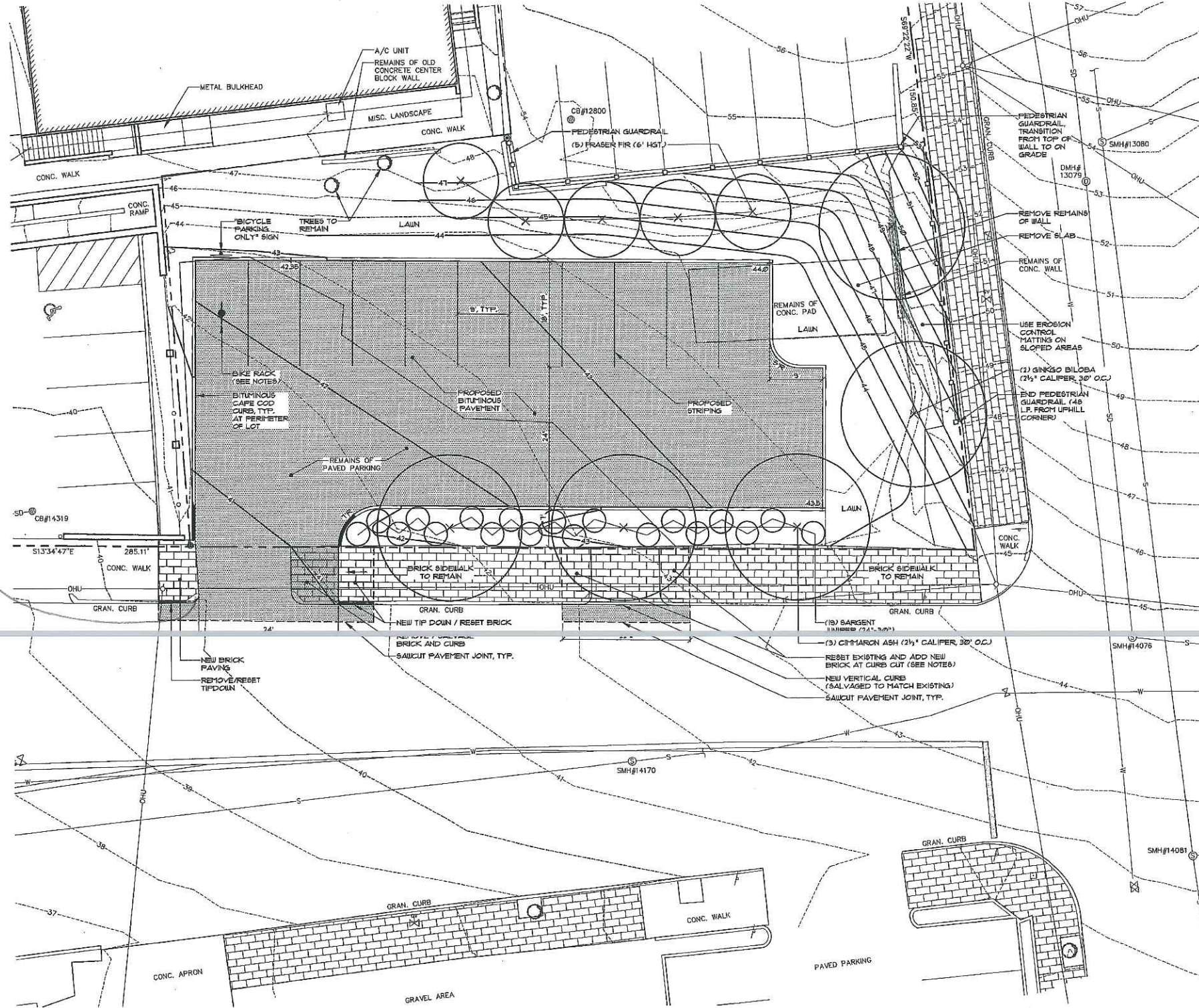


extra st.

PROJECT NO.	781B	FIELD BOOK	D	SIGN	CHKD	MWE	MCC
DATE	7-31-2009	SCALE	1"=20'				

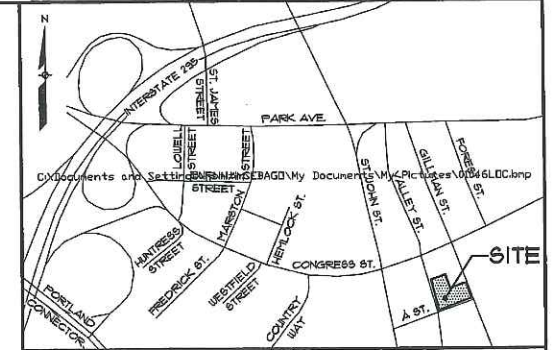
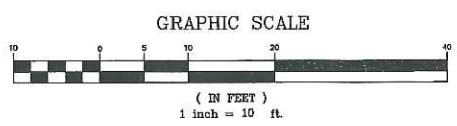
**Sebago Technics**  
 Engineering & Surveying  
 280 Cook Rd. - Suite B  
 Westbrook, ME 04090-1339  
 Tel: (207) 566-0277  
 www.sebago-technics.com

**EXISTING CONDITIONS PLAN**  
 OF:  
**EAGLES CLUB BLOCK**  
 A STREET AND VALLEY STREET  
 PORTLAND, MAINE  
 FOR:  
**MAINE MEDICAL CENTER**  
 25 BRANNAK STREET  
 PORTLAND, MAINE 04101



*See cond ii  
No "bng" to be  
installed;  
up down symm.  
Scaled plans  
have note.*

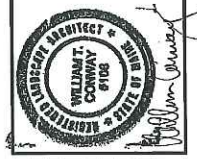
EXISTING	DESCRIPTION	PROPOSED
---	BOUNDARY LINE/ROW	---
---	ABUTTER LINE/ROW	---
---	MANHOLE	---
---	IRON PIPE/ROD	---
C/L	CURVE/LINE NO.	---
---	BUILDING	---
---	SIGN	---
---	EDGE PAVEMENT	---
---	EDGE CONCRETE	---
---	PAVEMENT PAINT	---
---	CURBLINE	---
-122--	CONTOURS	+124
---	SPOT GRADE	+3020
---	RETAINING WALL	---
○	DECIDUOUS TREE	○
○	CONIFEROUS TREE	○
○	GAS GATE VALVE	○
○	WATER	○
○	WATER GATE VALVE	○
○	WATER SHUT OFF	○
○	HYDRANT	○
○	SEWER	○
○	SEWER MH	○
○	STORM DRAIN	○
○	CATCH BASIN	○
○	DRAINAGE MH	○
○	OVERHEAD	○
○	UTILITY POLE	○
○	GUY	○



LOCATION MAP N.T.S.

**GENERAL NOTES**

1. AREA OF PARCEL 'A' IS APPROXIMATELY 14,410 SF. AREA OF IMPERVIOUS SURFACES WITHIN PARCEL 'A' IS APPROXIMATELY 10,249 SF, WHICH IS 70.8% OF THE PARCEL 'A' AREA.
2. AREA OF FORMER EAGLES CLUB BUILDING ON PARCEL 'A' IS 3,145 SF. AREA OF THE LANDSCAPED AREA ON PARCEL 'A' IS APPROXIMATELY 4,221 SF.
3. BIKE RACK TO BE INSTALLED IN CENTER OF 8'x16' PARKING SPACE WITH SONATUBE FOOTING AT OR BELOW GRADE. PRODUCT IS DERO "BIKE HITCH" FOR TWO BICYCLES (www.dero.com FOR MORE INFORMATION).
4. SNOW STORAGE TO BE PROVIDED ONLY IN LAWN AREAS.
5. NEW BRICKS SHALL MATCH EXISTING BRICKS AS CLOSELY AS POSSIBLE. RE-USE UNBROKEN EXISTING BRICKS WHENEVER POSSIBLE. CONTACT PUBLIC WORKS DEPARTMENT, THEY MAY BE A SOURCE FOR NEW BRICK PAVERS.



DATE	1/3/09	BY	WTC	STATUS	CITY SITE PLAN SUBMITTAL
REV.	9/15/09	BY	WTC	STATUS	CITY SITE PLAN SUBMITTAL

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

**Sebago Technics**  
 Engineering Expertise You Can Build On  
 280 Oak St., Suite B  
 Westbrook, ME 04090-1339  
 Tel: (207) 896-0277  
 Fax: (207) 783-8668  
 WWW.SEBAGOTECHNICS.COM

PROJECT NO. 01046  
 FIELD BOOK 1  
 SIGN CHHD DRAWN  
 WTC WTC WTC

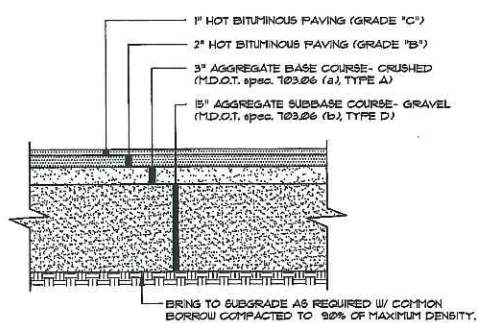
**CITY OF PORTLAND**  
**APPROVED SITE PLAN**  
 Subject to Dept. Conditions  
 Date of Approval: 11-10-2009

**SITE PLAN**  
 OF  
**EAGLES CLUB LOT**  
 22 BROADHALL STREET  
 PORTLAND, MAINE  
 FOR  
**MAINE MEDICAL CENTER**  
 22 BROADHALL STREET  
 PORTLAND, MAINE 04101

DATE: 9/14/09 SCALE: 1" = 10'

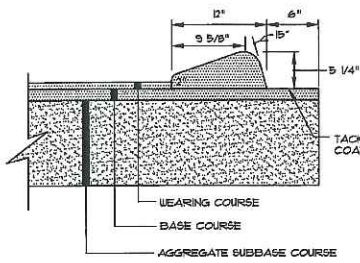
**SHEET 2 OF 3**

01046S.dwg TAB:5

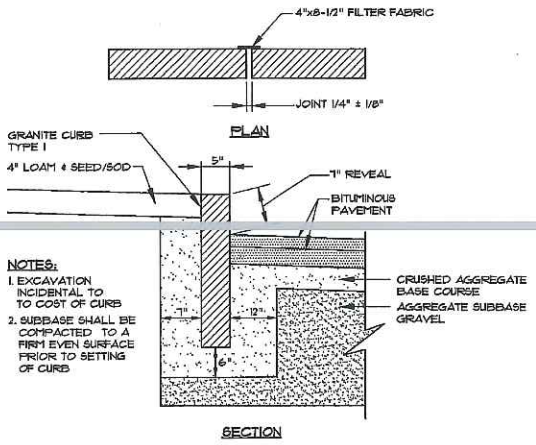


**NOTES:**  
 1. COMPACT GRAVEL SUBBASE, BASE COURSE TO 92% OF MAXIMUM DENSITY USING HEAVY ROLLER COMPACTION.  
 2. CONTRACTOR SHALL SET GRADE STAKES, SUBBASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.

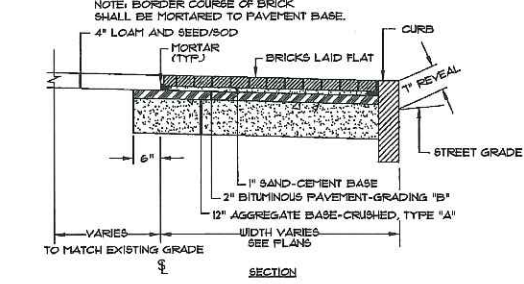
**TYP. PAVED PARKING LOT SECTION**  
 NOT TO SCALE



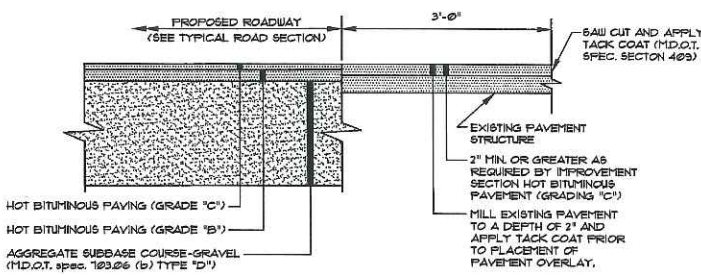
**CAPE COD CURB**  
 NOT TO SCALE



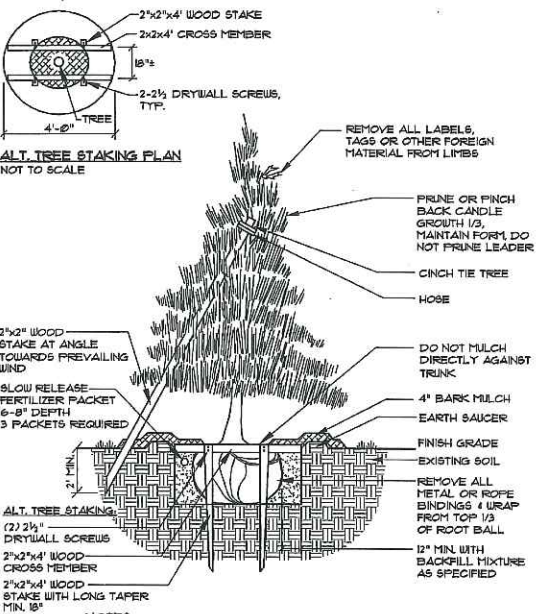
**VERTICAL GRANITE CURB**  
 NOT TO SCALE



**BRICK SIDEWALK DETAIL-NO ESPLANADE**  
 NOT TO SCALE



**TYPICAL PAVEMENT JOINT**  
 NOT TO SCALE

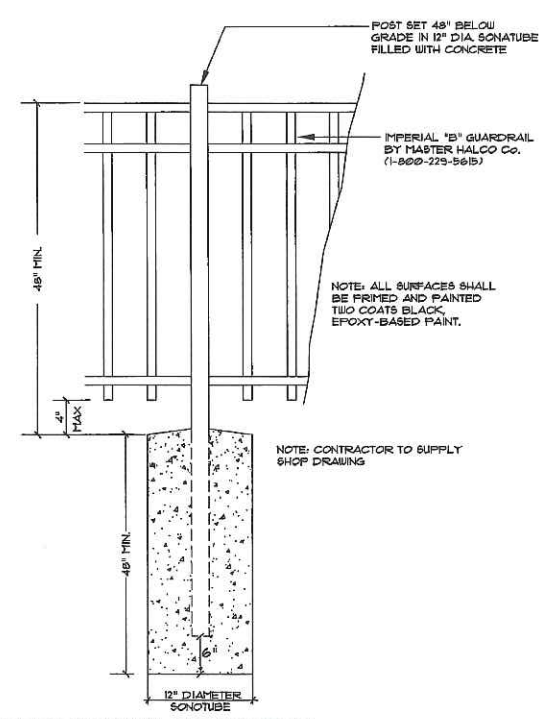


**NOTES:**  
 INSTALL STAKES AND GUYS TO TREES IF THE FOLLOWING APPLY:  
 1. THE TREE IS OF SUBSTANTIAL SIZE.  
 2. THE PLANTING LOCATION IS EXTREMELY WINDY, AS ON OPEN UNDEVELOPED SITES.  
 3. THE PLANTING LOCATION IS COMPRISED OF SAND OR OTHER LOOSE TEXTURED SOILS.  
 4. IF STAKES AND GUYS ARE REQUIRED, REMOVE AFTER ONE YEAR TIME.

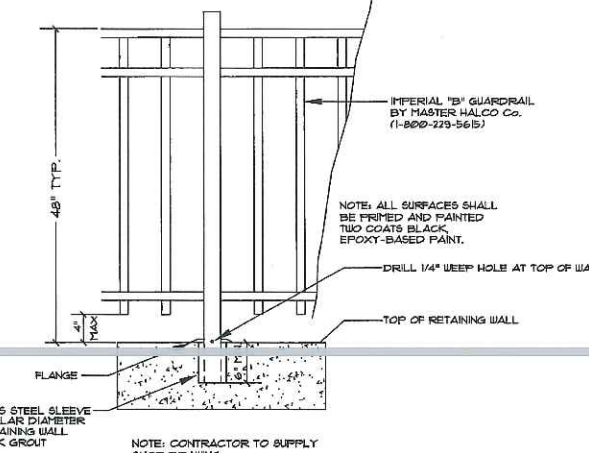
**DECIDUOUS TREES**  
 NOT TO SCALE

**LANDSCAPE NOTES**

1. PLANT QUANTITIES SHOWN ON PLANT LISTS ARE FOR CONVENIENCE TO THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL INSTALLATION AS SHOWN ON PLANS.
2. SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF "U.S.A. STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
3. ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
4. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING, STAKING OR GUYS, WRAPPING, SPRAYING, FERTILIZATION PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE BY THE OWNER.
5. PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BY THE CONTRACTOR AND A PERIOD OF TWO YEARS THEREAFTER BY THE OWNER FROM DATE OF INSTALLATION. DURING THE ONE YEAR GUARANTEE PERIOD, DEAD PLANT MATERIAL SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE ONE YEAR PERIOD, THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
6. ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
7. EXISTING TREES TO BE PRESERVED WILL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
8. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF THE UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPAIR OR REPLACE UTILITIES, PAVING, WALKS, CURBS, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER.
9. ALL SHRUB BEDS SHALL BE MULCHED WITH 3\"/>



**PEDESTRIAN GUARDRAIL**  
 NOT TO SCALE



**PEDESTRIAN GUARDRAIL ON TOP OF RETAINING WALL**  
 NOT TO SCALE



DATE	11/3/09	BY	WTC
REV.	11/3/09	BY	WTC
STATUS	CITY SITE PLAN SUBMITTAL		

**Sebago Technics**  
 Engineering, Expertise, You Can Build On.  
 One Church Street, 2nd Floor, Suite B, Westbrook, ME 04092-1339  
 Tel: (207) 868-0277, Fax: (207) 868-0278, www.sebagotechnics.com

**DETAILS**  
 OF: **EAGLES CLUB LOT**  
 15 STREET & VANEY STREET  
 PORTLAND, MAINE  
 FOR: **MAINE MEDICAL CENTER**  
 22 BRANHALL STREET  
 PORTLAND, MAINE 04101

DATE: 9/14/09 SCALE: AS SHOWN  
 SHEET 3 OF 3

*See Condition re Row paving*

**CITY OF PORTLAND**  
**APPROVED SITE PLAN**  
 Subject to Dept. Conditions  
 Date of Approval: 11-10-2009

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.





Development Review Application  
PORTLAND, MAINE

Department of Planning and Urban Development,  
Planning Division and Planning Board

PROJECT NAME: PARKING AREA @ VALLEY & "A" STREETS

PROPOSED DEVELOPMENT ADDRESS:

261-269 VALLEY STREET.

PROJECT DESCRIPTION:

REPAVE PARKING AREA (EXISTING) AND PROVIDE  
LOAM AND SEED AS REQUIRED IN CONDITIONAL ZONE  
AGREEMENT IN THE LAYOUT AS ATTACHED.

CHART/BLOCK/LOT: \_\_\_\_\_

CONTACT INFORMATION:

APPLICANT

Name: HENRY DUNN FOR

Address: MAINE MED. CENTER  
22 BRAMHALL ST.

Zip Code: \_\_\_\_\_

Work #: 207-662-6799

\* Cell #: 207-252-7997 \*

Fax #: \_\_\_\_\_

Home: \_\_\_\_\_

E-mail: DUNN@MMC.ORG

PROPERTY OWNER

Name: MAINE MENICAL CENTER REALTY CORP.

Address: 22 BRAMHALL  
PORTLAND ME.

Zip Code: 04102

Work #: 662-8065 (BOB CLOUTIER)

Cell #: \_\_\_\_\_

Fax #: \_\_\_\_\_

Home: \_\_\_\_\_

E-mail: \_\_\_\_\_

BILLING ADDRESS

Name: \_\_\_\_\_

Address: SAME AS  
APPLICANT

Zip: \_\_\_\_\_

Work #: \_\_\_\_\_

Cell #: \_\_\_\_\_

Fax #: \_\_\_\_\_

Home: \_\_\_\_\_

E-mail: \_\_\_\_\_

RECEIVED

SEP - 8 2009

City of Portland  
Planning Division

~As applicable, please include additional contact information on the next page~

AGENT/REPRESENTATIVE

Name: \_\_\_\_\_  
Address: SAME AS  
APPLICANT  
Zip Code: \_\_\_\_\_  
Work #: \_\_\_\_\_  
Cell #: \_\_\_\_\_  
Fax #: \_\_\_\_\_  
Home: \_\_\_\_\_  
E-mail: \_\_\_\_\_

ENGINEER

Name: WILL CONWAY / SEBAGO TECHNICS  
Address: 1 B CHASE ST.  
WESTBROOK  
Zip Code: 04098  
Work #: 856-0277  
Cell #: \_\_\_\_\_  
Fax #: \_\_\_\_\_  
Home: \_\_\_\_\_  
E-mail: \_\_\_\_\_

ARCHITECT

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Zip Code: \_\_\_\_\_  
Work #: \_\_\_\_\_  
Cell #: \_\_\_\_\_  
Fax #: \_\_\_\_\_  
Home: \_\_\_\_\_  
E-mail: \_\_\_\_\_

CONSULTANT

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Zip Code: \_\_\_\_\_  
Work #: \_\_\_\_\_  
Cell #: \_\_\_\_\_  
Fax #: \_\_\_\_\_  
Home: \_\_\_\_\_  
E-mail: \_\_\_\_\_

SURVEYOR

Name: SAMUEL  
Address: ENGINEER  
Zip Code: \_\_\_\_\_  
Work #: \_\_\_\_\_  
Cell #: \_\_\_\_\_  
Fax #: \_\_\_\_\_  
Home: \_\_\_\_\_  
E-mail: \_\_\_\_\_

ATTORNEY

Name: DON QUIGLEY, Esq.  
Address: MMC  
22 BRAMHALL PORTLAND  
Zip Code: \_\_\_\_\_  
Work #: 775-7001  
Cell #: \_\_\_\_\_  
Fax #: \_\_\_\_\_  
Home: \_\_\_\_\_  
E-mail: \_\_\_\_\_

# PROJECT DATA

The following information is required where applicable, in order complete the application

Total Site Area \_\_\_\_\_ sq. ft.  
 Proposed Total Disturbed Area of the Site \_\_\_\_\_ sq. ft.  
 (If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland.)

**IMPERVIOUS SURFACE AREA**

Proposed Total Paved Area \_\_\_\_\_ sq. ft.  
 Existing Total Impervious Area \_\_\_\_\_ sq. ft.  
 Proposed Total Impervious Area \_\_\_\_\_ sq. ft.  
 Proposed Impervious Net Change \_\_\_\_\_ 0 sq. ft.

**BUILDING AREA**

Existing Building Footprint \_\_\_\_\_ sq. ft.  
 Proposed Building Footprint \_\_\_\_\_ sq. ft.  
 Proposed Building Footprint Net change \_\_\_\_\_ sq. ft.  
 Existing Total Building Floor Area \_\_\_\_\_ sq. ft.  
 Proposed Total Building Floor Area \_\_\_\_\_ sq. ft.  
 Proposed Building Floor Area Net Change \_\_\_\_\_ sq. ft.  
 New Building \_\_\_\_\_ (yes or no)

N/A

**ZONING**

Existing \_\_\_\_\_  
 Proposed, if applicable \_\_\_\_\_

AS IS (41 (Additional Pk/Br) cont)

**LAND USE**

Existing \_\_\_\_\_  
 Proposed \_\_\_\_\_

AS IS

**RESIDENTIAL, IF APPLICABLE**

Proposed Number of Affordable Housing Units \_\_\_\_\_  
 Proposed Number of Residential Units to be Demolished \_\_\_\_\_  
 Existing Number of Residential Units \_\_\_\_\_  
 Proposed Number of Residential Units \_\_\_\_\_  
 Subdivision, Proposed Number of Lots \_\_\_\_\_

N/A

**PARKING SPACES**

Existing Number of Parking Spaces \_\_\_\_\_  
 Proposed Number of Parking Spaces \_\_\_\_\_  
 Number of Handicapped Parking Spaces \_\_\_\_\_  
 Proposed Total Parking Spaces \_\_\_\_\_

7  
9  
0  
9

**BICYCLE PARKING SPACES**

Existing Number of Bicycle Parking Spaces \_\_\_\_\_  
 Proposed Number of Bicycle Parking Spaces \_\_\_\_\_  
 Total Bicycle Parking Spaces \_\_\_\_\_

N/A

**ESTIMATED COST OF PROJECT**

\$25,000 -

Please check all reviews that apply to the proposed development

Design Review	_____	Stormwater Quality	_____
Flood Plain Review	_____	Traffic Movement	_____
Historic Preservation	_____	Zoning Variance	_____
Housing Replacement	_____	Historic District/Landmark	_____
14-403 Street Review	_____	Off Site Parking	_____
Shoreland	_____	Multi-Family Dwelling	_____
Site Location Act Local Review	_____	B-3 Pedestrian Activity Review	_____
Single Family Dwelling	_____	Change of Use	_____
2 Family Dwelling	_____		

City of Portland  
Development Review Application  
Planning Division Transmittal form

**Application Number:** 09-79900010      **Application Date:** 9/08/09

**Project Name:** MMC PARKING AREA

**Address:** 261 Valley St      **CBL:** 065 - H-009-001

**Project Description:** Valley Street - 261-269; Mmc Parking Area; Henry Dunn

**Zoning:** C41 (CONDITIONAL R6/B2)

**Other Reviews Required:**

**Review Type:** MINOR SITE PLAN

Henry Dunn  
c/o Maine Medical Center

Portland Me 04102

**Distribution List:**

*CUC. 9-24-09*

<input checked="" type="checkbox"/> Planner	Jean Fraser	<input checked="" type="checkbox"/> City Arborist	Jeff Tarling
<input checked="" type="checkbox"/> Zoning Administrator	Marge Schmuckal	<input checked="" type="checkbox"/> Design Review	Alex Jaegerman
<input checked="" type="checkbox"/> Traffic	Tom Errico	<input checked="" type="checkbox"/> Corporation Counsel	Danielle West-Chuhta
<input checked="" type="checkbox"/> Inspections	Tammy Munson	<input checked="" type="checkbox"/> Sanitary Sewer	John Emerson
<input checked="" type="checkbox"/> Fire Department	Keith Gautreau	<input checked="" type="checkbox"/> Stormwater	Dan Goyette
<input checked="" type="checkbox"/> Parking	John Peverada	<input checked="" type="checkbox"/> Historic Preservation	Deb Andrews
<input checked="" type="checkbox"/> Engineering	David Margolis-Pineo	<input type="checkbox"/> Outside Agency	
<input checked="" type="checkbox"/> DRC Coordinator	Phil DiPierro		

**Preliminary Comments needed by:** September 30th

**Final Comments needed by:**

*KG does not have plan set 9-24-09.*

**APPLICATION FEE:**

Check all reviews that apply. Payment may be made in cash or check to the City of Portland.

<p><b>Major Development (more than 10,000 sq. ft.)</b></p> <p><input checked="" type="checkbox"/> Under 50,000 sq. ft. (\$500.00)</p> <p><input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000.00)</p> <p><input type="checkbox"/> Parking Lots over 100 spaces (\$1,000.00)</p> <p><input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000.00)</p> <p><input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000.00)</p> <p><input type="checkbox"/> Over 300,000 sq. ft. (\$5,000.00)</p> <p><input type="checkbox"/> After-the-fact Review (\$1,000.00 plus applicable application fee)</p>	<p><b>Plan Amendments</b></p> <p><input checked="" type="checkbox"/> Planning Staff Review (\$250.00)</p> <p><input checked="" type="checkbox"/> Planning Board Review (\$500.00)</p> <p><b>Subdivision</b></p> <p><input checked="" type="checkbox"/> Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ + (applicable Major site plan fee)</p>
<p><b>Minor Site Plan Review</b></p> <p><input checked="" type="checkbox"/> Less than 10,000 sq. ft. (\$400.00)</p> <p><input type="checkbox"/> After-the-fact Review (\$1,000.00 plus applicable application fee)</p>	<p><b>Other Reviews</b></p> <p><input checked="" type="checkbox"/> Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____)</p> <p><input checked="" type="checkbox"/> Traffic Movement (\$1,000.00)</p> <p><input checked="" type="checkbox"/> Storm water Quality (\$250.00)</p> <p><input checked="" type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot)</p> <p><input checked="" type="checkbox"/> Other _____</p>

**DEVELOPMENT REVIEW APPLICATION SUBMISSION**

Submissions shall include seven (7) packets with folded plans containing the following materials:

1. Seven (7) full size site plans that must be folded.
2. Application form that is completed and signed.
3. Cover letter stating the nature of the project.
4. All Written Submittals (Sec. 14-525 2. (c), including evidence of right, title and interest.
5. A stamped standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 100 feet.
6. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
7. Copy of the checklist completed for the proposal listing the material contained in the submitted application.
8. One (1) set of plans reduced to 11 x 17.

Refer to the application checklist (page 9) for a detailed list of submittal requirements.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: [www.portlandmaine.gov](http://www.portlandmaine.gov). Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for site review only; a Performance Guarantee, Inspection Fee, Building Permit Application and associated fees will be required prior to construction.

<p>Signature of Applicant: <i>Michael J. [Signature]</i></p>	<p>Date: <i>September 3, 2009</i></p>
--	---------------------------------------

# Site Plan Checklist

Portland, Maine

Department of Planning and Urban Development, Planning Division and Planning Board

PARKIN AREA @ VALLEY & "A" STREET

Project Name, Address of Project

Application Number

(The form is to be completed by the Applicant or Designated Representative)

Check Submitted		Required Information	Section 14-525 (b,c)
Applicant	Staff		
✓		Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including	l
		Name and address of applicant and name of proposed development	a
		* Scale and north points	b
		* Boundaries of the site	c
		* Total land area of site	d
		* Topography - existing and proposed (2 feet intervals or less)	e
✓		Plans based on the boundary survey including:	2
N/A		* Existing soil conditions	a
NONE		* Location of water courses, wetlands, marshes, rock outcroppings and wooded areas	b
NONE		* Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used	c
✓		* Approx. location of buildings or other structures on parcels abutting the site and a zoning summary of applicable dimensional standards (example page 11 of packet)	d
		* Location of on-site waste receptacles	e
		* Public utilities	e
		* Water and sewer mains	e
		* Culverts, drains, existing and proposed, showing size and directions of flows	e
		* Location and dimensions, and ownership of easements, public or private rights-of-way, both existing and proposed	f
		* Location and dimensions of on-site pedestrian and vehicular access ways	g
		* Parking areas	g
		* Loading facilities	g
		* Design of ingress and egress of vehicles to and from the site onto public streets	g
		* Curb and sidewalks	g
		Landscape plan showing:	h
		* Location of existing vegetation and proposed vegetation	h
		* Type of vegetation	h
		* Quantity of plantings	h
		* Size of proposed landscaping	h
		* Existing areas to be preserved	h
		* Preservation measures to be employed	h
		* Details of planting and preservation specifications	h
		* Location and dimensions of all fencing and screening	i
		Location and intensity of outdoor lighting system	j
		Location of fire hydrants, existing and proposed (refer to Fire Department checklist - page 11)	k
		Written statements to include:	c
		* Description of proposed uses to be located on site	c1
		* Quantity and type of residential, if any	c1
		* Total land area of the site	c2
		* Total floor area, total disturbed area and ground coverage of each proposed Building and structure	c2
		* General summary of existing and proposed easements or other burdens	c3
		* Type, quantity and method of handling solid waste disposal	c4
		* Applicant's evaluation or evidence of availability of off-site public facilities, including sewer, water and streets (refer to the wastewater capacity application - page 12)	c5
		* Description of existing surface drainage and a proposed stormwater management plan or description of measures to control surface runoff.	c6

\_\_\_\_\_  
 NONE  
 \_\_\_\_\_  
 \_\_\_\_\_  
 NONE  
 \_\_\_\_\_  
 \_\_\_\_\_

- 7 An estimate of the time period required for completion of the development **2 WKS**
- 8 A list of all state and federal regulatory approvals to which the development may be subject to the status of any pending applications, anticipated timeframe for obtaining such permits, or letters of non-jurisdiction.
- 9 Evidence of financial and technical capability to undertake and complete the development including a letter from a responsible financial institution stating that it has reviewed the planned development and would seriously consider financing it when approved.
- 10 Evidence of applicant's right title or interest, including deeds, leases, purchase options or other documentation.
- 11 A description of any unusual natural areas, wildlife and fisheries habitats, or archaeological sites located on or near the site.

A jpeg or pdf of the proposed site plan, if available.  
 Final sets of the approved plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (\*.dwg), release AutoCAD 2005 or greater.

Note: Depending on the size and scope of the proposed development, the Planning Board or Planning Authority may request additional information, including (but not limited to):

- drainage patterns and facilities
- erosion and sedimentation controls to be used during construction
- a parking and/or traffic study
- emissions
- a wind impact analysis
- an environmental impact study
- a sun shadow study
- a study of particulates and any other noxious
- a noise study

### Example of Zoning Summary

1.	Property is located in the IM Zone (Moderate Impact Industrial)		
2.	Parcel Acreage: 1.37 AC (59,677.2 sf)		
	<b>Regulations</b>	<b>Required/Allowed</b>	<b>Provided</b>
	Min Lot Area	none	59,677.2 sf.
	Min Street Frontage	60 ft.	314.46 ft.
	Min Front Yard Setback	1 ft./1 ft. Building Height	72.04 ft.
	Min Rear Yard Setback	1 ft./1 ft. Building Height	35.66 ft.
	Min Side Yard Setback	1 ft./1 ft. Building Height	82.80 and 38.22
	Max Building Height	75 ft.	65 ft.
4.	Parking - Warehouse Distribution:	1 space/1000 sf.	10 spaces
5.	Maximum Impervious Surface Ratio:	75%	43%

### Portland Fire Department Checklist

A separate drawing[s] shall be provided to the Portland Fire Department for all site plan reviews, which shall include:

1. Name, address, telephone number of applicant.
2. Name address, telephone number of architect
3. Proposed uses of any structures [NFPA and IBC classification]
4. Square footage of all structures [total and per story]
5. Elevation of all structures
6. Proposed fire protection of all structures
7. Hydrant locations
8. Water main[s] size and location
9. Access to any fire department connections
10. Access to all structures [min. 2 sides]
11. A code summary shall be included referencing NFPA 1 and all fire department Technical standards.
12. Elevators shall be sized to fit an 81" x 23" stretcher and two personnel.
13. Some structures may require Fire flows using annex H of NFPA 1.

#### **Additional Submission for Subdivisions:**

#### Street Names and Street Numbering for Proposed Subdivisions

##### **Notice to Developers of New Subdivisions**

Effective January 1, 1998, the City of Portland requests that developers of new subdivisions submit information regarding the origin of the name of any new street(s) created within the City limits. This information shall be submitted to the Planning Division with all other related application materials and shall include information regarding the person or subject for which all new streets are being named. In the case of a person, the full name should be submitted, as well as their vocation, relationship to the developer or the area, or other pertinent information.

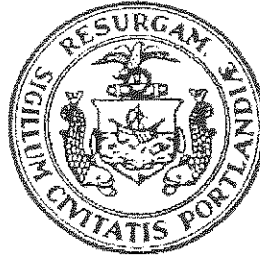
##### **Street Numbering Assignments**

The assignment of official street addresses is the sole responsibility of the Department of Public Services. These assignments proceed by a set of guidelines and are done from submitted site plans whenever possible. For Enhanced 9-1-1 purposes, they need to be as accurate as possible and, depending on size and site layout, the creation of new street names may be required. Despite addresses listed on such things as the check sheet for site plan approval, building inspection documents or tax maps, it is requested you contact the Department of Public Services for your official address(es). Please call, Leslie Kaynor, GIS Surveyor at (207) 874-8346.



# CITY OF PORTLAND WASTEWATER CAPACITY APPLICATION

Department of Public Services,  
55 Portland Street,  
Portland, Maine 04101-2991



Mr. Frank J. Brancely,  
Senior Engineering Technician,  
Phone #: (207) 874-8832.  
Fax #: (207) 874-8852,  
E-mail: fjb@portlandmaine.gov

Date: 9/1/2009

### 1. Please, Submit Utility, Site, and Locus Plans.

Site Address: 261-269 VALLEY STREET.  
(Regarding addressing, please contact Leslie Kaynor, either at 756-8346, or at LMK@portlandmaine.gov) Chart Block Lot Number: \_\_\_\_\_

Proposed Use: PARKING AREA

Previous Use: PARKING AREA

Existing Sanitary Flows: NONE GPD

Existing Process Flows: NONE GPD

Description and location of City sewer, at proposed building sewer lateral connection:  
N/A

Site Category Commercial _____ Industrial (complete part 4 below) _____ Governmental _____ Residential _____ Other (specify) _____	
---	--

Clearly, indicate the proposed connection, on the submitted plans.

### 2. Please, Submit Domestic Wastewater Design Flow Calculations.

Estimated Domestic Wastewater Flow Generated: N/A GPD

Peaking Factor/ Peak Times: \_\_\_\_\_

Specify the source of design guidelines: (i.e., "Handbook of Subsurface Wastewater Disposal in Maine," "Plumbers and Pipe Fitters Calculation Manual," Portland Water District Records, Other (specify)

Note: Please submit calculations showing the derivation of your design flows, either on the following page, in the space provided, or attached, as a separate sheet.

### 3. Please, Submit Contact Information.

Owner/Developer Name: MMC

Owner/Developer Address: 27 BRANNAH / PORTLAND ME

Phone: 207-252-7997 Fax: \_\_\_\_\_ E-mail: DUNN H@MMC.ORG

Engineering Consultant Name: SEBAGO TECHNICS

Engineering Consultant Address: 1 CHABOT ST. PO BOX 1339 WESTBROOK 04098

Phone: 856-0277 Fax: \_\_\_\_\_ E-mail: WCONWAY@SEBAGOTECHNICS.COM

City Planner's Name: ALEX JAEGGERMAN Phone: 207-874-8724  
PENNY LITTELL

Note: Consultants and Developers should allow +/- 15 days, for capacity status, prior to Planning Board Review.

### 4. Please, Submit Industrial Process Wastewater Flow Calculations

Estimated Industrial Process Wastewater Flows Generated: N/A GPD

Do you currently hold Federal or State discharge permits? Yes \_\_\_\_\_ No \_\_\_\_\_

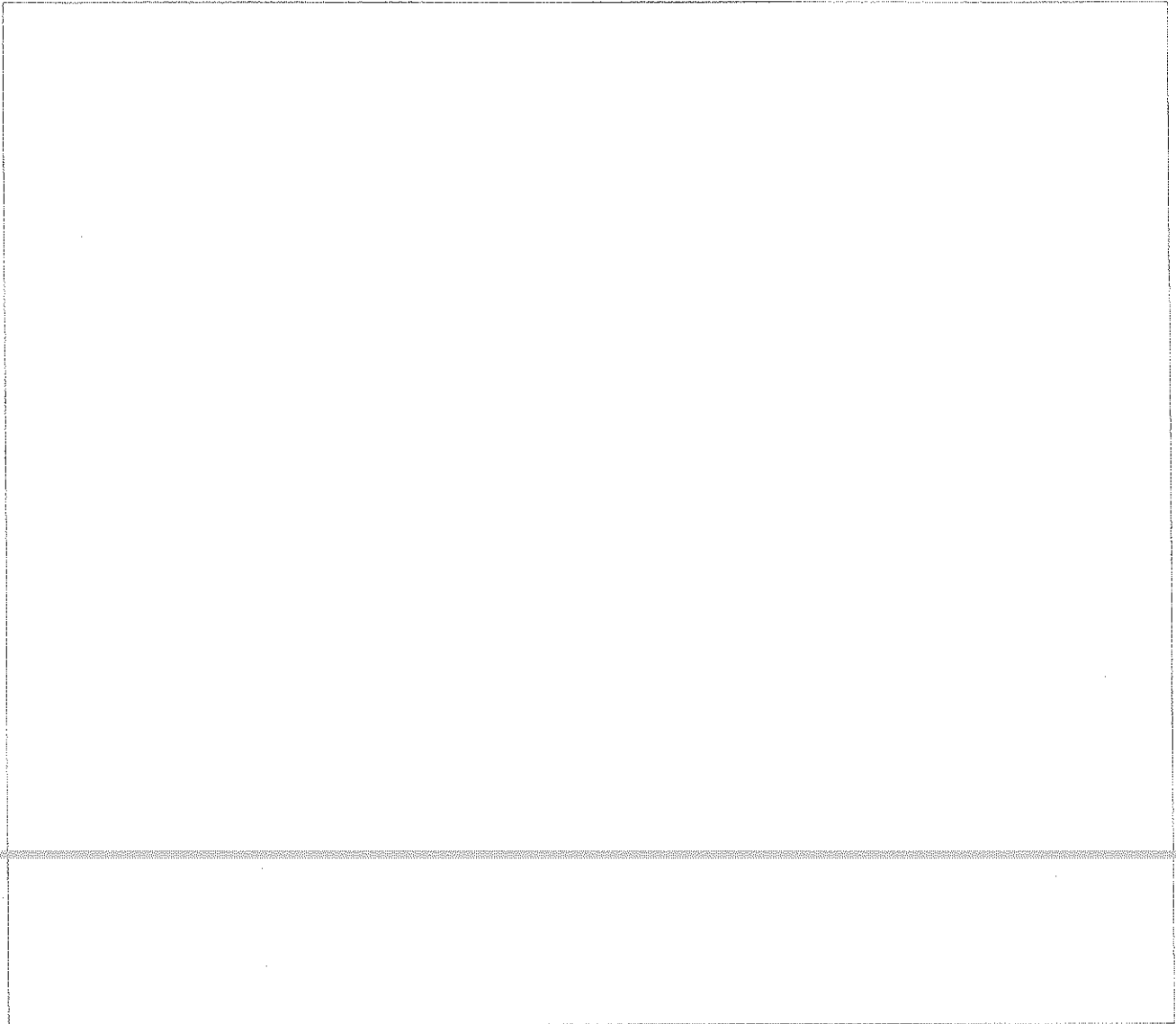
Is the process wastewater termed categorical under CFR 40? Yes \_\_\_\_\_ No \_\_\_\_\_

OSHA Standard Industrial Code (SIC): \_\_\_\_\_ (http://www.osha.gov/oshstat/sicsec.html)

Peaking Factor/Peak Process Times: \_\_\_\_\_

**Note:** On the submitted plans, please show the locations, where the building's sanitary, and process water sewer laterals, exit the facility, where they enter the city's sewer, the location of any control manholes, wet wells, or other access points, and the locations of any filters, strainers, or grease traps.

Notes, Comments, or Calculations:





STATE OF MAINE  
DEPARTMENT OF ENVIRONMENTAL PROTECTION

DATE: 11/12/11

Page 1 of 2

City of Portland  
1500 Commercial  
Portland, ME 04101-3701

RE: Knowledge and Stormwater capacity

To: Whom It May Concern:

It has come to my attention that towns and cities who have received delegative authority from the Department to review projects under the Site Location of Development Act (Site Law) and who have also reviewed stormwater sized projects under the municipal exemption of the Stormwater Management Law might not be aware that applicants for either of these types of projects need to submit a Notice of Intent (NOI) to the Department to be in compliance with the Maine General Permit - Construction Activity. The Department is also concerned that applicants who receive their permits from municipalities might not realize that they still need to file the NOI with the Department. The Department can now delegate authority for this requirement to a municipality.

To address this situation and reduce the potential for violations of the Maine General Permit - Construction Activity, the Department is requesting that a copy of this letter be given to all applicants for delegated Site Law or exempt Stormwater Law projects in your municipality, or that you notify them of the requirement to submit an NOI to the Department utilizing some other method.

Although the Department now receives notification of Site Law projects being reviewed by a municipality, it does not receive notification of stormwater sized projects. I would also like to request that the Department be notified by e-mail of any stormwater sized projects that are being reviewed locally. An e-mail can be sent to [james.gassidy@maine.gov](mailto:james.gassidy@maine.gov) for projects that are in the Augusta and Bangor regions and to [jmalk@kdmillermaine.gov](mailto:jmalk@kdmillermaine.gov) for projects that are in the Portland region.

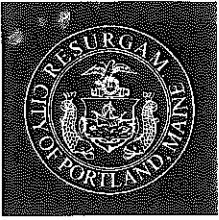
An e-mail notice to the Department with the applicant's name and telephone number will allow the Department to follow up with the applicant, instead of the municipality, to establish receipt of this e-mail and to determine if compliance with the Maine General Permit requirements.

Thank you very much for your attention in this regard. If you have any questions, please do not hesitate to call me.

Sincerely,

Jim Gassidy  
Director of Land Use, Air, and Population

AUGUSTA 100 STATE HOUSE BUILDING 100 STATE HOUSE BUILDING 100 STATE HOUSE BUILDING BAY WHARF, AUGUSTA, ME 04401	BANGOR ONE BIGLOW ROAD BANGOR, MAINE 04401 (207) 644-7777 FAX: (207) 644-4384	PORTLAND 102 CANBY ROAD PORTLAND, MAINE 04103 (207) 219-6100 FAX: (207) 827-6100	PRESQUE ISLE 12 W. CLYDE ST. THINE, SLYWAY PARK PRESQUE ISLE, MAINE 04969 (207) 646-0117 FAX: (207) 646-0343
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*Strengthening a Remarkable City, Building a Community for Life*

[www.portlandmaine.gov](http://www.portlandmaine.gov)

Planning & Urban Development Department  
Penny St. Louis Littell, Director

September 8, 2009

**GENERAL RECEIPT**

Received from: Maine Medical Center

Minor Site Plan Review Fee

\$400.00

Re: 261-269 Valley Street (Parking Area)

Check No. 2105726

**RECEIVED**

SEP - 8 2009

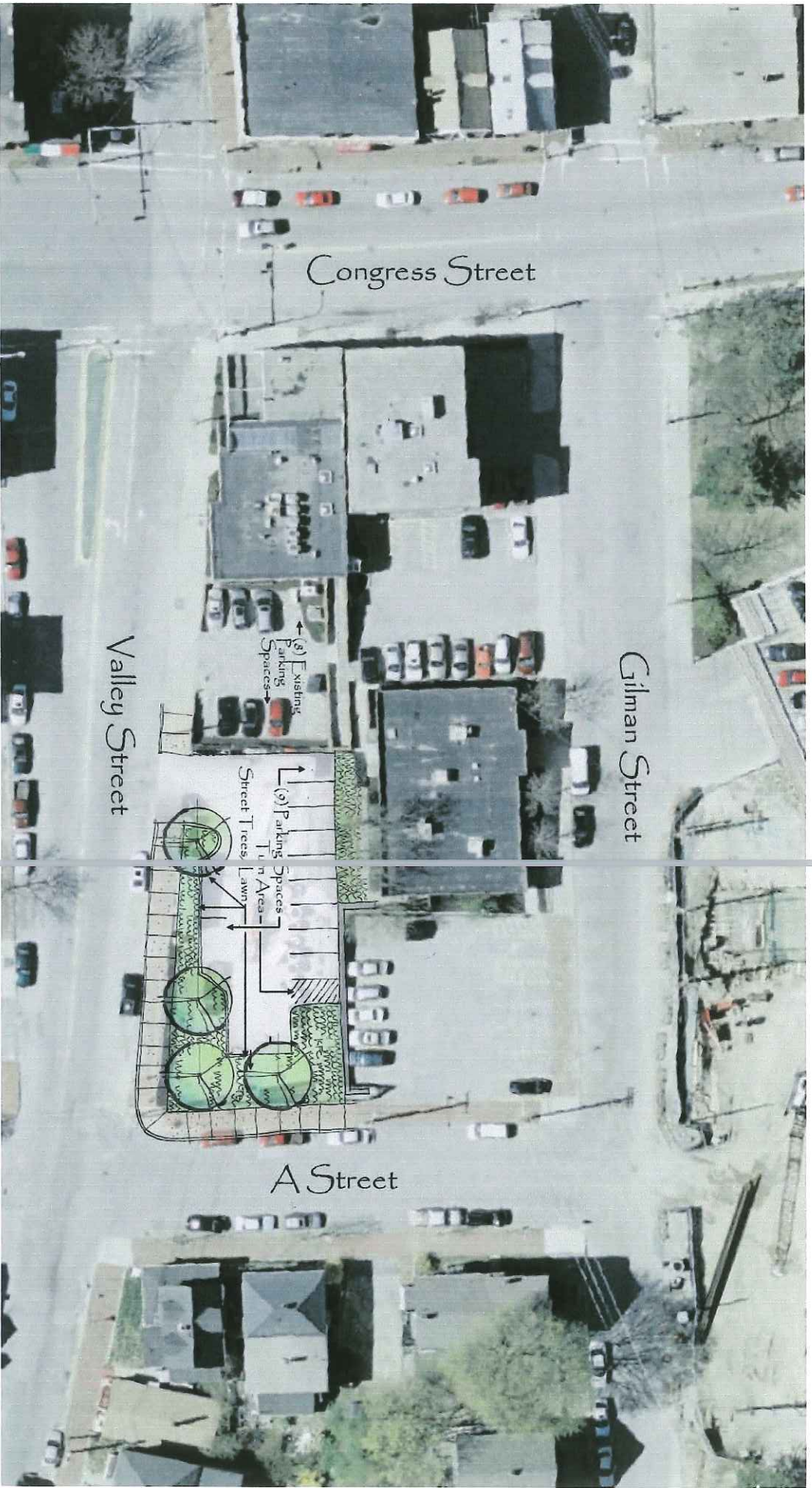
City of Portland  
Planning Division

*[Handwritten Signature]*  
cott



01046

11-4-47



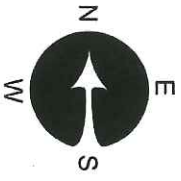
Congress Street

Gilman Street

Valley Street

A Street

Site and Landscape Plan Option  
**VALLEY STREET/A STREET PARKING AREA**  
 Prepared for Maine Medical Center  
 August 5, 2009



**Sebago Technics**  
 Engineering Expertise You Can Build On



076102

WARRANTY DEED

That, MMC Realty Corp., a non-profit corporation organized and existing under the laws of the State of Maine and having a mailing address of 22 Bramhall Street, Portland, Maine 04102-3175,

FOR CONSIDERATION PAID, GRANTS TO


Maine Medical Center, a non-profit corporation organized and existing under the laws of the State of Maine and having a mailing address of 22 Bramhall Street, Portland, Maine 04102-3175,

WITH WARRANTY COVENANTS, the land situated in Portland, Cumberland County, Maine, as more particularly described in Exhibit A, attached hereto and incorporated herein by reference.

IN WITNESS WHEREOF, MMC REALTY CORP. has caused this instrument to be sealed with its corporate seal and signed in its corporate name by John E. Heye, its Treasurer, thereunto duly authorized, this first day of the month of November, 1997.

  
WITNESS

MMC REALTY CORP.

  
JOHN E. HEYE, Treasurer

SEAL

STATE OF MAINE  
COUNTY OF CUMBERLAND, ss

NOVEMBER 1, 1997

Then personally appeared the above-named John E. Heye, Treasurer, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporation, before me

  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: 10/10/02

SEAL

Exhibit A  
to  
Warranty Deed from MMC Realty Corp. to Maine Medical Center

Certain lots or parcels of land in the City of Portland, County of Cumberland, State of Maine, with any buildings thereon, bounded and described as follows:

261 - 269 Valley Street

A certain lot or parcel of land with the buildings thereon, situated in Portland and described as follows:

Beginning at a point on the North side of A Street, Portland, Maine, said point being the intersection of said North side line of A Street with the East side line of B Street, the name of which was changed to Valley Street in 1939; thence Northerly and making an included angle of Eighty-two (82) degrees Fifty-nine (59) minutes with the East direction of said North side line of A Street a distance of Two hundred eighty-five (285) feet, more or less, to a point in the South side line of Congress Street, said point being thirty-five (35) feet East along said South side line of Congress Street from its intersection with the East side line of Valley Street as now laid out and accepted; thence East along said South line of Congress Street and making an included angle of Ninety-four (94) degrees 49', a distance of fifty-five (45) feet, more or less, to a point in the division line between the lot of land of the Grantor under description and land now or formerly of one Charles F. Jones; thence South along the said division line between land of the Grantor and land now or formerly of Charles F. Jones and land now or formerly of Charles C. Plummer, Ellsworth W. Stuart, Charles F. Jose, Maris M. and Charles F. Jose, Trustees, Maris M. and Charles F. Jose, Trustees, and Charles F. Jose a distance of 281.17 feet, more or less, to a point in the North side line of A Street; thence West and making an included angle of 89 degrees 57' and along the North side line of A Street a distance of Eighty (80) feet more or less to the point of beginning, containing 17,570 square feet, more or less.

Excepting therefrom a portion bounded and described as follows, to wit:

Beginning at a point on the East side line of said Valley Street One Hundred Fifty (150) feet South from the intersection of said East side line of Valley Street with the South side line of Congress Street, thence North by said East line of Valley Street One Hundred Fifty (150) feet to the South side line of Congress Street; thence East along said South side line of Congress Street making an included angle of 94 degrees 49', a distance of Forty-five (45) feet more or less, to a point in the division line between the lot of land under description and land now or formerly of one Charles F. Jones; thence South along the said division line between the land under description and the land of said Charles F. Jones and others One Hundred Fifty (150) feet, to a point; thence West 63.48 feet, to the point of beginning.

The above described property sometimes is referred to as The Eagles Club.

42 - 46 Gilman Street

A certain lot or parcel of land with the buildings thereon situated on the northwesterly corner of Gilman and A Streets in the City of Portland, County of Cumberland, State of Maine, and bounded and described as follows:



Beginning at the intersection of the westerly side of said Gilman Street with the northerly side of said A Street, and running thence northerly on said Gilman Street, sixty-nine and five one-hundredths (69.05) feet to land formerly of S.H. Jose; thence westerly by said S.H. Jose land, seventy and forty-two one-hundredths (70.42) feet to a stake; thence southerly and parallel with said Gilman Street seventy and forty-seven one-hundredths (70.47) feet to A Street; thence easterly by said A Street, seventy and forty-one one-hundredths (70.41) feet to the place of beginning.

The above described property sometimes is referred to as The Gilman Office Building Parking Lot.

268 - 270 Valley Street

A certain lot or parcel of land with the buildings thereon situated on the westerly side of Valley Street, formerly called B Street, in said Portland, bounded and described as follows:

Beginning at a point on said westerly side line of Valley Street at a point distance one hundred thirty six (136) feet northerly from the intersection of the westerly side of Valley Street and the northerly side of A Street; thence running southerly by said westerly side of Valley Street seventy-one (71) feet to a point; thence running westerly sixty (60) feet to land now or formerly of George W. Billings and Catherine A. Reed, at a point which is distant sixty-five (65) feet northerly from the northerly side line of A Street; thence running northerly by said Billings and Reed land sixty-four and seventy-six hundredths (64.76) feet to land formerly of William G. Davis and continuing northerly by said Davis land six and forty-three hundredths (6.43) feet; thence easterly approximately fifty-seven (57) feet to the point of beginning.

The above described property sometimes is referred to as a vacant lot.

Subject to the following:

1. Taking of Valley Street as referenced in the deed from the City of Portland to the Unity Company dated October 20, 1937 and recorded in Cumberland County Registry of Deeds in Book 1527, Page 318 (261-269 Valley Street)

To have and to hold the aforegranted and bargained premises, with all the privileges and appurtenances thereof, to the said MMC REALTY CORP., its successors and assigns, to them and their use and behoof forever.

Meaning and intending to convey and hereby conveying the same premises conveyed to MMC Realty Corp. by Casco Aerie, No. 565, Fraternal Order of Eagles, a/k/a Casco Aerie Fraternal Order of Eagles #565, a/k/a Fraternal Order of Eagles Casco Aerie No. 565 by deed dated November 21, 1990, and recorded in the Cumberland County Registry of Deeds in Book 9392, Page 344.

RECEIVED  
RECORDED REGISTRY OF DEEDS

1997 DEC 18 PM 3: 56

CUMBERLAND COUNTY

*John B. O'Brien*

*Eagle Lot*

056000

MAINE REAL ESTATE TAX PAID

KNOW ALL MEN BY THESE PRESENTS, That CASCO AERIE, NO. 565, FRATERNAL ORDER OF EAGLES, a/k/a CASCO AERIE FRATERNAL ORDER OF EAGLES #565, a/k/a FRATERNAL ORDER OF EAGLES CASCO AERIE NO. 565, a Maine corporation with a mailing address of 265 Valley Street, Portland, Maine 04112, and having a place of business at Portland, in the County of Cumberland and State of Maine, in consideration of \$1.00 and other valuable consideration paid by MMC REALTY CORP., a Maine corporation, whose mailing address is 22 Bramhall Street, Portland, Maine 04102, the receipt whereof it does hereby acknowledge, does hereby give, grant, bargain, sell and convey unto the said MMC REALTY CORP., its successors and assigns forever, certain lots or parcels of land in the City of Portland, County of Cumberland, State of Maine, with any buildings thereon, bounded and described as follows:

261-269 Valley Street

A certain lot or parcel of land with the buildings thereon, situated in Portland and described as follows:

Beginning at a point on the North side of A Street, Portland, Maine, said point being the intersection of said North side line of A Street with the East side line of B Street, the name of which was changed to Valley Street in 1939; thence Northerly and making an included angle of Eighty-two (82) degrees Fifty-nine (59) minutes with the East direction of said North side line of A Street a distance of Two hundred eighty-five (285) feet, more or less, to a point in the South side line of Congress Street, said point being thirty-five (35) feet East along said South side line of Congress Street from its intersection with the East side line of Valley Street as now laid out and accepted; thence East along said South line of Congress Street and making an included angle of Ninety-four (94) degrees 49', a distance of forty-five (45) feet, more or less, to a point in the division line between the lot of land of the Grantor under description and land now or formerly of one Charles F. Jones; thence South along the said division line between land of the Grantor and land now or formerly of Charles F. Jones and land now or formerly of Charles C. Plummer, Ellsworth W. Stuart, Charles F. Jose, Maris M. and Charles F. Jose, Trustees, and Charles F. Jose a distance of 281.17 feet, more or less, to a point in the North side line of A Street; thence West and making an included angle of 89 degrees 57' and along the North side line of A Street a distance of Eighty (80) feet more or less to the point of beginning, containing 17,570 square feet, more or less.

Excepting therefrom a portion bounded and described as follows, to wit:

Beginning at a point on the East side line of said Valley Street One Hundred Fifty (150) feet South from the intersection of said East side line of Valley Street with the South side line of Congress Street, thence North by said East line of Valley Street One Hundred Fifty (150) feet to the South side line of Congress Street; thence East along said South side line of Congress Street making an included angle of 94 degrees 49', a distance of Forty-five (45) feet more or less, to a point in the division line between the lot of land under description and land now or formerly of one Charles F. Jones; thence South along the said division line between the land under description and the land of said Charles F. Jones and others One Hundred Fifty (150) feet, to a point; thence West 63.48 feet, to the point of beginning.

42 - 46 Gilman Street

A certain lot or parcel of land with the buildings thereon situated on the northwesterly corner of Gilman and A Streets in the City of Portland, County of Cumberland, State of Maine, and bounded and described as follows:

Beginning at the intersection of the westerly side of said Gilman Street with the northerly side of said A Street, and running thence northerly on said Gilman Street, sixty-nine and five one-hundredths (69.05) feet to land formerly of S.H. Jose; thence westerly by said S. H. Jose land, seventy and forty-two one-hundredths (70.42) feet to a stake; thence southerly and parallel with said Gilman Street seventy and forty-seven one-hundredths (70.47) feet to A Street; thence easterly by said A Street, seventy and forty-one one-hundredths (70.41) feet to the place of beginning.

268 - 270 Valley Street

A certain lot or parcel of land with the buildings thereon situated on the westerly side of Valley Street, formerly called B Street, in said Portland, bounded and described as follows:

Beginning at a point on said westerly side line of Valley Street at a point distance one hundred thirty six (136) feet northerly from the intersection of the westerly side of Valley Street and the northerly side of A Street; thence running southerly by said westerly side of Valley Street seventy-one (71) feet to a point; thence running westerly sixty (60) feet to land now or formerly of George W. Billings and Catherine A. Reed, at a point which is distant sixty-five (65) feet northerly from the northerly side line of A Street; thence running northerly by said Billings and Reed land sixty-four and seventy-six hundredths (64.76) feet to land formerly of William G. Davis and continuing northerly by said Davis land six and forty-three hundredths (6.43) feet; thence easterly approximately fifty-seven (57) feet to the point of beginning.

Being the same premises conveyed to the within grantors by the following deeds: Deed from Mid-Central Fish Company of Maine dated January 15, 1963 and recorded in Cumberland County Registry of Deeds in Book 2727, Page 347; Deed from Sebastiano Pennisi, et al dated June 25, 1963 and recorded in Cumberland County Registry of Deeds in Book 2759, Page 254; and Deed from Eugene S. Martin dated March 28, 1980 and recorded in Cumberland County Registry of Deeds in Book 4582, Page 291.

Subject to the following:

1. Taking of Valley Street as referenced in the deed from the City of Portland to the Unity Company dated October 20, 1937 and recorded in Cumberland County Registry of Deeds in Book 1527, Page 318 (261-269 Valley Street).

To have and to hold the aforegranted and bargained premises, with all the privileges and appurtenances thereof, to the said MMC REALTY CORP., its successors and assigns, to them and their use and behoof forever.

AND the said Grantor Corporation does hereby covenant with the said Grantee, its successors and assigns, that it is lawfully seized in fee of the premises, that they are free of all encumbrances except as aforesaid, that it has good right to sell and convey the same to the said Grantee to hold as aforesaid; and that it and its successors, shall and will warrant and defend the same to the said Grantee, its successors and assigns forever, against the lawful claims and demands of all persons.

IN WITNESS WHEREOF, the said CASCO AERIE, NO. 565, FRATERNAL ORDER OF EAGLES has caused this instrument to be sealed with its corporate seal and signed in its corporate name by Robert James, Richard Brichetto, Hilbert Welch, Reginald Conohan and Fred Darling,

its Trustees thereunto duly authorized, this 21ST day of November, A.D. 1990.

CASCO AERIE, NO. 565,  
FRATERNAL ORDER OF EAGLES

Paul J. Amisall  
Witness

By: Robert J. James  
Robert James  
Its Trustee

Paul J. Amisall  
Witness

By: Richard Brichetto  
Richard Brichetto  
Its Trustee

Beverly A. Mc Lellan  
Witness

By: Hilbert Welch  
Hilbert Welch  
Its Trustee

Paul J. Amisall  
Witness

By: Reginald Conohan  
Reginald Conohan  
Its Trustee

James W. Ashey  
Witness

By: Fred Darling  
Fred Darling  
Its Trustee

STATE OF MAINE  
COUNTY OF CUMBERLAND

November 21, 1990

Then personally appeared the above named Robert James, Richard Brichetto, Hilbert Welch, Reginald Conohan and Fred Darling, Trustees of said Grantor Corporation as aforesaid, and acknowledged the foregoing instrument to be their free act and deed in their said capacity, and the free act and deed of said Corporation.

Before me,

Shirley Lynde  
Attorney at Law

Notary Public  
SHIRLEY LYNDE  
NOTARY PUBLIC, MAINE  
MY COMMISSION EXPIRES NOVEMBER 18, 1998

RECEIVED  
RECORDED IN DEPT. OF REVENUE  
30 NOV 21 PM 3:54  
CUMBERLAND COUNTY

Printed Name

SEAL



PROGRESS PRINT

#	BY	DATE	STATUS

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BEAT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

**Sebago Technics**  
 Engineering, Construction, & Construction Management  
 One Chapel Street, Suite B  
 Westport, New York 10980  
 Tel: (845) 886-2222  
 www.sebagotechnics.com

PROJECT NO.	FIELD BOOK	DESIGN	CHKD	DRAWN
PROJ. #	FIELD BOOK	DESIGN	CHKD	DRAWN

**DRAWING NAME**  
 OF: **SITE NAME**  
 SITE STREET  
 SITE CITY, STATE

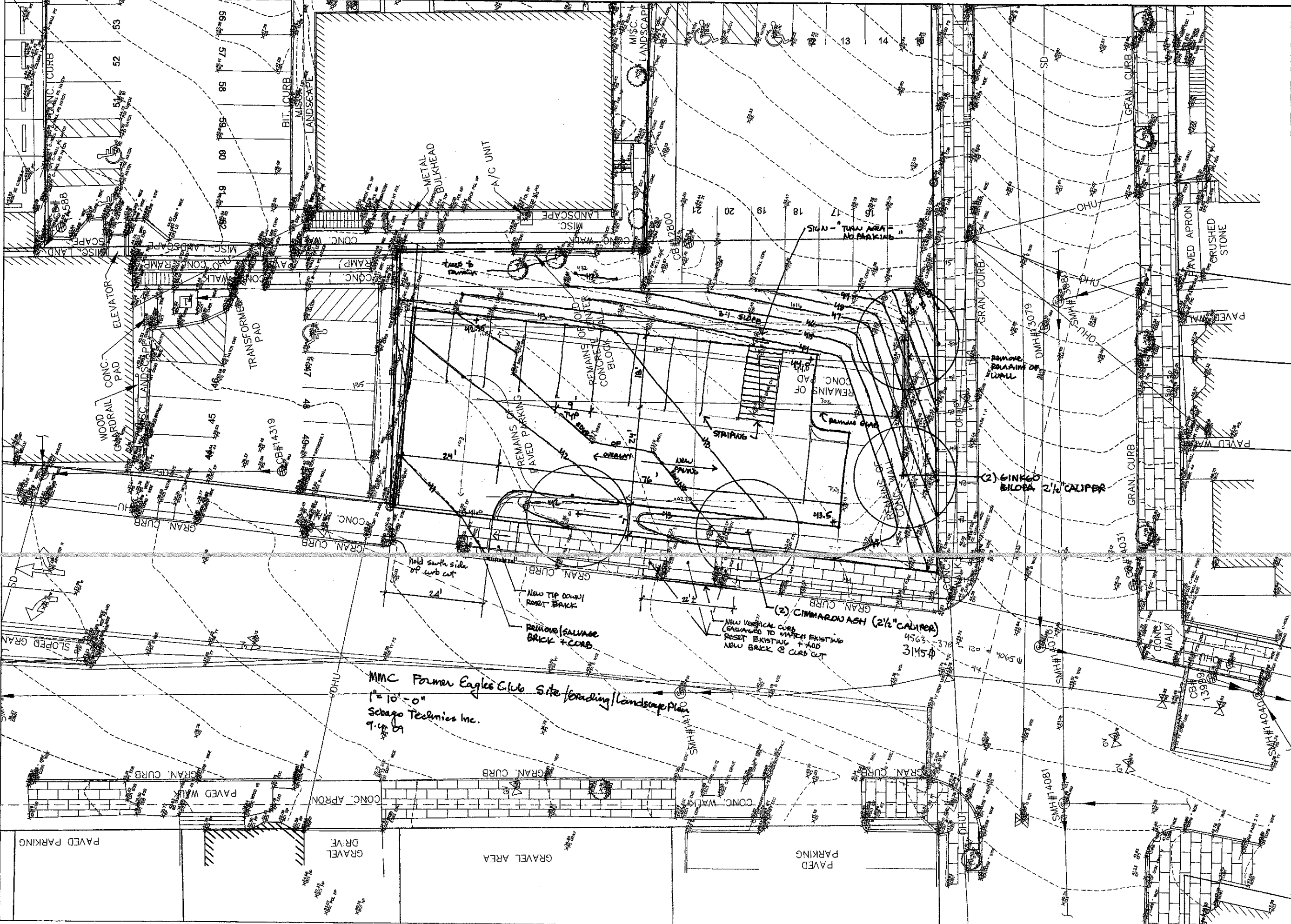
**CLIENT'S NAME**  
 CLIENTS STREET  
 CLIENTS CITY, STATE ZIP

**RECORD OWNER**  
 OWNERS STREET  
 OWNERS CITY, STATE ZIP

DATE	SCALE
DATE	SCALE

**SHEET # OF #**

01048-EC-2009.dwg, TAB: EC2



*MMC Former Eagles Club Site Grading/Landscape Plan  
1"=10'-0"  
Sebago Technics Inc.  
9.14.09*

**PROGRESS PRINT**

REV. #	BY	DATE	STATUS
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS. NO ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.			

**Sebago Technics**  
Engineering, Construction, & Construction Management  
200 Industrial  
L. Suite 10  
Waltham, MA 02451  
Tel: (781) 865-2277  
Fax: (781) 865-2278  
www.sebagotechnics.com

PROJECT NO.	FIELD BOOK	DES	DES	DES	CHKD	CHKD	DRAWN	DRAWN
01046-EC-2009	7919							

**WORKSHEET**  
OF SITE NAME  
SITE STREET  
SITE CITY, STATE  
FOR CLIENT'S NAME  
CLIENT'S STREET  
CLIENT'S CITY, STATE ZIP

DATE	SCALE
7-31-2009	1"=10'

**SHEET # OF #**

01046-EC-2009.dwg, TAB: EC-WTC-VALLEY

076102

*Set we had*

WARRANTY DEED

That, MMC Realty Corp., a non-profit corporation organized and existing under the laws of the State of Maine and having a mailing address of 22 Bramhall Street, Portland, Maine 04102-3175,

*TO MMC*

FOR CONSIDERATION PAID, GRANTS TO

Maine Medical Center, a non-profit corporation organized and existing under the laws of the State of Maine and having a mailing address of 22 Bramhall Street, Portland, Maine 04102-3175,

WITH WARRANTY COVENANTS, the land situated in Portland, Cumberland County, Maine, as more particularly described in Exhibit A, attached hereto and incorporated herein by reference.

IN WITNESS WHEREOF, MMC REALTY CORP. has caused this instrument to be sealed with its corporate seal and signed in its corporate name by John E. Heye, its Treasurer, thereunto duly authorized, this first day of the month of November, 1997.

*[Handwritten Signature]*  
\_\_\_\_\_  
WITNESS

MMC REALTY CORP.

*[Handwritten Signature]*  
\_\_\_\_\_  
JOHN E. HEYE, Treasurer

SEAL

STATE OF MAINE  
COUNTY OF CUMBERLAND, ss

NOVEMBER 1, 1997

Then personally appeared the above-named John E. Heye, Treasurer, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporation, before me

SEAL

*[Handwritten Signature]*  
\_\_\_\_\_  
NOTARY PUBLIC

MY COMMISSION EXPIRES: 10/10/02

Exhibit A  
to  
Warranty Deed from MMC Realty Corp. to Maine Medical Center

Certain lots or parcels of land in the City of Portland, County of Cumberland, State of Maine, with any buildings thereon, bounded and described as follows:

261 - 269 Valley Street

A certain lot or parcel of land with the buildings thereon, situated in Portland and described as follows:

Beginning at a point on the North side of A Street, Portland, Maine, said point being the intersection of said North side line of A Street with the East side line of B Street, the name of which was changed to Valley Street in 1939; thence Northerly and making an included angle of Eighty-two (82) degrees Fifty-nine (59) minutes with the East direction of said North side line of A Street a distance of Two hundred eighty-five (285) feet, more or less, to a point in the South side line of Congress Street, said point being thirty-five (35) feet East along said South side line of Congress Street from its intersection with the East side line of Valley Street as now laid out and accepted; thence East along said South line of Congress Street and making an included angle of Ninety-four (94) degrees 49', a distance of fifty-five (45) feet, more or less, to a point in the division line between the lot of land of the Grantor under description and land now or formerly of one Charles F. Jones; thence South along the said division line between land of the Grantor and land now or formerly of Charles F. Jones and land now or formerly of Charles C. Plummer, Ellsworth W. Stuart, Charles F. Jose, Maris M. and Charles F. Jose, Trustees, Maris M. and Charles F. Jose, Trustees, and Charles F. Jose a distance of 281.17 feet, more or less, to a point in the North side line of A Street; thence West and making an included angle of 89 degrees 57' and along the North side line of A Street a distance of Eighty (80) feet more or less to the point of beginning, containing 17,570 square feet, more or less.

65-H-9

Excepting therefrom a portion bounded and described as follows, to wit:

Beginning at a point on the East side line of said Valley Street One Hundred Fifty (150) feet South from the intersection of said East side line of Valley Street with the South side line of Congress Street, thence North by said East line of Valley Street One Hundred Fifty (150) feet to the South side line of Congress Street; thence East along said South side line of Congress Street making an included angle of 94 degrees 49', a distance of Forty-five (45) feet more or less, to a point in the division line between the lot of land under description and land now or formerly of one Charles F. Jones; thence South along the said division line between the land under description and the land of said Charles F. Jones and others One Hundred Fifty (150) feet, to a point; thence West 63.48 feet, to the point of beginning.

The above described property sometimes is referred to as The Eagles Club.

42 - 46 Gilman Street

A certain lot or parcel of land with the buildings thereon situated on the northwesterly corner of Gilman and A Streets in the City of Portland, County of Cumberland, State of Maine, and bounded and described as follows:

65-H-8



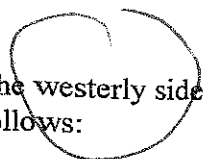
Beginning at the intersection of the westerly side of said Gilman Street with the northerly side of said A Street, and running thence northerly on said Gilman Street, sixty-nine and five one-hundredths (69.05) feet to land formerly of S.H. Jose; thence westerly by said S.H. Jose land, seventy and forty-two one-hundredths (70.42) feet to a stake; thence southerly and parallel with said Gilman Street seventy and forty-seven one-hundredths (70.47) feet to A Street; thence easterly by said A Street, seventy and forty-one one-hundredths (70.41) feet to the place of beginning.

65- H-8

The above described property sometimes is referred to as The Gilman Office Building Parking Lot.

268 - 270 Valley Street

A certain lot or parcel of land with the buildings thereon situated on the westerly side of Valley Street, formerly called B Street, in said Portland, bounded and described as follows:



other side?

Beginning at a point on said westerly side line of Valley Street at a point distance one hundred thirty six (136) feet northerly from the intersection of the westerly side of Valley Street and the northerly side of A Street; thence running southerly by said westerly side of Valley Street seventy-one (71) feet to a point; thence running westerly sixty (60) feet to land now or formerly of George W. Billings and Catherine A. Reed, at a point which is distant sixty-five (65) feet northerly from the northerly side line of A Street; thence running northerly by said Billings and Reed land sixty-four and seventy-six hundredths (64.76) feet to land formerly of William G. Davis and continuing northerly by said Davis land six and forty-three hundredths (6.43) feet; thence easterly approximately fifty-seven (57) feet to the point of beginning.

The above described property sometimes is referred to as a vacant lot.

Subject to the following:

1. Taking of Valley Street as referenced in the deed from the City of Portland to the Unity Company dated October 20, 1937 and recorded in Cumberland County Registry of Deeds in Book 1527, Page 318 (261-269 Valley Street).

To have and to hold the aforegranted and bargained premises, with all the privileges and appurtenances thereof, to the said MMC REALTY CORP., its successors and assigns, to them and their use and behoof forever.

Meaning and intending to convey and hereby conveying the same premises conveyed to MMC Realty Corp. by Casco Aerie, No. 565, Fraternal Order of Eagles, a/k/a Casco Aerie Fraternal Order of Eagles #565, a/k/a Fraternal Order of Eagles Casco Aerie No. 565 by deed dated November 21, 1990, and recorded in the Cumberland County Registry of Deeds in Book 9392, Page 344.

RECEIVED  
RECORDED REGISTRY OF DEEDS

1997 DEC 18 PM 3: 56

CUMBERLAND COUNTY

John B. O'Brien

*Eagle Lot*

056000

MAINE REAL ESTATE TAX PAID

KNOW ALL MEN BY THESE PRESENTS, That CASCO AERIE, NO. 565, FRATERNAL ORDER OF EAGLES, a/k/a CASCO AERIE FRATERNAL ORDER OF EAGLES #565, a/k/a FRATERNAL ORDER OF EAGLES CASCO AERIE NO. 565, a Maine corporation with a mailing address of 265 Valley Street, Portland, Maine 04112, and having a place of business at Portland, in the County of Cumberland and State of Maine, in consideration of \$1.00 and other valuable consideration paid by MMC REALTY CORP., a Maine corporation, whose mailing address is 22 Bramhall Street, Portland, Maine 04102, the receipt whereof it does hereby acknowledge, does hereby give, grant, bargain, sell and convey unto the said MMC REALTY CORP., its successors and assigns forever, certain lots or parcels of land in the City of Portland, County of Cumberland, State of Maine, with any buildings thereon, bounded and described as follows:

261-269 Valley Street

A certain lot or parcel of land with the buildings thereon, situated in Portland and described as follows:

Beginning at a point on the North side of A Street, Portland, Maine, said point being the intersection of said North side line of A Street with the East side line of B Street, the name of which was changed to Valley Street in 1939; thence Northerly and making an included angle of Eighty-two (82) degrees Fifty-nine (59) minutes with the East direction of said North side line of A Street a distance of Two hundred eighty-five (285) feet, more or less, to a point in the South side line of Congress Street, said point being thirty-five (35) feet East along said South side line of Congress Street from its intersection with the East side line of Valley Street as now laid out and accepted; thence East along said South line of Congress Street and making an included angle of Ninety-four (94) degrees 49', a distance of forty-five (45) feet, more or less, to a point in the division line between the lot of land of the Grantor under description and land now or formerly of one Charles F. Jones; thence South along the said division line between land of the Grantor and land now or formerly of Charles F. Jones and land now or formerly of Charles C. Plummer, Ellsworth W. Stuart, Charles F. Jose, Maris M. and Charles F. Jose, Trustees, and Charles F. Jose a distance of 281.17 feet, more or less, to a point in the North side line of A Street; thence West and making an included angle of 89 degrees 57' and along the North side line of A Street a distance of Eighty (80) feet more or less to the point of beginning, containing 17,570 square feet, more or less.

Excepting therefrom a portion bounded and described as follows, to wit:

Beginning at a point on the East side line of said Valley Street One Hundred Fifty (150) feet South from the intersection of said East side line of Valley Street with the South side line of Congress Street, thence North by said East line of Valley Street One Hundred Fifty (150) feet to the South side line of Congress Street; thence East along said South side line of Congress Street making an included angle of 94 degrees 49', a distance of Forty-five (45) feet more or less, to a point in the division line between the lot of land under description and land now or formerly of one Charles F. Jones; thence South along the said division line between the land under description and the land of said Charles F. Jones and others One Hundred Fifty (150) feet, to a point; thence West 63.48 feet, to the point of beginning.

42 - 46 Gilman Street

A certain lot or parcel of land with the buildings thereon situated on the northwesterly corner of Gilman and A Streets in the City of Portland, County of Cumberland, State of Maine, and bounded and described as follows:

Beginning at the intersection of the westerly side of said Gilman Street with the northerly side of said A Street, and running thence northerly on said Gilman Street, sixty-nine and five one-hundredths (69.05) feet to land formerly of S.H. Jose; thence westerly by said S. H. Jose land, seventy and forty-two one-hundredths (70.42) feet to a stake; thence southerly and parallel with said Gilman Street seventy and forty-seven one-hundredths (70.47) feet to A Street; thence easterly by said A Street, seventy and forty-one one-hundredths (70.41) feet to the place of beginning.

268 - 270 Valley Street

A certain lot or parcel of land with the buildings thereon situated on the westerly side of Valley Street, formerly called B Street, in said Portland, bounded and described as follows:

Beginning at a point on said westerly side line of Valley Street at a point distance one hundred thirty six (136) feet northerly from the intersection of the westerly side of Valley Street and the northerly side of A Street; thence running southerly by said westerly side of Valley Street seventy-one (71) feet to a point; thence running westerly sixty (60) feet to land now or formerly of George W. Billings and Catherine A. Reed, at a point which is distant sixty-five (65) feet northerly from the northerly side line of A Street; thence running northerly by said Billings and Reed land sixty-four and seventy-six hundredths (64.76) feet to land formerly of William G. Davis and continuing northerly by said Davis land six and forty-three hundredths (6.43) feet; thence easterly approximately fifty-seven (57) feet to the point of beginning.

Being the same premises conveyed to the within grantors by the following deeds: Deed from Mid-Central Fish Company of Maine dated January 15, 1963 and recorded in Cumberland County Registry of Deeds in Book 2727, Page 347; Deed from Sebastiano Pennisi, et al dated June 25, 1963 and recorded in Cumberland County Registry of Deeds in Book 2759, Page 254; and Deed from Eugene S. Martin dated March 28, 1980 and recorded in Cumberland County Registry of Deeds in Book 4582, Page 291.

Subject to the following:

1. Taking of Valley Street as referenced in the deed from the City of Portland to the Unity Company dated October 20, 1937, and recorded in Cumberland County Registry of Deeds in Book 1527, Page 318 (261-269 Valley Street).

To have and to hold the aforegranted and bargained premises, with all the privileges and appurtenances thereof, to the said MMC REALTY CORP., its successors and assigns, to them and their use and behoof forever.

AND the said Grantor Corporation does hereby covenant with the said Grantee, its successors and assigns, that it is lawfully seized in fee of the premises, that they are free of all encumbrances except as aforesaid, that it has good right to sell and convey the same to the said Grantee to hold as aforesaid; and that it and its successors, shall and will warrant and defend the same to the said Grantee, its successors and assigns forever, against the lawful claims and demands of all persons.

IN WITNESS WHEREOF, the said CASCO AERIE, NO. 565, FRATERNAL ORDER OF EAGLES has caused this instrument to be sealed with its corporate seal and signed in its corporate name by Robert James, Richard Bricchetto, Hilbert Welch, Reginald Conohan and Fred Darling,

its Trustees thereunto duly authorized, this 21ST day of November, A.D. 1990.

CASCO AERIE, NO. 565,  
FRATERNAL ORDER OF EAGLES

Paul J. Amiswell  
Witness

By: Robert J. James  
Robert James  
Its Trustee

Paul J. Amiswell  
Witness

By: Richard Brichetto  
Richard Brichetto  
Its Trustee

Beverly A. Mc Lellan  
Witness

By: Hilbert Welch  
Hilbert Welch  
Its Trustee

Paul J. Amiswell  
Witness

By: Reginald Conohan  
Reginald Conohan  
Its Trustee

James W. Ashey  
Witness

By: Fred Darling  
Fred Darling  
Its Trustee

STATE OF MAINE  
COUNTY OF CUMBERLAND

November 21, 1990

Then personally appeared the above named Robert James, Richard Brichetto, ~~Hilbert Welch~~, Reginald Conohan and ~~Fred Darling~~, Trustees of said Grantor Corporation as aforesaid, and acknowledged the foregoing instrument to be their free act and deed in their said capacity, and the free act and deed of said Corporation.

Before me,

Shirley L. Lynde  
Attorney at Law  
NOTARY PUBLIC  
SHIRLEY LYNDE  
NOTARY PUBLIC, MAINE  
MY COMMISSION EXPIRES NOVEMBER 10, 1998

RECEIVED  
CLERK OF COURTS  
COUNTY OF CUMBERLAND

30 NOV 21 PM 3:54

CUMBERLAND COUNTY

Robert J. James

Printed Name

SEAL

September 30, 2009

To: Barbara Barhydt  
Jean Fraser  
From: David Margolis-Pineo and  
Public Services Staff  
Re: MMC Parking Area  
261-269 Valley Street

1. Bicycle parking should be added.
  2. The applicant is requested to rebuild both sides of the proposed driveway cut to include granite tipdowns on both sides of the cut.
  3. The applicant is asked to try to match any new additional bricks to the bricks that currently exist. Reuse existing unbroken bricks when possible. The City may be a source to help match bricks.
  4. The applicant is proposing a 3:1 grass slope to meet the parking area. Care shall be taken to protect erosion during and after construction. A mat material may be appropriate for erosion stabilization.
-

076103

*from Hank  
9-30-09  
new*

WARRANTY DEED

That, MMC Realty Corp., a non-profit corporation organized and existing under the laws of the State of Maine and having a mailing address of 22 Bramhall Street, Portland, Maine 04102-3175,

FOR CONSIDERATION PAID, GRANTS TO

Maine Medical Center, a non-profit corporation organized and existing under the laws of the State of Maine and having a mailing address of 22 Bramhall Street, Portland, Maine 04102-3175,

WITH WARRANTY COVENANTS, the land situated in Portland, Cumberland County, Maine, as more particularly described in Exhibit A, attached hereto and incorporated herein by reference.

IN WITNESS WHEREOF, MMC REALTY CORP. has caused this instrument to be sealed with its corporate seal and signed in its corporate name by John E. Heye, its Treasurer, thereunto duly authorized, this first day of the month of November, 1997.

*Michael Christ*  
WITNESS

MMC REALTY CORP.

*John E. Heye*  
JOHN E. HEYE, Treasurer

*Str.*

STATE OF MAINE  
COUNTY OF CUMBERLAND, ss

NOVEMBER 1, 1997

Then personally appeared the above-named John E. Heye, Treasurer, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporation, before me

*Debra L.S. Winkler*

NOTARY PUBLIC

MY COMMISSION EXPIRES: 10/16/02

SEAL

Exhibit A  
to  
Warranty Deed from MMC Realty Corp. to Maine Medical Center

PARCEL ONE

A certain lot or parcel of land with the buildings thereon known as 52 Gilman Street, in Portland, County of Cumberland and State of Maine bounded and described as follows:

Beginning at a point on said street distant one hundred six and fifty-five one hundredths (106.55) feet northerly from the intersection of the westerly side of Gilman Street with the northerly side of A Street, and running thence northerly on said Gilman Street, thirty-seven and one half (37-1/2) feet to a point; thence westerly with an included angle of 91° 11' seventy and forty-two one hundredths (70.42) feet to a point; thence southerly and parallel to said Gilman Street, thirty-seven and one half (37-1/2) feet to land formerly of S.H. Jose, now of Gilman Street Land Company; thence easterly with an included angle of 91° 11' seventy and forty-two one hundredths (70.42) feet to the point of beginning.

PARCEL TWO

A certain lot or parcel of land with the buildings thereon, situated in said Portland, bounded and described as follows:

Beginning at a point in the Westerly side line of Gilman Street distant sixty-six (66) feet and one (1) inch South from the Southerly side line of Congress Street; thence running South by the side line of Gilman Street twenty-four (24) feet and eight (8) inches, more or less, to the Northerly line of land formerly of Winfield L. Smith, now of Gilman Street Land Company; thence by said line formerly of Smith and through the center of the partition wall between the house on said former Smith lot and the house on the lot herein described and by said line extended seventy and forty-two hundredths (70.42) feet and to land formerly of the City of Portland; thence North by said City of Portland land twenty-three (23) feet and eight (8) inches, more or less, to land conveyed by William B. Jordan to Willis B. Moulton et als, by deed dated May 14, 1897, and recorded in Cumberland County Registry of Deeds, Book 648, Page 450; thence in an easterly direction by said Moulton land seventy (70) feet and eight (8) inches to said Gilman Street and the point of beginning.

PARCEL THREE

A certain lot or parcel of land with the buildings thereon, situated on the westerly side of Gilman Street in said Portland and bounded as follows:

Beginning at a point on said westerly side of Gilman Street sixty-nine and five hundredths (69.05) feet northerly from the northwesterly corner of Gilman and A Streets, and running thence northerly on Gilman Street thirty-seven and one-half (37-1/2) feet; thence westerly with an included angle of ninety-one degrees eleven minutes (91° 11') seventy and forty-two hundredths (70.42) feet to a stake; thence southerly with an included angle of eighty degrees forty-nine minutes (80° 49') thirty-seven

and one half (37-1/2) feet; thence easterly with an included angle of ninety-one degrees eleven minutes (91° 11') seventy and forty-two hundredths (70.42) feet to the starting point. Being the southerly half of the lot conveyed to Samuel H. Jose by Charles F. Jose by deed dated December 6, 1886, and recorded in Cumberland County Registry of Deeds in Book 530, Page 255, to which reference is made. The premises herein conveyed are designated as No. 50 on said Gilman Street.

PARCEL FOUR

A certain lot or parcel of land with the buildings thereon situated on the westerly side of Gilman Street in Portland, County of Cumberland and State of Maine, the house being the southerly house in a block of two houses built on this and the adjoining lot, bounded and described as follows:

Beginning on the westerly sideline of Gilman Street ninety and seventy-eight hundredths (90.78) feet from the southerly line of Congress Street; thence southerly on line of Gilman Street fifty (50) feet to land formerly of Charles F. Jose, now of Gilman Street Land Company; thence westerly by said land formerly of Jose, seventy and forty-two hundredths (70.42) feet to land formerly of City of Portland; thence northerly by said City of Portland land fifty (50) feet; thence easterly seventy and forty-two hundredths (70.42) feet passing through the center of the division wall between said two houses to the point of beginning; containing 2520 square feet.

Subject to partition wall rights and obligations as set forth in deed from Virginia R. Buckley to Helen M. Sawyer dated May 4, 1948 and recorded in Cumberland County Registry of Deeds in Book 1912, Page 424 and in deed from Judith P. Johnson to Edgar J. Murphy and Louise M. Murphy dated August 31, 1948 and recorded in Cumberland County Registry of Deeds in Book 1926, Page 311.

The above described property (Parcels 1-4, collectively) sometimes is referred to as The Gilman Medical Office Building.

Meaning and intending to convey and hereby conveying the same premises conveyed to MMC Realty Corp., by Gilman Street Land Company and Gilman Street Associates by deed dated August 4, 1989, and recorded in the Cumberland County Registry of Deeds in Book 8855, Page 81.

RECEIVED  
RECORDED REGISTRY OF DEEDS  
1997 DEC 18 PM 3: 57  
CUMBERLAND COUNTY  
*John B. O'Brien*



076102

*from Hank  
9-30-09*

*we have  
already*

WARRANTY DEED

That, MMC Realty Corp., a non-profit corporation organized and existing under the laws of the State of Maine and having a mailing address of 22 Bramhall Street, Portland, Maine 04102-3175,

FOR CONSIDERATION PAID, GRANTS TO

Maine Medical Center, a non-profit corporation organized and existing under the laws of the State of Maine and having a mailing address of 22 Bramhall Street, Portland, Maine 04102-3175,

WITH WARRANTY COVENANTS, the land situated in Portland, Cumberland County, Maine, as more particularly described in Exhibit A, attached hereto and incorporated herein by reference.

IN WITNESS WHEREOF, MMC REALTY CORP. has caused this instrument to be sealed with its corporate seal and signed in its corporate name by John E. Heye, its Treasurer, thereunto duly authorized, this first day of the month of November, 1997.

*[Handwritten Signature]*  
\_\_\_\_\_  
WITNESS

MMC REALTY CORP.

*[Handwritten Signature]*  
\_\_\_\_\_  
JOHN E. HEYE, Treasurer

SEAL

STATE OF MAINE  
COUNTY OF CUMBERLAND, ss

NOVEMBER 1, 1997

Then personally appeared the above-named John E. Heye, Treasurer, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporation, before me

*[Handwritten Signature]*  
\_\_\_\_\_  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: 10/10/02

SEAL

Exhibit A  
to  
Warranty Deed from MMC Realty Corp. to Maine Medical Center

Certain lots or parcels of land in the City of Portland, County of Cumberland, State of Maine, with any buildings thereon, bounded and described as follows:

261 - 269 Valley Street

A certain lot or parcel of land with the buildings thereon, situated in Portland and described as follows:

Beginning at a point on the North side of A Street, Portland, Maine, said point being the intersection of said North side line of A Street with the East side line of B Street, the name of which was changed to Valley Street in 1939; thence Northerly and making an included angle of Eighty-two (82) degrees Fifty-nine (59) minutes with the East direction of said North side line of A Street a distance of Two hundred eighty-five (285) feet, more or less, to a point in the South side line of Congress Street, said point being thirty-five (35) feet East along said South side line of Congress Street from its intersection with the East side line of Valley Street as now laid out and accepted; thence East along said South line of Congress Street and making an included angle of Ninety-four (94) degrees 49', a distance of fifty-five (45) feet, more or less, to a point in the division line between the lot of land of the Grantor under description and land now or formerly of one Charles F. Jones; thence South along the said division line between land of the Grantor and land now or formerly of Charles F. Jones and land now or formerly of Charles C. Plummer, Ellsworth W. Stuart, Charles F. Jose, Maris M. and Charles F. Jose, Trustees, Maris M. and Charles F. Jose, Trustees, and Charles F. Jose a distance of 281.17 feet, more or less, to a point in the North side line of A Street; thence West and making an included angle of 89 degrees 57' and along the North side line of A Street a distance of Eighty (80) feet more or less to the point of beginning, containing 17,570 square feet, more or less.

Excepting therefrom a portion bounded and described as follows, to wit:

Beginning at a point on the East side line of said Valley Street One Hundred Fifty (150) feet South from the intersection of said East side line of Valley Street with the South side line of Congress Street, thence North by said East line of Valley Street One Hundred Fifty (150) feet to the South side line of Congress Street; thence East along said South side line of Congress Street making an included angle of 94 degrees 49', a distance of Forty-five (45) feet more or less, to a point in the division line between the lot of land under description and land now or formerly of one Charles F. Jones; thence South along the said division line between the land under description and the land of said Charles F. Jones and others One Hundred Fifty (150) feet, to a point; thence West 63.48 feet, to the point of beginning.

The above described property sometimes is referred to as The Eagles Club.

42 - 46 Gilman Street

A certain lot or parcel of land with the buildings thereon situated on the northwesterly corner of Gilman and A Streets in the City of Portland, County of Cumberland, State of Maine, and bounded and described as follows:

Beginning at the intersection of the westerly side of said Gilman Street with the northerly side of said A Street, and running thence northerly on said Gilman Street, sixty-nine and five one-hundredths (69.05) feet to land formerly of S.H. Jose; thence westerly by said S.H. Jose land, seventy and forty-two one-hundredths (70.42) feet to a stake; thence southerly and parallel with said Gilman Street seventy and forty-seven one-hundredths (70.47) feet to A Street; thence easterly by said A Street, seventy and forty-one one-hundredths (70.41) feet to the place of beginning.

The above described property sometimes is referred to as The Gilman Office Building Parking Lot.

268 - 270 Valley Street

A certain lot or parcel of land with the buildings thereon situated on the westerly side of Valley Street, formerly called B Street, in said Portland, bounded and described as follows:

Beginning at a point on said westerly side line of Valley Street at a point distance one hundred thirty six (136) feet northerly from the intersection of the westerly side of Valley Street and the northerly side of A Street; thence running southerly by said westerly side of Valley Street seventy-one (71) feet to a point; thence running westerly sixty (60) feet to land now or formerly of George W. Billings and Catherine A. Reed, at a point which is distant sixty-five (65) feet northerly from the northerly side line of A Street; thence running northerly by said Billings and Reed land sixty-four and seventy-six hundredths (64.76) feet to land formerly of William G. Davis and continuing northerly by said Davis land six and forty-three hundredths (6.43) feet; thence easterly approximately fifty-seven (57) feet to the point of beginning.

The above described property sometimes is referred to as a vacant lot.

Subject to the following:

1. Taking of Valley Street as referenced in the deed from the City of Portland to the Unity Company dated October 20, 1957 and recorded in Cumberland County Registry of Deeds in Book 1527, Page 318 (261-269 Valley Street).

To have and to hold the aforegranted and bargained premises, with all the privileges and appurtenances thereof, to the said MMC REALTY CORP., its successors and assigns, to them and their use and behoof forever.

Meaning and intending to convey and hereby conveying the same premises conveyed to MMC Realty Corp. by Casco Aerie, No. 565, Fraternal Order of Eagles, a/k/a Casco Aerie Fraternal Order of Eagles #565, a/k/a Fraternal Order of Eagles Casco Aerie No. 565 by deed dated November 21, 1990, and recorded in the Cumberland County Registry of Deeds in Book 9392, Page 344.

RECEIVED  
RECORDED REGISTRY OF DEEDS

1997 DEC 18 PM 3: 56

CUMBERLAND COUNTY

John B. O'Brien

*Eagles Lot*

*from Hank  
9-30-09*

056000

MAINE REAL ESTATE TAX PAID

KNOW ALL MEN BY THESE PRESENTS, That CASCO AERIE, NO. 565, FRATERNAL ORDER OF EAGLES, a/k/a CASCO AERIE FRATERNAL ORDER OF EAGLES #565, a/k/a FRATERNAL ORDER OF EAGLES CASCO AERIE NO. 565, a Maine corporation with a mailing address of 265 Valley Street, Portland, Maine 04112, and having a place of business at Portland, in the County of Cumberland and State of Maine, in consideration of \$1.00 and other valuable consideration paid by MMC REALTY CORP., a Maine corporation, whose mailing address is 22 Bramhall Street, Portland, Maine 04102, the receipt whereof it does hereby acknowledge, does hereby give, grant, bargain, sell and convey unto the said MMC REALTY CORP., its successors and assigns forever, certain lots or parcels of land in the City of Portland, County of Cumberland, State of Maine, with any buildings thereon, bounded and described as follows:

*(we have already)*

261-269 Valley Street

A certain lot or parcel of land with the buildings thereon, situated in Portland and described as follows:

Beginning at a point on the North side of A Street, Portland, Maine, said point being the intersection of said North side line of A Street with the East side line of B Street, the name of which was changed to Valley Street in 1939; thence Northerly and making an included angle of Eighty-two (82) degrees Fifty-nine (59) minutes with the East direction of said North side line of A Street a distance of Two hundred eighty-five (285) feet, more or less, to a point in the South side line of Congress Street, said point being thirty-five (35) feet East along said South side line of Congress Street from its intersection with the East side line of Valley Street as now laid out and accepted; thence East along said South line of Congress Street and making an included angle of Ninety-four (94) degrees 49', a distance of forty-five (45) feet, more or less, to a point in the division line between the lot of land of the Grantor under description and land now or formerly of one Charles F. Jones; thence South along the said division line between land of the Grantor and land now or formerly of Charles F. Jones and land now or formerly of Charles C. Plummer, Ellsworth W. Stuart, Charles F. Jose, Maris M. and Charles F. Jose, Trustees, and Charles F. Jose a distance of 281.17 feet, more or less, to a point in the North side line of A Street, thence West and making an included angle of 89 degrees 57' and along the North side line of A Street a distance of Eighty (80) feet more or less to the point of beginning, containing 17,570 square feet, more or less.

Excepting therefrom a portion bounded and described as follows, to wit:

Beginning at a point on the East side line of said Valley Street One Hundred Fifty (150) feet South from the intersection of said East side line of Valley Street with the South side line of Congress Street, thence North by said East line of Valley Street One Hundred Fifty (150) feet to the South side line of Congress Street; thence East along said South side line of Congress Street making an included angle of 94 degrees 49', a distance of Forty-five (45) feet more or less, to a point in the division line between the lot of land under description and land now or formerly of one Charles F. Jones; thence South along the said division line between the land under description and the land of said Charles F. Jones and others One Hundred Fifty (150) feet, to a point; thence West 63.48 feet, to the point of beginning.

42 - 46 Gilman Street

A certain lot or parcel of land with the buildings thereon situated on the northwesterly corner of Gilman and A Streets in the City of Portland, County of Cumberland, State of Maine, and bounded and described as follows:

Beginning at the intersection of the westerly side of said Gilman Street with the northerly side of said A Street, and running thence northerly on said Gilman Street, sixty-nine and five one-hundredths (69.05) feet to land formerly of S.H. Jose; thence westerly by said S. H. Jose land, seventy and forty-two one-hundredths (70.42) feet to a stake; thence southerly and parallel with said Gilman Street seventy and forty-seven one-hundredths (70.47) feet to A Street; thence easterly by said A Street, seventy and forty-one one-hundredths (70.41) feet to the place of beginning.

268 - 270 Valley Street

A certain lot or parcel of land with the buildings thereon situated on the westerly side of Valley Street, formerly called B Street, in said Portland, bounded and described as follows:

Beginning at a point on said westerly side line of Valley Street at a point distance one hundred thirty six (136) feet northerly from the intersection of the westerly side of Valley Street and the northerly side of A Street; thence running southerly by said westerly side of Valley Street seventy-one (71) feet to a point; thence running westerly sixty (60) feet to land now or formerly of George W. Billings and Catherine A. Reed, at a point which is distant sixty-five (65) feet northerly from the northerly side line of A Street; thence running northerly by said Billings and Reed land sixty-four and seventy-six hundredths (64.76) feet to land formerly of William G. Davis and continuing northerly by said Davis land six and forty-three hundredths (6.43) feet; thence easterly approximately fifty-seven (57) feet to the point of beginning.

Being the same premises conveyed to the within grantors by the following deeds: Deed from Mid-Central Fish Company of Maine dated January 15, 1963 and recorded in Cumberland County Registry of Deeds in Book 2727, Page 347; Deed from Sebastiano Pennisi, et al dated June 25, 1963 and recorded in Cumberland County Registry of Deeds in Book 2759, Page 254; and Deed from Eugene S. Martin dated March 28, 1980 and recorded in Cumberland County Registry of Deeds in Book 4582, Page 291.

~~Subject to the following:~~

1. Taking of Valley Street as referenced in the deed from the City of Portland to the Unity Company dated October 20, 1937 and recorded in Cumberland County Registry of Deeds in Book 1527, Page 318 (261-269 Valley Street).

To have and to hold the aforegranted and bargained premises, with all the privileges and appurtenances thereof, to the said MMC REALTY CORP., its successors and assigns, to them and their use and behoof forever.

AND the said Grantor Corporation does hereby covenant with the said Grantee, its successors and assigns, that it is lawfully seized in fee of the premises, that they are free of all encumbrances except as aforesaid, that it has good right to sell and convey the same to the said Grantee to hold as aforesaid; and that it and its successors, shall and will warrant and defend the same to the said Grantee, its successors and assigns forever, against the lawful claims and demands of all persons.

IN WITNESS WHEREOF, the said CASCO AERIE, NO. 565, FRATERNAL ORDER OF EAGLES has caused this instrument to be sealed with its corporate seal and signed in its corporate name by Robert James, Richard Brichetto, Hilbert Welch, Reginald Conohan and Fred Darling,

its Trustees thereunto duly authorized, this 21ST day of November, A.D. 1990.

CASCO AERIE, NO. 565,  
FRATERNAL ORDER OF EAGLES

Paul J. Anniswell  
Witness

By: Robert James  
Robert James  
Its Trustee

Paul J. Anniswell  
Witness

By: Richard Brichetto  
Richard Brichetto  
Its Trustee

Beverly A. Mc Lellan  
Witness

By: Hilbert Welch  
Hilbert Welch  
Its Trustee

Paul J. Anniswell  
Witness

By: Reginald Conohan  
Reginald Conohan  
Its Trustee

James W. Ashby  
Witness

By: Fred Darling  
Fred Darling  
Its Trustee

STATE OF MAINE  
COUNTY OF CUMBERLAND

November 21, 1990

Then personally appeared the above named Robert James, Richard Brichetto, ~~Hilbert Welch~~, Reginald Conohan and ~~Fred Darling~~, Trustees of said Grantor Corporation as aforesaid, and acknowledged the foregoing instrument to be their free act and deed in their said capacity, and the free act and deed of said Corporation

Before me,

Shirley Lynn Fontaine  
Attorney at Law  
Notary Public  
SHIRLEY LYNN FONTAINE  
NOTARY PUBLIC, MAINE  
MY COMMISSION EXPIRES NOVEMBER 16, 1994

RECEIVED  
SECRETARY OF DEEDS  
30 NOV 21 PM 3:54  
CUMBERLAND COUNTY

Printed Name

SEAL

# REVIEW

Public comments

called 9-25-09  
Moses Sebena  
John/Valley St  
re 261 Valley St.  
meet 1 pm wed  
he indicated:

Penny said in  
email to MMC + N' hood Ass  
letter site was

non-contiguous  
+ couldn't be used

pos. CRZ re this lot

↳ pos. of n'd. on  
lot → no longer const site  
(eyesore) over last yr  
used for steel MMC said  
loom used in Sept

meeting  
hum wed 1 pm

Mon 9/28

12:40 Sat  
Bob Jordan <sup>Sumit  
across  
St.</sup>

own 274 Valley St.  
under mp. site  
Eagles Club  
↳ was going to be turned  
into a <sup>small</sup> park

send up plans  
Robert Jordan  
1050 Island Ave  
LI Maine  
orig island 04050

sent applic/plans 9/29/09

Mon 9/28

2 pm Sat  
Sarah Merton  
own + occupy  
251 Valley Street  
concerns  
huge problem with it  
wants time frame

450 3290  
called Sat 9-26.

virology  
and  
phys necessary

10/4

Bob Jordan  
re Valley St  
Pkg. area

pl. to see  
mess/grass

thanks  
won't be at  
Hearings

"OK with it"

Appeal to P15 14-527(a)





# PORTLAND MAINE

Planning Division  
Jean Fraser, Planner

9.29.09

TO: Mr. Bob Jordan  
FROM: Jean Fraser

Re: 261 - 269 Valley Street  
MME Proposal for  
10 space parking area

Please find attached the  
submissions we have on file - as  
you requested.

This is a minor site plan so  
would not go to Planning Board  
unless any administrative approval  
is appealed (see City Ord 14-527(a)).

I am currently awaiting staff  
review comments and no final  
decision will be taken until Oct 7<sup>th</sup>  
at the earliest.

Please call if any questions;  
comments can be sent by e-mail if you  
wish.

389 Congress Street, 4th floor • Portland, ME • (207) 874-8728 • Fx 756-8258

Email: [jf@portlandmaine.gov](mailto:jf@portlandmaine.gov)

Jean

get Site Plan Stds

Tim Mc Namara  
Moses Sabina.  
Jean Fraser

9.30.09  
1pm.

Qu to applicant

1. need
2. how get from bldg + parking
3. timetable.

Qu. to Alex - Marge

- ① where shown B2.
- ② ck boundaries B2.
- ③ ck R6 - allowing pkg.

Bldg.

high mineral - dump for 2 yrs.  
not been maintained

wanted seeding + loaming

last used "shake out steel" (nowhere else could be done)

Hank Dunn / Mike Ryan met. said found somewhere else.  
trailers out in April

JF advised / clarified (gave them: copy of app.  
" " " SP Stds)

- ① Give me contact so can advise them when further info (re "accessory" + "need" submitted)  
They will comment once proposals are clear - JF advised them the Site Plan Stds are key focus for minor site plan review.
- ② clarified timetables + appeal process.

**From:** stjohnvalleyneighborhood <stjohnvalley@live.com>  
**To:** <jf@portlandmaine.gov>  
**Date:** 10/1/2009 11:44:55 AM  
**Subject:** 261 Valley Street

Hi Jean,

Thanks again for your time on Wednesday afternoon.

Now that Moses and I have a better understanding of the minor site plan review process, we can plan our response appropriately.

If you could keep us apprised of the action of your department relative to the review we would be grateful.

Regards,

Tim McNamara

207-408-9523

---

Microsoft brings you a new way to search the web. Try Bing™ now  
[http://www.bing.com?form=MFEHPG&publ=WLHMTAG&crea=TEXT\\_MFEHPG\\_Core\\_tagline\\_try\\_bing\\_1x1](http://www.bing.com?form=MFEHPG&publ=WLHMTAG&crea=TEXT_MFEHPG_Core_tagline_try_bing_1x1)

**CC:** moses <mosessabina@yahoo.com>, <stjohnvalley@live.com>

**From:** Jean Fraser  
**To:** stjohnvalleyneighborhood  
**Date:** 10/8/2009 5:22:41 PM  
**Subject:** Review status re MMC Parking Area - 261 Valley Street

Tim,

712-4768 Moses - he called 10-8-09.

Moses left a voice mail and I left him one saying I would forward the main review comments (so far) that I have sent to Hank Dunn. We are also asking for a few more pieces of info re the impervious surface % as that needs to meet the zoning requirement.

Marge Schmuckal confirmed re the underlying zoning boundaries and has a paper copy; and I am going to see if she has it electronically so I can send. The site is B2 and it is accessory to a use in R6 (the building it backs on to) but I understand that is in conformance with zoning.

You will see that I have raised the question of a fence along A Street and Hank has indicated that he thought a fence would not be good for neighbors and also it would undermine security of the site. It would be useful to have your thoughts on this.

Re the timescale: We would like to make a final decision within the next couple of days if all issues (related to the Site Plan Review) have been clarified/addressed.

Staff review comments to date are:

(addressed to Hank Dunn, MMC)

1. I think we are OK re the deeds and the survey but could you send me an e-mail confirming that the Property Owner for the subject site is Maine Medical Center (as on the application you have stated it is MMC Realty Corp.);
2. Zoning: I understand this is OK but am awaiting final written comments.
3. Traffic Engineering: Please see the attached comments- **please note that the Reviewer is indicating that you don't need the striped turning area and could have one more parking space- if you want to convert that to a parking space please submit a revised site plan asap.**
4. Public Services comments: These are attached; the site plan needs to add at least 2 bicycle parking spaces (see Tech Std on this, attached) and be revised (add notes) to address the DPS comments.
5. Landscape: The Ordinance standard is: *Landscaping and buffers. Standard: In the B-1, B-1b, B-2 and B-2b zones buildings and associated parking areas must be screened to buffer abutting properties. A densely planted landscape buffer and/or fencing will be required to protect neighboring properties from the impacts associated with the development, including lighting, parking, traffic, noise, odor, smoke, or other incompatible uses...*

This site is unusual in that it is sunken as compared with the nearby houses; our City Arborist is the usual reviewer of landscape and planting and he (Jeff Tarling) is preparing formal comments on this (I am pressing him).

Fencing: As evident in the attached photos the upper level existing parking area has fencing along the change of level between it and the site. At the corner where the change of level is greatest (near the existing fence) your proposals show a very steep slope (with no fencing) immediately adjacent to the sidewalk. I suggest that some fencing along the top of this area (along the back of the sidewalk and integrated with the existing fence on the adjacent site) is necessary for safety reasons, though probably for only part of the A Street frontage. We can discuss further; others may have a suggestion on how to best address this high level corner of the site.

The submission does not include a note setting out the calculation that compares the footprint of the former Eagles Building with the area of the proposed landscaping; could you please set out the calculations in an e-mail.

**Attached: Dept of Public Services Comments; Tech Stds for Bicycle Parking and 2 photos re the corner of the site at highest grade near A Street**

**CC:** moses <mosessabina@yahoo.com>

October 9<sup>th</sup>, 2009

Jean Fraser and Planning Staff,

On the evening of October 7<sup>th</sup>, 2009 the St John Valley Neighborhood Association met and discussed the minor site plan application submitted by Maine Medical Center to use 261 Valley Street as a parking lot. After careful consideration, the attending membership, which included homeowners and residents of Gilman, A, and Valley Streets who would be directly impacted by the approval of the parking lot, unanimously voted to formally oppose the application. This letter is meant to express that intent and provide supporting reasons based on site plan review standards, and requirements of the CRA.

We contend that there currently exists an excess of parking available for 52 Gilman, the property to which the site plan would be an "accessory". Residents of Gilman and A Street observe that only a small fraction of the parking lot at the corner of Gilman and A Streets, adjacent to 52 Gilman, is utilized on a daily basis. We ask for planning staff to conduct a study to validate the need for accessory parking for 52 Gilman. We believe that such a study would conclude the needlessness of building 9-10 new parking spaces when so many remain unused.

We contend that the proposed site plan is a stand-alone lot, and does not integrate with the rest of the block. There are significant existing barriers and elevation differences on the North and East boundaries. The site plan provides no egresses that would allow someone using the proposed parking area immediate access to 52 Gilman. It does not stand to reason that some one would park at 261 Valley, walk down Valley toward A, walk up A, then down Gilman, past available parking spots in order to access 52 Gilman.

We contend that adding to the cumulative amount of surface parking on that block would be an ugly intrusion on the neighborhood. ~~It is important to note that the addition of the proposed parking lot would result in the entire North side of A Street as surface parking.~~

We contend that the proposed parking lot does not correspond with MMC's Travel Demand Management Plan (TDM), a requirement of a CRA that includes 261 Valley. Without demonstrating a true need for additional parking for 52 Gilman, we can only surmise that the proposed lot is actually intended for MMC employee parking. The city of Portland has asked MMC to be a leader among employers on the peninsula on the TDM issue; in accordance with the TDM, MMC should be aiming to eliminate surface parking spaces rather than building 9-10 more.

We contend that the site plan does not meet the following criteria expressed in the City Code (Sec. 14-526):

- The site plan application does not provide for the impact of plowing or snow loading. (Paragraph 3)
- The site plan application (non-contributing to the property tax base) will result in a diminution in the value of neighboring residential properties (property tax base

contributing). (Paragraph 4)

- The proposed landscaping, consisting of grass and sapling trees (which is the tree size that MMC has planted throughout their 2005-09 construction) will not provide an adequate buffer between the development and neighboring properties. We believe that more extensive planting and shrubbery would be necessary. (Paragraph 6)
- The site currently suffers from erosion and poor drainage. The site plan application does not provide for adequate drainage, such as a catchbasin. (Paragraph 8)

For these reasons we, the neighbors of the St John Valley Neighborhood Association request that you deny Maine Medical Center's site plan application for 261 Valley. Thank you for your consideration.

Respectfully,

Moses Sabina  
St John Valley Neighborhood Association President  
MMC Neighborhood Council 2005-Present

**From:** Jean Fraser  
**To:** Barhydt, Barbara; Littell, Penny  
**Date:** 10/9/2009 2:22:42 PM  
**Subject:** Fwd: 261 Valley St/MMC

for info; Alex was copied on this already

>>> Elizabeth Begin <ewb\_52@hotmail.com> 10/9/2009 12:58:50 PM >>>

Dear Jean,

As a member of the MMC Neighborhood Advisory Council I first learned on September 1 of the plan to place a parking lot on the site of the former Eagle's Club at 261 Valley St. I took a particular interest because MMC justified the area as a parking lot under the 'one lot' rule. This is the same mechanism that Waynflete is using in order to avoid setback and density requirements. I have come to understand the unintended consequences as the issue at 261 Valley has unfolded.

The language in the MMC Contract Zone reads:

"MMC agrees that it will remove the existing building located at 261-269 Valley Street (formerly the "Eagles Club") within 12 months after the effective date of this Agreement and that the site of the removed building will be loamed and seeded unless and until otherwise developed pursuant to an approved site plan."

I believe that any reasonable person would be safe in assuming 'pursuant to an approved site plan' meant that a site plan would be submitted to the City Planning Department and go through a process of Planning Board approval, with public input and participation.

And while perhaps it can be argued that under the letter of the Contract Zone, such a plan requires only Administrative Approval, the spirit of the Contract and common sense argue otherwise.

As you recall, the Contract Zone process was protracted and very contentious. A public review of this proposal by the Planning Board would go a long way to restore confidence.

Many thanks, Elizabeth Begin



**From:** Jean Fraser  
**To:** Dunn, Henry  
**Date:** 10/9/2009 3:32:00 PM  
**Subject:** Fwd: 261 Valley St/MMC

For information (this was sent to me); Mike Ryan may be interested in this too.  
(Apologies for delay in forwarding; our e-mail system has been erratic today)

>>> Elizabeth Begin <ewb\_52@hotmail.com> 10/9/2009 12:58:50 PM >>>

Dear Jean,

As a member of the MMC Neighborhood Advisory Council I first learned on September 1 of the plan to place a parking lot on the site of the former Eagle's Club at 261 Valley St. I took a particular interest because MMC justified the area as a parking lot under the 'one lot' rule. This is the same mechanism that Waynflete is using in order to avoid setback and density requirements. I have come to understand the unintended consequences as the issue at 261 Valley has unfolded.

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As you recall, the Contract Zone process was protracted and very contentious. A public review of this proposal by the Planning Board would go a long way to restore confidence.

Many thanks, Elizabeth Begin

Jean  
Hasev



Box 120 · Harbor Terrace · 284 Danforth Street · Portland, Maine 04102  
[www.wenamaine.org](http://www.wenamaine.org)

October 21, 2009

To Whom It May Concern:

I am writing to you on behalf of the West End Neighborhood Association in regard to the proposed MMC parking lot at 261 Valley Street. While we recognize that MMC has legitimate financial interests at stake, we are disappointed that the proposed use as surface does little to enhance the neighborhood.

This area is an important gateway to the peninsula and is currently not a very welcoming and attractive sight to visitors or to residents and workers in St. John/Valley community. We appreciate the civic engagement that MMC has undertaken in the West End and hope that a productive and aesthetically pleasing use can be found for this spot. With the recent addition of the MMC parking garage, there is more than ample parking in the area. Turning one entire side of A Street into surface parking seems unnecessary and detrimental to efforts to improve this area of the city. However, if MMC does choose to proceed with the parking lot plan, we would urge that it be made as green and creatively landscaped as possible.

Thank you for your attention and consideration.

Sincerely yours,

Rosanne Graef  
President, WENA

RECEIVED

OCT 23 2009

City of Portland  
Planning Division

**From:** Penny Littell  
**To:** Jean Fraser  
**Date:** 10/23/2009 11:32:34 AM  
**Subject:** Fwd: MMC Eagles' lot development

>>> moses sabina <mosessabina@yahoo.com> 10/19/2009 5:33:06 PM >>>  
SJVNA,

I write to update you all on the situation concerning Maine Med's lot (formerly the Eagles' Club) at 261 Valley. As you may be aware, on Sept. 1st MMC divulged their plans to develop the lot as a 10 space parking lot. On September 10th, MMC submitted a site plan application to city planning. As this is a "minor site plan application" it only requires staff approval and does not go before the planning board. Tim McNamara and I met with city staff and learned as much as we could about the site plan. At our Oct. 7th SJVNA meeting, the membership unanimously voted to formally oppose the site plan application for 261 Valley. I then drafted a letter outlining our reasons for opposition, the biggest reason being that we do not want or see the need for more surface parking for MMC in our neighborhood. Our opposition also drew the support of the Western Promenade NA and the West End NA.

On

Oct. 7th, I met with Penny Littell, Portland Planning and Urban Development Director, and Mike Murray, Liaison for Neighborhood and Island Services. At this meeting I learned that per city code, redevelopment as a parking lot is an acceptable use of the site, and that MMC does not need to demonstrate need for this parking. Suggestions to the site plan will be heard, but the city has no reason to deny approval. In fact, asphalt parking is the use for the lot which is listed on the tax assessment. There was also discussion about how to improve future relations with MMC.

On Oct. 9th, I was invited to meet with Mike Ryan, MMC VP of Operations, who attends the Neighborhood Council quarterly meetings. On behalf of the neighborhood, I stressed the importance of having time to clearly understand and digest development projects. Mike apologized for having not communicated the plan to redevelop the lot, which was conceived in late July, earlier to our neighborhood. Mike explained that until recently, MMC had not intended to do any improvement to the lot, other than the CRA-required loam and seed to the footprint of the now-removed building. The development plan is actually an attempt to make the lot presentable to the neighborhood, and not to change the use; the lot could and would be used for parking in its current state. He went on to say that if the city approves the site plan, and the SJVNA files a grievance which would be heard by the Planning Board, MMC would pull their application for 261 Valley. MMC does not wish to go in front of the Planning Board with this. In that case, the lot will remain in its current state, including the fence, with the addition of loam and seed to the rear right corner. We both agreed that that situation offers little benefit to either party. I explained that our objection to the site plan was based on the need for parking, and against more surface parking in general, than on the details of the plan itself. Mike explained that MMC has no other plans to develop 261 Valley; he speculated that the whole block might be redeveloped 10-20 years from now. There was also discussion about how to improve future relations with MMC.

At this point, the application is in limbo; it is incomplete and cannot move forward. We have a decision to make: We can either remain opposed to the site plan application, perhaps in the hope that MMC will find a better purpose for redevelopment, in which case the application will be pulled from City Planning. Or, we can rescind our opposition to allow the plan to move forward, in which case I would suggest, for the sake of the presentation of the lot, urging City Planning and MMC to get the project as far along as

weather allows. Please consider your decision on these options for our meeting on November 4th.

Ironically, I believe that through our constant advocacy for property maintenance, we actually prompted MMC to make an investment in 261 Valley, it just differs from what we had anticipated or hoped for. I believe that we have made a point about keeping the neighborhood apprised of development at an early stage, and there will be more development. The lack of planning for 261 Valley, and its use as a construction laydown site goes back to the creation of the Contract Rezone Agreement between MMC and the City of Portland in 2004, in which this neighborhood had no representation. Below, I have included the City Arborist's comments on the site plan, which are of interest. -Moses

Comments on the site plan from City Arborist Jeff Tarling:

"I have reviewed the proposed parking area at 261 Valley Street at the corner of A Street and offer the following comments:

The site elevations and former use / existing conditions make the landscape treatment or screening of this site more difficult than the regular 'plan view' shows.

The goal of the landscape plan would be to blend the proposed use into the nearby residential and mixed use neighborhood. Nearby, older existing parking lots have not met or would not meet the current or desired goals. Solving the slope or grade changes may require a fence or wall treatment with a mix of additional landscape treatment. Treatment of the grade changes between the Gilman Street elevation on A Street to Valley Street should consider pedestrian movement or restrict the potential to cut through the site from Gilman Street at A Street sidewalk towards Congress Street at Valley Street.

Recommendations -

~~a) Street trees - increase the spacing of street trees from 45' to 30' (+/-)~~

b) Landscape treatment internal - between the proposed parking lot and the slope to Gilman Street, plant five evergreen trees, spruce or pine similar to the treatment of the MMC HV plant slope nearby on Gilman Street. This would make the street view towards Maine Medical Center appear consistent in the future.

The second part would be to improve the Valley street view along the sidewalk. This might be accomplished by adding some lower shrub plantings or fencing between the parking lot and the sidewalk. Knowing the safety /security issues this landscape treatment should not be too dense to make the parking lot unsafe - so a balance should be made between improving the site and making it a hiding place.

As with all parking lot recommendations, internal curbing should be bituminous 'Cape Cod' style minimum to protect the plants. Snow storage room should also be considered as not to damage the plantings."



**From:** Penny Littell  
**To:** Jean Fraser  
**Date:** 10/23/2009 11:35:29 AM  
**Subject:** Fwd: Re: MMC Eagles' lot development

>>> "Deb Heald" <dheald01@maine.rr.com> 10/20/2009 6:11:19 PM >>>

My opinion is to rescind our opposition to MMC's application. After reviewing the site and landscape option and reading the arborists comments, this would be a vast improvement to what exists there now or the other alternative of only loaming and seeding the lot. It's a little win/win with the concession of the parking bit.

Deb Heald & Paul Peaslee  
213 St John St

----- Original Message -----

From: moses sabina

To: Gordon Andrews ; Sandra Anthoine ; Garry Bowcott ; Meghan Carey ; Amy Casey ; Dan Chase ; Fred Dambrie ; Justin Ellis ; Deb Heald ; Deb Keller ; Carrie Losneck ; Jenny Mackenzie ; Dave Marshall ; Sarah Martin ; Norman Maze ; Channing Mcdaniels ; Ryan McKeown ; Tim McNamara ; Robert Moldaver ; Paul Prescott ; Allan Prosser ; Julie Smith valley st. ; Kevin Sprague ; April Thibodeau ; Maria Tripp

Cc: Mike Murray ; Penny Littell ; Rosanne Graef ; Jo Coyne ; Anne Pringle new ; elizabeth webb

Sent: Monday, October 19, 2009 5:33 PM

Subject: MMC Eagles' lot development

SJVNA,

I write to update you all on the situation concerning Maine Med's lot (formerly the Eagles' Club) at 261 Valley. As you may be aware, on Sept. 1st MMC divulged their plans to develop the lot as a 10 space parking lot. On September 10th, MMC submitted a site plan application to city planning. As this is a "minor site plan application" it only requires staff approval and does not go before the planning board. Tim McNamara and I met with city staff and learned as much as we could about the site plan. At our Oct. 7th SJVNA meeting, the membership unanimously voted to formally oppose the site plan application for 261 Valley. I then drafted a letter outlining our reasons for opposition, the biggest reason being that we do not want or see the need for more surface parking for MMC in our neighborhood. Our opposition also drew the support of the Western Promenade NA and the West End NA.

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**From:** stjohnvalleyneighborhood <stjohnvalley@live.com>  
**To:** <stjohnvalley@live.com>, <ewb\_52@hotmail.com>, <rgrae@gwi.net>, <jf@portlandmaine.gov>, moses <mosessabina@yahoo.com>  
**Date:** 11/9/2009 12:34:44 PM  
**Subject:** FW: SJVNA will not appeal to Planning on 261 Valley St Minor SitePlanApplication

Hello Rosanne and Elizabeth,

As you can see we have presented our Association's position to Planning with the hope that "something" might finally come from what has been "nothing" for way too long.

Jean Fraser has asked that I copy you on our position (attached below)...Elizabeth I believe you were sent a copy, sorry I missed you Rosanne on our original CC list.

I'll keep you both posted on any news we receive from the City or the hospital relative to this issue.

Thanks for you involvement.

Tim McNamara

> Date: Mon, 9 Nov 2009 09:38:58 -0500  
> From: JF@portlandmaine.gov  
> To: stjohnvalley@live.com  
> CC: moses <mosessabina@yahoo.com>  
> Subject: Re: SJVNA will not appeal to Planning on 261 Valley St Minor Site PlanApplication

>  
> Tim

---

> Thank you for your confirmation of the Association's position and we  
> will complete the review as quickly as possible to hopefully allow MMC  
> to complete the project soon.

>  
> I would be grateful if you could copy your comments to Elizabeth Begin  
> (who wrote objecting to the proposals as a member of the MMC  
> Neighborhood Advisory Council) and to Rosanne Graef, President of the  
> West End Neighborhood Association whose letter of 10.21.2009 is also on  
> the site plan review file. I am assuming you have their contact e-mail  
> addresses but let me know if not.

>  
> I will send you a copy of the approval letter once it is issued.

>  
> Thank you  
> Jean  
>  
> Jean Fraser, Planner  
> City of Portland  
> 874 8728

>  
> >>> stjohnvalleyneighborhood <stjohnvalley@live.com> 11/6/2009 4:21:03

> PM >>>

>

> November 6, 2009

> To the City of Portland Planning Division:

>

> Please be informed that while the Saint John Valley Neighborhood  
> association remains disappointed by Maine Medical's plan develop 261  
> Valley as a parking lot, we will not as an association appeal to the  
> Planning Board in the event approval for the minor site plan is  
> granted.

>

> Our position is based on the fear that any further objection by our  
> association, to the development of this lot, will result in Maine Med  
> pulling the application entirely and leaving the lot to deteriorate  
> further over the fast approaching winter. This is the very situation we  
> feared in April of this year when we requested that Chapter 14 of the  
> CRA be enforced.

>

> We have viewed the most recent plans submitted by MMC which include  
> additional trees and a pedestrian handrail. We consider these additions  
> improvements to the original plan, submitted by MMC in mid September.  
> While more parking is not what our neighborhood needs, any improvement  
> over the current condition of that property should benefit our  
> neighborhood.

>

> We ask that you consider our association's position on this issue and  
> grant MMC approval for their site plan with the hope that construction  
> of the improvements (specifically removal of the chain link fence and  
> flapping mesh screen) can begin immediately.

>

>

> Thank you for working with us as we attempt to improve our  
> neighborhood.

>

> ~~Tim McNamara~~

> St John Valley Neighborhood Association

> Ownership Compliance Committee

>

>

>

>

>

>

>

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> Windows 7: Unclutter your desktop.

>

[http://go.microsoft.com/?linkid=9690331&ocid=PID24727::T:WLMTAGL:ON:WL:en-US:WWL\\_WIN\\_evergreen:112009](http://go.microsoft.com/?linkid=9690331&ocid=PID24727::T:WLMTAGL:ON:WL:en-US:WWL_WIN_evergreen:112009)

---

Hotmail: Trusted email with powerful SPAM protection.

<http://clk.atdmt.com/GBL/go/177141665/direct/01/>

**From:** Penny Littell  
**To:** Jean Fraser; Marge Schmuckal  
**Date:** 11/13/2009 12:41:23 PM  
**Subject:** MMC Eagles lot

I told Hank Dunn that, given the time of year and the neighbors concern that improvements be installed this year, I would not hold up the start of work while we wait for a PG. I did tell him MMC needs to submit a cost estimate form and I would work with the bank that has posted the MMC LOC to incorporate this work into the existing guarantee.

Hank. Please provide this information to us within the next couple of days. Thanks.

**CC:** Barbara Barhydt; Don Quigley; Hank Dunn (E-mail)

Z/s/o

Phil DiPiero confirmed that PG + IS have been paid and that will be held 1 year as defect guaranty - Phil has inspected & all in accordance w/ plans. No temp CO. as these not given re parking lots

**From:** Penny Littell  
**To:** Jean Fraser  
**Date:** 11/10/2009 5:26:31 AM  
**Subject:** mmc

Jean and Jeff: Please try to get together today to finalize the review of the mmc/ eagles lot redevelopment. Time is of the essence if this project is to be installed this year. Jeff, please advise on what plantings may still be installed and what would need to wait until next year. If you approve this app, please let me know so that I can call MMC and try to get the work done this year. Thanks.

**CC:** Jeff Tarling

Phil -  
 You can see there is pressure....  
 has not got BP

but as you're going to be away,  
 would this normally need a PG?

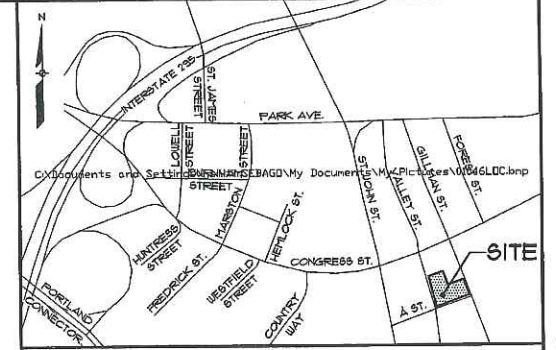
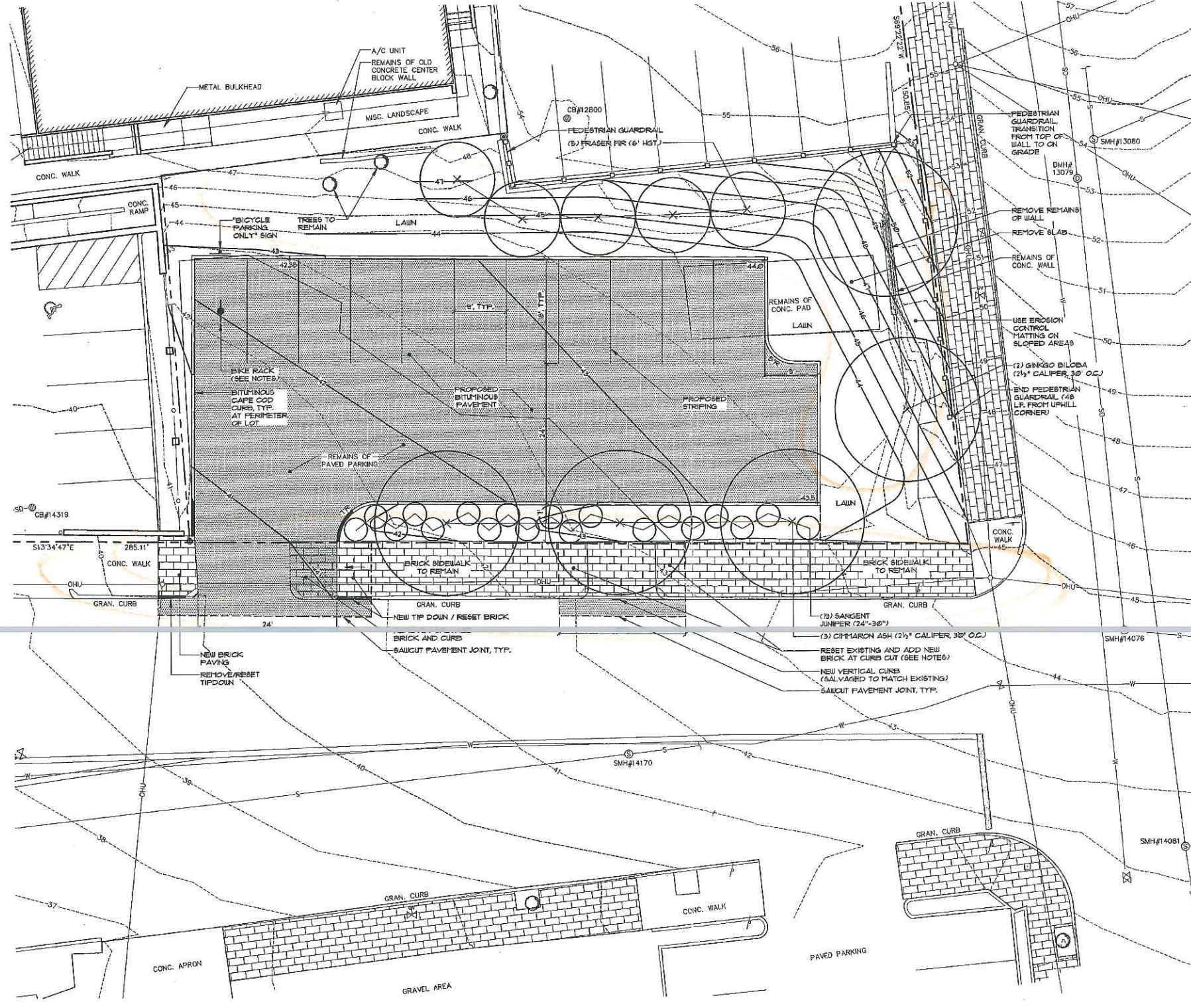
has railings around part boundary  
 paving + landscaping

See Phil's  
 reply

Thanks

Jean

11-10-09.



LOCATION MAP N.T.S.

**GENERAL NOTES**

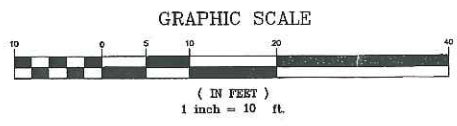
1. AREA OF PARCEL 'A' IS APPROXIMATELY 14,470 SF. AREA OF PREVIOUS SURFACES WITHIN PARCEL 'A' IS APPROXIMATELY 10,240 SF. WHICH IS 70.83% OF THE PARCEL 'A' AREA.
2. AREA OF FORMER EAGLES CLUB BUILDING ON PARCEL 'A' IS 3,145 SF. AREA OF THE LANDSCAPED AREA ON PARCEL 'A' IS APPROXIMATELY 4,221 SF.
3. BIKE RACK TO BE INSTALLED IN CENTER OF 2'x8' PARKING SPACE WITH SONATUBE FOOTING AT OR BELOW GRADE. PRODUCT IS DERO BIKE HITCH FOR TWO BICYCLES (www.dero.com FOR MORE INFORMATION).
4. SNOW STORAGE TO BE PROVIDED ONLY IN LAWN AREAS.
5. NEW BRICKS SHALL MATCH EXISTING BRICKS AS CLOSELY AS POSSIBLE. RE-USE UNSPOILED EXISTING BRICKS WHEREVER POSSIBLE. CONTACT PUBLIC WORKS DEPARTMENT; THEY MAY BE A SOURCE FOR NEW BRICK PAVERS.

*Phil confirms: paving curbing landscape Row smff*

*PG needed*

11-10-09

EXISTING	DESCRIPTION	PROPOSED
---	BOUNDARY LINE/ROLL	---
---	ADJUTER LINE/ROLL	---
— —	MONUMENT	— —
—○—	IRON PIPE/ROD	—○—
—C/L—	CURVE/LINE NO.	—C/L—
▭	BUILDING	▭
—	SIGN	—
—	EDGE PAVEMENT	—
—	EDGE CONCRETE	—
—	PAVEMENT PAINT	—
—	CURBLINE	—
-122-	CONTOURS	+124
-120-	SPOT GRADE	+30.20
—	RETAINING WALL	—
○	DECIDUOUS TREE	○
○	CONIFEROUS TREE	○
—	GAS GATE VALVE	—
—	WATER	—
—	WATER GATE VALVE	—
—	WATER SHUT OFF	—
—	HYDRANT	—
—	SEWER	—
—	SEWER MH	—
—	STORM DRAIN	—
—	CATCH BASIN	—
—	DRAINAGE MH	—
—	OVERHEAD UTILITY	—
—	UTILITY POLE	—
—	GUY	—

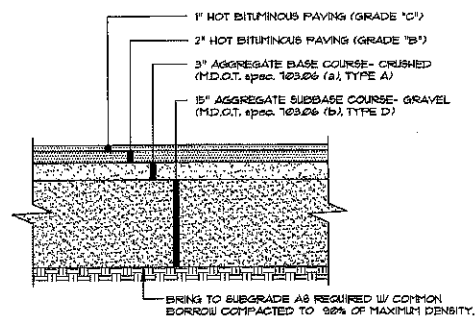


CITY SITE PLAN SUBMITTAL	DATE	STATUS
B	11/20/09	DATE
A	9/15/09	DATE

**Sebago Technics**  
 Engineering Experts You Can Build On  
 265 Co. Rd. 131 - Sebago  
 Westbrook, ME 04092-1939  
 Tel: (207) 892-0277  
 WWW.SEBAGOTECHNICS.COM

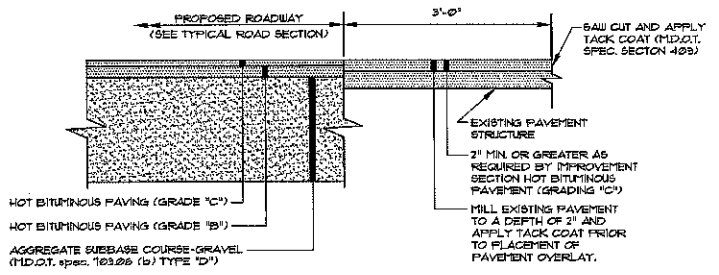
PROJECT NO. 07046  
 FIELD BOOK  
 DRAWN: WTC  
 CHECKED: WTC  
 IN CHARGE: WTC  
 JKS

SITE PLAN OF:  
**EAGLES CLUB LOT**  
 A STREET & VALLEY STREET  
 PORTLAND, MAINE  
 FOR:  
**MAINE MEDICAL CENTER**  
 22 BRANHALL STREET  
 PORTLAND, MAINE 04101

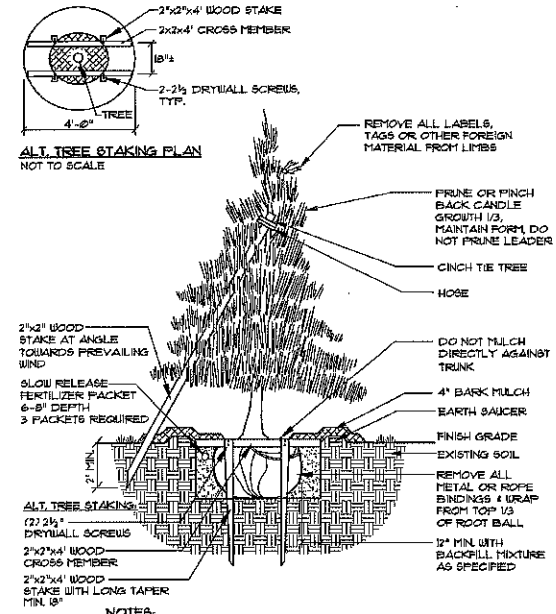


**NOTES:**  
 1. COMPACT GRAVEL SUBBASE, BASE COURSE TO 92% OF MAXIMUM DENSITY USING HEAVY ROLLER COMPACTION.  
 2. CONTRACTOR SHALL SET GRADE STAKES MARKING SUBBASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.

**TYP. PAVED PARKING LOT SECTION**  
 NOT TO SCALE



**TYPICAL PAVEMENT JOINT**  
 NOT TO SCALE

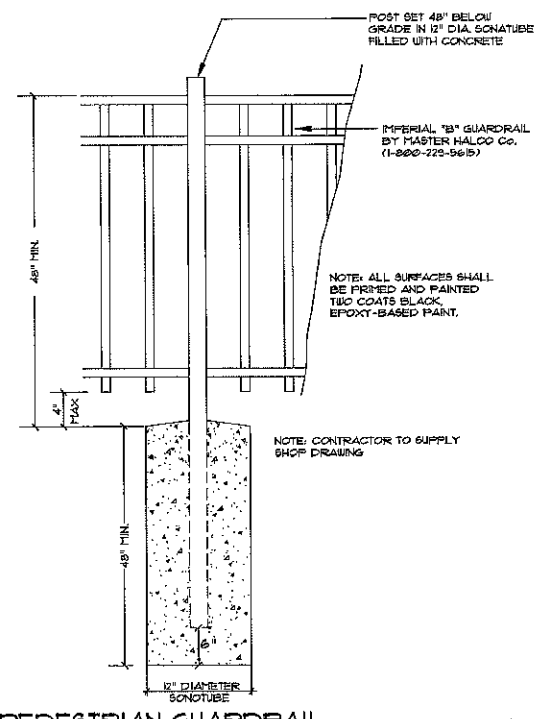


**NOTES:**  
 1. INSTALL STAKES AND GUYS TO TREES IF THE FOLLOWING APPLY:  
 1. THE TREE IS OF SUBSTANTIAL SIZE.  
 2. THE PLANTING LOCATION IS EXTREMELY WINDY, AS ON OPEN UNDEVELOPED SITES.  
 3. THE PLANTING LOCATION IS COMPRISED OF SAND OR OTHER LOOSE TEXTURED SOILS.  
 4. IF STAKES AND GUYS ARE REQUIRED, REMOVE AFTER ONE YEAR TIME.

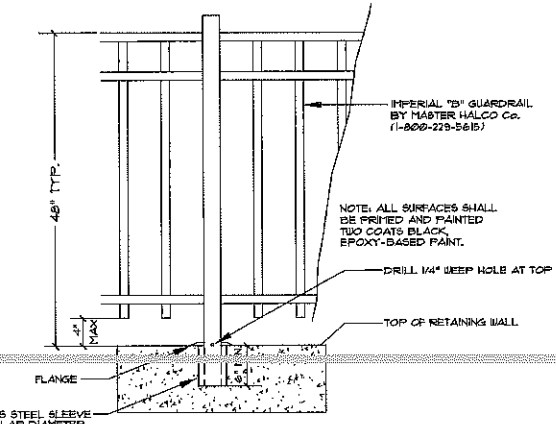
**DECIDUOUS TREES**  
**EVERGREEN TREES**  
 NOT TO SCALE

**LANDSCAPE NOTES**

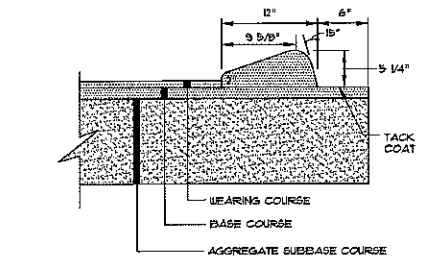
1. PLANT QUANTITIES SHOWN ON PLANT LISTS ARE FOR CONVENIENCE TO THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL INSTALLATION AS SHOWN ON PLANS.
2. SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF "USA STANDARD FOR NURSERY STOCK," BY THE AMERICAN ASSOCIATION OF NURSERMEN, INC.
3. ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
4. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING, STAKING OR GUYS, UNRAFFING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE BY THE OWNER.
5. PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BY THE CONTRACTOR AND A PERIOD OF TWO YEARS THEREAFTER BY THE OWNER FROM DATE OF INSTALLATION. DURING THE ONE YEAR GUARANTEE PERIOD, DEAD PLANT MATERIAL SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE ONE YEAR PERIOD, THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
6. ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
7. EXISTING TREES TO BE PRESERVED WILL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
8. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF THE UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING ANY DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, CURBS, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER.
9. ALL SHRUB BEDS SHALL BE MULCHED WITH 3" CLEAN SHREDDED DARK BROWN BARK MULCH.
10. THE CONTRACTOR SHALL PROVIDE 4" LOAM FOR ALL AREAS TO BE SOODED OR SEEDS. PLANTING AREAS SHALL RECEIVE 2" ROLLED THICKNESS OF LOAM. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
11. ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
12. WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR PERENNIAL AND ANNUAL FLOWER BED AREAS SHALL CONSIST OF FOUR PARTS TOP SOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.



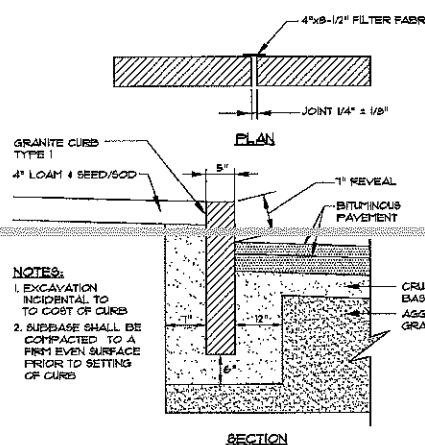
**PEDESTRIAN GUARDRAIL**  
 NOT TO SCALE



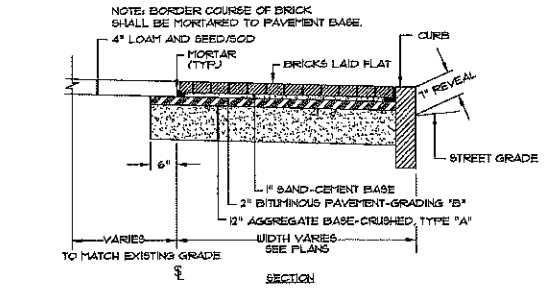
**PEDESTRIAN GUARDRAIL ON TOP OF RETAINING WALL**  
 NOT TO SCALE



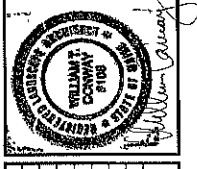
**CAFE COD CURB**  
 NOT TO SCALE



**VERTICAL GRANITE CURB**  
 NOT TO SCALE



**BRICK SIDEWALK DETAIL-NO ESPLANADE**  
 NOT TO SCALE



REV.	BY:	DATE:	STATUS:
B	WTC	11/09	CITY SITE PLAN SUBMITTAL
A	WTC	07/08	CITY SITE PLAN SUBMITTAL

**Sebago Technics**  
 Engineering, Surveying & Construction  
 250 Grand Ave., Suite B  
 Westbrook, ME 04090-1329  
 Tel: (207) 859-0277  
 www.sebago-technics.com

PROJECT NO. 10148  
 FIELD BOOK  
 DESIGN: CHD  
 DRAWN: JKS  
 WTC

**DETAILS OF:**  
**EAGLES CLUB LOT**  
 A STREET & VALLEY STREET  
 PORTLAND, MAINE  
 FOR:  
**MAINE MEDICAL CENTER**  
 22 BARNHALL STREET  
 PORTLAND, MAINE 04101

DATE	SCALE
9/14/09	AS SHOWN

**From:** Penny Littell  
**To:** Jean Fraser, David Margolis-Pineo, Katherine Earley  
**Date:** Tue, Nov 10, 2009 2:50 PM  
**Subject:** Re: URGENT Condition OK? 261 Valley (MMC Parking Lot) Approval letter

*Penny Littell (Ani)  
liased w/ Mike  
Bobinsky (on OPS) and  
advised me  
approval  
letter should  
go out today  
11-10-09  
JF.*

Kathi. This has been discussed at dev rev on multiple occasions. The letter needs to go out today

-----Original Message-----

**From:** Katherine Earley  
**To:** David Margolis-Pineo <DMP@portlandmaine.gov>  
Jean Fraser <JF@portlandmaine.gov>  
**CC:** Michael Bobinsky <mbobinsky@portlandmaine.gov>  
Penny Littell <PL@portlandmaine.gov>  
**Creation Date:** 11/10 2:14 pm  
**Subject:** Re: URGENT Condition OK? 261 Valley (MMC Parking Lot) Approval letter

We're discussing it now in our weekly review meeting. There are comments to wrap up, and David will try to finish his today.

But - respectfully, we can't turn reviews around in a one week period typically. And in this case there is an additional complication in fact that a streetscape design for Valley st must be reviewed for possible requirement for inclusion of some portion of the work. That won't get turned around today, but we will make every effort to finalize this review in seven working days (ie by this Friday Nov 13th).

Kathi

Sent from Blackberry

-----Original Message-----

**From:** Jean Fraser  
**To:** David Margolis-Pineo <DMP@portlandmaine.gov>  
**CC:** Katherine Earley <KAS@portlandmaine.gov>  
**Creation Date:** 11/10 11:27 am  
**Subject:** URGENT Condition OK? 261 Valley (MMC Parking Lot) Approval letter

David,

Penny is pressing me to get this approval letter out today - all other reviewers have signed off.

The revised plans appear to me to meet your comments but I have added a condition re the tipdowns being granite as the plan does not appear to confirm. DO YOU ALSO WANT A CONDITON RE EROSION as kind of suggested in your comments?????????

Could you please sign off urgently.

I attach your earlier comments for information and also attach the revised plans being approved.

Thanks  
Jean

(copied to Kathi so she is aware of why I am pressing- Penny wants MMC to do as much as poss before winter so approvals need to be expedited- thanks)

**CC:** Michael Bobinsky



**From:** Katherine Earley  
**To:** David Margolis-Pineo; Jean Fraser  
**Date:** Tue, Nov 10, 2009 3:29 PM  
**Subject:** Re: URGENT Condition OK? 261 Valley (MMC Parking Lot) Approval letter

Noted Jean, and you will get our sign-off as early as possible. As David's comments will note, there are still flaws on this set of drawings, for instance - a piece of curb radius is shown on one edge of the to-be-expanded driveway opening; that must be a tipdown instead.

I am not sure why the topic of the City's pending CDBG program streetscape plan was not raised previously, but we are raising it now. Tom Errico will contact the consultant (Tom Gorrill) hired to design the streetscape and determine if there are any physical improvements that may be required. The same neighborhood group that wrote the 11/6 memo is the one who successfully advocated for the streetscape work to be funded; we'd be remiss if we did not at least consider requiring physical improvements as predicted by the plan.

Kathi

>>> Jean Fraser 11/10 3:15 PM >>>

Kathi

This was reviewed by Public Services with comments given to me on **Sept 30, 2009** (copy attached) with no mention of Valley Street streetscape design issue.

**Minor** revisions were submitted to address those comments on 11.3.09 and were circulated to reviewers that day by pdf and in paper form on 11.4.09.

The revisions **fully address the PS comments**; no further concerns have been raised by PS until your e-mail of today. The submitted revisions do not introduce any other new information that requires review and it will be very embarrassing for me (and the City) to mention this issue now to the applicant when it was not raised in the Sept 30, 2009 PS review (seen by the applicant).

The sidewalk is already brick alongside this site and the project includes street trees on the Valley Street side (approved by Jeff - see site plan attached) within the site; the project represents a huge improvement to this eyesore site and the Neighborhood Association is now pressing for it to be implemented asap (see 11.6.09 letter attached).

Therefore I again request a sign off as early as possible.

thank you  
Jean

>>> Katherine Earley 11/10/2009 2:14:17 PM >>>

We're discussing it now in our weekly review meeting. There are comments to wrap up, and David will try to finish his today.

But - respectfully, we can't turn reviews around in a one week period typically. And in this case there is an additional complication in fact that a streetscape design for Valley st must be reviewed for possible requirement for inclusion of some portion of the work. That won't get turned around today, but we will make every effort to finalize this review in seven working days (ie by this Friday Nov 13th).

Kathi

Sent from Blackberry

-----Original Message-----

From: Jean Fraser

To: David Margolis-Pineo <[DMP@portlandmaine.gov](mailto:DMP@portlandmaine.gov)>

CC: Katherine Earley <[KAS@portlandmaine.gov](mailto:KAS@portlandmaine.gov)>

Creation Date: 11/10 11:27 am

Subject: URGENT Condition OK? 261 Valley (MMC Parking Lot) Approval letter

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Could you please sign off urgently.

I attach your earlier comments for information and also attach the revised plans being approved.

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Jean

(copied to Kathi so she is aware of why I am pressing- Penny wants MMC to do as much as poss before winter so approvals need to be expedited- thanks)

**CC:** Alex Jaegerman ; Barbara Barhydt; Michael Bobinsky; Penny Littell

# MINOR SITE PLAN DEVELOPMENT REVIEW

## Final review and sign off

PROJECT: 261 Valley Mmc <sup>pleg lot.</sup> Application #: (HTE) 09-79900010  
 Date of completion: 11-10-09 CBL 065-H-009-001

Review item	Status	Who signed off on this
Evidence of Right, Title & Interest	Reviewed; further info provided + OK'd by legal; appl. revised	DW-C / JF
MDEP/MP etc issues	N/R	N/R
Additional info provided as requested:	- deeds - clar re ownership + what prop. its accessory to. - impervious surface calcs.	
Access and parking layout (including contributions)		TOM Emico 11-6-09.
Bicycle parking	2 bike hutch added	"
Stormwater Management	DG + DM-P happy w/ surface flow	DM-P sign off 11-10-09
Other engineering issues	granite tipdowns + erosion	DM-P sign off 11-10-09 two conds needed.
Zoning	more info; conds re accessory permit	Mara Schmuckal 11-9-09.
Fire Department	N/R	N/R
Building materials etc	N/R	N/R
Landscape	JT suggested more trees, w/ sup. rail map; rev'd plans addressed	JT 11-10-09
Two trees/lot; two foundation plantings per lot	N/R	N/R
Lighting	N/R	N/R
Letter of financial capability	PL	PL
Capacity letter water	N/R	N/R
Capacity letter sewer	N/R	N/R
Sidewalk/Curbing	OK - notes on plans confirm re matching.	DM-P 11-10-09 JF 11-10-09.
Dumpster location and enclosure/waste collection	N/R	N/R
Other issues	needs Bldg Permit + PG.	

Confirmed by MS 11-10-09  
 Conf. by Phil Soper 11-10-09

November 10, 2009

To: Jean Fraser  
From: David Margolis-Pineo - Public Services Review Comments  
Re: Eagles Club Block  
Maine Medical Center

1. Bicycle parking should be added.  
**A bike rack has been added.**

2. The applicant is requested to rebuild both sides of the proposed driveway cut to include granite tipdowns on both sides of the cut.

**The applicant has shown both sides of the proposed driveway to include granite tipdowns. I would ask that the curb on both sides of the driveway cut be symmetrical and the shown granite "bug" not be installed.**

3. The applicant is asked to try to match any new additional bricks to the bricks that currently exist. Reuse existing unbroken bricks when possible. The City may be a source to help match bricks.

**The applicant has added a note to the plans stating that an attempt will be made to match existing bricks.**

4. The applicant is proposing a 3:1 grass slope to meet the parking area. Care shall be taken to protect erosion during and after construction. A mat material may be appropriate for erosion stabilization.

**No comment needed.**

---

**One additional comment would be the thickness of base and finish asphalt pavement to be placed in front of the curb. The pavement thickness dimensions are not shown on the construction details. The asphalt base mix should be the thickness of the existing pavement allowing for one and half inches of surface mix. The minimum thickness for both the base and finish mix shall not be less than three and one half inches.**

**Zoning Administrator Marge Schmuckal**  
**10/08/09**

I have reviewed the proposal for a reuse of the old Eagles lot to an accessory parking lot to a medical building on Gilman Street. This lot was used as a laydown lot during the construction of the latest additions to the main building of Maine Medical Center. It is covered under the C-41 contract zone. The previous underlying zone was B-2. Legal has determined that currently the old Eagles lot and the medical building on Gilman Street are under the same ownership.

The B-2 Zone allows accessory uses such as parking under section 14-404. This parking lot is accessory to the medical building on Gilman Street. This parking lot is located in the rear of the Gilman Street building and would not violate the front yard parking provision of 14-186(d)1.

According to the Assessor's record the Eagles's lot was 9,517 sq. ft. The current plan does not delineate where the property line is on the "site" plan. The actual property line should be delineated on the plans. The B-2 Zone allows a maximum impervious surface of 80%. I figured the area of what is being proposed as impervious and compared that to the Assessor's information. It resulted in approximately 48% impervious area which is well under the maximum of 80%. The applicant shall confirm the actual impervious calculations.

There are no curbing details to show how the cars will stay on the pavement provided.

It is noted that this parking lot is considered an accessory use. The B-2 Zone does not permit separate, stand alone, surface parking lots as a permitted use. Therefore this lot shall not be divided off from the principal medical building lot as a separate lot. These lots have merged based upon the proposed use.

**11/9/09**

I have reviewed the revised plans received on 11/4/09. The applicant gives the minimum lot size of 14,470 sq ft which allows a maximum impervious surface of 11,576 sq ft. The given impervious surface is 10,249 sq ft for a given impervious surface of 70.83%. The project meets the B-2 Zone impervious surface requirements.

Any new signage for the lot shall be required.

Again it is reiterated that the lots have merged and this lot shall not be divided off from the principal medical building lot as a separate lot.

A permit is required through Inspection Services for the construction of the lot.

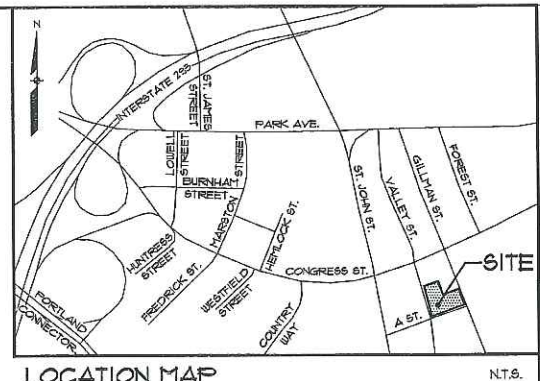
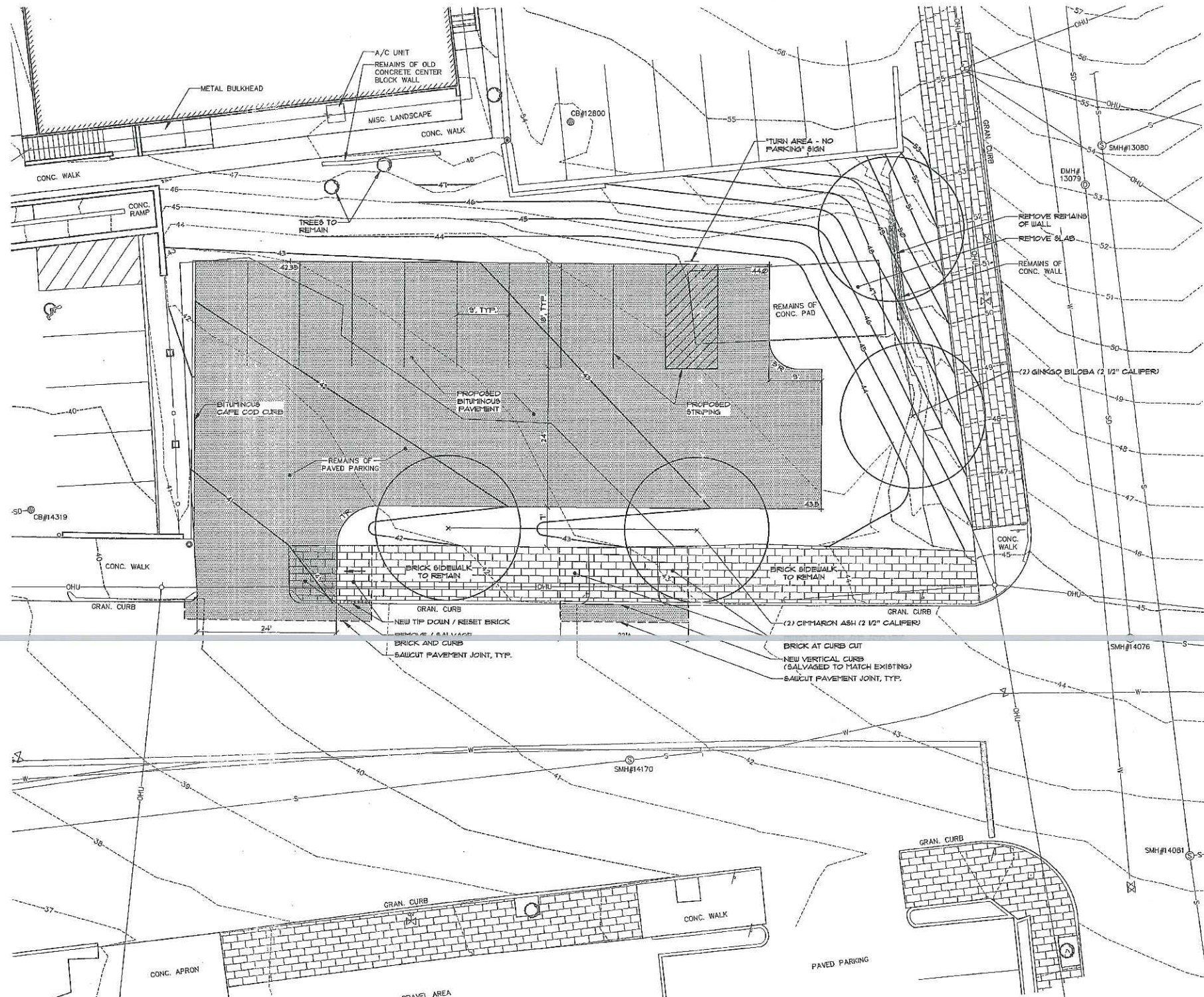
**From:** Jeff Tarling  
**To:** Jean Fraser  
**Date:** 11/10/2009 10:16:02 AM  
**Subject:** MMC Valley Street Project

Hi Jean -

The revised landscape plan for the MMC parking lot on Valley Street includes the recommendations made on our first landscape review of the project. This includes additional trees, landscaping, interior curbing and the pedestrian hand rail. Overall, the appearance of this lot would be improved from its current and longstanding condition.

Jeff Tarling  
City Arborist

**CC:** Barbara Barhydt; David Margolis-Pineo; Penny Littell ; Tom Civiello



WILLIAM'S CORP  
CONWAY  
MAINE  
STATE OF MAINE

SUBMITTAL

IN FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS  
AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

10-14-09?

Zoning

Imp. surface  
cong. re accessory  
cong. re ownership  
this parcel

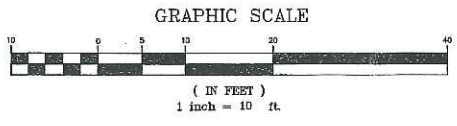
Eng - minor revisions  
landscape?

railings along  
Gilman St side +  
part 'A' street  
+ more planting  
+ snow storage

Residents say needs  
more drainage,  
eg catchbasin

**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	BOUNDARY LINE/ROW	---
---	ADJUTER L. LINE/ROW	---
□	MONUMENT	□
—○—	IRON PIPE/ROD	—○—
—○/—	CURV. LINES NO.	—○/—
▨	BUILDING	▨
—	SIGN	—
▨	EDGE PAVEMENT	▨
▨	EDGE CONCRETE	▨
▨	PAVEMENT PAINT	▨
—	CURBLINE	—
—122— —120—	CONTOURS	—124—
—	SPOT GRADE	+ 30.20
—	RETAINING WALL	—
○	DECIDUOUS TREE	○
○	CONFEROUS TREE	○
⊗	GAS GATE VALVE	⊗
⊗	WATER	⊗
⊗	WATER GATE VALVE	⊗
⊗	WATER SHUT OFF	⊗
⊗	HYDRANT	⊗
⊗	SEWER MH	⊗
⊗	STORM DRAIN	⊗
⊗	CATCH BASIN	⊗
⊗	DRAINAGE MH	⊗
⊗	OVERHEAD UTILITY	⊗
⊗	UTILITY POLE	⊗
⊗	GUY	⊗



**SITE PLAN**

OF: **EAGLES CLUB LOT**  
A STREET & VALLEY STREET  
PORTLAND, MAINE

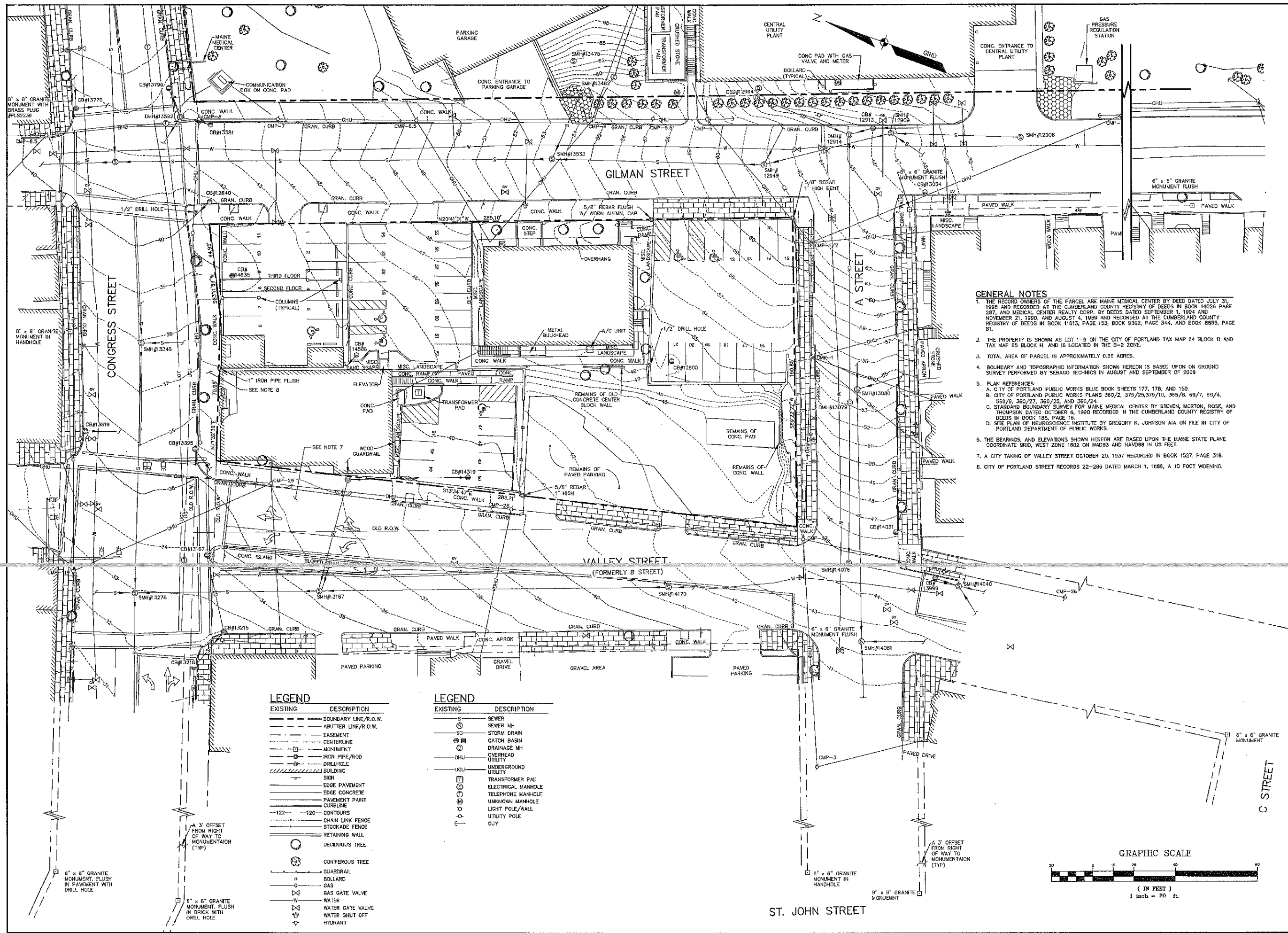
FOR: **MAINE MEDICAL CEI**  
23 BRANFALL STREET  
PORTLAND, MAINE 04101

DATE	SCALE
9/14/08	1" = 10'

**SHEET 2 OF 3**

010465.dwg, TAB:5

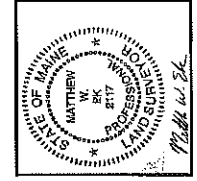
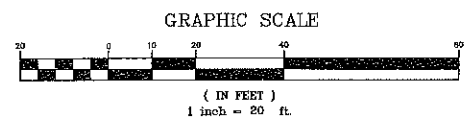
this revision  
NOT approved



**GENERAL NOTES**

1. THE RECORD OWNERS OF THE PARCEL ARE MAINE MEDICAL CENTER BY DEED DATED JULY 31, 1998 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 14026 PAGE 287, AND MEDICAL CENTER REALTY CORP. BY DEEDS DATED SEPTEMBER 1, 1994 AND NOVEMBER 21, 1990, AND AUGUST 4, 1989 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 11813, PAGE 153, BOOK 9392, PAGE 344, AND BOOK 8553, PAGE 81.
2. THE PROPERTY IS SHOWN AS LOT 1-9 ON THE CITY OF PORTLAND TAX MAP 64 BLOCK B AND TAX MAP 65 BLOCK H, AND IS LOCATED IN THE B-2 ZONE.
3. TOTAL AREA OF PARCEL IS APPROXIMATELY 0.88 ACRES.
4. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON ON GROUND SURVEY PERFORMED BY SEBAGO TECHNICS IN AUGUST AND SEPTEMBER OF 2009.
5. PLAN REFERENCES:  
 A. CITY OF PORTLAND PUBLIC WORKS BLUE BOOK SHEETS 177, 178, AND 150.  
 B. CITY OF PORTLAND PUBLIC WORKS PLANS 360/2, 379/25, 379/10, 385/8, 69/4, 559/9, 360/27, 360/25, AND 360/24.  
 C. STANDARD BOUNDARY SURVEY FOR MAINE MEDICAL CENTER BY STEVEN, MORTON, ROSE, AND THOMPSON DATED OCTOBER 6, 1990 RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 186, PAGE 16.  
 D. SITE PLAN OF NEUROSCIENCE INSTITUTE BY GREGORY K. JOHNSON AIA ON FILE IN CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS.
6. THE BEARINGS, AND ELEVATIONS SHOWN HEREON ARE BASED UPON THE MAINE STATE PLANE COORDINATE GRID, WEST ZONE 1802 ON NAD83 AND NAVD89 IN US FEET.
7. A CITY TAKING OF VALLEY STREET OCTOBER 20, 1937 RECORDED IN BOOK 1527, PAGE 318.
8. CITY OF PORTLAND STREET RECORDS 22-286 DATED MARCH 1, 1898, A 10 FOOT WIDENING.

EXISTING	DESCRIPTION	EXISTING	DESCRIPTION
---	BOUNDARY LINE/R.O.W.	—S—	SEWER
---	ABUTTER LINE/R.O.W.	—SMH—	SEWER MH
---	EASEMENT	—SD—	STORM DRAIN
---	CENTERLINE	—CB—	CATCH BASIN
—○—	MONUMENT	—DMH—	DRAINAGE MH
—○—	IRON PIPE/ROD	—OHU—	OVERHEAD UTILITY
—○—	DRILLHOLE	—UGU—	UNDERGROUND UTILITY
—○—	BUILDING SIGN	—TP—	TRANSFORMER PAD
—○—	EDGE PAVEMENT	—EMH—	ELECTRICAL MANHOLE
—○—	EDGE CONCRETE	—TMH—	TELEPHONE MANHOLE
—○—	PAVEMENT PAINT	—UMH—	UNKNOWN MANHOLE
—○—	CURBLINE	—LP—	LIGHT POLE/WALL
—122—	CONTOURS	—UP—	UTILITY POLE
—○—	CHAIN LINK FENCE	—GUY—	GUY
—○—	STOCKADE FENCE		
—○—	RETAINING WALL		
—○—	DECIDUOUS TREE		
—○—	CONIFEROUS TREE		
—○—	GUARDRAIL		
—○—	BOLLARD		
—○—	GAS		
—○—	GAS GATE VALVE		
—○—	WATER		
—○—	WATER GATE VALVE		
—○—	WATER SHUT OFF		
—○—	HYDRANT		



PROJECT NO.	FIELD BOOK	DATE	BY	WTC	CHKO	IRBWR	MCC
010486	791B	9/16/09	MA				
CITY SITE PLAN SUBMITTAL							
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.							

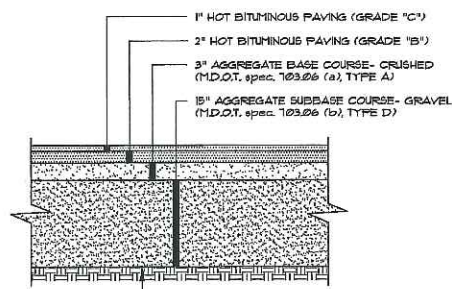
**Sebago Technics**  
 Engineering, Expertise, You Can Build On.  
 One Orchard Street  
 Portland, ME 04103  
 Tel: (207) 852-2777  
 Fax: (207) 852-5656  
 www.sebagotechnics.com

**EXISTING CONDITIONS PLAN**  
 OF:  
**EAGLES CLUB BLOCK**  
 A STREET AND VALLEY STREET  
 PORTLAND, MAINE  
 FOR:  
**MAINE MEDICAL CENTER**  
 22 BRANHALL STREET  
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DATE	SCALE
7-31-2009	1"=20'

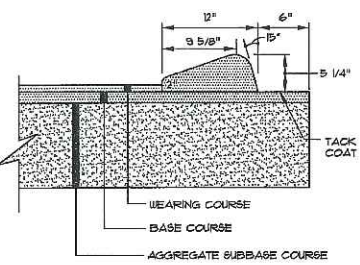
**SHEET 1 OF 3**



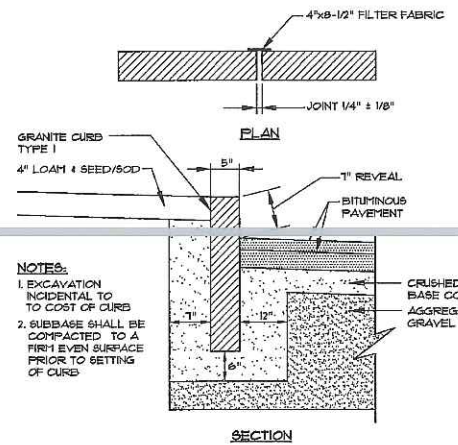


- NOTES:**
1. COMPACT GRAVEL SUBBASE BASE COURSE TO 92% OF MAXIMUM DENSITY USING HEAVY ROLLER CONSTRUCTION.
  2. CONTRACTOR SHALL SET GRADE STAKES MARKING SUBBASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.

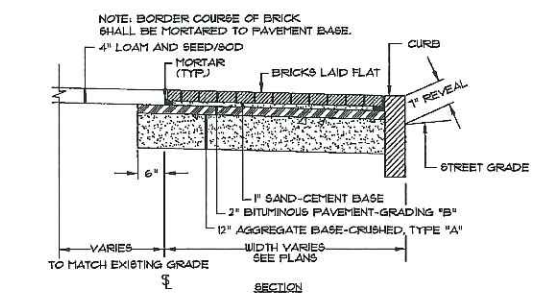
**TYP. PAVED PARKING LOT SECTION**  
NOT TO SCALE



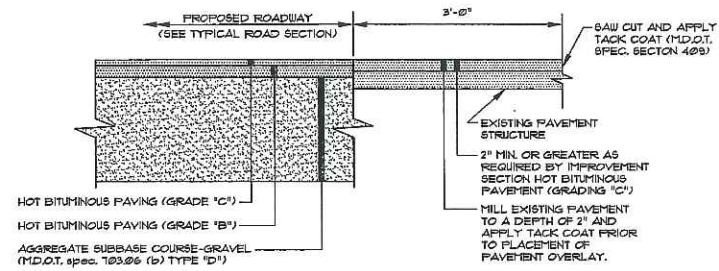
**CAPE COD CURB**  
NOT TO SCALE



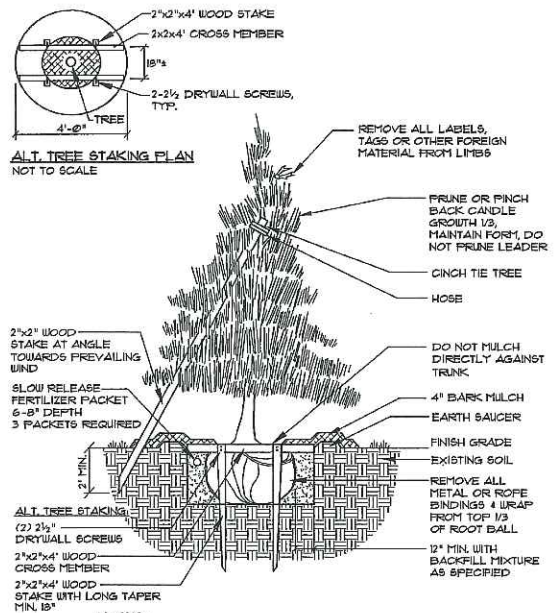
**VERTICAL GRANITE CURB**  
NOT TO SCALE



**BRICK SIDEWALK DETAIL-NO ESPLANADE**  
NOT TO SCALE



**TYPICAL PAVEMENT JOINT**  
NOT TO SCALE



- NOTES:**
1. INSTALL STAKES AND GUYS TO TREES IF THE FOLLOWING APPLY:
  1. THE TREE IS OF SUBSTANTIAL SIZE.
  2. THE PLANTING LOCATION IS EXTREMELY WINDY, AS ON OPEN UNDEVELOPED SITES.
  3. THE PLANTING LOCATION IS COMPRISED OF SAND OR OTHER LOOSE TEXTURED SOILS.
  4. IF STAKES AND GUYS ARE REQUIRED, REMOVE AFTER ONE YEAR TIME.

**DECIDUOUS TREES** UNDER 2\"/>

**EVERGREEN TREES** UNDER 8\"/>

NOT TO SCALE

**LANDSCAPE NOTES**

1. PLANT QUANTITIES SHOWN ON PLANT LISTS ARE FOR CONVENIENCE TO THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL INSTALLATION AS SHOWN ON PLANS.
2. SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF "U.S.A. STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
3. ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
4. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING, STAKING OR GUYS, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE BY THE OWNER.
5. PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BY THE CONTRACTOR AND A PERIOD OF TWO YEARS THEREAFTER BY THE OWNER FROM DATE OF INSTALLATION. DURING THE ONE YEAR GUARANTEE PERIOD, DEAD PLANT MATERIAL SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE ONE YEAR PERIOD, THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
6. ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
7. EXISTING TREES TO BE PRESERVED WILL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
8. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF THE UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING ANY DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, WALKS, CURBS, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER.
9. ALL SHRUB BEDS SHALL BE MULCHED WITH 3\"/>
- 10. THE CONTRACTOR SHALL PROVIDE 4\"/>
- 11. ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
- 12. WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR PERENNIAL AND ANNUAL FLOWER BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL FERTILITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.

*This version not approved*



PROJECT NO.	01046
DATE	9/14/09
SCALE	AS SHOWN
DESIGN	WTC
CHKD	WTC
DRAWN	JKS
CITY SITE PLAN SUBMITTAL	STATUS:
REV. BY:	DATE:
A	9/15/09

**Sebago Technics**  
 240 Oak and Rd. - Suite B  
 Westbrook, ME 04092-1329  
 Tel: (207) 738-9865  
 Fax: (207) 738-9865  
 WWW.SEBAGOTECHNICS.COM

**DETAILS OF:**  
**EAGLES CLUB LOT**  
 A STREET & VALLEY STREET  
 PORTLAND, MAINE  
 FOR: **MAINE MEDICAL CENTER**  
 22 BRANHALL STREET  
 PORTLAND, MAINE 04101

DATE	SCALE
9/14/09	AS SHOWN

Site copy



**To:** Dan Goyette; David Margolis-Pineo; Marge Schmuckal; Tom Errico; Jeff Tarling  
**From:** Jean Fraser  
**Date:** November 4, 2009

---

Additional information submitted for the following project:

**Application ID #:** 09-79900010 (HTE)  
**Project Name:** MMC Parking Lot; site of Eagles  
**Project Address:** 261 Valley Street

The cover e-mails and revised site plans (incl Landscape Plan) were received late yesterday and sent to you as pdfs; I understand that they have addressed all reviewer comments.

Please confirm in writing any verbal comments given at Dev Rev ASAP as the applicant would like to start on site immediately (subject to final documentation and discussion with Neighborhood Assn and any BPs needed).

Thank you  
Jean

Discussed Dev Rev 11-4-09  
Jeff not there  
Others thought OK will confirm  
Does need a BP - MS did not  
think one had been submitted.

JF.

These plans + HD  
conf. re revs sent to  
M. Sabina + Tim me  
of St. J. V. Neigh Assoc  
as they had requested.  
H.D. knows this

PL informed

**From:** "Henry Dunn" <DUNNH@mmc.org>  
**To:** "Jean Fraser" <JF@portlandmaine.gov>  
**Date:** 11/3/2009 4:24:33 PM  
**Subject:** Re: Review status re MMC Parking Area - 261 Valley Street

\*\* High Priority \*\*

Jean,

Thank you for this update and your working through this with us.

There are three responses to your reviewers questions....

Comments are as follows:

1. This e-mail confirms that MMC Realty Corp has transferred the deeds in question to MMC itself. MMC is the owner and is making the application.
2. The Parking area is accessory to 48-52 Gilman Street
3. The revised site plan will be submitted by Sebago Technics (this afternoon) to include:

Impervious surface calcs

Added bike hitch for 2 bikes

Tip downs as requested

Matching bricks as much as possible

Cape cod curb

Decreased space between trees

Added fencing between upper and lower parking lots and along portion of A street

Thank you again.

Hank Dunn

252-7997

---

**From:** "Will Conway" <wconway@sebagotechnics.com>  
**To:** "Jean Fraser" <JF@portlandmaine.gov>, <dunnh@mainehealth.org>  
**Date:** 11/3/2009 4:32:44 PM  
**Subject:** MMC Valley Street Site

Hi Jean, as requested by Mr. Dunn, here are revised plans incorporating all of your comments and requests; we are hopeful that you can share these at your staff meeting tomorrow am, and that construction permits can be issued soon, thank you,

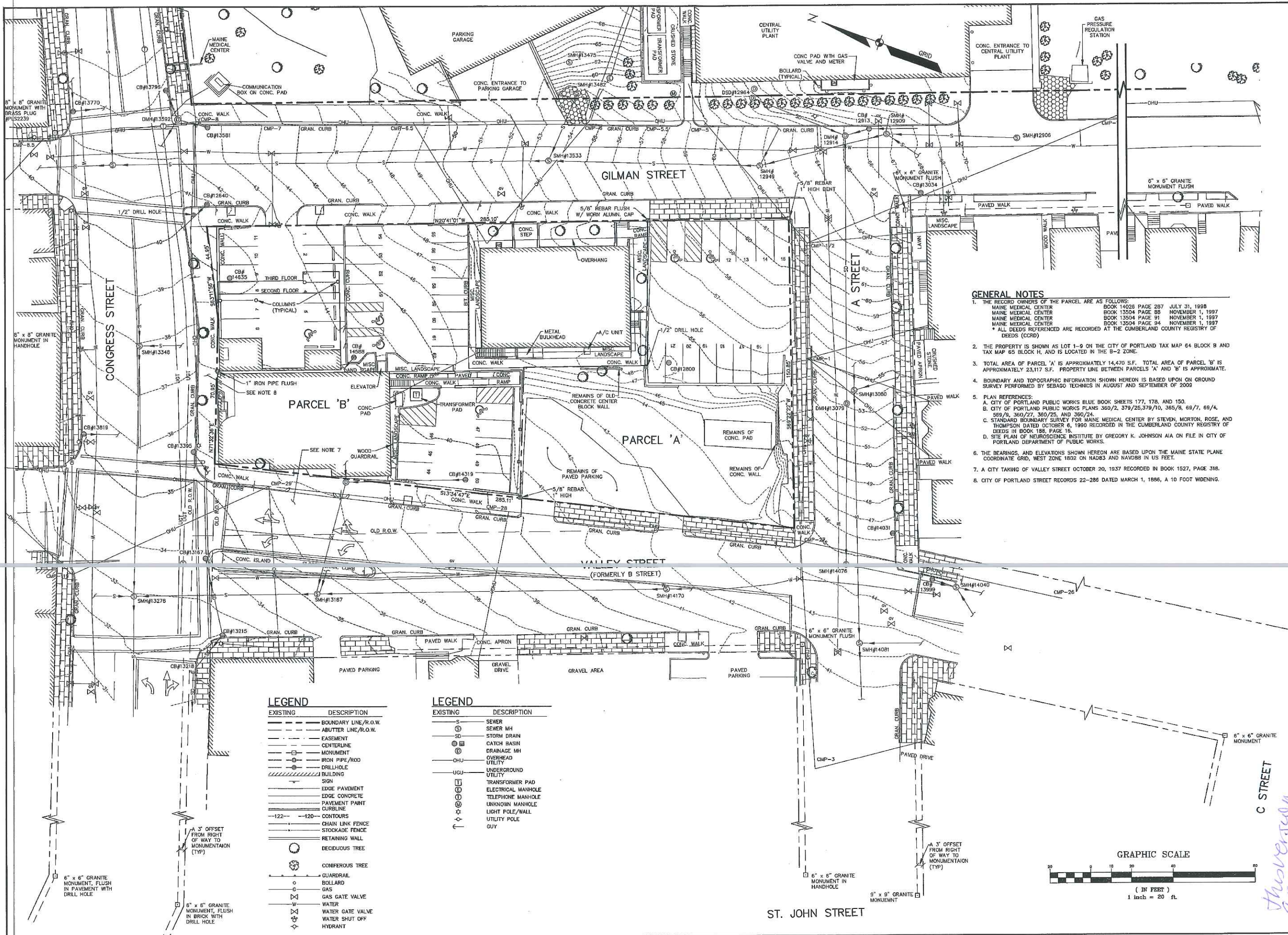
William T. Conway, RLA, LEED-AP

Vice President, Landscape Architecture

207-856-0277 ext 239 (office)

wconway@sebagotechnics.com

Visit our website: [www.sebagotechnics.com](http://www.sebagotechnics.com)



**GENERAL NOTES**

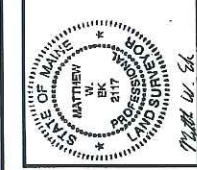
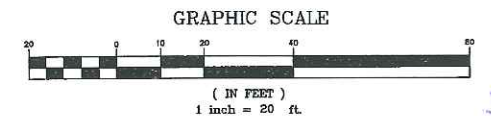
- THE RECORD OWNERS OF THE PARCEL ARE AS FOLLOWS:  
 MAINE MEDICAL CENTER BOOK 14026 PAGE 287 JULY 31, 1998  
 MAINE MEDICAL CENTER BOOK 13504 PAGE 88 NOVEMBER 1, 1997  
 MAINE MEDICAL CENTER BOOK 13504 PAGE 91 NOVEMBER 1, 1997  
 MAINE MEDICAL CENTER BOOK 13504 PAGE 94 NOVEMBER 1, 1997  
 \* ALL DEEDS REFERENCED ARE RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD)
- THE PROPERTY IS SHOWN AS LOT 1-9 ON THE CITY OF PORTLAND TAX MAP 64 BLOCK B AND TAX MAP 65 BLOCK H, AND IS LOCATED IN THE B-2 ZONE.
- TOTAL AREA OF PARCEL 'A' IS APPROXIMATELY 14,470 S.F. TOTAL AREA OF PARCEL 'B' IS APPROXIMATELY 23,117 S.F. PROPERTY LINE BETWEEN PARCELS 'A' AND 'B' IS APPROXIMATE.
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON ON-GROUND SURVEY PERFORMED BY SEBAGO TECHNICS IN AUGUST AND SEPTEMBER OF 2003
- PLAN REFERENCES:  
 A. CITY OF PORTLAND PUBLIC WORKS BLUE BOOK SHEETS 177, 178, AND 150.  
 B. CITY OF PORTLAND PUBLIC WORKS PLANS 360/2, 379/25, 379/10, 365/8, 69/7, 69/4, 569/9, 360/27, 360/25, AND 360/24.  
 C. STANDARD BOUNDARY SURVEY FOR MAINE MEDICAL CENTER BY STEVEN, MORTON, ROSE, AND THOMPSON DATED OCTOBER 6, 1990 RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 188, PAGE 16.  
 D. SITE PLAN OF NEUROSCIENCE INSTITUTE BY GREGORY K. JOHNSON AIA ON FILE IN CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS.
- THE BEARINGS, AND ELEVATIONS SHOWN HEREON ARE BASED UPON THE MAINE STATE PLANE COORDINATE GRID, WEST ZONE 1802 ON NAD83 AND NAVD83 IN US FEET.
- A CITY TAKING OF VALLEY STREET OCTOBER 20, 1937 RECORDED IN BOOK 1527, PAGE 318.
- CITY OF PORTLAND STREET RECORDS 22-286 DATED MARCH 1, 1886, A 10 FOOT WIDENING.

**LEGEND**

EXISTING	DESCRIPTION
---	BOUNDARY LINE/R.O.W.
- - -	ABUTTER LINE/R.O.W.
---	EASEMENT
---	CENTERLINE
---	MONUMENT
---	IRON PIPE/ROD
---	DRILLHOLE
---	BUILDING
---	SIGN
---	EDGE PAVEMENT
---	EDGE CONCRETE
---	PAVEMENT PAINT
---	CURBLINE
---	CONTOURS
---	CHAIN LINK FENCE
---	STOCKADE FENCE
---	RETAINING WALL
○	DECIDUOUS TREE
○	CONIFEROUS TREE
---	GUARDRAIL
○	BOLLARD
○	GAS
○	GAS GATE VALVE
○	WATER
○	WATER GATE VALVE
○	WATER SHUT OFF
○	HYDRANT

**LEGEND**

EXISTING	DESCRIPTION
S	SEWER
⊙	SEWER MH
SD	STORM DRAIN
⊙	CATCH BASIN
⊙	DRAINAGE MH
OHU	OVERHEAD UTILITY
UGU	UNDERGROUND UTILITY
⊙	TRANSFORMER PAD
⊙	ELECTRICAL MANHOLE
⊙	TELEPHONE MANHOLE
⊙	UNKNOWN MANHOLE
⊙	LIGHT POLE/WALL
⊙	UTILITY POLE
⊙	GUY



PROJECT NO.	01046EC	FIELD BOOK	791B
DATE	11/09/09	CITY SITE PLAN SUBMITTAL	
BY	MTC	CITY SITE PLAN SUBMITTAL	
REV.	BY	DATE	STATUS
B	MTC	01/09/09	CITY SITE PLAN SUBMITTAL
A	MTC	01/09/09	CITY SITE PLAN SUBMITTAL

**Sebago Technics**  
 Engineering, Expertise, You Can Build On  
 200 Chestnut Street, Suite B  
 Portland, ME 04101  
 Tel: (207) 855-0277  
 Fax: (207) 765-5658  
 WWW.SEBAGOTECHNICS.COM

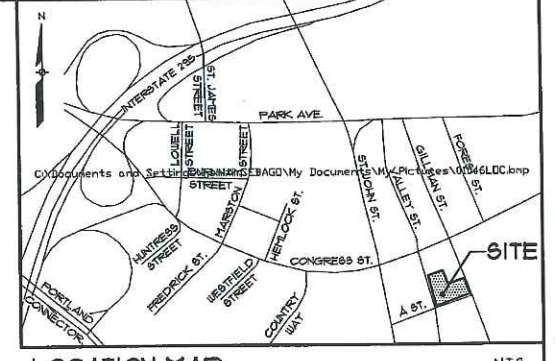
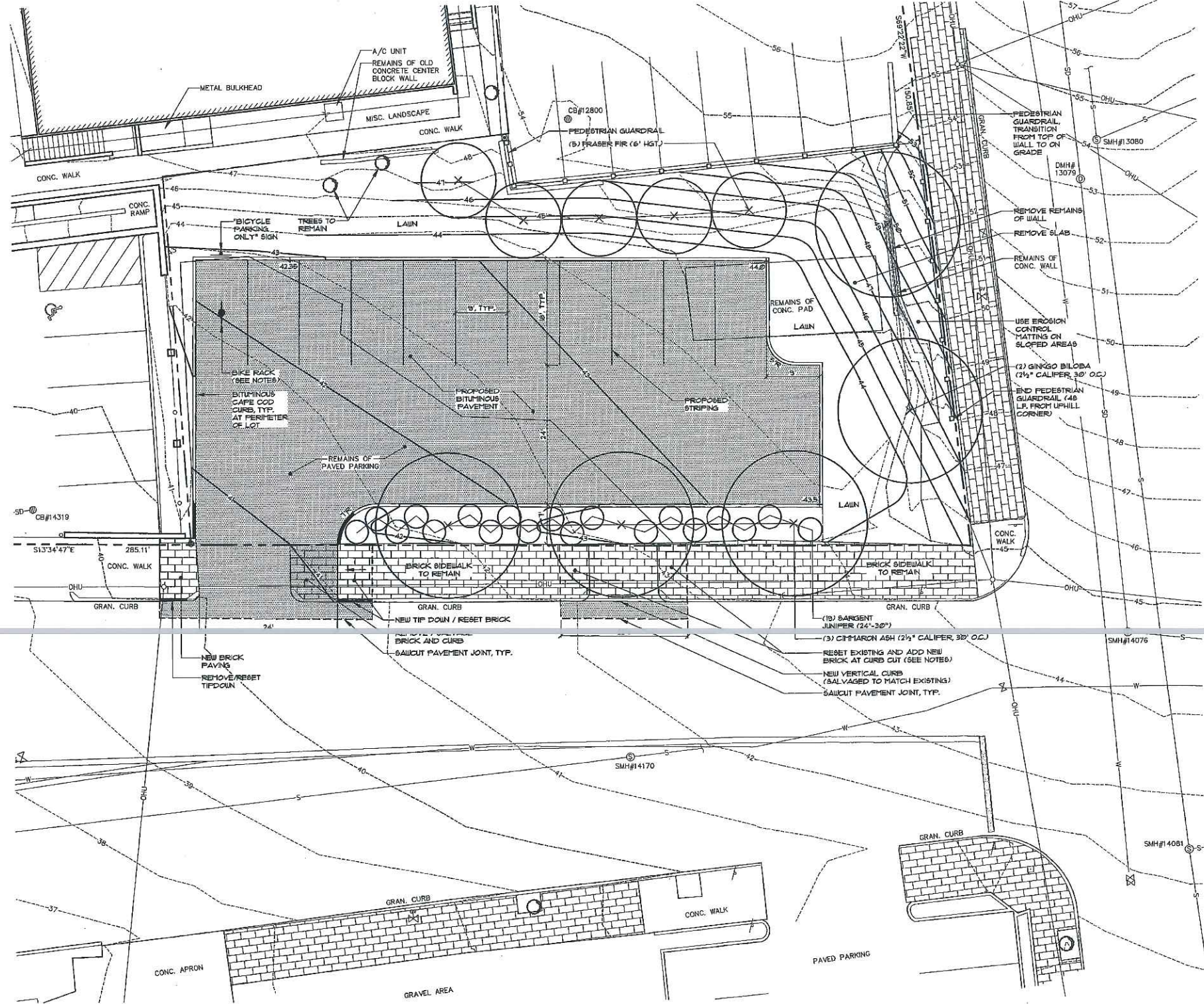
**EXISTING CONDITIONS PLAN**  
 OF:  
**EAGLES CLUB BLOCK**  
 A STREET AND VALLEY STREET  
 PORTLAND, MAINE  
 FOR:  
**MAINE MEDICAL CENTER**  
 22 BRAMHALL STREET  
 PORTLAND, MAINE 04101

DATE: 7-31-2009 SCALE: 1"=20'

SHEET 1 OF 3

01046-EC-2009-EAGLES.dwg, TAB: EC-EAGLES (20)

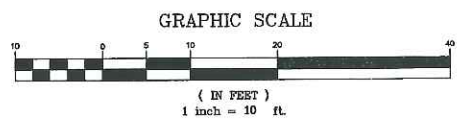
*Thompson approved*



**GENERAL NOTES**

- AREA OF PARCEL 'A' IS APPROXIMATELY 14,410 SF. AREA OF IMPERVIOUS SURFACES WITHIN PARCEL 'A' IS APPROXIMATELY 10,248 SF, WHICH IS 70.99% OF THE PARCEL 'A' AREA.
- AREA OF FORMER EAGLES CLUB BUILDING ON PARCEL 'A' IS 3,145 SF. AREA OF THE LANDSCAPED AREA ON PARCEL 'A' IS APPROXIMATELY 4,221 SF.
- BIKE RACK TO BE INSTALLED IN CENTER OF 9'x19' PARKING SPACE WITH SONATUBE FOOTING AT OR BELOW GRADE. PRODUCT IS DERO 'BIKE HITCH' FOR TWO BICYCLES ([www.dero.com](http://www.dero.com) FOR MORE INFORMATION).
- SNOW STORAGE TO BE PROVIDED ONLY IN LAWN AREAS.
- NEW BRICKS SHALL MATCH EXISTING BRICKS AS CLOSELY AS POSSIBLE. RE-USE UNBROKEN EXISTING BRICKS WHENEVER POSSIBLE. CONTACT PUBLIC WORKS DEPARTMENT; THEY MAY BE A SOURCE FOR NEW BRICK PAVERS.

EXISTING	DESCRIPTION	PROPOSED
---	BOUNDARY LINE/ROW	---
- - -	ADJUTER LINE/ROW	- - -
— —	CONCRETE	— —
—○—	IRON PIPE/ROD	—○—
C/L/L	CURVE/LINE NO.	C/L/L
▭	BUILDING	▭
—	SIGN	—
—	EDGE PAVEMENT	—
—	EDGE CONCRETE	—
—	PAVEMENT PAINT	—
—	CURBLINE	—
-122-	CONTOURS	-124-
—	SPOT GRADE	+30.20
—	RETAINING WALL	—
○	DECIDUOUS TREE	○
○	CONIFEROUS TREE	○
—	GAS GATE VALVE	—
—	WATER	—
—	WATER GATE VALVE	—
—	WATER SHUT OFF	—
—	HYDRANT	—
—	SEWER	—
—	SEWER MH	—
—	STORM DRAIN	—
—	CATCH BASIN	—
—	DRAINAGE MH	—
—	OVERHEAD	—
—	UTILITY	—
—	UTILITY POLE	—
—	GUY	—



*This version approved*



REV:	BY:	DATE:	STATUS:
B	WTC	11/30/09	CITY SITE PLAN SUBMITTAL
A	WTC	09/30/09	CITY SITE PLAN SUBMITTAL

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICAL, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICAL, INC.

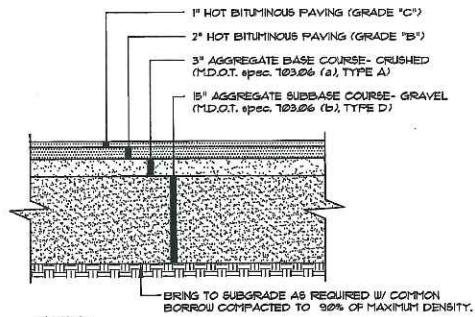
**Sebago Technics**  
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 285 S. Main St., Suite 5  
 Westbrook, ME 04092-1239  
 Tel: (207) 862-0277  
 Fax: (207) 758-3659  
 WWW.SEBAGOTECHNICAL.COM

PROJECT NO. 01046  
 FIELD BOOK  
 DRAWN: JKS  
 CHECKED: WTC

**SITE PLAN**  
 OF:  
**EAGLES CLUB LOT**  
 A STREET & VALLEY STREET  
 PORTLAND, MAINE  
 FOR:  
**MAINE MEDICAL CENTER**  
 22 BRANHALL STREET  
 PORTLAND, MAINE 04101

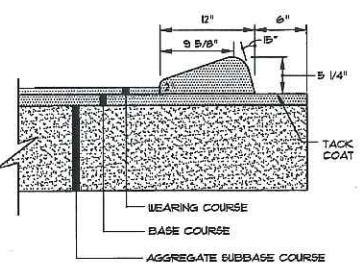
DATE: 9/14/09 SCALE: 1" = 10'

**SHEET 2 OF 3**

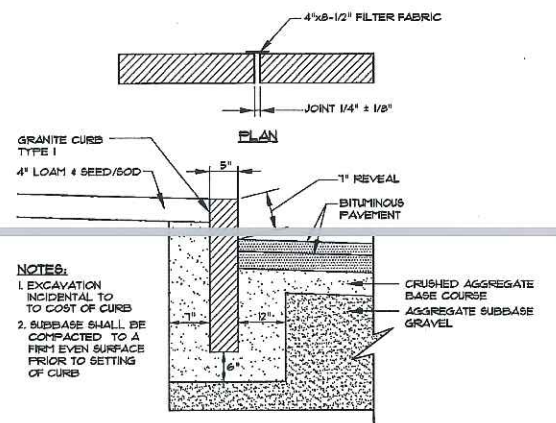


**NOTES:**  
 1. COMPACT GRAVEL SUBBASE, BASE COURSE TO 92% OF MAXIMUM DENSITY USING HEAVY ROLLER COMPACTION.  
 2. CONTRACTOR SHALL SET GRADE STAKES MARKING SUBBASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.

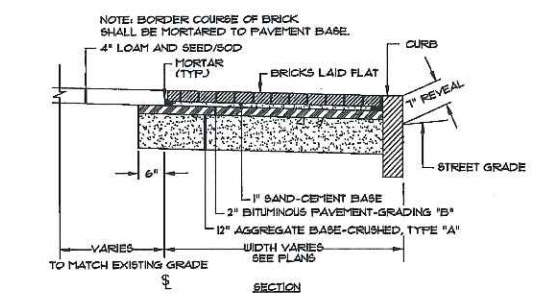
**TYP. PAVED PARKING LOT SECTION**  
 NOT TO SCALE



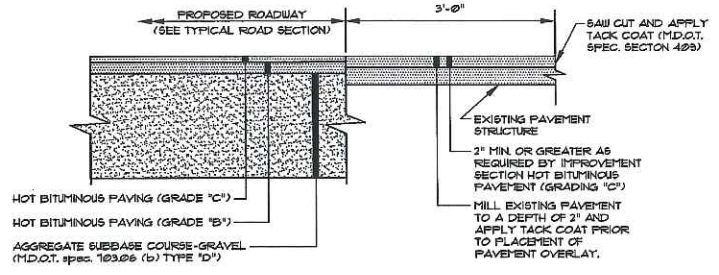
**CAPE COD CURB**  
 NOT TO SCALE



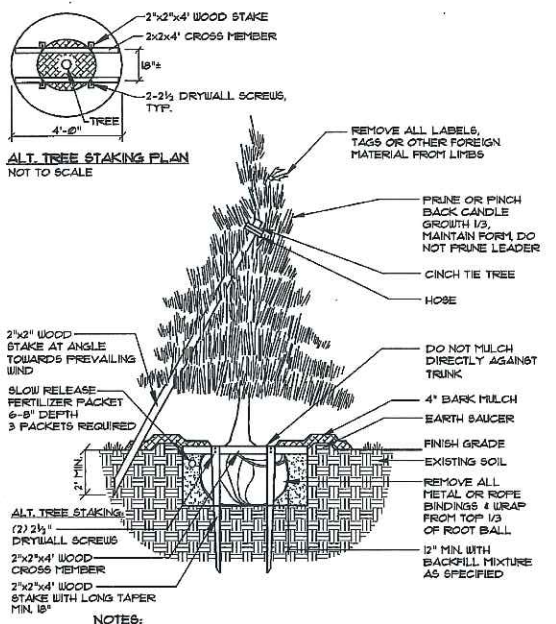
**VERTICAL GRANITE CURB**  
 NOT TO SCALE



**BRICK SIDEWALK DETAIL-NO ESPLANADE**  
 NOT TO SCALE



**TYPICAL PAVEMENT JOINT**  
 NOT TO SCALE

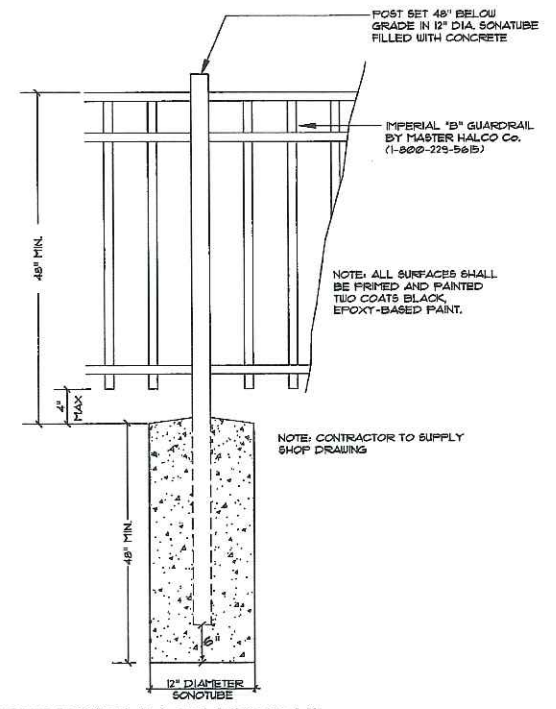


**NOTES:**  
 INSTALL STAKES AND GUYS TO TREES IF THE FOLLOWING APPLY:  
 1. THE TREE IS OF SUBSTANTIAL SIZE.  
 2. THE PLANTING LOCATION IS EXTREMELY WINDY, AS ON OPEN UNDEVELOPED SITES.  
 3. THE PLANTING LOCATION IS COMPRISED OF SAND OR OTHER LOOSE TEXTURED SOILS.  
 4. IF STAKES AND GUYS ARE REQUIRED, REMOVE AFTER ONE YEAR TIME.

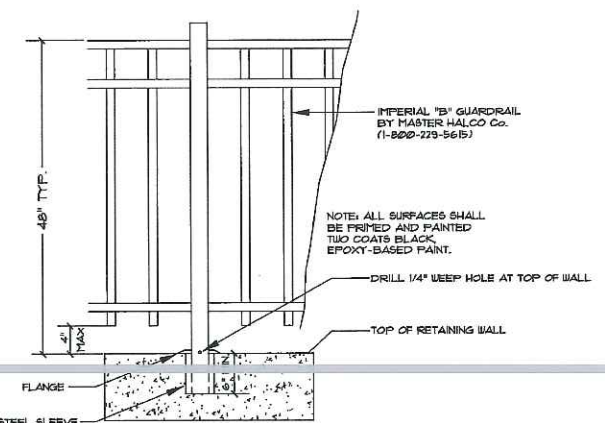
**DECIDUOUS TREES**  
 NOT TO SCALE

**LANDSCAPE NOTES**

1. PLANT QUANTITIES SHOWN ON PLANT LISTS ARE FOR CONVENIENCE TO THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL INSTALLATION AS SHOWN ON PLANS.
2. SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF "U.S.A. STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERMEN, INC.
3. ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
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9. ALL SHRUB BEDS SHALL BE MULCHED WITH 3\"/>



**PEDESTRIAN GUARDRAIL**  
 NOT TO SCALE



**PEDESTRIAN GUARDRAIL ON TOP OF RETAINING WALL**  
 NOT TO SCALE



PROJECT NO.	11/3/09	DATE	11/3/09
DESIGN	WTC	CHKD	WTC
DRAWN	WTC	DATE	11/3/09
CITY SITE PLAN SUBMITTAL	WTC	STATUS	11/3/09
CITY SITE PLAN SUBMITTAL	WTC	STATUS	11/3/09

**Sebago Technics**  
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 Watsook, ME 04096-1339  
 Tel: (207) 865-0277  
 Fax: (207) 865-0277  
 www.sebagoengineers.com

**DETAILS OF:**  
 EAGLES CLUB LOT  
 14 CROCKETT VALLEY STREET  
 PORTLAND, MAINE  
 FOR: MAINE MEDICAL CENTER  
 22 BRANHALL STREET  
 PORTLAND, MAINE 04101

*Thompson approved*

**From:** "Henry Dunn" <DUNNH@mmc.org>  
**To:** "Jean Fraser" <JF@portlandmaine.gov>  
**Date:** 11/3/2009 4:24:33 PM  
**Subject:** Re: Review status re MMC Parking Area - 261 Valley Street

\*\* High Priority \*\*

Jean,

Thank you for this update and your working through this with us.

There are three responses to your reviewers questions....

Comments are as follows:

1. This e-mail confirms that MMC Realty Corp has transferred the deeds in question to MMC itself. MMC is the owner and is making the application.
2. The Parking area is accessory to 48-52 Gilman Street
3. The revised site plan will be submitted by Sebago Technics (this afternoon) to include:  
Impervious surface calcs  
Added bike hitch for 2 bikes  
Tip downs as requested  
Matching bricks as much as possible  
Cape cod curb  
Decreased space between trees  
Added fencing between upper and lower parking lots and along portion of A street  
Thank you again.

Hank Dunn

252-7997

---

>>> "Jean Fraser" <JF@portlandmaine.gov> 10/8/2009 12:01 PM >>>  
Hank,

I received your voice message of this morning and have spoken to some of the other reviewers to clarify the current review status. You should know that it is possible for any approval of this application (as for any minor site plan application) to be appealed to the Planning Board under Section 14-527 (wording is attached at very end).

Any aggrieved party can appeal. While I have no idea if any party will wish to appeal any final approval letter, I have tried to ensure that the Neighborhood Association representatives/other neighbors who contact me are made aware that (a) this is separate from the CZA conversations that have been taking place and (b) this is a development proposal that will be reviewed in accordance with the Site Plan Ordinance.

If it is appealed it would need to go to the Planning Board and the Board would be scrutinizing all of the submission docs and looking for



evidence that all of the Site Plan requirements and standards have been met (in addition to zoning).

This is where things stand:

1. I think we are OK re the deeds and the survey but could you send me an e-mail confirming that the Property Owner for the subject site is Maine Medical Center (as on the application you have stated it is MMC Realty Corp.);

2. Zoning: I understand this is OK but am awaiting final written comments.

3. Traffic Engineering: Please see the attached comments- please note that the Reviewer is indicating that you don't need the striped turning area and could have one more parking space- if you want to convert that to a parking space please submit a revised site plan asap.

4. Public Services comments: These are attached; the site plan needs to add at least 2 bicycle parking spaces (see Tech Std on this, attached) and be revised (add notes) to address the DPS comments.

5. Landscape: The Ordinance standard is: Landscaping and buffers. Standard: In the B-1, B-1b, B-2 and B-2b zones buildings and associated parking areas must be screened to buffer abutting properties. A densely planted landscape buffer and/or fencing will be required to protect neighboring properties from the impacts associated with the development, including lighting, parking, traffic, noise, odor, smoke, or other incompatible uses...

This site is unusual in that it is sunken as compared with the nearby houses; our City Arborist is the usual reviewer of landscape and planting and he (Jeff Tarling) is preparing formal comments on this (I am pressing him).

Fencing: As evident in the attached photos the upper level existing parking area has fencing along the change of level between it and the site. At the corner where the change of level is greatest (near the existing fence) your proposals show a very steep slope (with no fencing) immediately adjacent to the sidewalk. I suggest that some fencing along the top of this area (along the back of the sidewalk and integrated with the existing fence on the adjacent site) is necessary for safety reasons, though probably for only part of the A Street frontage. We can discuss further; others may have a suggestion on how to best address this high level corner of the site.

The submission does not include a note setting out the calculation that compares the footprint of the former Eagles Building with the area of the proposed landscaping; could you please set out the calculations in an e-mail.

I appreciate that you would like to implement this project immediately given the time of year and will press all involved at our side to move as quickly as possible.

Thank you

Jean

Jean Fraser, Planner  
City of Portland  
874 8728

Below: comments of the Traffic Engineering Reviewer and then an extract from the City's Ordinance regarding appeals

Attached: Dept of Public Services Comments; Tech Stds for Bicycle Parking and 2 photos re the corner of the site at highest grade near A street

>>> "Tom Errico" <thomas.errico@tylin.com> 10/8/2009 8:55:13 AM >>>  
Jean - I have reviewed the site plan prepared by Sebago Technics dated September 8, 2009 and offer the following comments.

. The plans note that the parking stall depth will be 18 feet. This does not meet City standards, but I support a waiver from the technical standards.

. The parking lot illustrates a painted area that allows vehicles to turn around. The City does not require such a provision and it can be eliminated to allow for one additional parking space (the City requires a turnaround space for parked vehicles such that they don't have to backup onto the public street system and that is provided).

. I approve the proposed new curb cut that will result in one 24-foot driveway and the closure of the curb cut nearest 'A' Street. I would note that this driveway does not meet City access spacing requirements as it is approximately 30 feet from the adjacent existing driveway toward Congress Street. Based upon my review of field conditions, I support a waiver from the technical standards.

If you have any questions, please contact me.

Best regards,

Thomas A. Errico, P.E.

T.Y. Lin International

12 Northbrook Drive  
Building A, Suite One  
Falmouth, ME 04105

207.347.4354 (Direct)  
207.781.4721 (Main)  
207.781.4753 (Fax)  
207.400.0719 (Mobile)

FROM CITY OF PORTLAND LAND USE ORDINANCE:  
Sec. 14 527. Appeals.

(a)When the planning authority has finally approved or disapproved a site plan, any person aggrieved may appeal the decision to the Planning Board within ten (10) days of the decision being rendered. Upon the taking of such an appeal, the application shall be reviewed as if referred by the planning authority, except that the Planning Board may not decline to accept the reference.

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CC: "Alex Jaegerman" <AQJ@portlandmaine.gov>, "Penny Littell" <PL@portlandmaine.gov>

**From:** Jean Fraser  
**To:** Dunn, Henry  
**Date:** 10/8/2009 12:01:36 PM  
**Subject:** Review status re MMC Parking Area - 261 Valley Street

Hank,

I received your voice message of this morning and have spoken to some of the other reviewers to clarify the current review status. You should know that it is possible for any approval of this application (as for any minor site plan application) to be appealed to the Planning Board under Section 14-527 (wording is attached at very end).

Any aggrieved party can appeal. While I have no idea if any party will wish to appeal any final approval letter, a have tried to ensure that the Neighborhood Association representatives/other neighbors who contact me are made aware that (a) this is separate from the CZA conversations that have been taking place and (b) this is a development proposal that will be reviewed in accordance with the Site Plan Ordinance.

If it is appealed it would need to go to the Planning Board and the Board would be scrutinizing all of the submission docs and looking for evidence that all of the Site Plan requirements and standards have been met (in addition to zoning).

This is where things stand:

1. I think we are OK re the deeds and the survey but could you send me an e-mail confirming that the Property Owner for the subject site is Maine Medical Center (as on the application you have stated it is MMC Realty Corp.);
2. Zoning: I understand this is OK but am awaiting final written comments.
3. Traffic Engineering: Please see the attached comments- **please note that the Reviewer is indicating that you don't need the striped turning area and could have one more parking space- if you want to convert that to a parking space please submit a revised site plan asap.**
4. Public Services comments: These are attached; the site plan needs to add at least 2 bicycle parking spaces (see Tech Std on this, attached) and be revised (add notes) to address the DPS comments.
5. Landscape: The Ordinance standard is: *Landscaping and buffers. Standard: In the B-1, B-1b, B-2 and B-2b zones buildings and associated parking areas must be screened to buffer abutting properties. A densely planted landscape buffer and/or fencing will be required to protect neighboring properties from the impacts associated with the development, including lighting, parking, traffic, noise, odor, smoke, or other incompatible uses...*

This site is unusual in that it is sunken as compared with the nearby houses; our City Arborist is the usual reviewer of landscape and planting and he (Jeff Tarling) is preparing formal comments on this (I am pressing him).

Fencing: As evident in the attached photos the upper level existing parking area has fencing along the change of level between it and the site. At the corner where the change of level is greatest (near the existing fence) your proposals show a very steep slope (with no fencing) immediately adjacent to the sidewalk. I suggest that some fencing along the top of this area (along the back of the sidewalk and integrated with the existing fence on the adjacent site) is necessary for safety reasons, though probably for only part of the A Street frontage. We can discuss further; others may have a suggestion on how to best address this high level corner of the site.

The submission does not include a note setting out the calculation that compares the footprint of the

former Eagles Building with the area of the proposed landscaping; could you please set out the calculations in an e-mail.

I appreciate that you would like to implement this project immediately given the time of year and will press all involved at our side to move as quickly as possible.

Thank you

Jean

Jean Fraser, Planner  
City of Portland  
874 8728

**Below: comments of the Traffic Engineering Reviewer and then an extract from the City's Ordinance regarding appeals**

**Attached: Dept of Public Services Comments; Tech Stds for Bicycle Parking and 2 photos re the corner of the site at highest grade near A street**

>>> "Tom Errico" <thomas.errico@tylin.com> 10/8/2009 8:55:13 AM >>>

Jean - I have reviewed the site plan prepared by Sebago Technics dated September 8, 2009 and offer the following comments.

. The plans note that the parking stall depth will be 18 feet. This does not meet City standards, but I support a waiver from the technical standards.

. The parking lot illustrates a painted area that allows vehicles to turn around. The City does not require such a provision and it can be eliminated to allow for one additional parking space (the City requires a turnaround space for parked vehicles such that they don't have to backup onto the public street system and that is provided).

. I approve the proposed new curb cut that will result in one 24-foot driveway and the closure of the curb cut nearest 'A' Street. I would note that this driveway does not meet City access spacing requirements as it is approximately 30 feet from the adjacent existing driveway toward Congress Street. Based upon my review of field conditions, I support a waiver from the technical standards.

If you have any questions, please contact me.

Best regards,

Thomas A. Errico, P.E.

T.Y. Lin International

12 Northbrook Drive  
Building A, Suite One  
Falmouth, ME 04105

207.347.4354 (Direct)  
207.781.4721 (Main)  
207.781.4753 (Fax)  
207.400.0719 (Mobile)

**FROM CITY OF PORTLAND LAND USE ORDINANCE:**

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**CC:** Barhydt, Barbara

**From:** "Dan Goyette" <DGoyette@woodardcurran.com>  
**To:** "Jean Fraser" <JF@portlandmaine.gov>  
**Date:** 10/8/2009 2:00:24 PM  
**Subject:** MMC Parking Lot (261-269) Valley Street

Jean,

I have no comments for this project at this time.

Dan Goyette, P.E.  
Project Engineer  
(207) 774-2112 (office)  
(207) 774-6635 (fax)

dgoyette@woodardcurran.com

Woodard & Curran  
www.woodardcurran.com  
Commitment & Integrity Drive Results

10-14-09  
At Dev Rev Mtg Dan Goyette (Eng Reviewer) and  
David Margolis - Puro (Depn City Engineer)  
Confirmed that the sheet-flow drainage proposed  
for this parking lot project is satisfactory and no  
additional catchbasins are required. JF.

(ref. comment in  
letter from M-Sabina)

**From:** Jeff Tarling  
**To:** Jean Fraser  
**Date:** 10/8/2009 5:40:18 PM  
**Subject:** Re: Fwd: Review status re MMC Parking Area - 261 Valley Street

Hi Jean -

I have reviewed the proposed parking area at 261 Valley Street at the corner of A Street and offer the following comments:

The site elevations and former use / existing conditions make the landscape treatment or screening of this site more difficult than the regular 'plan view' shows.

The goal of the landscape plan would be to blend the proposed use into the nearby residential and mixed use neighborhood. Nearby, older existing parking lots have not met or would not meet the current or desired goals. Solving the slope or grade changes may require a fence or wall treatment with a mix of additional landscape treatment. Treatment of the grade changes between the Gilman Street elevation on A Street to Valley Street should consider pedestrian movement or restrict the potential to cut through the site from Gilman Street at A Street sidewalk towards Congress Street at Valley Street.

Recommendations -

a) Street trees - increase the spacing of street trees from 45' oc to 30' (+/-)

b) Landscape treatment internal - between the proposed parking lot and the slope to Gilman Street, plant five evergreen trees, spruce or pine similar to the treatment of the MMC HV plant slope nearby on Gilman Street. This would make the street view towards Maine Medical Center appear consistent in the future.

The second part would be to improve the Valley street view along the sidewalk. This might be accomplished by adding some lower shrub plantings or fencing between the parking lot and the sidewalk. Knowing the safety /security issues this landscape treatment should not be too dense to make the parking lot unsafe - so a balance should be made between improving the site and making it a hiding place.

As with all parking lot recommendations, internal curbing should be bituminous 'Cape Cod' style minimum to protect the plants. Snow storage room should also be considered as not to damage the plantings.

**CC:** David Margolis-Pineo

10-9-09

Spoke to Hank Dunn

He confirmed would address all issues (incl. confirmation of accessory to what) and revise plans to include railing along Gilman st side + part 'A' Street side + more planting.

(Discussions at Div level w/ Mike Ryan taking place)

f/w to HD  
 10-9-09 before  
 10am



**Zoning Administrator Marge Schmuckal**  
**10/08/09**

I have reviewed the proposal for a reuse of the old Eagles lot to an accessory parking lot to a medical building on Gilman Street. This lot was used as a laydown lot during the construction of the latest additions to the main building of Maine Medical Center. It is covered under the C-41 contract zone. The previous underlying zone was B-2. Legal has determined that currently the old Eagles lot and the medical building on Gilman Street are under the same ownership.

The B-2 Zone allows accessory uses such as parking under section 14-404. This parking lot is accessory to the medical building on Gilman Street. This parking lot is located in the rear of the Gilman Street building and would not violate the front yard parking provision of 14-186(d)1.

According to the Assessor's record the Eagles's lot was 9,517 sq. ft. The current plan does not delineate where the property line is on the "site" plan. The actual property line should be delineated on the plans. The B-2 Zone allows a maximum impervious surface of 80%. I figured the area of what was is being proposed as impervious and compared that to the Assessor's information. It resulted in approximately 48% impervious area which is well under the maximum of 80%. The applicant shall confirm the actual impervious calculations.

There are no curbing details to show how the cars will stay on the pavement provided.

It is noted that this parking lot is considered an accessory use. The B-2 Zone does not permit separate, stand alone, surface parking lots as a permitted use. Therefore this lot shall not be divided off from the principal medical building lot as a separate lot. These lots have merged based upon the proposed use.

*f/w to HD  
10-9-09 before  
10 am  
also copied  
to MS + PM*

**From:** "Tom Errico" <thomas.errico@tylin.com>  
**To:** "Jean Fraser" <JF@portlandmaine.gov>  
**Date:** 10/8/2009 8:56:36 AM  
**Subject:** MMC Parking Area - 261 Valley Street

Jean - I have reviewed the site plan prepared by Sebago Technics dated September 8, 2009 and offer the following comments.

The plans note that the parking stall depth will be 18 feet. This does not meet City standards, but I support a waiver from the technical standards.

The parking lot illustrates a painted area that allows vehicles to turn around. The City does not require such a provision and it can be eliminated to allow for one additional parking space (the City requires a turnaround space for parked vehicles such that they don't have to backup onto the public street system and that is provided).

I approve the proposed new curb cut that will result in one 24-foot driveway and the closure of the curb cut nearest 'A' Street. I would note that this driveway does not meet City access spacing requirements as it is approximately 30 feet from the adjacent existing driveway toward Congress Street. Based upon my review of field conditions, I support a waiver from the technical standards.

If you have any questions, please contact me.

Best regards,

Thomas A. Errico, P.E.

T.Y. Lin International

12 Northbrook Drive  
Building A, Suite One  
Falmouth, ME 04105

207.347.4354 (Direct)  
207.781.4721 (Main)  
207.781.4753 (Fax)  
207.400.0719 (Mobile)

**CC:** "Katherine Earley" <KAS@portlandmaine.gov>, "David Margolis-Pineo" <DMP@portlandmaine.gov>

**From:** "Dan Goyette" <DGoyette@woodardcurran.com>  
**To:** "Jean Fraser" <JF@portlandmaine.gov>  
**Date:** 10/8/2009 2:00:24 PM  
**Subject:** MMC Parking Lot (261-269) Valley Street

Jean,

I have no comments for this project at this time.

Dan Goyette, P.E.  
Project Engineer  
(207) 774-2112 (office)  
(207) 774-6635 (fax)

[dgoyette@woodardcurran.com](mailto:dgoyette@woodardcurran.com)

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[www.woodardcurran.com](http://www.woodardcurran.com)  
Commitment & Integrity Drive Results

**From:** Danielle West -Chuhta  
**To:** Fraser, Jean  
**Date:** 10/8/2009 9:48:07 AM  
**Subject:** Re: Fwd: Eagles lot and 48-52 Gilman deeds showing MMC ownership

Jean:

I have reviewed the deeds mentioned on the plat, the deeds provided by the applicant and the assessors records. The assessors records are not current. They identify the ownership in MMC Realty Corp. based on deeds from 1989 and 1990. The deeds provided by the applicant (from 1997) show that all of the lots are in MMC ownership. The other deeds mentioned on the plat do not affect this ownership.

Thanks,

Danielle

>>> Jean Fraser 10/8/2009 9:31:34 AM >>>  
another

>>> Penny Littell 10/7/2009 5:02:10 PM >>>

>>> "Henry Dunn" <[DUNNH@mmc.org](mailto:DUNNH@mmc.org)> 9/11/2009 8:04:09 AM >>>

I stand corrected they are common ownership but that common ownership was transferred to MMC from MMC Realty Corp..

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Info from Assessors

65-H 2  
930 Congress  
MMC Realty Corp (60-64 Gilman)

# 261-269 Valley Street



65-H-1  
Maine  
Medical  
Center  
932  
Congress St.  
(271-281  
Valley St.)

65-H-5  
MMC  
Realty Corp  
52 Gilman  
(48-58 ")

65-H-9  
MMC  
Realty Corp.  
261-269  
Valley

65-H-8  
42-46 (44)  
Gilman  
MMC  
Realty  
Corp.



0 6 10 20 30 40  
Unknown Units

< Double-click to enter text >

5 lots

September 30, 2009

To: Barbara Barhydt  
Jean Fraser  
From: David Margolis-Pineo and  
Public Services Staff  
Re: MMC Parking Area  
261-269 Valley Street

1. Bicycle parking should be added.
2. The applicant is requested to rebuild both sides of the proposed driveway cut to include granite tipdowns on both sides of the cut.
3. The applicant is asked to try to match any new additional bricks to the bricks that currently exist. Reuse existing unbroken bricks when possible. The City may be a source to help match bricks.
4. The applicant is proposing a 3:1 grass slope to meet the parking area. Care shall be taken to protect erosion during and after construction. A mat material may be appropriate for erosion stabilization.

---

10/8/09 DGoyette confirmed in e-mail  
that he had no comments.

**From:** Jean Fraser  
**To:** Dunn, Henry  
**Date:** 9/30/2009 4:56:36 PM  
**Subject:** MMC parking are 26-269 Valley Street

Hank,

Further to my voice message; there are some somewhat basic issues that need to be clarified:

1. Who owns this site- the submitted deed says Maine Medical Center; however, our tax records show MMC Realty Corp (& the survey refers to a deed that is not submitted);
2. My understanding is that there are 2 buildings in this block and this proposed parking is "accessory" to the uses in these buildings. Our tax records indicate that one of them is owned by Maine Medical Center (corner of Valley and Congress) and one of them is owned by MMC Realty Corp (Gilman). The deeds for these properties have not been submitted.
3. Therefore we do not have evidence that this site is clearly accessory to at least one of those buildings; nor does the site plan clarify how people parking in the proposed spaces get to the building to which it is accessory.

I am awaiting detailed review comments and will be preparing a more comprehensive review letter, but if you could send deeds/info to clarify re above that would help move things along.

Thank you  
Jean

Jean Fraser, Planner  
City of Portland  
874 8728

required in its Congress Street/Forest Street parking garage. In addition, MMC shall require all of its vendors, contractors and subcontractors to utilize a parking garage or other approved parking area/facility for vehicles and truck parking during construction.

13. MMC agrees to divest itself of ownership of the following existing structures owned by MMC according to the following schedule:

Prior to the issuance of a certificate of occupancy for the Charles Street Addition:

15 Crescent Street (Map 53, Block F, Lot 6)  
25 Crescent Street (Map 53, Block E, Lot 5)  
25 Ellsworth Street (Map 53, Block H, Lot 2)  
32 Ellsworth Street (Map 54, Block C, Lot 5)  
20 Hill Street (Map 54, Block C, Lot 1)

No later than January 1, 2010 or the issuance of a certificate of occupancy for any of the future expansions described in Section 6(b) above, whichever is earlier:

19 Bramhall Street (Map 63, Block A, Lot 4)  
23 Bramhall Street (Map 63, Block A, Lot 3)  
25 Bramhall Street (Map 63, Block A, Lot 2)  
31 Bramhall Street (Map 63, Block A, Lot 1)

The deadline for divestiture of any of such property may be extended by the Planning Authority if MMC demonstrates that reasonable good faith efforts to market the property instituted at least 6 months prior to the deadline have failed to produce a bona fide offer at or above fair market value and on commercially reasonable terms.

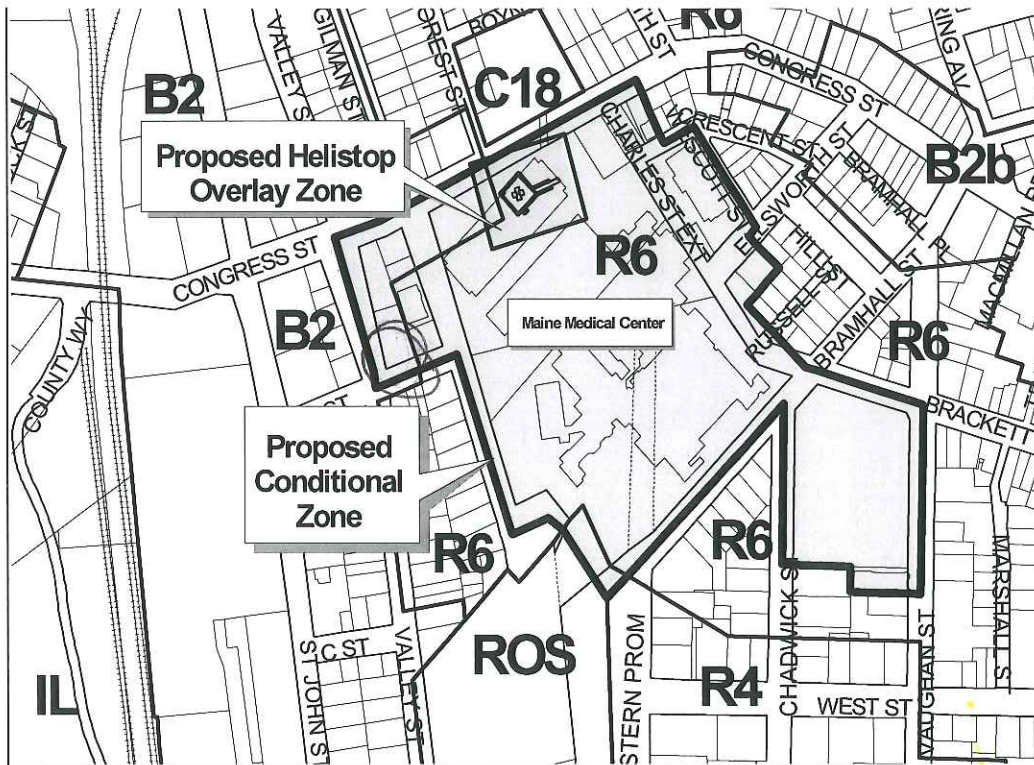
14 MMC agrees that it will remove the existing building located at 261-269 Valley Street (formerly the "Eagles Club") within 12 months after the effective date of this Agreement and that the site of the removed building will be loamed and seeded unless and until otherwise developed pursuant to an approved site plan.

15 MMC shall provide landscaping of the area surrounding its Vaughn Street parking lot as shown on the landscaping plan attached hereto as Exhibit G and shall construct, maintain and continue to own the "pocket park" located at Ellsworth and Charles Streets as shown on the Site Plan (Exhibit B). The improvements to the Vaughn Street parking lot shall be completed within 12 months of the effective date of this Agreement.

16. MMC agrees to allow public pedestrian access between its campus and Congress Street through a new enclosed stairway to be constructed adjacent to the New Parking Garage, as depicted on Exhibit B.

17.. MMC shall contribute \$800,000 to the CITY to use for public improvements in the general vicinity of Maine Medical Center.





**Proposed Rezoning for Maine Medical Center  
from R6 & B2 to Conditional  
with Helistop Overlay Zone**

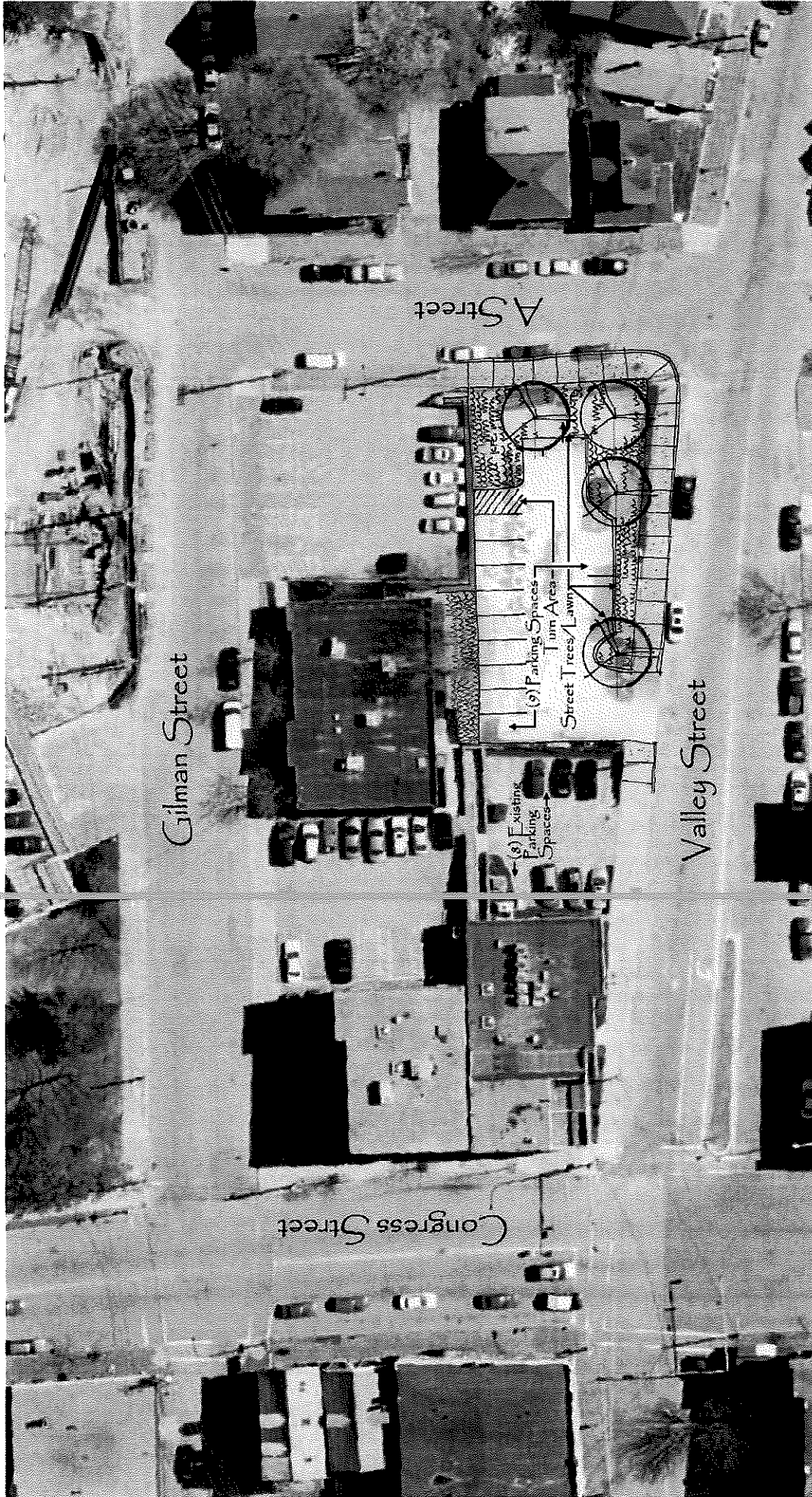
January 2005

100 0 100 200 Feet

Map prepared by the City of Portland's Department of Planning & Development and the GIS Workgroup

4. The **PROPERTY** and site improvements shall be developed and operated substantially in accordance with the site plan shown on Exhibit B (the "Site Plan"), which Site Plan includes but is not limited to street layouts, landscaping, and building elevation drawings for initial construction, subject to the approval of the Site Plan by the City's Planning Board in compliance with the requirements of Chapter 14, Article V. The architectural treatment of the façade of the New Parking Garage may be revised during site plan review and shall meet the site plan standards of 14-526(16). Minor revisions to the Site Plan in the nature of field adjustments may be approved by the Planning Authority, without the need for amendment of this Agreement or further approval by the City Council.

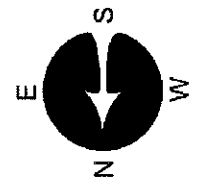
5. No building permits shall be issued unless and until MMC receives conditional use approval pursuant to section 14-474 (Expansion of Institutional Use) and section 14-483 (Housing Replacement), site plan approval pursuant to section 14-483(e) of the City Code, approval under the Site Location of Development Act and an MDOT traffic movement permit, if required. No occupancy of the newly constructed buildings shall be permitted unless and until all site plan conditions of approval have been satisfied and the City Council has taken final action on the street discontinuances and street acceptances required for the realignment of certain streets, as shown on the Site Plan (Exhibit B).



Site and Landscape Plan Option  
**VALLEY STREET/A STREET PARKING AREA**

Prepared for Maine Medical Center

August 5, 2009



**Sebago Technics**  
 Engineering Expertise You Can Build On

*understood to have been  
 shown at various mtgs.*

