PERMIT ISSUED

JAN 20 2011

City of Portland

Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 101483

Please Read Application And Notes, If Any, Attached

This is to certify that GALAPAGOS PROPERTIES LLC/Viking Restoration

has permission to interior Repairs after fire

AT 274 PARK AVE **CBL** 065 E002001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. W. Gaetano

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Director - Building & Inspection Services 1/20/11

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Issue Date:	CBL:
10-1483		065 E002001

Location of Construction:	Owner Name:	Owner Address:	Phone:
274 PARK AVE	GALAPAGOS PROPERTIES LLC	68 WOLCOTT ST	
Business Name:	**Contractor Name:**	**Contractor Address:**	**Phone**
	Viking Restoration	1809 Congress St Portland	2078282900
Lessee/Buyer's Name	**Phone:**	**Permit Type:**	**Zone:**
		Alterations - Multi Family	R-6

Past Use:	Proposed Use:	Permit Fee:	Cost of Work:	CEO District:
6 unit Residential legal use-	6 unit Residential - interior Repairs after fire 6 d.u.	$1,520.00	$150,000.00	2

FIRE DEPT: ☑ Approved ☐ Denied
*See Conditions
Signature: RG

INSPECTION:
Use Group: R-2 Type: 3B
IBC-2003
Signature: JMB 1/20/11

Proposed Project Description:
interior Repairs after fire

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
Action: ☐ Approved ☐ Approved w/Conditions ☐ Denied
Signature: Date:

Permit Taken By:	Date Applied For:
ldobson	11/30/2010

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

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City of Portland

Zoning Approval

Special Zone or Reviews	Zoning Appeal	Historic Preservation
☐ Shoreland	☐ Variance	☑ Not in District or Landmark
☐ Wetland	☐ Miscellaneous	☐ Does Not Require Review
☐ Flood Zone	☐ Conditional Use	☐ Requires Review
☐ Subdivision	☐ Interpretation	☐ Approved
☐ Site Plan	☐ Approved	☐ Approved w/Conditions
Maj ☐ Minor ☐ MM ☐	☐ Denied	☐ Denied
Date: 12/1/10 or w/condition	Date:	Date:

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE

City of Portland, Maine - Building or Use Permit
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Date Applied For:	CBL:
10-1483	11/30/2010	065 E002001

Location of Construction:	Owner Name:	Owner Address:	Phone:
274 PARK AVE	GALAPAGOS PROPERTIES LLC	68 WOLCOTT ST	
Business Name:	**Contractor Name:**	**Contractor Address:**	**Phone**
	Viking Restoration	1809 Congress St Portland	(207) 828-2900
Lessee/Buyer's Name	**Phone:**	**Permit Type:**	
		Alterations - Multi Family	

Proposed Use:	Proposed Project Description:
6 unit Residential - interior Repairs after fire	interior Repairs after fire

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 12/01/2010
Note: **Ok to Issue:** ☑

1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2) This property shall remain a six family dwelling. Any change of use shall require a separate permit application for review and approval.
3) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 01/20/2011
Note: **Ok to Issue:** ☑

1) Prior to the final inspection a sealed letter shall be submitted to this office from the engineer confirming that based on inspections performed the structural work is in substantial compliance with the approved plans.
2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial kitchen exhaust hood systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
3) Per the engineers recommendation, this building shall be inspected for structural stability every 3-5 years.
4) Application approval based upon information provided by applicant including revisions as dated. Any deviation from approved plans requires separate review and approrval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 12/06/2010
Note: **Ok to Issue:** ☑

1) The entire structure shall comply with Chapter 10 of the Portland City Code for "Existing Apartments." Compliance shall be insured prior to the issuance of a Certificate of Occupancy.
2) All construction shall comply with City Code Chapter 10.
3) The building shall be sprinkled in accordance with NFPA 13R.
4) Two means of egress are required from every story. "State Law Title 25 ~ 2453"
5) Bedrooms shall have atleast one egress window to code.
6) Sprinkler protection shall be maintained.
Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
7) A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads.
8) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance.
Compliance letters are required.
9) Application requires State Fire Marshal approval.

PERMIT ISSUED
JAN 20 2011
City of Portland

Location of Construction:	Owner Name:	Owner Address:	Phone:
274 PARK AVE	GALAPAGOS PROPERTIES LLC	68 WOLCOTT ST	
Business Name:	**Contractor Name:**	**Contractor Address:**	**Phone**
	Viking Restoration	1809 Congress St Portland	(207) 828-2900
Lessee/Buyer's Name	**Phone:**	**Permit Type:**	
		Alterations - Multi Family	

10 This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require ammendments and approval.

Comments:

12/16/2010-jmb: Spoke with Tony from Viking, the plans submitted only cover the structural aspects, the plans for all interior work will be submitted next week. Discussed tempered windows and basement use fire separations. Building will be sprinklered. Fire review will be required when these plans are submitted.

12/21/2010-jmb: Architectural plans submitted today, need electronic copy.

12/22/2010-jmb: Left vcmsg for Tony @ Viking for details including labeling plans for all fire rated walls, sound transmission of walls to be 50 STC, specify the finish of the exterior brick walls (R-10), specify 5/8 sheetrock (type X,C), explain general note #3, R-49 in roof, spec on windows - U factor, spec fire penetrations, fire doors, laundry area separated from unfinished basement, only one egress from basement, also need electronic copy.

12/23/2010-jmb: Spoke with Tony @ Viking about review items, he will submit revised plans. He verified note #3 and R-49 in roof. Exterior walls have limited depth for insulation, will maximize spray foam thickness. Laundry area will be eliminated from basement

1/7/2011-jmb: Received via email revised plans

1/10/2011-jmb: Returned email with requested clarifications, see copy.

1/13/2011-jmb: Received revisions via email pdf, routed to fire for their review

1/20/2011-jmb: R'cvd from fire, ok to issue

PERMIT ISSUED

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City of Portland

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

__X__ Framing/Rough Plumbing/Electrical: Prior to Any Insulating, drywalling or covering.

__X__ Final inspection required at completion of work, including engineers letter.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

PERMIT ISSUED

JAN 20 2011

City of Portland

CBL: 065 E002001 **Building Permit #:** 10-1483

General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 274 Park Ave - Portland ME		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories: 3
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 65 E 007	Applicant *must be owner, Lessee or Buyer* Name Address City, State & Zip	Telephone:
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Galapagos Properties Address PO Box 15233 City, State & Zip Portland ME 04112	Cost Of Work: $ 150,000 C of O Fee: $ Total Fee: $ 1520

Current legal use (i.e. single family) 6 unit Number of Residential Units
If vacant, what was the previous use?
Proposed Specific use:
Is property part of a subdivision? If yes, please name
Project description: fire rehab to interior.

Contractor's name: Kikis Restoration
Address: 1817 Congress Street 749-3349
City, State & Zip Portland ME 04102 Telephone: 828-2900
Who should we contact when the permit is ready: Tony Telephone:
Mailing address: PO Box 15233

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

RECEIVED
NOV 30 2010
Dept. of Building Inspections
City of Portland Maine

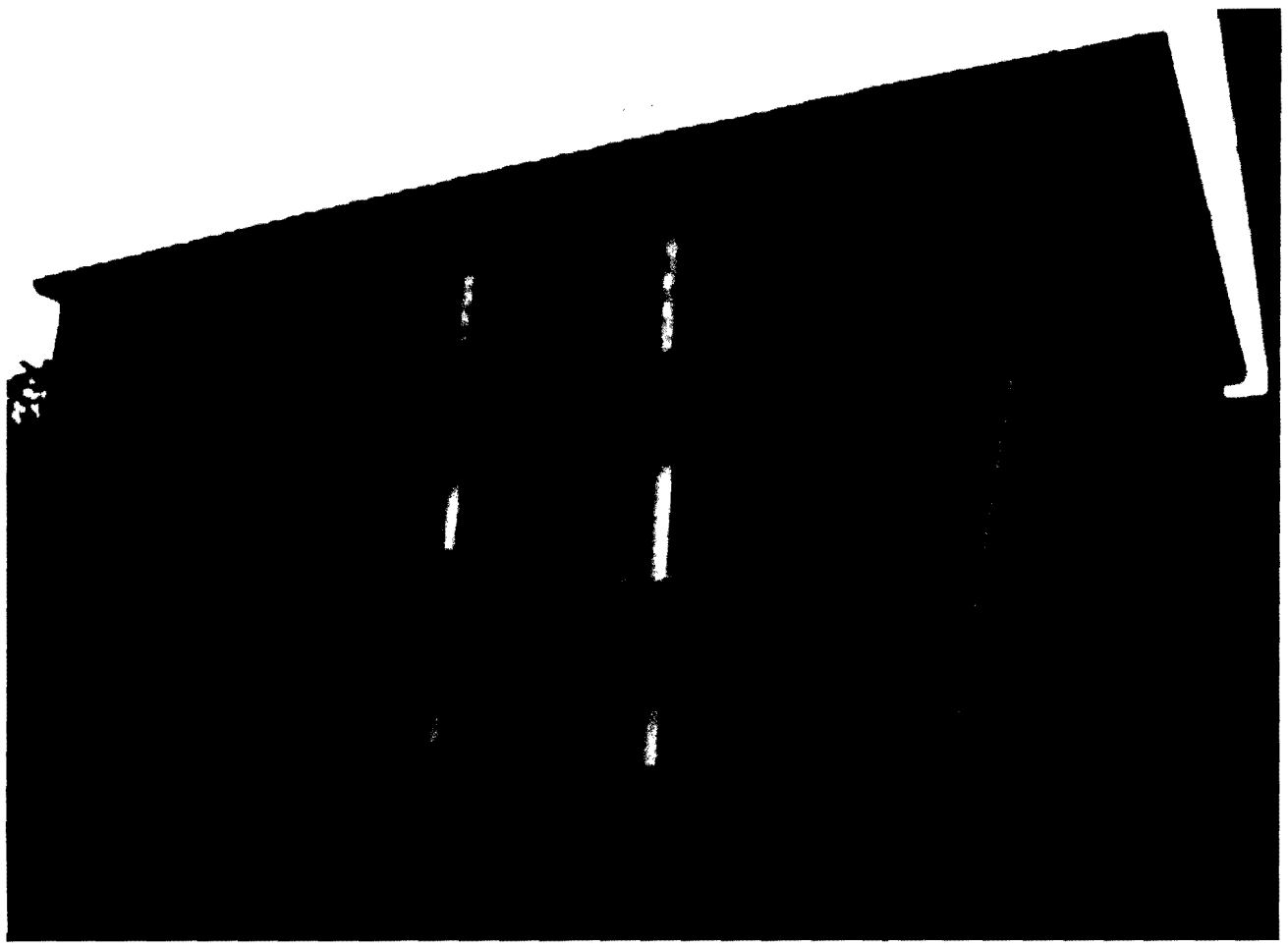
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

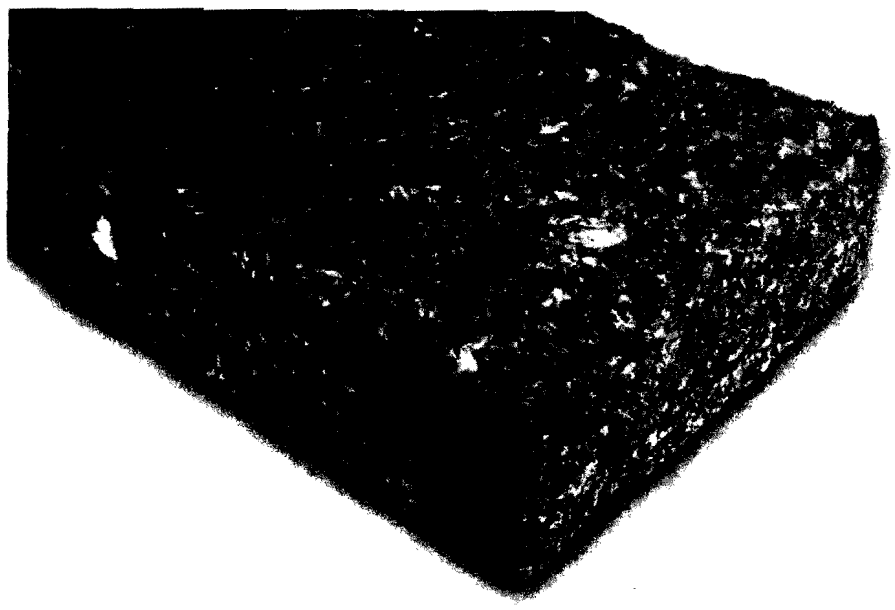
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Date: 11/30/10

This is not a permit; you may not commence ANY work until the permit is issued

Revised 01-20-10





UltraTouch
Natural Cotton Fiber Insulation

PERFORMANCE

BONDED LOGIC *Started out with one objective... to manufacture superior performing products that are safe for you and the environment we live in.*

Utilizing almost exclusively natural fibers, Bonded Logic combines over twenty-five years of fiber insulation experience with a patented manufacturing process to create an insulation that provides our customers with the two main qualities necessary when it comes to purchasing any building product— Performance and Peace of Mind.

All of our Insulation products are Class-A fire rated, offer superior thermal and acoustical properties, and are treated with a non-toxic mold, mildew and pest inhibitor. These qualities provide a product that is both high-performing as well as safe for you and the environment.

When it comes to making that choice, we know that safety, health, and superior performance are key factors in making that decision. That's why we are confident that UltraTouch Natural Cotton Fiber Insulation will be the right choice for you!

UltraTouch is environmentally friendly insulation packed with quality features including no-itch or skin irritation, maximum thermal performance, and super sound absorption. UltraTouch is a product whose time has come.

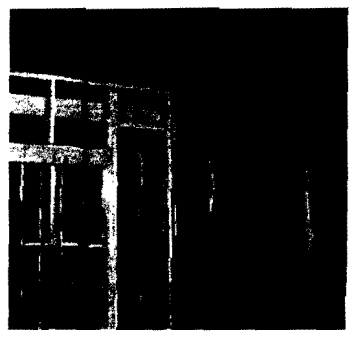
ACOUSTICAL PERFORMANCE

Controlling sound and noise transmissions through walls, ceilings and floors can be a complex challenge in design and construction. UltraTouch offers an extremely high Noise Reduction Coefficient (NRC) to effectively reduce airborne sound transmissions including traffic, airplanes, radio, television, and everday human conversation.

The natural fibers used to make UltraTouch provide excellent sound-absorbing qualities, while the patented manufacturing process used to create UltraTouch produces a three-dimensional infrastructure that effectively traps, isolates, and controls sound waves. The result is a quiet comfortable environment between rooms, walls, and flooring.

MEMBER

"It is our commitment that Bonded Logic will continue to make safe and sustainable building products that you can count on for years to come"



"Superior and Safe insulation for you and your walls"

and peace of mind

R-VALUE *UltraTouch provides maximum R-Value performance.The unique construction of the insulation contains thousands of tiny air pockets that work to maintain strong thermal protection even in extreme temperature changes. The density of UltraTouch also contributes to providing a consistent thermal performance day in and day out.*

UltraTouch is manufactured in "oversized" widths and is installed with a friction fit to provide maximum fill capacity. This also reduces the chance for air convection and infiltration that can occur with smaller sized insulation batts.

ENVIRONMENTALLY SAFE

The natural fibers used to manufacture UltraTouch are 100% recyclable, reducing landfill waste. When feasible, UltraTouch construction waste can be returned to Bonded Logic for re-introduction to the raw material supply. These fibers are also 100% post-consumer, giving a new life to material that was bound for the landfill.

UltraTouch requires minimal energy to manufacture therefore aiding the environment with energy conservation and a reduction in pollution. Traditional insulation manufacturers consume considerably more energy while creating additional unwanted pollution and landfill waste. UltraTouch contains zero VOCs, has no offgassing concern, and lacks the formaldehyde of traditional insulations.

When choosing UltraTouch for your commercial or residential project, you are making a commitment to our environment. Your structure will not only be well insulated, thereby maximizing HVAC efficiency, but will also be a healthy space for it's inhabitants to live and work. Making the choice to use UltraTouch Natural Cotton Fiber Insulation confirms your committment to the health and safety of our planet and the people who reside here.

MOLD RESISTANT *All natural fibers used to manufacture UltraTouch are treated with a non-toxic borate solution. The fibers are then "flash-dried" to ensure that every fiber that goes into the production of UltraTouch will meet out strict standards. Borates are an effective natural biostat that actively inhibits the growth of mold, mildew, bacteria, and fungi. Borates also act as an excellent fire retardent, giving UltraTouch a Class-A Fire Rating and deterring pest infiltration.*

LEED™ *UltraTouch Insulation can contribute to earning multiple LEED credits throughout the program. UltraTouch contains 90% post-consumer recycled content and uses cotton, a rapidly renewable resource, as one of its main ingredients. UltraTouch does not contain any harmful chemicals or irritants and therefore does not pose any VOC or off-gassing concerns.*

Using UltraTouch for your next LEED project will not only assist you in earning LEED credits but will also provide your clients with a superior, healthy, and safe insulation they can depend on.

N A T U R A L C O T T O N - F I B E R I N S U L A T I O N

- ***Excellent Noise Absorbtion***
- ***Maximum R-Value***
- ***Class-A Fire Rated***
- ***No Itch or Skin Irritation***
- ***Resists Microbial Growth***
- ***No Formaldehyde***
- ***A LEED Eligible Product***

UltraTouch

ULTRATOUCH® INSULATION

Is a Class-A building material that can be used for both interior and exterior walls as well as most ceiling applications. UltraTouch can be installed in either wood or metal framing cavities and between furring channels by using a simple friction fit.

UltraTouch Natural Cotton Fiber Insulation is safe to handle and install without the need for protective clothing or special respiratory equipment.

PHYSICAL PROPERTIES

	PERFORMANCE	TEST METHOD
Surface Burning Characteristics *(Fire Hazard Classification)*	Flame Spread 5 *(Class 1)* Smoke Developed 35 *(Class 1)*	ASTM E-84 UL-723
Corrosion Resistance	Passed	ASTM C-739
Fungi Resistance	Passed – No Growth	ASTM C-739
Bacteria Resistance	Passed – No Growth	ASTM C-739
Moisture Absorption	Passed – Less Than 15 %	ASTM C-739
Fire Test of Building Material	Passed – 1 Hour Rating	ASTM E-119 / UL-263

THERMAL/TECHNICAL INFORMATION

** Tested in accordance with ASTM C -518 at a temperature of 75° F. Higher R-values equal greater insulating power.*

PRODUCT CODE	R-VALUE*	THICKNESS	(MM)	WIDTH	(MM)	LENGTH	(M)	SQ. FT./BAG	WEIGHT
10002-81632	8	2.0"	51	16.25"	413	32'	9.75	129.99	22 lbs.
10002-82432	8	2.0"	51	24.25"	616	32'	9.75	129.34	22 lbs.
10002-01316	13	3.5"	89	16.25"	413	94"	2.34	84.88	35.6 lbs.
10002-01324	13	3.5"	89	24.25"	616	94"	2.34	126.63	54 lbs.
10002-01916	19	5.5"	140	16.25"	413	94"	2.34	53.04	31 lbs.
10002-01924	19	5.5"	140	24.25"	616	94"	2.34	79.15	46.5 lbs.
10002-02116	21	5.5"	140	16.25"	413	94"	2.34	53.04	35.5 lbs.
10002-02124	21	5.5"	140	24.25"	616	94"	2.34	79.15	52.5 lbs.
10002-03016	30	8.0"	203	16.25"	413	48"	1.22	27.10	24.5 lbs.
10002-03024	30	8.0"	203	24.25"	616	48"	1.22	40.40	36.5 lbs.

NOTE: Full recovery may take up to 72 hours after removal from package.

ACOUSTICAL PERFORMANCE

Sound Absorption was tested in accordance with ASTM E90-02, ASTM C423 (Type A mounting per ASTM E 795)

			ABSORPTION COEFFICIENTS @ OCTAVE BAND FREQUENCIES (Hz)						
R-VALUE	THICKNESS	(MM)	125	250	500	1,000	2,000	4,000	NRC/STC
R-13	3.5"	89	0.95	1.3	1.19	1.08	1.02	1.0	1.15 NRC
R-13	3.5"	89	21	40	48	52	46	48	45 STC
R-19	5.5"	140	0.97	1.37	1.23	1.05	1.0	1.01	1.15 NRC
R-19	5.5"	140	40	63	67	63	53	63	57 STC

PRODUCT COMPLIANCES

The physical properties of UltraTouch Insulation regularly meet the requirements, specifications, standards and building practices of the following organizations.

Environmental Specification #1350
ICC Evaluation Report #1134
LARR ICC ER #1134
BOCA Building Officials and Code Administrators
CABO Council of American Building Officials
ICBO International Conference of Building Officials
LEED Leadership in Energy and Environmental Design
SBCCI Southern Building Code Congress International
California Bureau of Thermal Insulation Lic. #TI-1367/Reg. # CA-T367AZ

Bonded Logic INC.
24053 S. Arizona Avenue
Chandler, Arizona 85248
480-812-9114
480-812-9633 FAX
www.BondedLogic.com

From: <info@vikingrestoration.net>
To: "'Jeanie Bourke'" <JMB@portlandmaine.gov>
Date: 1/13/2011 1:38 PM
Subject: PARK AVE REVISED
Attachments: 1ST FLR AND BSMT.pdf; 2ND & 3RD FLR.pdf

Jeannie,

Hopefully this completes the list of revisions. Let me know. Thanks.

Tony

DKI VIKING LOGO

Jeanie Bourke - 274 Park Ave

From: <info@vikingrestoration.net>
To: <jmb@portlandmaine.gov>
Date: 1/7/2011 3:55 PM
Subject: 274 Park Ave
Attachments: 1ST FLR & BSMT.pdf; 2ND & 3RD FLR NEW.pdf

Jeanie,

Here are the latest revisions to include the items we spoke about over the phone. Please review and let me know if you will require anymore changes. Please review the windows to make sure they are all OK so I can place my order.

Thank you.

Tony Christensen

Save PDF in G Drive

RECEIVED
JAN - 7 2011
Inspections
and Maine

CITY OF PORTLAND, MAINE
Department of Building Inspections

Original Receipt

11.30 2010

Received from Viking Restoration

Location of Work 94 Park Ave

Cost of Construction $_____ Building Fee:_____

Permit Fee $_____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 1520

Building (IL) ___ Plumbing (I5) ___ Electrical (I2) ___ Site Plan (U2) ___

Other _____

CBL: 65-E-2

Check #: 1695 **Total Collected $** 1520

No work is to be started until permit issued.
Please keep original receipt for your records.

Taken by: _____

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

GENERAL STRUCTURAL NOTES

274 Park Ave
Reconstruction and Stabilization
Portland, ME

DESIGN LIVE LOADS: 2009 IBC/Maine Uniform Building Code, U.O.N.

* Snow 50 psf(Pg)
* Wind 100 mph, exp B, 3 second gust
* Residential Floors 40 psf
* Corridors and Stairs 100 psf

FOUNDATION:

* The existing building is currently settling and leaning as a result. This design allows for an additional equal amount of movement to occur. The structure should be periodically monitored into the future.

STRUCTURAL STEEL:

* Angles, misc.: ASTM A36
* Anchor Bolts: ASTM A307 or A36.
* Standard pipe columns: ASTM A 53, Grade B
* Connector bolts: ASTM A325
* Post-installed Anchors shall be ICC-ES approved, installed in accordance with manufacturers specifications.
  In concrete: Wedge Type
  In solid masonry: Sleeve Type
* Non-shrink grout beneath column base and beam bearing plates shall be non-metallic with minimum compressive strength 5000psi.
* All structural steel shall be fabricated and erected per the current edition of AISC Steel Construction Manual.
* Welding by qualified welders. E70XX electrodes.

WOOD FRAMING:

* Dimension Lumber is designed and shall be supplied using BASE VALUES Design Criteria.
* SPF #2 and better (Maximum Moisture Content 19%) U.O.N.
  Plates: Sill plates: Pressure Treated SPF or Southern Pine:
  "Pressure treated lumber" shall be framing material of the specified species which has been pressure treated with a decay and insect resistant solution, meeting all current standards for wood in contact with concrete or earth.
  Sill plates in contact with masonry or concrete foundations, footings or slabs may be treated Timber Strand LSL (zinc borate treatment). Sodium borate treatment may also be acceptable for sill plate applications when protected from weather.
  Acceptable treatment mediums for wood in contact with earth or in exterior applications include ACQ-C and ACQ-D (Alkaline Copper Quaternary) and copper azole (CBA-A and CBA-B).
  DO NOT USE WOODS WHICH HAVE BEEN TREATED WITH AMMONIA BASED CARRIERS.
  All connectors shall meet the recommendations of the pressure treated wood manufacturer, but shall be not less than Hot Dipped Galvanized meeting requirements of ASTM A653, such as Simpson ZMAX. (G185). All screws, nails and bolts shall match hangers and other connectors, and shall meet ASTM A123 for individual connectors, and ASTM A153 for fasteners.
  For durability, it is our recommendation that connectors used in exposed conditions with treated lumber be stainless steel.
  Do not mix galvanized and stainless products.
  Do not allow aluminum to contact treated wood.

  Top and Bottom Plates: SPF No 2 and better
  Hem Fir Studs U.O.N: 2 x 4 and 2 x 6 to 8'-0: stud grade
  2 x 4 over 8'-0: standard and better
  2x 6 over 8'-0: No. 2 and better
  Floor Joists: see plans
  Rafters: See plans
* Beams: Douglas Fir No. 1, Fb=1350 psi, E=1,600,000 psi
* Columns: Douglas Fir No. 1, Fb=1200 psi, E=1,600,000 psi
* Laminated Veneer Lumber (LVL): Manufactured 1 3/4" wide Microllams (ML) by Ilevel/Trus Joist or equivalent.
  Fb=2,600 psi, E=1,900,000 psi, Fv=285 psi, depth noted on plans.

* All plywood and oriented strand board (OSB) sheathing shall be engineered grades with APA grade stamp indicating appropriate maximum spacing of supports.
  Floor sheathing: nominal 3/4", APA Sturd-I-Floor "24" tongue & groove glued and nailed.
  Roof sheathing: minimum 5/8" CDX plywood, or 19/32" OSB, APA 40/20, nailed.
  Wall sheathing: 1/2" CDX plywood or 7/16" OSB, APA 24/16, blocked and nailed.

* Nail wall sheathing with 8d commons per shear wall schedule at panel edges, and 12" o.c. intermediate framing U.N.O. BLOCK AND NAIL ALL EDGES BETWEEN STUDS. Sheathing shall be continuous from bottom plate to top plate.

* SHEATH INTERIOR WALLS AS SHOWN ON THE DRAWINGS.

* Minimum nailing shall comply with IBC Table 2304.9.1 except where more or larger nailing shown on drawings.
* All roof rafters, joists, beams shall be anchored to supports with metal framing anchors.
* Double joists under partitions where joists are parallel to partitions.
* Provide continuous wall studs each side of wall openings equal to one half or greater of number of studs interrupted by openings.
* All wall studs shall be continuous from floor to floor or from floor to roof.
* Cross bridge all dimension lumber roof and floor joists at midspan and provide solid blocking or rim joists at all joist supports and joist ends.
* Metal connectors: Simpson Strong Tie unless otherwise noted, installed with number and type of nails to achieve maximum rated capacity. Note that heavy duty and skewed hangers may require special order.
* All beams shall be braced against rotation at points of bearing.
* Drypack grout all beam pockets full after beams are set.
* Unless otherwise indicated, install two lengths of solid blocking x joist depth x 12 inches long in floor framing under column loads. Columns must have a continuous load path to foundation.
* Lead holes for lag bolts shall be 60% to 70% of lag shank diameter in compliance with AITC criteria.

STRUCTURAL ERECTION AND BRACING REQUIREMENTS

* The structural drawings illustrate the completed structure with all elements in their final positions, properly supported and braced. The contractor, in the proper sequence, shall provide proper shoring and bracing as may be required to achieve the final completed structure.
* These plans have been engineered for construction at one specific building site. Builder assumes ALL responsibility for use of these plans at Any Other building site. Plans shall not be used for construction at any other building site without specific review by the engineer.
* Observations of reinforcing or framing required by the owner, lender, insurer, building department or any other party will be accomplished by the engineer at the owner's expense. At least 24 hours advance notice is requested.

Structural Drawing Index	
S-1.0	General Notes, Etc.
S-1.1	First Floor Framing Plan
S-1.2	Second Floor Framing Plan
S-1.3	Third Floor Framing Plan
S-1.4	Roof Framing Plan
S-2.1	Sections

STATE OF MAINE
AARON C. JONES
LICENSED PROFESSIONAL ENGINEER
11/30/10

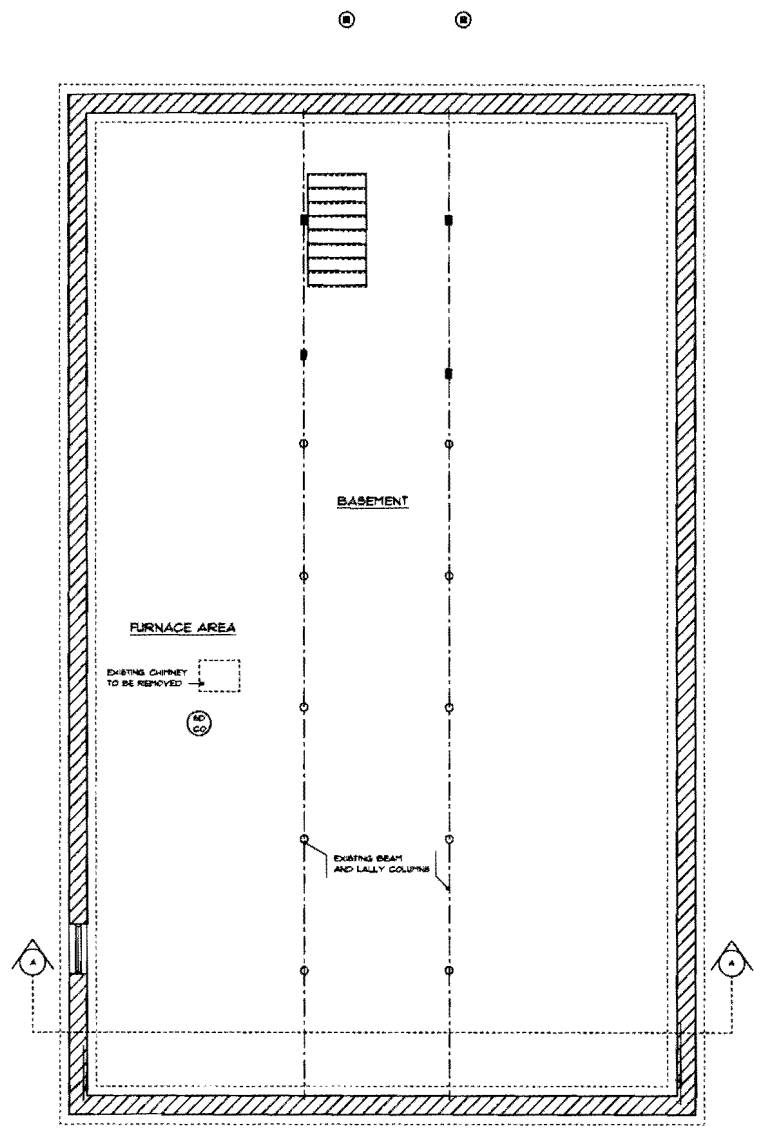
Structural Integrity
BUILD WITH CONFIDENCE

Stabilization/ Fire Damage Repairs
Park Ave
Portland, ME 04101

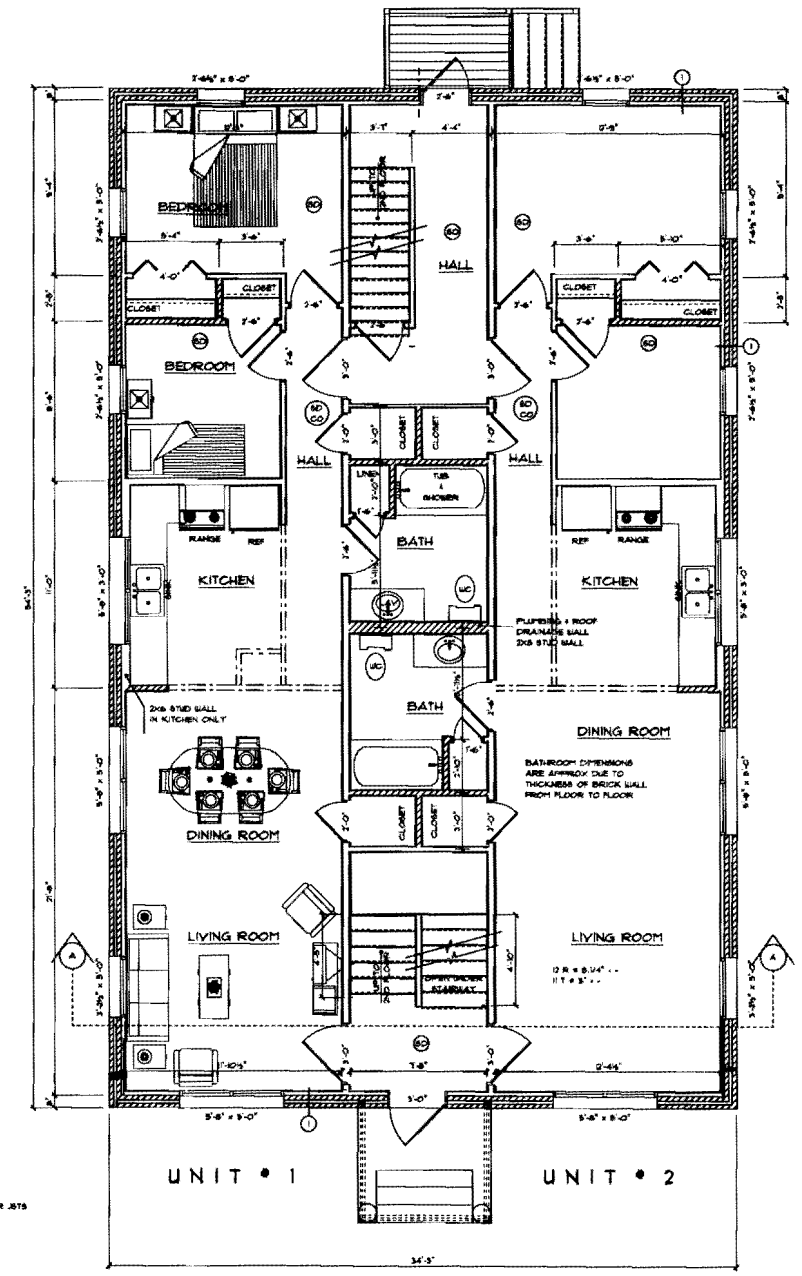
DATE: 11/30/10

GENERAL NOTES, Etc.

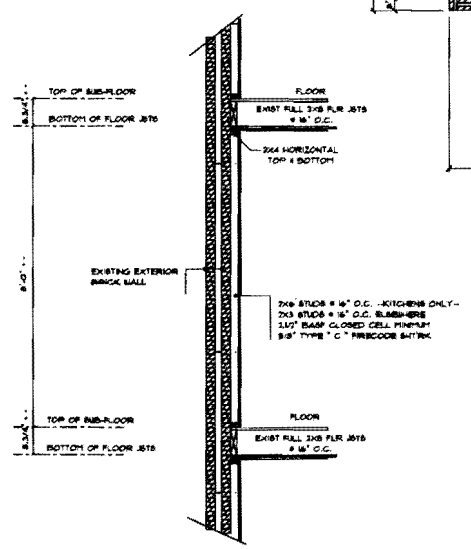
S-1.0



BASEMENT PLAN
PROPOSED
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN
PROPOSED
SCALE: 1/4" = 1'-0"



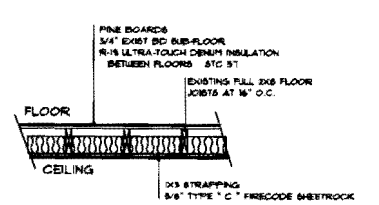
TYPICAL EXTERIOR WALL
SCALE: 1/2" = 1'-0"

SYMBOLS

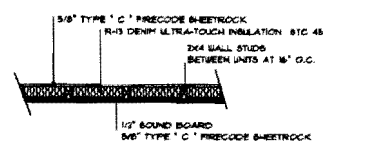
- CO — CARBON MONOXIDE DETECTOR
- SD — SMOKE DETECTOR
- SD/CO — SMOKE / CARBON MONOXIDE COMBO
- INTERIOR WALLS REMOVED
- EXISTING INTERIOR WALLS
- NEW INTERIOR WALLS

GENERAL NOTES :

1. 5/8" TYPE 'C' FIRECODE SHEETROCK THROUGHOUT BUILDING
2. 5/8" MOISTURE RESISTANT SHEETROCK IN BATHROOMS
3. CELLULOSE INSULATION BETWEEN 3RD FLOOR CEILING AND ROOF. R-36 W/ FIRE SHELL PAINT APPLIED TO DIVIDING FIRE BLOCKING.
4. DENIM ULTRA-TOUCH INSULATION IN PARTY WALLS. R-13 , STC 45
5. 3.1/2" BASF CLOSED CELL FOAM INSULATION AGAINST INSIDE OF BRICK WALL. R-15 APPROX
6. 3" BASF CLOSED CELL FOAM INSULATION IN BASEMENT. DOWN 3'-0" FROM BOX JOISTS W/ FIRE SHELL PAINT. R-15.
7. BUILDING TO HAVE SPRINKLER SYSTEM. SYSTEM WILL BE IN ACCORDANCE W/ NFPA13R. PLANS PROVIDED BY EASTERN FIRE PROTECTION.
8. ALL DOORS TO INDIVIDUAL UNITS TO BE 3'-0" X 6'-8" SOLID BIRCH DOORS, W/ 1 HR FIRE RATING, W/ STEEL JAMBS.
9. ALL PENETRATIONS IN WALLS, CEILINGS TO BE SEALED W/ FIRE RETARDENT FOAM.



TYPICAL FLOOR/CEILING
MIN. STC 50 RATING
SCALE: 1/2" = 1'-0"



TYPICAL 1HR WALL
STC 50 RATING
SCALE: 1/2" = 1'-0"

1st Revision

RECEIVED
JAN - 7 2011
Dept. of Building Inspections
City of Portland Maine

ALL PLANS/DRAWINGS THAT ARE PROVIDED TO THE CLIENTS ARE BASED INFORMATION & VIEW BY THE CLIENT. ALL DIMENSIONS AND SPECIFICATIONS MUST BE VERIFIED BY CLIENT/CONTRACTOR BEFORE CONSTRUCTION BEGINS. OWNER AND CONTRACTOR RESPONSIBLE FOR ANY ERRORS AND OMISSIONS. CONTRACTOR ASSUMES ALL LIABILITY FOR BUILDING CONSTRUCTION.

PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY REGISTERED ARCHITECT OR ENGINEER. CUSTOMER SHOULD CONSI.. A REGISTERED ARCHITECT OR ENGINEER OR THEIR STAFF IS NECESSARY BEFORE CONSTRUCTION BEGINS.

ALL CONTRACTORS TO CONFORM TO ALL STATE AND LOCAL BUILDING CODES.

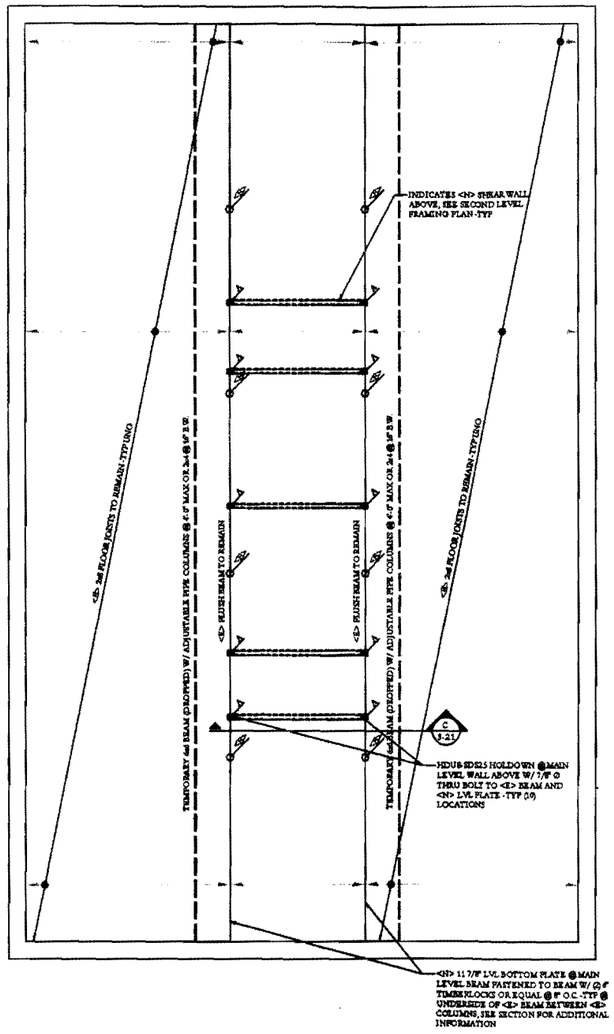
DESIGN OF :
6-UNIT 3- STORY
214 PARK AVE
PORTLAND, ME. 04101

DESIGN FOR :
VIKING RESTORATION
P.O. BOX 15233
PORTLAND, ME. 04112
207-828-2900

DRAWN BY : 11-1-10
DATE : 12-08-10
REVISED : 12-30-10
REVISED : 01-03-11
REVISED : 1/4" = 1'-0"
SCALE :

REVISED : 01-07-11

SHEET NO.



FIRST FLOOR FRAMING PLAN

SCALE 1/4"=1'-0"

NOTES:

1. SEE SHEET S-1.0 FOR GENERAL STRUCTURAL NOTES

SHEAR WALL SCHEDULE		
LEVEL	SHEATHING	HOLDOWNS
FIRST FLOOR	7/16" OSB ON BOTH SIDES OF WALL FASTENED W/ 8d @ 3" O.C.	HDU8-SDS2.5 W/ 7/8" Ø THRU BOLT
SECOND FLOOR	7/16" OSB ON BOTH SIDES OF WALL FASTENED W/ 8d @ 4" O.C.	MSTC66 EACH FACE EACH END
THIRD FLOOR	7/16" OSB ON ONE SIDE OF WALL FASTENED W/ 8d @ 4" O.C.	MSTC40 EACH FACE EACH END
NOTE: AT FIRST AND SECOND FLOOR OFFSET SHEATHING JOINTS ONTWO DIFFERENT STUDS OR DOUBLE STUDS IF EDGE NAILED ON BOTH SIDES -TYP		

NOTE: MAIN LEVEL FRAMING TO BE DRIED TO 16%-20% MOISTURE CONTENT. CONTACT SI Inc. TO EVALUATE FRAMING AND DESIGN REPAIRS AS NEEDED WHEN DRIED.

NOTE: THIS DESIGN ACKNOWLEDGES THAT THE BUILDING HAS SETTLED SIGNIFICANTLY AND IS LEANING IN THAT DIRECTION. THE CURRENT LEAN AND SETTLEMENT IS APPROXIMATELY 12" EACH. THIS DESIGN ACCOMMODATES ADDITIONAL LATERAL FORCES PRODUCED BY UP TO 12" OF ADDITIONAL SETTLEMENT AND LEAN. THE BUILDING AND LATERAL BRACING SHOULD BE EVALUATED EVERY 3 TO 5 YEARS OR AS NEEDED TO MONITOR FUTURE MOVEMENT

FRAMING PLAN SYMBOLS KEY	
	WOOD POST
⊗	NUMBER OF WOOD STUDS IN POST BELOW
A	COLUMN ABOVE THIS LEVEL
C	COLUMN CONTINUOUS THROUGH THIS LEVEL
	TRUSS OR JOIST BEARING
	FLUSH FRAMED JOIST BEARING WITH HANGER
	WOOD STUD BEARING WALL BELOW
	SHEAR WALL, SEE SCHEDULE -TYP
<E>	EXISTING FRAMING MEMBER
<N>	NEW FRAMING MEMBER
4T	NUMBER OF TRIM STUDS UNDER HEADER
2K	NUMBER OF KING STUDS ADJACENT TO HEADER

STATE OF MAINE
AARON C. JONES
No. 10868
LICENSED PROFESSIONAL ENGINEER
11/30/10

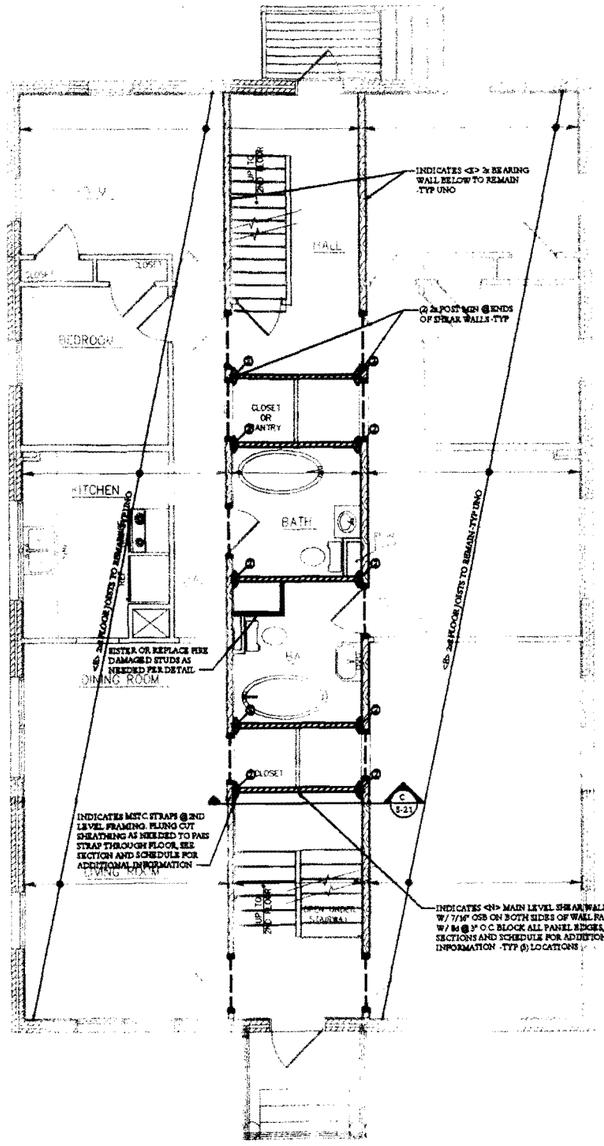
Structural Integrity
BUILD WITH CONFIDENCE

DATE: 11/30/10
SCALE: 1/4"=1'-0"

Stabilization/ Fire Damage Repairs
Park Ave
Portland, ME 04101

FIRST FLOOR FRAMING PLAN

S-1.1



SECOND FLOOR FRAMING PLAN

NOTES SCALE 1/4"=1'-0"

1. SEE SHEET S-1.0 FOR GENERAL STRUCTURAL NOTES

SHEAR WALL SCHEDULE		
LEVEL	SHEATHING	HOLDOWNS
FIRST FLOOR	7/16" OSB ON BOTH SIDES OF WALL FASTENED W/ 8d @ 3" OC	HDU8-SDS2.5 W/ 7/8" Ø THRU BOLT
SECOND FLOOR	7/16" OSB ON BOTH SIDES OF WALL FASTENED W/ 8d @ 4" OC	MSTC66 EACH FACE EACH END
THIRD FLOOR	7/16" OSB ON ONE SIDE OF WALL FASTENED W/ 8d @ 4" O.C	MSTC66 EACH FACE EACH END
NOTE: AT FIRST AND SECOND FLOOR OFFSET SHEATHING JOINTS USING DIFFERENT STUDS OR DOUBLE STUDS IF EDGE NAILED ON BOTH SIDES -TYP		

FRAMING PLAN SYMBOLS KEY	
	WOOD POST
	NUMBER OF WOOD STUDS IN POST BELOW
A	COLUMN ABOVE THIS LEVEL
C	COLUMN CONTINUOUS THROUGH THIS LEVEL
	TRUSS OR JOIST BEARING
	FLUSH FRAMED JOIST BEARING WITH HANGER
	WOOD STUD BEARING WALL BELOW
	SHEAR WALL, SEE SCHEDULE -TYP
<E>	EXISTING FRAMING MEMBER
<N>	NEW FRAMING MEMBER
	NUMBER OF TRIM STUDS UNDER HEADER
	NUMBER OF KING STUDS ADJACENT TO HEADER

STATE OF MAINE
AARON C. JONES
No. 14886
LICENSED
PROFESSIONAL ENGINEER
11/30/10

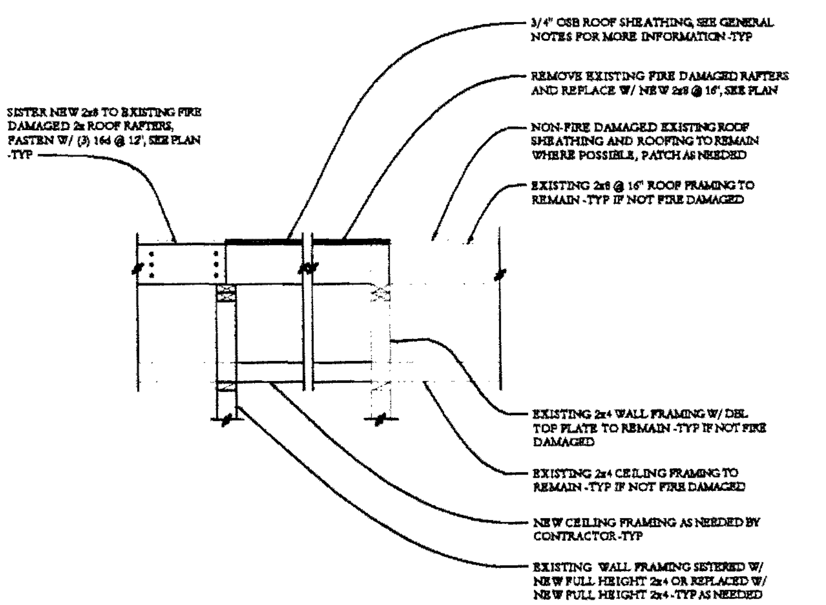
Structural Integrity
BUILD WITH CONFIDENCE
ESM 10-0023

DATE: 11/30/10
SCALE: 1/4"=1'-0"

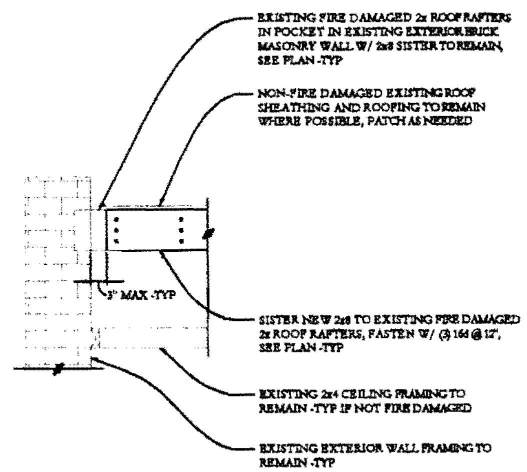
Stabilization/ Fire Damage Repairs
Park Ave
Portland, ME 04101

SECOND FLOOR FRAMING PLAN

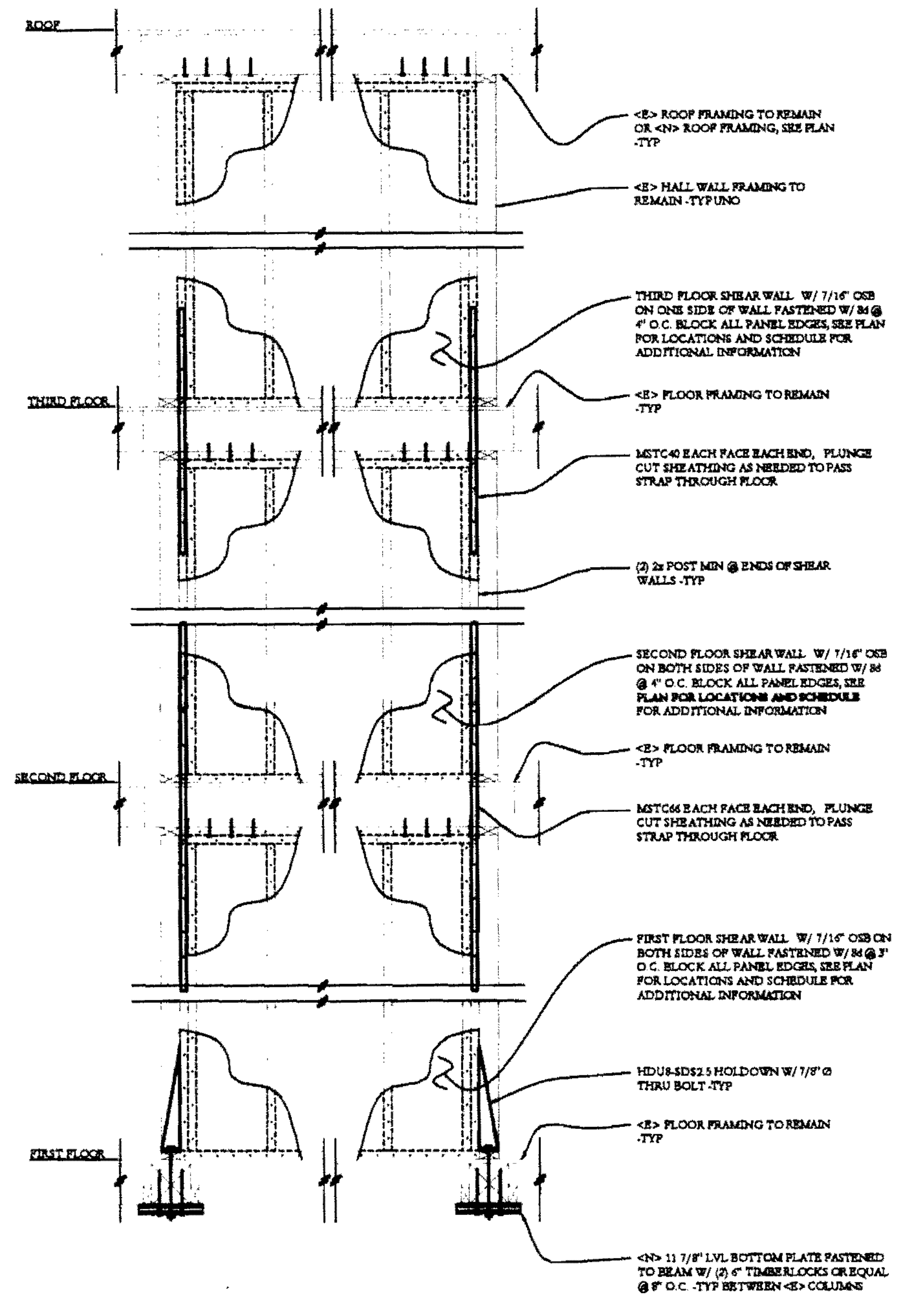
S-1.2

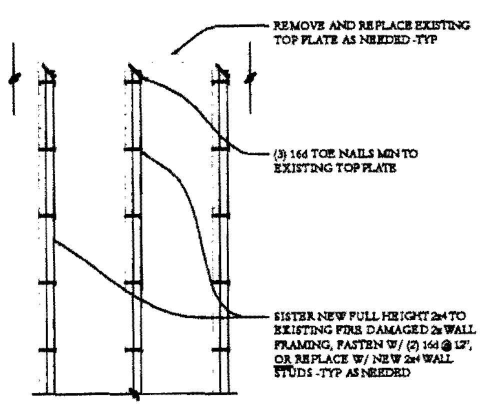


SECTION D/S-2.1 3/4"=1'-0

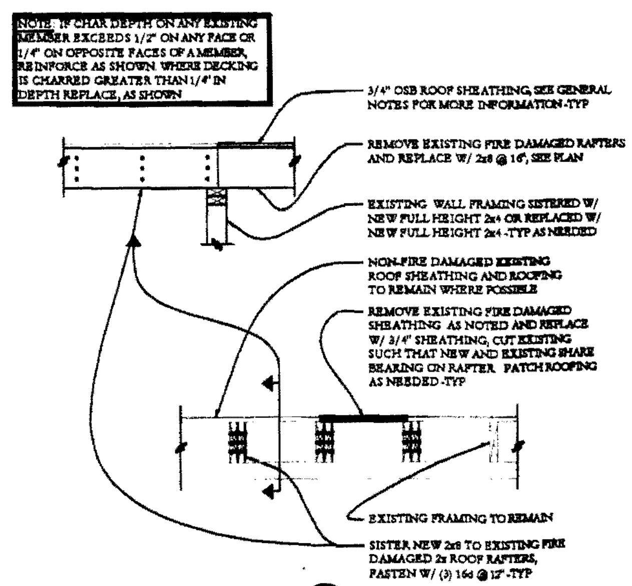


SECTION E/S-2.1 3/4"=1'-0





SECTION A/S-2.1 3/4"=1'-0



SECTION B/S-2.1 3/4"=1'-0

SECTION C/S-2.1 3/4"=1'-0

AARON C. JONES No. 10886 — STATE OF MAINE — LICENSED PROFESSIONAL ENGINEER

11/30/10

Structural Integrity

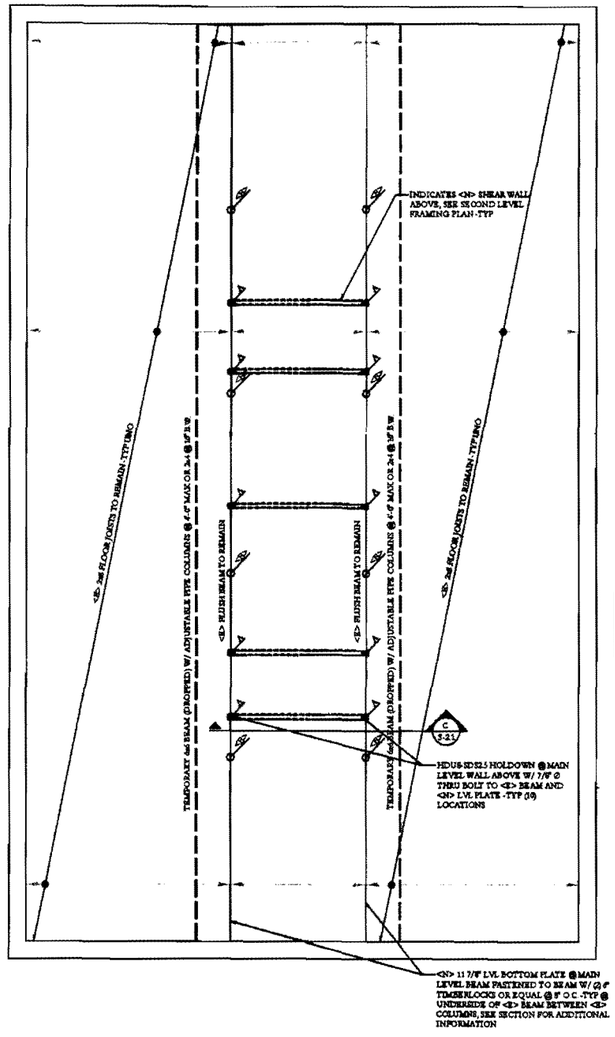
DATE: 11/30/10
SCALE: 3/4"=1'-0"

Stabilization/ Fire Damage Repairs

Park Ave
Portland, ME 04101

SECTIONS

S-2.1



FIRST FLOOR FRAMING PLAN

NOTES: SCALE 1/4"=1'-0"

1. SEE SHEET S-1.0 FOR GENERAL STRUCTURAL NOTES

SHEAR WALL SCHEDULE		
LEVEL	SHEATHING	HOLDOWNS
FIRST FLOOR	7/16" OSB ON BOTH SIDES OF WALL FASTENED W/ 8d @ 3" O.C	HDUS-SDS2.5 W/ 7/8" Ø THRU BOLT
SECOND FLOOR	7/16" OSB ON BOTH SIDES OF WALL FASTENED W/ 8d @ 6" O.C	MSTC66 EACH FACE EACH END
THIRD FLOOR	7/16" OSB ON ONE SIDE OF WALL FASTENED W/ 8d @ 6" O.C	MSTC40 EACH FACE EACH END
NOTE: AT FIRST AND SECOND FLOOR OFFSET SHEATHING JOINTS OVER DIFFERENT STUDS OR DOUBLE STUDS IF EDGE NAILED ON BOTH SIDES -TYP		

NOTE: MAIN LEVEL FRAMING TO BE DRIED TO 16%-20% MOISTURE CONTENT. CONTACT SI Inc. TO EVALUATE FRAMING AND DESIGN REPAIRS AS NEEDED WHEN DRIED.

NOTE: THIS DESIGN ACKNOWLEDGES THAT THE BUILDING HAS SETTLED SIGNIFICANTLY AND IS LEANING IN THAT DIRECTION. THE CURRENT LEAN AND SETTLEMENT IS APPROXIMATELY 12" EACH. THIS DESIGN ACCOMMODATES ADDITIONAL LATERAL FORCES PRODUCED BY UP TO 12" OF ADDITIONAL SETTLEMENT AND LEAN. THE BUILDING AND LATERAL BRACING SHOULD BE EVALUATED EVERY 3 TO 5 YEARS OR AS NEEDED TO MONITOR FUTURE MOVEMENT

FRAMING PLAN SYMBOLS KEY	
	WOOD POST
	NUMBER OF WOOD STUDS IN POST BELOW
A	COLUMN ABOVE THIS LEVEL
C	COLUMN CONTINUOUS THROUGH THIS LEVEL
	TRUSS OR JOIST BEARING
	FLUSH FRAMED JOIST BEARING WITH HANGER
	WOOD STUD BEARING WALL BELOW
	SHEAR WALL, SEE SCHEDULE -TYP
<E>	EXISTING FRAMING MEMBER
<N>	NEW FRAMING MEMBER
	NUMBER OF TRIM STUDS UNDER HEADER
	NUMBER OF KING STUDS ADJACENT TO HEADER

STATE OF MAINE
AARON C. JONES
No. 10884
LICENSED
PROFESSIONAL ENGINEER
11/30/10

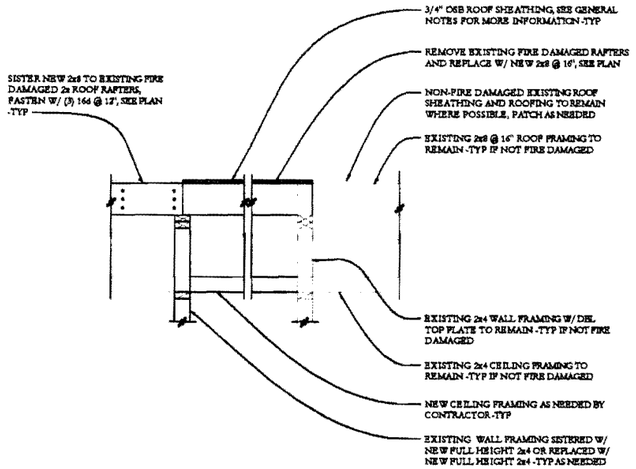
Structural Integrity
77 Oak Street
Portland, ME 04101
T: 207-797-7883
DESIGNED WITH CONFIDENCE
ESF 10-0085

DATE: 11/30/10
SCALE: 1/4"=1'-0"

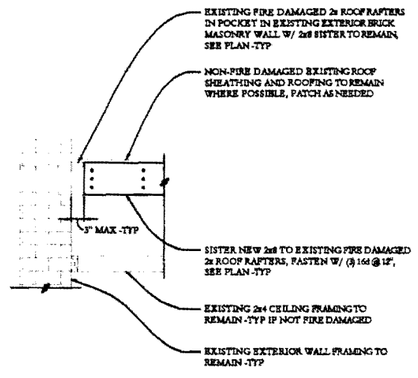
Stabilization/ Fire Damage Repairs
Park Ave
Portland, ME 04101

FIRST FLOOR FRAMING PLAN

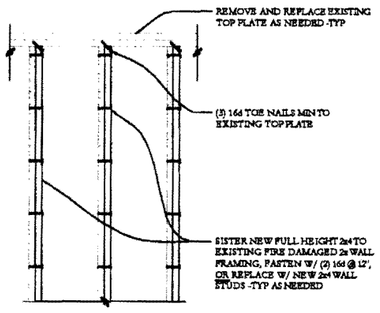
S-1.1



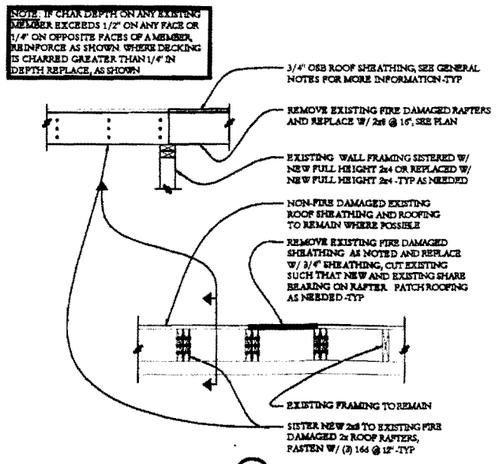
SECTION D S-2.1 3/4"=1'-0



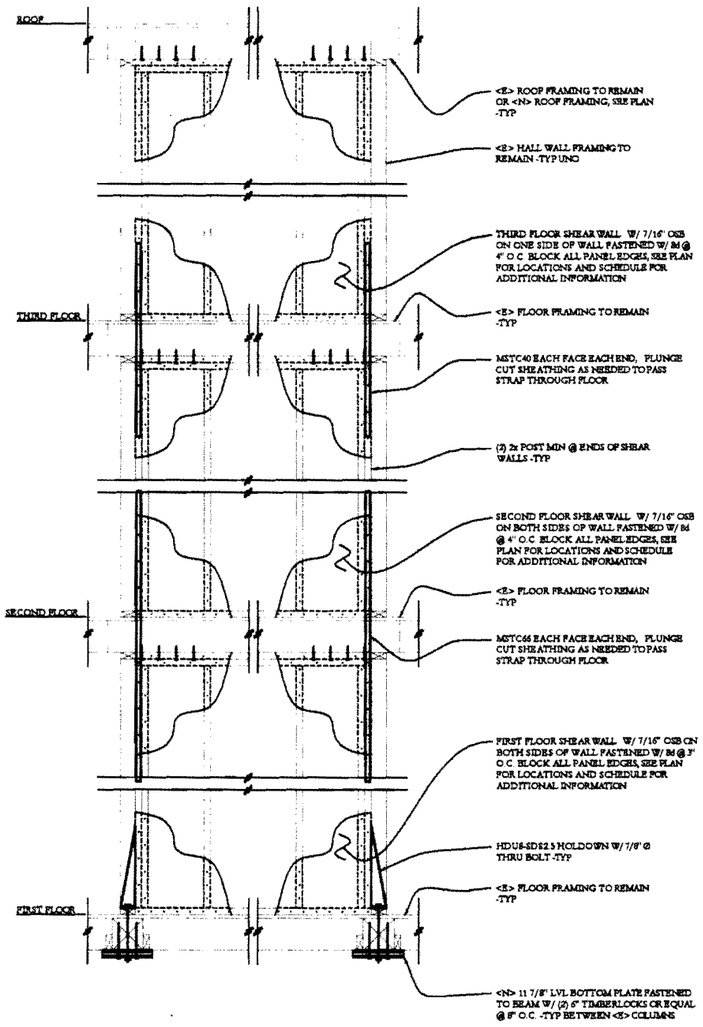
SECTION E S-2.1 3/4"=1'-0



SECTION A S-2.1 3/4"=1'-0



SECTION B S-2.1 3/4"=1'-0



SECTION C S-2.1 3/4"=1'-0

STATE OF MAINE
AARON C. JONES
No. 10808
LICENSED
PROFESSIONAL ENGINEER
11/30/10

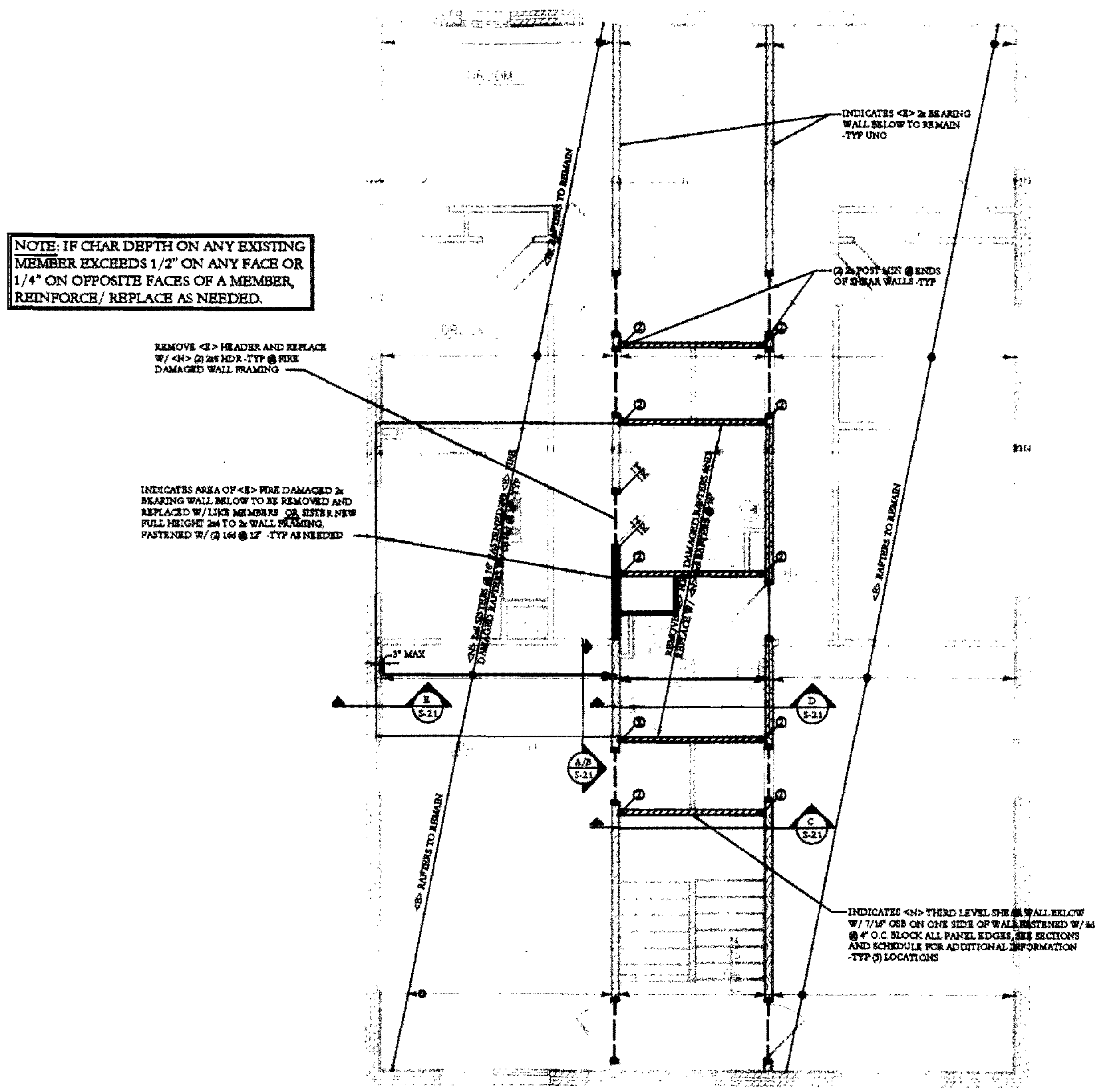
Structural Integrity
Professional Engineers, LLC
(SI# 10-0063)

DATE: 11/30/10
SCALE: 3/4"=1'-0

Stabilization/ Fire Damage Repairs
Park Ave
Portland, ME 04101

SECTIONS

S-2.1



ROOF FRAMING PLAN

NOTES: SCALE 1/4"=1'-0"

1. SEE SHEET S-1.0 FOR GENERAL STRUCTURAL NOTES

SHEAR WALL SCHEDULE		
LEVEL	SHEATHING	HOLDOWNS
FIRST FLOOR	7/16" OSB ON BOTH SIDES OF WALL FASTENED W/ 8d @ 3" O.C	HDU8-SDS2.5 W/ 7/8" Ø THRU BOLT
SECOND FLOOR	7/16" OSB ON BOTH SIDES OF WALL FASTENED W/ 8d @ 4" O.C	MSTC66 EACH FACE EACH END
THIRD FLOOR	7/16" OSB ON ONE SIDE OF WALL FASTENED W/ 8d @ 4" O.C	MSTC40 EACH FACE EACH END

NOTE: AT FIRST AND SECOND FLOOR OFFSET SHEATHING JOINTS ONTO DIFFERENT STUDS OR DOUBLE STUDS IF EDGE NAILED ON BOTH SIDES. -TYP

FRAMING PLAN SYMBOLS KEY	
■	WOOD POST
(X)	NUMBER OF WOOD STUDS IN POST BELOW
A	COLUMN ABOVE THIS LEVEL
C	COLUMN CONTINUOUS THROUGH THIS LEVEL
[symbol]	TRUSS OR JOIST BEARING
[symbol]	FLUSH FRAMED JOIST BEARING WITH HANGER
[symbol]	WOOD STUD BEARING WALL BELOW
[symbol]	SHEAR WALL, SEE SCHEDULE -TYP
<E>	EXISTING FRAMING MEMBER
<N>	NEW FRAMING MEMBER
XT	NUMBER OF TRIM STUDS UNDER HEADER
XK	NUMBER OF KING STUDS ADJACENT TO HEADER

STATE OF MAINE · AARON C. JONES · No. 10066 · LICENSED · PROFESSIONAL ENGINEER

11/30/10

Structural Integrity

BUILD WITH CONFIDENCE

SI# 10-0065

DATE: 11/30/10
SCALE: 1/4"=1'-0"

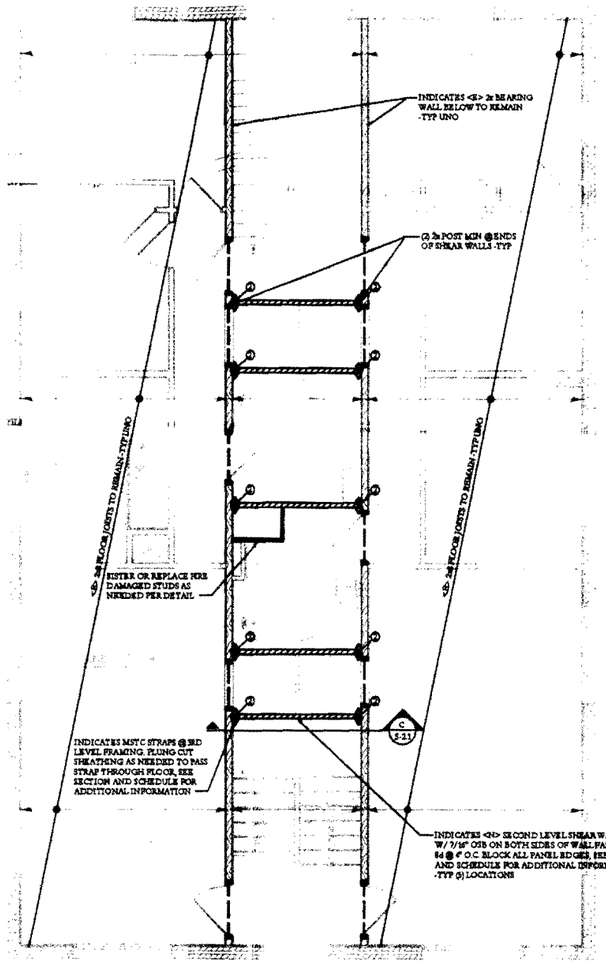
Stabilization/ Fire Damage Repairs

Park Ave

Portland, ME 04101

ROOF FRAMING PLAN

S-1.4



THIRD FLOOR FRAMING PLAN

NOTES

SCALE 1/4"=1'-0"

1. SEE SHEET S-1.0 FOR GENERAL STRUCTURAL NOTES

SHEAR WALL SCHEDULE		
LEVEL	SHEATHING	HOLDOWNS
FIRST FLOOR	7/16" OSB ON BOTH SIDES OF WALL FASTENED W/ 8d @ 3" O.C	HDU8-SDS25 W/ 7/8" Ø THRU BOLT
SECOND FLOOR	7/16" OSB ON BOTH SIDES OF WALL FASTENED W/ 8d @ 4" O.C	MSTC66 EACH FACE EACH END
THIRD FLOOR	7/16" OSB ON ONE SIDE OF WALL FASTENED W/ 8d @ 4" O.C	MSTC66 EACH FACE EACH END
NOTE: AT FIRST AND SECOND FLOOR OFFSET SHEATHING JOINTS ONTO DIFFERENT STUDS OR DOUBLE STUDS IF EDGE NAILED ON BOTH SIDES -TYP		

FRAMING PLAN SYMBOLS KEY	
■	WOOD POST
⊠	NUMBER OF WOOD STUDS IN POST BELOW
A	COLUMN ABOVE THIS LEVEL
C	COLUMN CONTINUOUS THROUGH THIS LEVEL
	TRUSS OR JOIST BEARING
	FLUSH FRAMED JOIST BEARING WITH HANGER
	WOOD STUD BEARING WALL BELOW
	SHEAR WALL, SEE SCHEDULE -TYP
<E>	EXISTING FRAMING MEMBER
<N>	NEW FRAMING MEMBER
⊠	NUMBER OF TRIM STUDS UNDER HEADER
⊠	NUMBER OF KING STUDS ADJACENT TO HEADER

STATE OF MAINE
AARON C JONES
No. 10666
LICENSED PROFESSIONAL ENGINEER
11/30/10

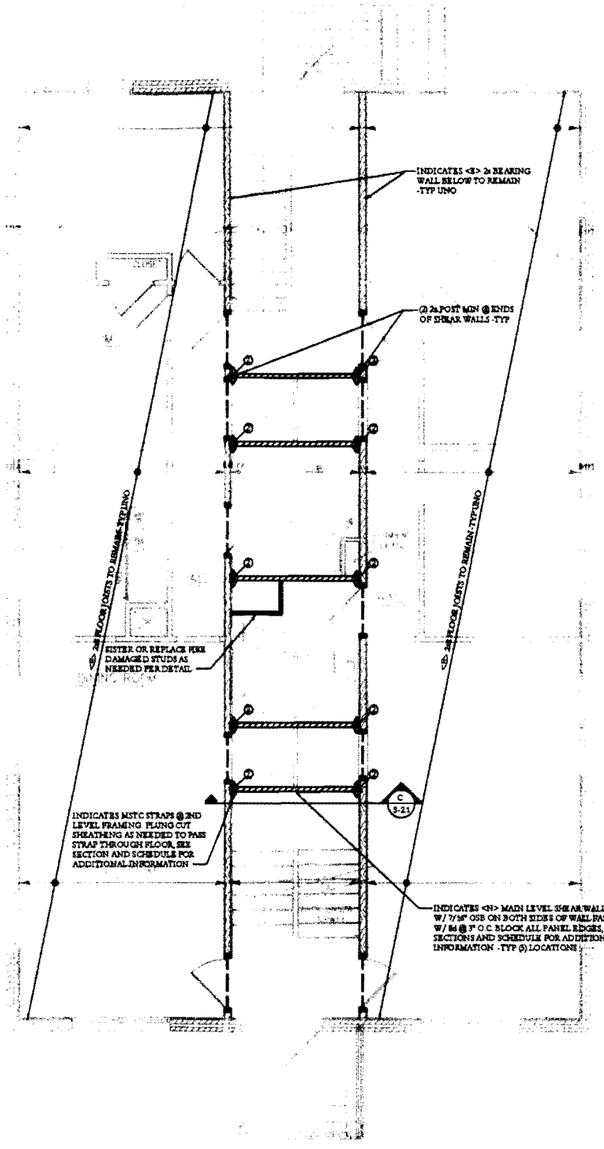
Structural Integrity
71 Oak Street
Portland, ME 04101
T: 207-772-2846
F: 207-772-3641
www.structuralintegrity.us
BUILD WITH CONFIDENCE
SIE 10-0081

DATE: 11/30/10
SCALE: 1/4"=1'-0"

Stabilization/ Fire Damage Repairs
Park Ave
Portland, ME 04101

THIRD FLOOR FRAMING PLAN

S-1.3



SECOND FLOOR FRAMING PLAN

SCALE 1/4"=1'-0"

NOTES

1. SEE SHEET S-1.0 FOR GENERAL STRUCTURAL NOTES

SHEAR WALL SCHEDULE		
LEVEL	SHEATHING	HOLDOWNS
FIRST FLOOR	7/16" OSB ON BOTH SIDES OF WALL FASTENED W/ 8d @ 3" O.C.	HDU8-SDS2.5 W/ 7/8" Ø THRU BOLT
SECOND FLOOR	7/16" OSB ON BOTH SIDES OF WALL FASTENED W/ 8d @ 4" O.C.	MSTC66 EACH FACE EACH END
THIRD FLOOR	7/16" OSB ON ONE SIDE OF WALL FASTENED W/ 8d @ 4" O.C.	MSTC40 EACH FACE EACH END
NOTE: AT FIRST AND SECOND FLOOR OFFSET SHEATHING JOINTS ONTO DIFFERENT STUDS OR DOUBLE STUDS IF EDGE NAILED ON BOTH SIDES -TYP		

FRAMING PLAN SYMBOLS KEY	
●	WOOD POST
⊗	NUMBER OF WOOD STUDS IN POST BELOW
A	COLUMN ABOVE THIS LEVEL
C	COLUMN CONTINUOUS THROUGH THIS LEVEL
◄	TRUSS OR JOIST BEARING
►	FLUSH FRAMED JOIST BEARING WITH HANGER
	WOOD STUD BEARING WALL BELOW
	SHEAR WALL, SEE SCHEDULE -TYP
<E>	EXISTING FRAMING MEMBER
<N>	NEW FRAMING MEMBER
2T	NUMBER OF TRIM STUDS UNDER HEADER
2K	NUMBER OF KING STUDS ADJACENT TO HEADER

STATE OF MAINE
AARON C. JONES
No. 10886
LICENSED
PROFESSIONAL ENGINEER

11/30/10

Structural Integrity
77 Oak Street
Portland, ME 04101
T: 207-772-2515
F: 207-772-2516
www.structuralintegrity.us
BUILD WITH CONFIDENCE

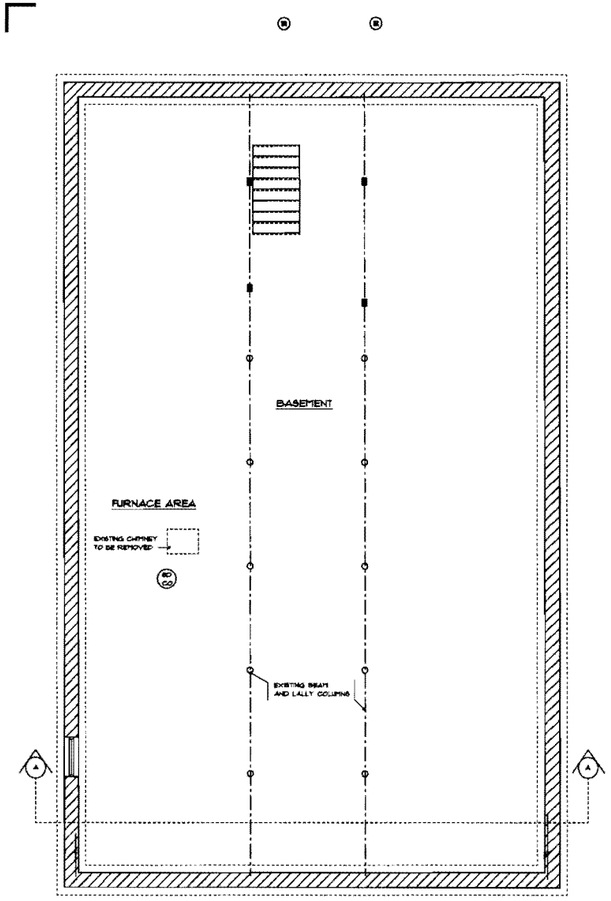
SEP 10-0585

DATE: 11/30/10
SCALE: 1/4"=1'-0"

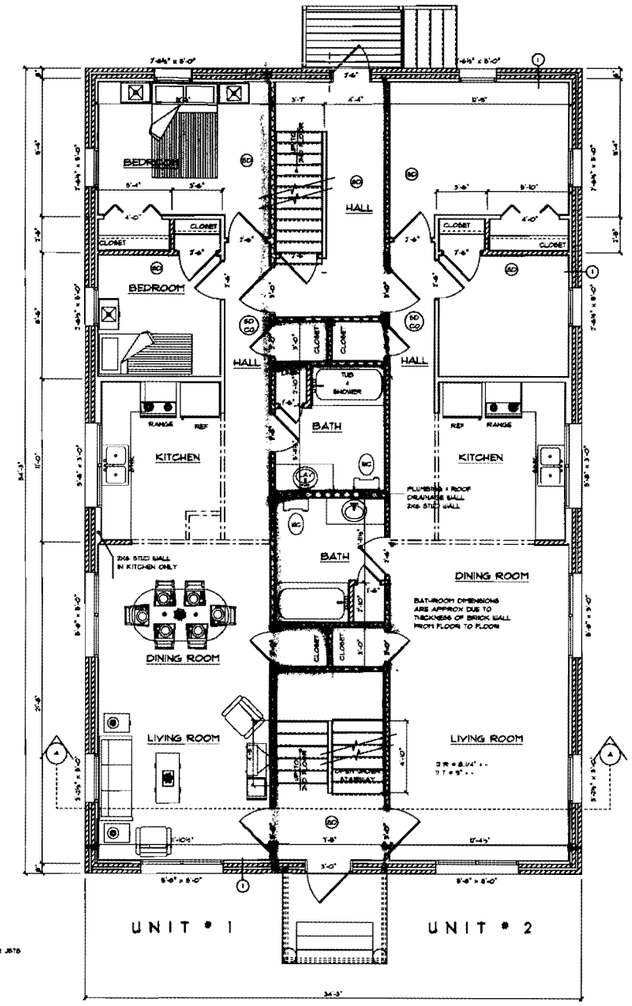
Stabilization/ Fire Damage Repairs
Park Ave
Portland, ME 04101

SECOND FLOOR FRAMING PLAN

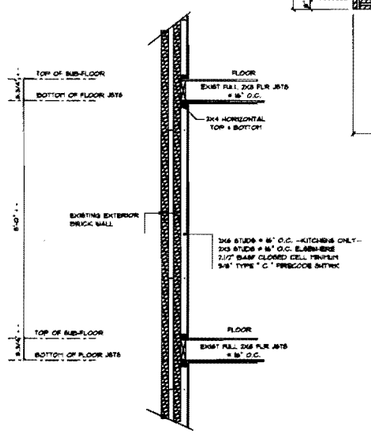
S-1.2



BASEMENT PLAN
PROPOSED
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN
PROPOSED
SCALE: 1/4" = 1'-0"



TYPICAL EXTERIOR WALL
SCALE: 1/2" = 1'-0"

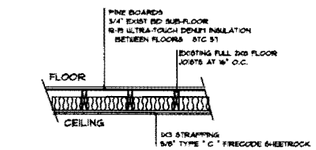
SYMBOLS

CO — CARBON MONOXIDE DETECTOR
SD — SMOKE DETECTOR
SD/CO — SMOKE / CARBON MONOXIDE COMBO

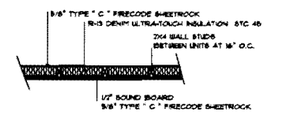
INTERIOR WALLS REMOVED
EXISTING INTERIOR WALLS
NEW INTERIOR WALLS
1 HR PARTY WALL

GENERAL NOTES :

1. 5/8" TYPE " C " FIRECODE SHEETROCK THROUGHOUT BUILDING
2. 5/8" MOISTURE RESISTANT SHEETROCK IN BATHROOMS
3. CELLULOSE INSULATION BETWEEN 3RD FLOOR CEILING AND ROOF, R-38 W/ FIRE SHELL PAINT APPLIED TO DIVERDER FIRE BLOCKING.
4. DENIM ULTRA-TOUCH INSULATION IN PARTY WALLS. R-13 , STC 45
5. 2.5" BASF CLOSED CELL FOAM INSULATION AGAINST INSIDE OF BRICK WALL. R-15 APPROX
6. 7" BASF CLOSED CELL FOAM INSULATION IN BASEMENT. DOWN 3'-0" FROM BOX JOISTS W/ FIRE SHELL PAINT. R-30.
7. BUILDING TO HAVE SPRINKLER SYSTEM. SYSTEM WILL BE IN ACCORDANCE W/ NFPA13R. PLANS PROVIDED BY EASTERN FIRE PROTECTION.
8. ALL DOORS TO INDIVIDUAL UNITS TO BE 3'0 X 6'8 SOLID BIRCH DOORS, W/ 1 HR FIRE RATING, W/ STEEL JAMBS.
9. PENETRATION FIRESTOP SYSTEM, FIRESTOPPING SHALL MEET ASTM E-814 AND UL 1479 TEST STANDARDS.
10. WINDOW SPECS
    U FACTOR - .36
    R-VALUE - 3.85
    SHGC - .38
    VT - .51



TYPICAL FLOOR/CEILING
MIN. STC 50 RATING
SCALE: 1/2" = 1'-0"



TYPICAL 1HR WALL
STC 50 RATING
SCALE: 1/2" = 1'-0"

2nd Revision
RECEIVED
JAN 13 2011
Dept. of Building Inspections
City of Portland Maine

ALL PLANS/DRAWINGS THAT ARE PROVIDED TO THE CLIENTS ARE BASED INFORMATION GIVEN BY THE CLIENT. ALL DIMENSIONS AND SPECIFICATIONS MUST BE VERIFIED BY CONTRACTOR, TRACTOR BEFORE CONSTRUCTION BEGINS. OWNER AND CONTRACTOR RESPONSIBLE FOR ANY ERRORS AND OMISSIONS. CONTRACTOR ASSUMES ALL LIABILITY FOR BUILDING CONSTRUCTION.

PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY REGISTERED ARCHITECT OR ENGINEER. CUSTOMER SHOULD CONSULT A REGISTERED ARCHITECT OR ENGINEER OF THEIR CHOICE IF ARCHITECT OR ENGINEER STAMP IS NECESSARY BEFORE CONSTRUCTION BEGINS.

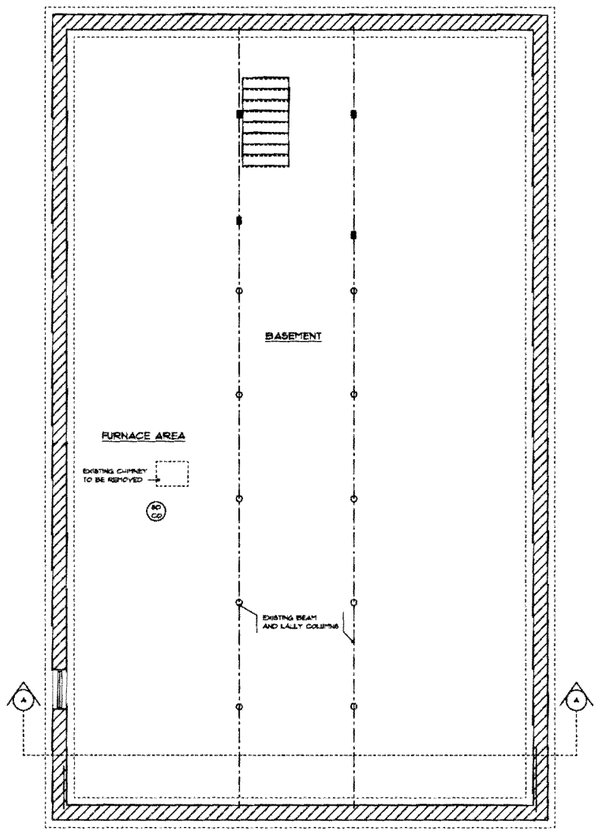
ALL CONTRACTORS TO CONFORM TO ALL STATE AND LOCAL BUILDING CODES.

DESIGN OF :
6-UNIT 3- STORY
214 PARK AVE
PORTLAND, ME. 04101

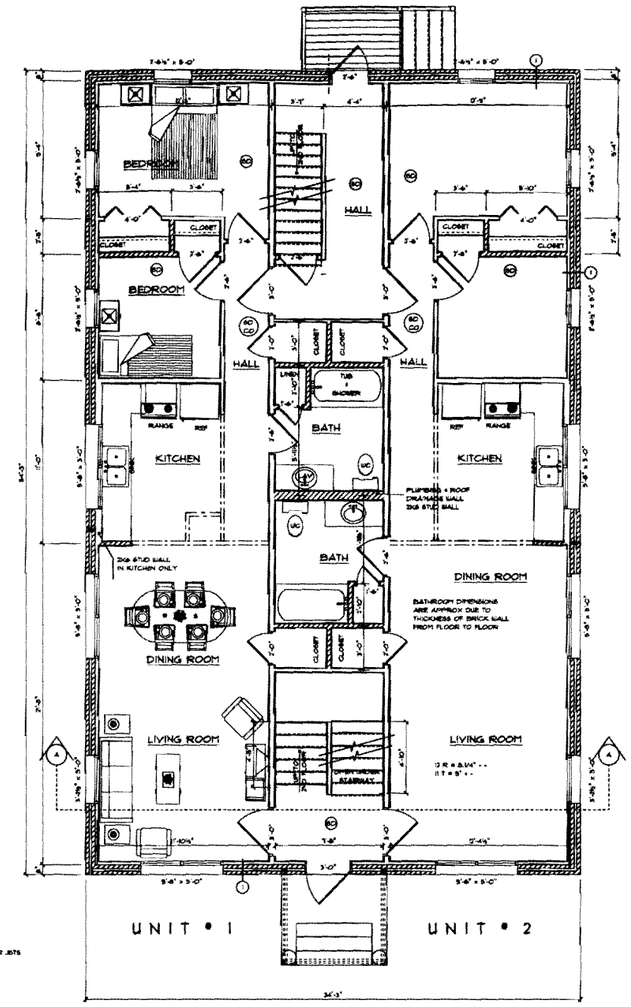
DESIGN FOR :
VIKING RESTORATION
P.O. BOX 15233
PORTLAND, ME. 04112
207-828-2900

DRAWN BY :	MJT-LO
DATE :	12-06-10
REVISED :	12-20-10
REVISED :	01-03-11
REVISED :	01-07-11
REVISED :	01-21-11
SCALE :	1/4" = 1'-0"

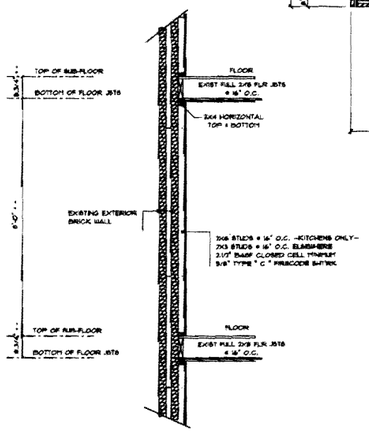
SHEET NO.



BASEMENT PLAN
PROPOSED
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN
PROPOSED
SCALE: 1/4" = 1'-0"



TYPICAL EXTERIOR WALL
SCALE: 1/2" = 1'-0"

SYMBOLS

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EXISTING INTERIOR WALLS
NEW INTERIOR WALLS

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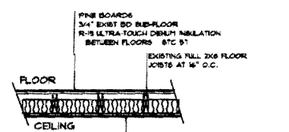
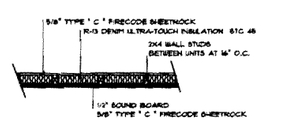
2. 5/8" MOISTURE RESISTANT SHEETROCK IN BATHROOMS
3. CELLULOSE INSULATION BETWEEN 3RD FLOOR CEILING AND ROOF. R-38 W/ FIRE SHELL PAINT APPLIED TO DIVIDER/FIRE BLOCKING.
4. DENIM ULTRA-TOUCH INSULATION IN PARTY WALLS R-19 , STC 48
5. 3 1/2" BASF CLOSED CELL FOAM INSULATION AGAINST INSIDE OF BRICK WALL. R-18 APPROX
6. 2" BASF CLOSED CELL FOAM INSULATION IN BASEMENT, DOWN 3'-0" FROM BOX JOISTS W/ FIRE SHELL PAINT. R-13
7. BUILDING TO HAVE SPRINKLER SYSTEM. SYSTEM WILL BE IN ACCORDANCE W/ NFPA#13R. PLANS PROVIDED BY EASTERN FIRE PROTECTION.
8. ALL DOORS TO INDIVIDUAL UNITS TO BE 3'-0" X 6'-8" SOLID BIRCH DOORS, W/ 1 HR FIRE RATING, W/ STEEL JAMBS.
9. ALL PENETRATIONS IN WALLS, CEILINGS TO BE SEALED W/ FIRE RETARDENT FOAM.



TYPICAL FLOOR/CEILING
MIN. STC 50 RATING
SCALE: 1/2" = 1'-0"



TYPICAL 1HR WALL
STC 50 RATING
SCALE: 1/2" = 1'-0"

1st Revision

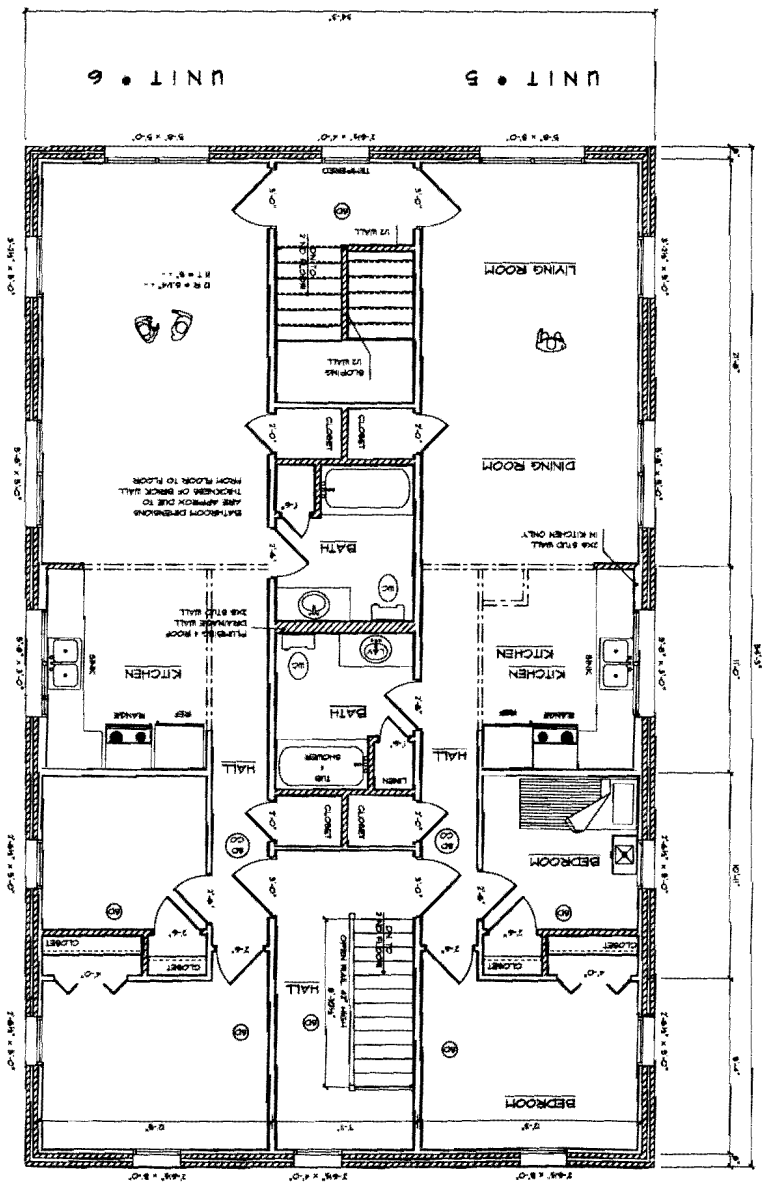
DESIGN OF :
6-UNIT 3- STORY
214 PARK AVE
PORTLAND, ME. 04101

DESIGN FOR :
VIKING RESTORATION
P.O. BOX 15233
PORTLAND, ME. 04112
207-828-2900

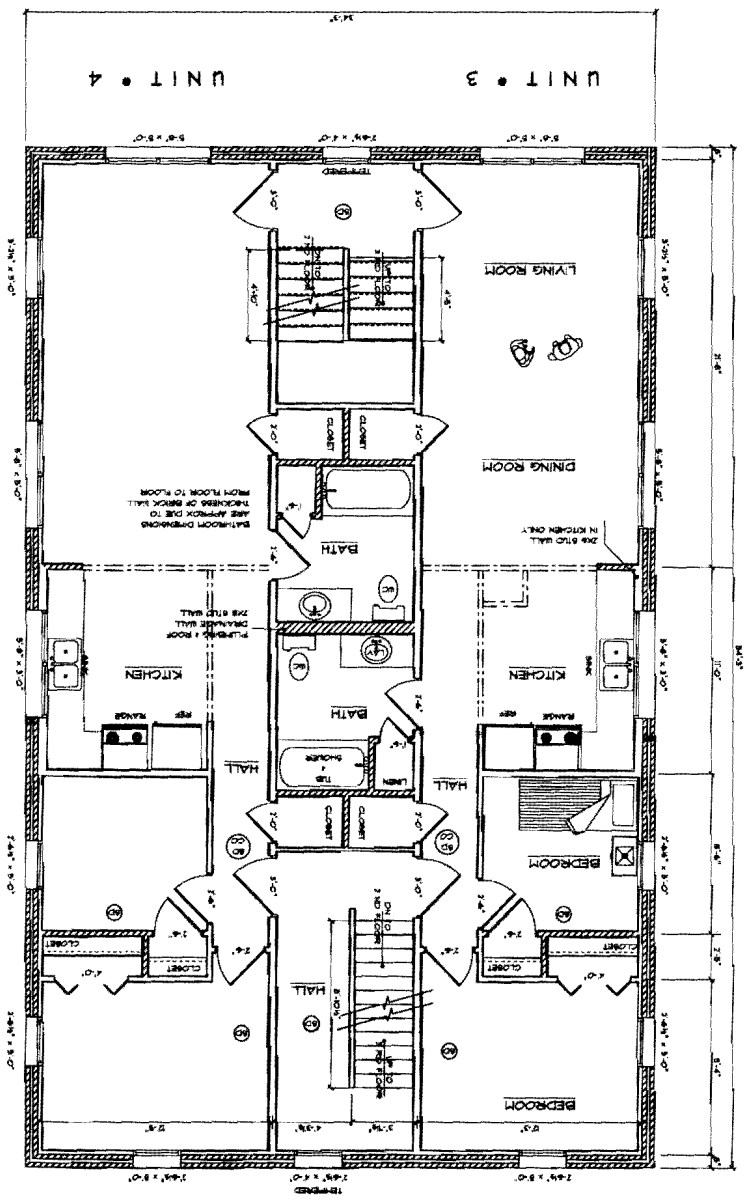
DRAWN BY : ILENO
DATE : 11-24-10
REVISED : 12-20-10
REVISED : 01-03-11
REVISED : 01-07-11
SCALE : 1/4" = 1'-0"

SHEET NO.

THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"
PROPOSED



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
PROPOSED



DESIGN FOR:
VIKING RESTORATION
P.O. BOX 15233
PORTLAND, ME. 04112
207-828-2900

DESIGN OF:
6-UNIT 3- STORY
274 PARK AVE
PORTLAND, ME. 04101

DRAWN BY:
CHK'D:
REVISED:
REVISED:
REVISED:
SCALE: 1/4" = 1'-0"
SHEET NO.