

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 973 Congress Street		Owner: CSE Realty Co.,		Phone: 207-774-6321		Permit No: 990845	
Owner Address: 26 Whistler Landing, Scarborough, ME 04074		Lessee/Buyer's Name: ICI Paint Centers		Phone:		Business Name:	
Contractor Name: **Bailey Sign Company		Address: 9 Thomas Drive, Westbrook, ME 04092		Phone: 207-774-2843		Permit Issued: AUG 11 1999	
Past Use: Retail		Proposed Use: Same		COST OF WORK: \$ 0		PERMIT FEE: \$ 33.18	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: 514019 Use Group: Type: Signature: Date:	
Proposed Project Description: Removing one 4x8 sign at existing site and adding 2-3x5'3" oval signs				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/>		Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: SP		Date Applied For: 7-28-99				Zoning Appeal: <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**\*\* Send To: Bailey Sign Company  
9 Thomas Drive  
Westbrook, ME 04092**

**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**

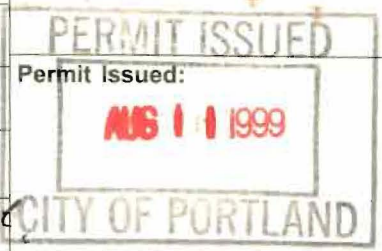
I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

7-28-99

SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector



Zone: CBL:065-A-013  
B-2  
Zoning Approval:  
Special Zone or Reviews:  
 Shoreland  
 Wetland  
 Flood Zone  
 Subdivision  
 Site Plan maj  minor  mm

Zoning Appeal  
 Variance  
 Miscellaneous  
 Conditional Use  
 Interpretation  
 Approved  
 Denied

Historic Preservation  
 Not in District or Landmark  
 Does Not Require Review  
 Requires Review

Action:  
 Approved  
 Approved with Conditions  
 Denied  
Date: \_\_\_\_\_

CEO DISTRICT 2

COMMENTS

10/2/99 Checked out the signs New ones  
have been installed as per plans  
M.W.J.

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

**Building or Use Permit Application  
Attached Single Family Dwellings/Two-Family Dwelling  
Multi-Family or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: <u>973 Congress Street Portland ME</u>		
Total Square Footage of Proposed Structure: <u>31,447</u>	Square Footage of Lot: <u>22,500</u>	
Tax Assessor's Chart, Block & Lot Number Chart <u>065</u> Block# <u>A</u> Lot# <u>013</u>	Owner: <u>CSL Realty Co.</u>	Telephone#: <u>207 774 6321</u>
Owner's Address: <u>26 Whistler Landing Scarborough ME 04074</u>	Lessee/Buyer's Name (If Applicable): <u>ICI Paint Centers</u>	Cost Of Work: <u>15,000</u> <u>\$ 1500.00</u> <u>33.18</u>
Proposed Project Description: (Please be as specific as possible) <u>removing one 4x8 sign at existing site and adding 2- 3'x5'3" oval signs</u>		
*Contractor's Name, Address & Telephone <u>Bailey Sign Company 9 Thomas Drive Westbrook ME 04092 207 774 2943</u>		
Current Use: <u>Retail</u>	Proposed Use: <u>Retail</u>	

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

\*All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.

\*All plumbing must be conducted in compliance with the State of Maine Plumbing Code.

\*All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.

\*HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan/Site Plan

Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.

**4) Building Plans**

Unless exempted by State Law, construction documents must be designed by a registered design professional.

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

**Certification**

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Rudney S. Bear</u>	Date: <u>7-29-99</u>
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Building Permit Fee: \$25.00 for the 1st \$1000. cost plus \$5.00 per \$1,000.00 construction cost thereafter.

Additional Site review and related fees are attached on a separate addendum



**SIGNAGE PRE-APPLICATION**

PLEASE ANSWER ALL QUESTIONS

ADDRESS: 973 Congress St. ZONE: B-2

OWNER: JCI Paint / CSL Realty Co.

APPLICANT: Bailey Sign Inc

ASSESSOR NO. \_\_\_\_\_

PLEASE CIRCLE APPROPRIATE ANSWER

<b>SINGLE TENANT LOT?</b>	<input checked="" type="radio"/> YES	<input type="radio"/> NO	<b>MULTI-TENANT LOT?</b>	<input type="radio"/> YES	<input type="radio"/> NO
<b>FREESTANDING SIGN?</b> (ex. Pole Sign)	<input checked="" type="radio"/> YES	<input type="radio"/> NO	DIMENSIONS	<u>8'</u>	HEIGHT <u>6'</u> (existing)
MORE THAN ONE SIGN?	<input type="radio"/> YES	<input type="radio"/> NO	DIMENSIONS	_____	HEIGHT _____
<b>SIGN ATTACHED TO BLDG.?</b>	<input checked="" type="radio"/> YES	<input type="radio"/> NO	DIMENSIONS	<u>3' x 5' 3" = 15.72 #</u>	
MORE THAN ONE SIGN?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	DIMENSIONS	<u>3' x 5' 3" = 15.72 #</u>	
<b>AWNING:</b> YES <input type="radio"/> NO <input checked="" type="radio"/>	<b>IS AWNING BACKLIT?</b> YES <input type="radio"/> NO <input checked="" type="radio"/>		<b>HEIGHT OFF SIDEWALK</b> _____		
IS THERE ANY MESSAGE, TRADEMARK OR SYMBOL ON IT? _____					

LIST ALL EXISTING SIGNAGE AND THEIR DIMENSIONS: \_\_\_\_\_  
one 4'x8' sign existing - one 4'x18' sign existing (4'x8' section to be removed)  
see attached photocopies

\*\*\* TENANT BLDG. FRONTAGE (IN FEET): 15' X 135' = 2025 #  
\*\*\* REQUIRED INFORMATION

AREA FOR COMPUTATION

total sq. ft. of new proposed signage  
31.44 #

**YOU SHALL PROVIDE:**

**A SITE SKETCH AND BUILDING SKETCH SHOWING EXACTLY WHERE EXISTING AND NEW SIGNAGE IS LOCATED MUST BE PROVIDED. SKETCHES AND/OR PICTURES OF PROPOSED ARE ALSO REQUIRED.**

SIGNATURE OF APPLICANT: Rodney J. Brown DATE: 7-28-99

## INFORMATION REQUIREMENTS FOR SIGN PERMIT APPLICATION

Applicants for a sign permit will be asked to submit the following information to the Code Enforcement Office:

1. Proof of insurance
2. Letter of permission from the owner
3. A sketch plan of lot, indicating location of buildings, driveways and any abutting streets or right of ways. Lengths of building frontages and street frontages should be noted. (see attached)
4. Indicate on the plan all existing and proposed signs
5. Computation of the following:
  - A) Sign area of each existing and proposed building sign
  - B) Sign area height and setback of each existing and proposed freestanding sign.
6. A sketch of any proposed sign(s), indicating dimensions, materials, source of illumination and construction method (see attached).
7. Certificate of flammability required for awning/canopy at time of application.
8. UL # required for lighted signs at the time of application.
9. **You must have complete structural details (i.e. showing all connections to buildings and footing details) Specifics required or your permit may be held up**

**Fee for permit - \$25.00 plus \$0.20 per square foot**

**Fee for awning based on cost of work - \$25.00 for the first \$1,000.00, \$5.00 for each additional \$1,000.000.**

**NOTE:** Once a sketch plan has been filed for a property, the code enforcement office will keep a record of the plan so that a new sketch plan will not be required for later changes to signage on the property. In such an instance, applicants will only be required to submit information applicable to the new sign.

#71

973 Congress Street  
Portland, ME 04102

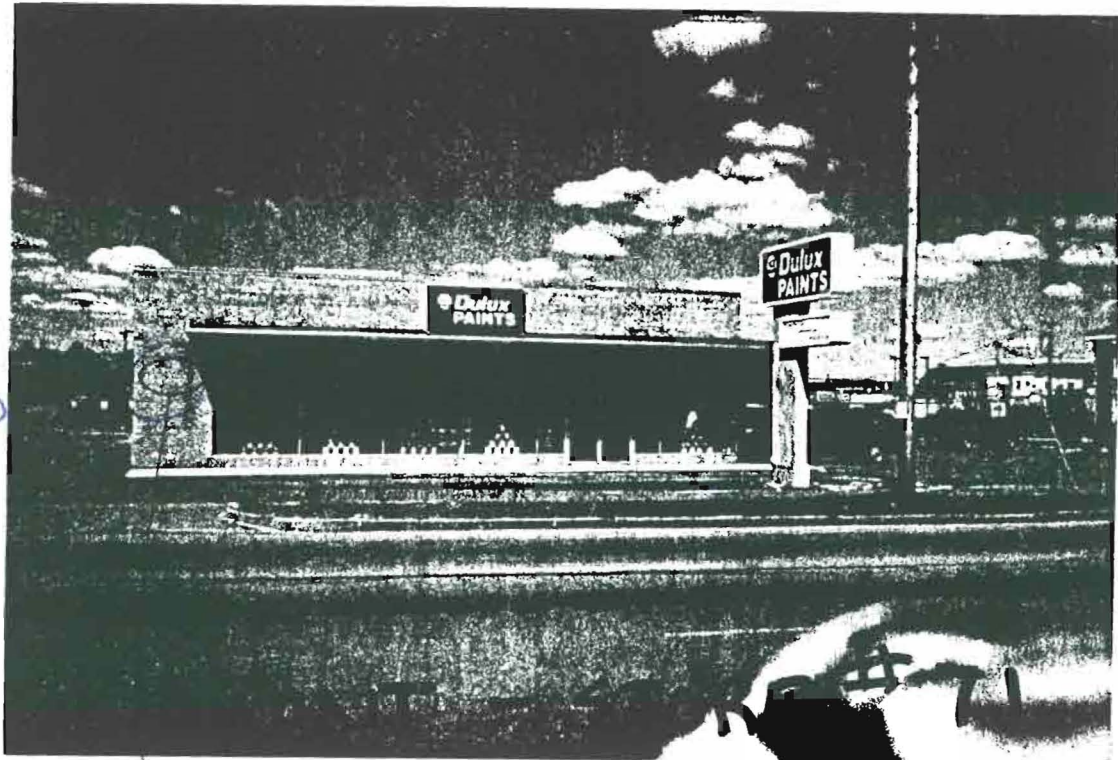
← remaining 4'x8' sign

Install new 3'x5' sign here



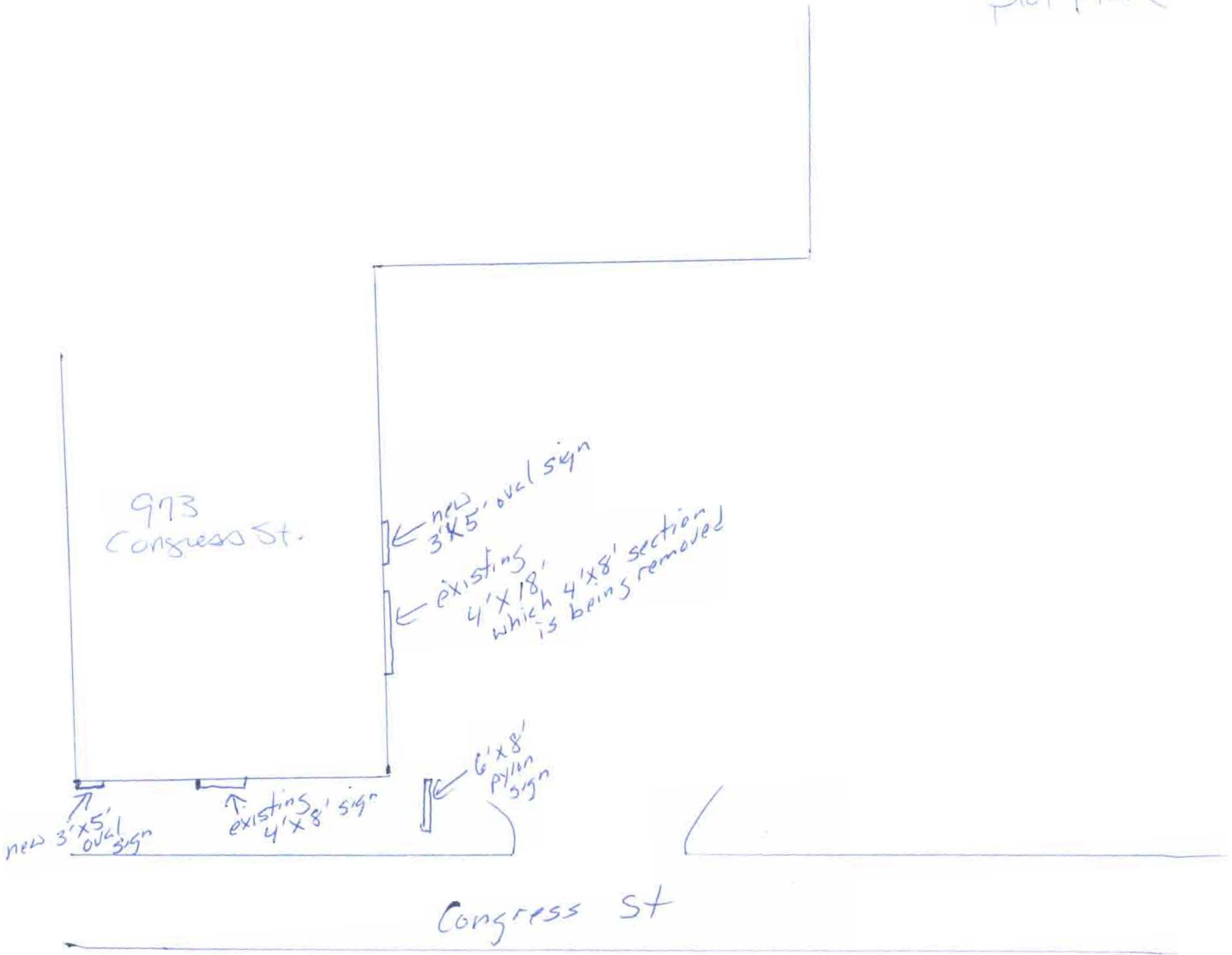
SIDE

install new 3'x5' sign →



Install here

Plot Plan



WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED TO BE  
 ERECTED ON A BUILDING AT 973 Congress St.  
 IN PORTLAND, MAINE CSL Realty Co. being the owner of the premises  
 at 973 Congress St. in Portland, Maine hereby gives consent to the  
 erection of a certain sign owned by Glidden over the  
 public sidewalk or on the building from said premises as described in  
 application to the Division of Inspection Services of Portland, Maine for a  
 permit to cover erection of said sign:

And in consideration of the issuance of said permit CSL Realty Co.  
 owner of said premises, in event said sign shall cease to serve the purpose  
 for which it was erected, or shall become dangerous and in event the owner of  
 said sign fails to remove said sign or make it permanently safe in case  
 the sign still serves the purpose for which it was erected, hereby agrees  
 for himself or itself, for his heirs, its successors, and his or its  
 assigns, to completely remove said sign within ten days of notice from said  
 Inspector of Buildings that said sign is in such condition and of order for  
 him to remove it.

In witness whereof, the owner of said premises has signed this consent or  
 agreement this July 19 day of July 1999.

CSL Realty Co.

Consuelo J. Logan

07/20/99

This document is a true and correct copy of the original as filed in the office of the City Clerk of Portland, Maine, on July 20, 1999.



# ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID BX  
BAILE-7

DATE (MM/DD/YY)  
04/09/99

**PRODUCER**

Morse, Payson & Noyes Insurance  
P.O. Box 406  
Portland ME 04112-0406

Charles Healey (new)

Phone No 207-775-6000 Fax No 207-775-0339

**INSURED**

Bailey Sign, Inc.  
Bruce Bailey  
9 Thomas Dr.  
Westbrook ME 04092

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW

**COMPANIES AFFORDING COVERAGE**

COMPANY A COMMERCIAL UNION

COMPANY B MAINE EMPLOYERS MUTUAL

COMPANY C

COMPANY D

**COVERAGES**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	<input checked="" type="checkbox"/> GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT	BINDER	03/01/99	03/01/00	GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 PERSONAL & ADV INJURY \$ 1,000,000 EACH OCCURRENCE \$ 1,000,000 FIRE DAMAGE (Any one fire) \$ 50,000* MED EXP (Any one person) \$ 5,000
A	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS	BINDER	03/01/99	03/01/00	COMBINED SINGLE LIMIT \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
	<input type="checkbox"/> GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY \$ EACH ACCIDENT \$ AGGREGATE \$
A	<input checked="" type="checkbox"/> EXCESS LIABILITY <input checked="" type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM	BINDER	03/01/99	03/01/00	EACH OCCURRENCE \$ 1,000,000 AGGREGATE \$ 1,000,000
B	<input type="checkbox"/> WORKERS COMPENSATION AND EMPLOYERS' LIABILITY <input type="checkbox"/> INCL <input type="checkbox"/> EXCL THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE OTHER	BINDER	03/01/99	03/01/00	W/C STATUTORY LIMITS OTHER EL EACH ACCIDENT \$ 500000 EL DISEASE - POLICY LIMIT \$ 500000 EL DISEASE - EA EMPLOYEE \$ 500000

DESCRIPTION OF OPERATIONS, LOCATIONS, VEHICLES/SPECIAL ITEMS

**CERTIFICATE HOLDER**

CITPORT

City of Portland  
389 Congress Street  
Portland ME 04101

**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES

AUTHORIZED REPRESENTATIVE

Charles Healey (new)

BUILDING PERMIT REPORT

DATE: 29 July 99 ADDRESS: 973 Congress St CBL: 065-A-013  
REASON FOR PERMIT: Signage  
BUILDING OWNER: CSL Realty Co  
PERMIT APPLICANT: Barley Sign  
USE GROUP Signage BOCA 1996 CONSTRUCTION TYPE \_\_\_\_\_

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: \*1\*24

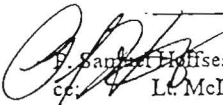
1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' o.c. between bolts. (Section 2305.17)
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete from freezing. Section 1908.0
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1996)
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2, M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 36" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0) - Handrails shall be on both sides of stairway. (Section 1014.7)
12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1018.6)
16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) (Section 710.0)
18. The boiler shall be protected by enclosing with (1)hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)
19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be

installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2.

20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
21. The Fire Alarm System shall maintained to NFPA #72 Standard.
22. The Sprinkler System shall maintained to NFPA #13 Standard.
23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1996)
24. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
26. Ventilation shall meet the requirements of Chapter 12 Sections 1210.0 of the City's Building Code. (Crawl spaces & attics).
27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
28. All requirements must be met before a final Certificate of Occupancy is issued.
29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (the BOCA National Building Code/1996).
30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). (Chapter M-16)
31. Please read and implement the attached Land Use Zoning report requirements.
32. Boring, cutting and notching shall be done in accordance with Sections 2305.4.4, 2305.5.1 and 2305.5.3 of the City's Building Code.
33. Glass and glazing shall meet the requirements of Chapter 24 of the building code.
- \* 34. All signage shall be done in accordance with chapter 31 Section 3102.0 of The Bldg. Code
35. \_\_\_\_\_
36. \_\_\_\_\_

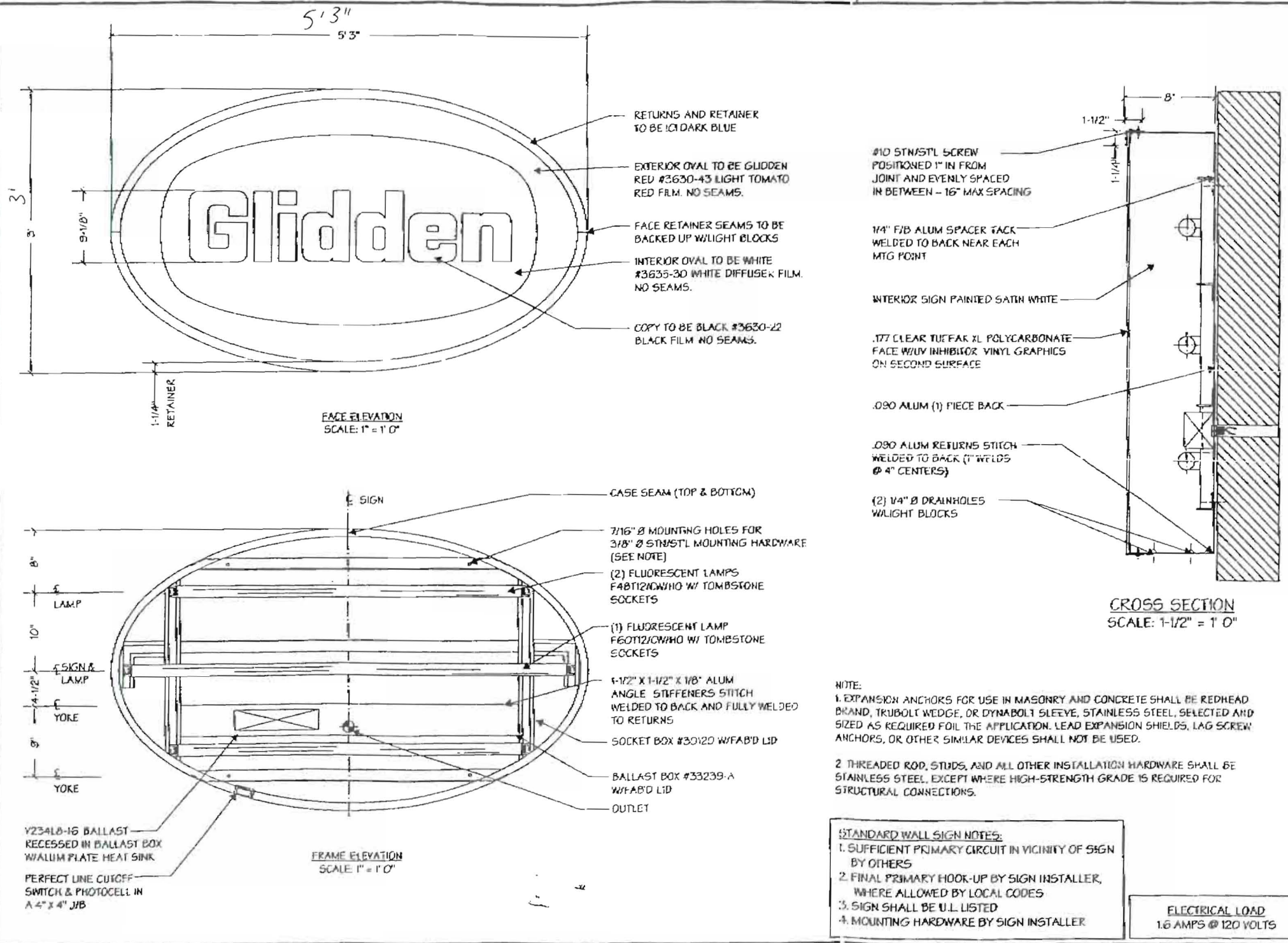
  
Samuel Hoffes, Building Inspector  
cc: Lt. McDougall, PFD  
Marge Schmuckal, Zoning Administrator

PSH 11-14-97

\*\*On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.

proposed signage  
2- 3' x 5'3" signs

UL #s BJ 711535 + BJ 711536



REV.	DATE	DESCRIPTION
1	6-14-99	REV. NOTES - VLR

JOB NO.	GLIDDEN
SHEET NO. OF	1 1
DWG. NO.	B-7275
REV.	1
DATE	5-28-99
CK. BY:	VLR
ILLU. BY:	VARIOUS

JUL-27-1999 16:19

PHILADELPHIA SIGN CO.

**Philadelphia Sign Company**  
707 West Spring Garden Street  
Palmyra, New Jersey 08065-1798

609 8298549 P. 02

**NOTE:**

- EXPANSION ANCHORS FOR USE IN MASONRY AND CONCRETE SHALL BE REDHEAD BRAND, TRUBOLT WEDGE, OR DYNABOLT SLEEVE, STAINLESS STEEL, SELECTED AND SIZED AS REQUIRED FOR THE APPLICATION. LEAD EXPANSION SHIELDS, LAG SCREW ANCHORS, OR OTHER SIMILAR DEVICES SHALL NOT BE USED.
- THREADED ROD, STUDS, AND ALL OTHER INSTALLATION HARDWARE SHALL BE STAINLESS STEEL, EXCEPT WHERE HIGH-STRENGTH GRADE IS REQUIRED FOR STRUCTURAL CONNECTIONS.

**STANDARD WALL SIGN NOTES:**

- SUFFICIENT PRIMARY CIRCUIT IN VICINITY OF SIGN BY OTHERS
- FINAL PRIMARY HOOK-UP BY SIGN INSTALLER, WHERE ALLOWED BY LOCAL CODES
- SIGN SHALL BE U.L. LISTED
- MOUNTING HARDWARE BY SIGN INSTALLER

**ELECTRICAL LOAD**  
1.6 AMPS @ 120 VOLTS