

OPEN BENCH PROJECT
 971 Congress Street, Portland, Maine 04103
 INTERIOR RENOVATION



ISSUED FOR PERMITTING

REVISIONS:		
No.	Name	Date

ISSUED: 01 NOV 2018
 PROJECT No: 1818
 DRAWN BY: HB
 CHECKED BY: CB
 SHEET TITLE:
 COVER SHEET

A001



PROJECT NARRATIVE:

INTERIOR RENOVATION TO EXISTING INDUSTRIAL/FACTORY OCCUPANCY. SCOPE OF WORK PRIMARILY INCLUDES PROVISION OF TWO NEW EGRESS STAIRS PER REQUIREMENTS OF APPLICABLE CODES FOR EXISTING BUILDING, CONVERSION OF EXISTING STAIR TO CONVENIENCE STAIR BETWEEN LEVEL 01 AND LEVEL 02, MINOR REVISION OF INTERIOR PARTITIONS, AND COORDINATION OF RELOCATION AND PROVISION OF LIFE SAFETY DEVICES AS REQUIRED. BUILDING DOES NOT HAVE AN AUTOMATIC SPRINKLER SYSTEM.

OPEN BENCH PROJECT - Interior Renovation

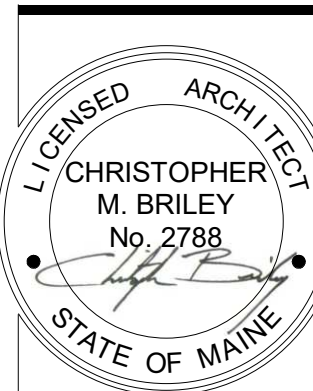
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DRAWING LIST	
NUMBER	SHEET TITLE
A001	COVER SHEET
A101	DEMO & LIFE SAFETY
A101	FLOOR PLANS & SCHEDULES
A501	VERTICAL CIRCULATION

SYMBOL LEGEND	
	DETAIL NUMBER BUILDING SECTION DRAWING NUMBER
	DETAIL NUMBER CALL OUT DRAWING NUMBER
	CENTERLINE
	DOOR TAG
	ELEVATION INDICATOR
	ELEVATION TAG
	NORTH ARROW
	REVISION
	Room name ROOM TAG WITH NUMBER
	STRUCTURAL GRID BUBBLE
	WALL TAG
	WINDOW TAG

ABBREVIATION LEGEND			
ACT	ACOUSTICAL CEILING TILE	LF	LIGHT FIXTURE
AFF	ABOVE FINISHED FLOOR	MATL	MATERIAL
ALT	ALTERNATE	MAX	MAXIMUM
ALUM	ALUMINUM	MECH	MECHANICAL
BOS	BOTTOM OF STRUCTURE	MFR	MANUFACTURER
BOT	BOTTOM	MIN	MINIMUM
BY	BRICK VENEER	MO	MASONRY OPENING
CAP.	CAPACITY	MRGWB	MOISTURE RESISTANT GYPSUM WALL BOARD
CJ	CONTROL JOINT	MTL	METAL
CL	CENTER LINE	N/A	NOT APPLICABLE
CLNG	CEILING	NIC	NOT IN CONTRACT
CLR	CLEAR	NO.	NUMBER
CM	CONSTRUCTION MANAGER	NOM	NOMINAL
COL	COLUMN	OCC	OCCUPANT(S) / OCCUPANCY
CONT	CONTINUOUS	OC	ON CENTER
CPT	CARPET	OD	OUTER DIAMETER
CT	CERAMIC TILE	OPP	OPPOSITE / OPPOSITE HAND
DBL	DOUBLE	OZ	OUNCE
DEMO	DEMOLITION	PERF	PERFORATED
DIA	DIAMETER	PREP	PREPARE
DIM	DIMENSION	PLN	PLAN
DN	DOWN	PNT	PATCH, PREP. & PAINT
DR	DOOR	PT	PRESSURE TREATED
DTL	DETAIL	PTD	PAINTED
DWG	DRAWING	PVY	POLYVINYL CHLORIDE
EA	EACH	PWD	PLYWOOD
EJ	EXPANSION JOINT	RBR	RUBBER
EL	ELEVATION	RB	RESILIENT BASE
ELEV	ELEVATOR	RCP	REFLECTED CEILING PLAN
ETR	EXISTING TO REMAIN	REQ	REQUIRED, REQUIREMENTS
EQ	EQUAL	RM	ROOM
EXIST	EXISTING	RWD	RECLAIMED WOOD
EXT	EXTERIOR	SF	SQUARE FEET
FD	FLOOR DRAIN	SIM	SIMILAR
FE	FIRE EXTINGUISHER	SQFT	SQUARE FEET
FEC	FIRE EXTINGUIDHER CABINET	SPK	SPRINKLER
FGP	FRAMELESS GLASS PARTITION	SS	STAINLESS STEEL
FLR	FLOOR	STC	SOUND TRANSMISSION CLASS
FO	FACE OF	STCT	STRUCTURE / STRUCTURAL
GA	GAUGE	T	TEMPERED
GC	(GENERAL) CONTRACTOR	TD	TELEPHONE & DATA
GFI	GROUND FAULT INTERRUPT	T&G	TONGUE AND GROOVE
GLS	GLASS	TEL	TELEPHONE
GT	GLASS TILE	TL	TILE
GWB	GYPSUM WALL BOARD	TLT	TOILET
HC	HOLLOW CORE	TME	TO MATCH EXISTING
HDWD	HARDWOOD	T.O.	TOP OF
HM	HOLLOW METAL	TCC	TOP OF CONCRETE
HVAC	HEATING, VENTILATING, & AIR CONDITIONING	TOS	TOP OF STRUCTURE
HVLS	HIGH VELOCITY LOW SPEED	TYP	TYPICAL
HR	HOUR	UNO	UNLESS NOTED OTHERWISE
HSS	HOLLOW STRUCTURAL SECTION	VAR	VARIABLE / VARIABLE
ILO	IN LIEU OF	VIF	VERIFY IN FIELD
INSUL	INSULATION	WD	WOOD
INT	INTERIOR	W/	WITH
IRGWB	IMPACT RESISTANT GYPSUM WALL BOARD	W/O	WITHOUT
LED	LIGHT EMITTING DIODE		

BUILDER'S DRAWINGS:
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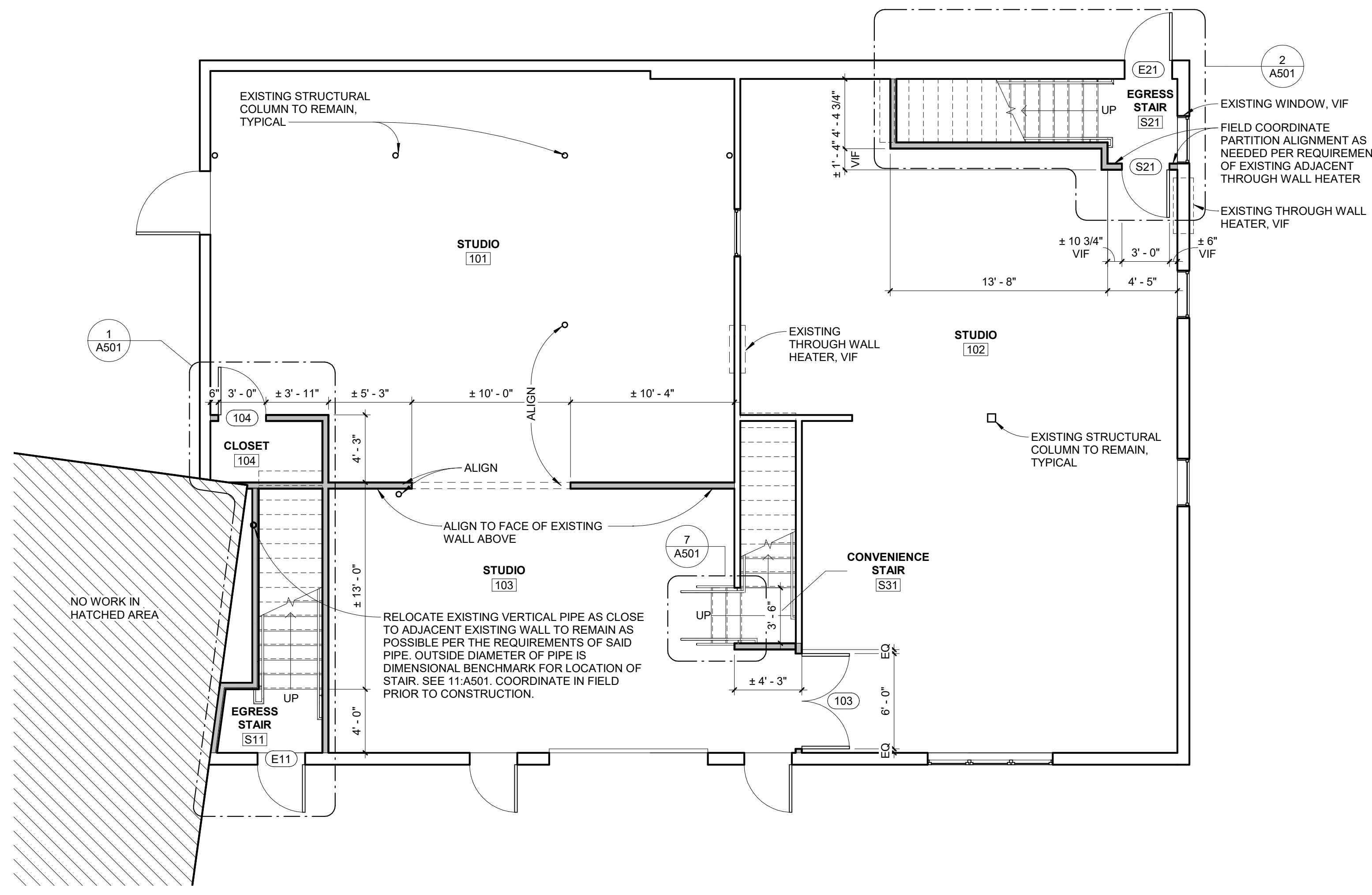
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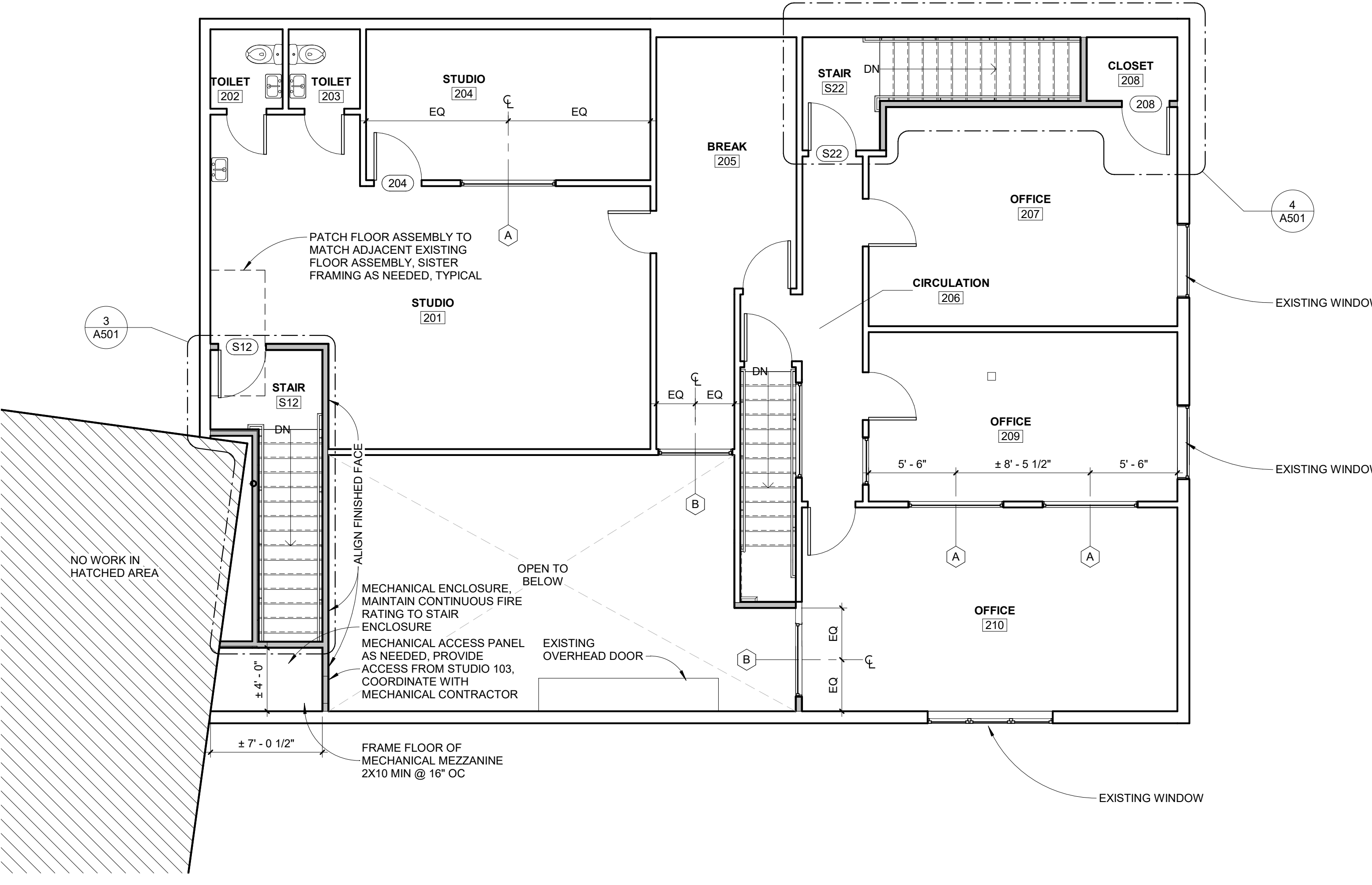
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 SHEET TITLE:
 FLOOR PLANS &
 SCHEDULES

A101



1 LEVEL 01 FLOOR PLAN
 3/16" = 1'-0"

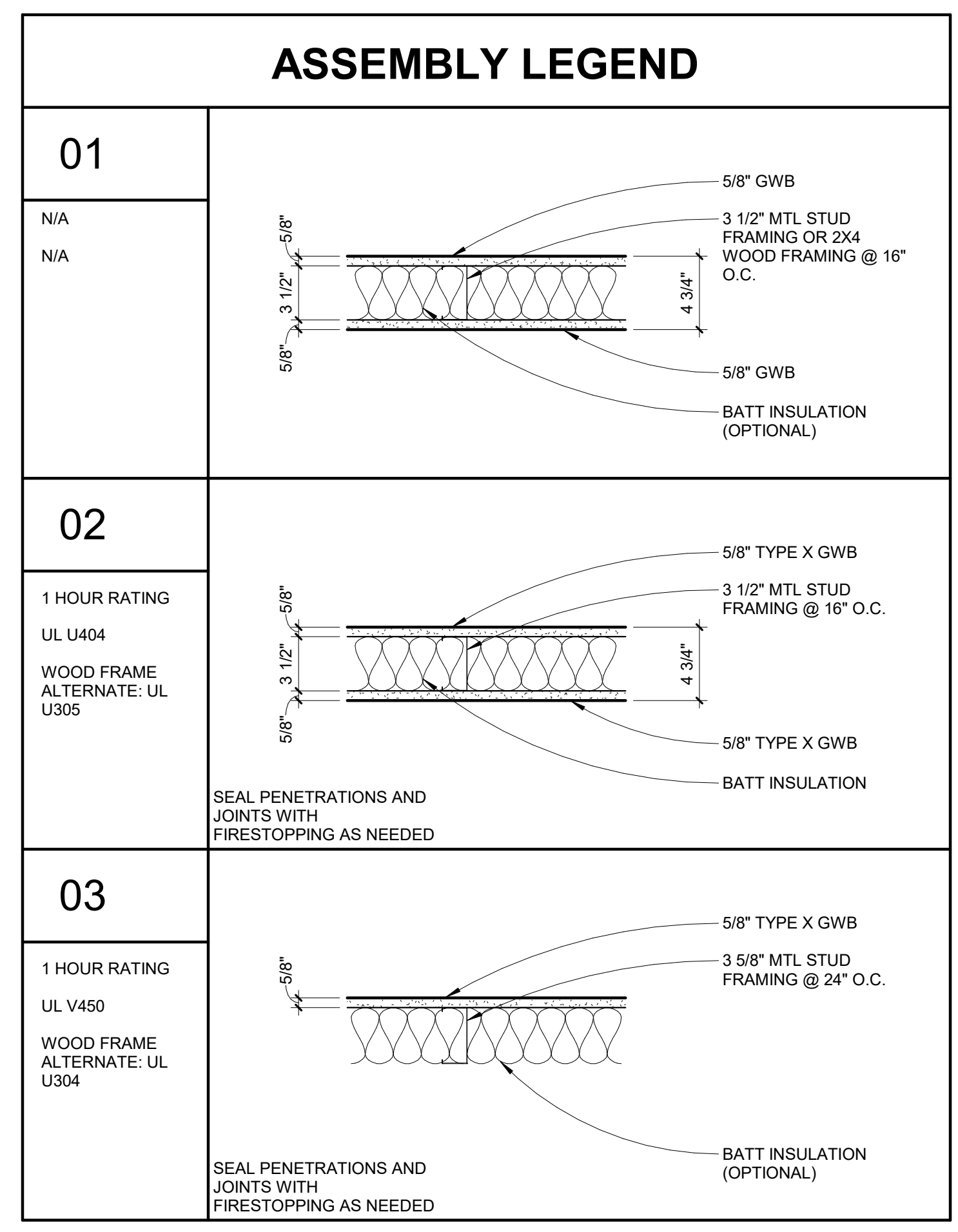


2 LEVEL 02 FLOOR PLAN
 3/16" = 1'-0"

- GENERAL NOTES:**
1. WORK TO CONFORM TO APPLICABLE CODES AND REGULATIONS
 2. DIMENSIONS ARE TO CLEAR FACE OF FINISH UNLESS NOTED OTHERWISE
 3. UNHATCHED ASSEMBLIES ARE EXISTING PRIOR TO CONSTRUCTION UNLESS NOTED OTHERWISE. CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION.
 4. PARTITIONS TO BE TYPE 01 UNLESS NOTED OTHERWISE. SEE ASSEMBLY LEGEND ON A101
 5. SEE A101 FOR PARTITION TYPE ASSEMBLIES
 6. HANDRAILS SHALL BE Ø 1 1/2", TYPICAL
 7. TOP OF HANDRAILS SHALL BE 2'-10" ABOVE LEADING EDGE OF TREAD NOSING, TYPICAL
 8. COORDINATE NEEDED BLOCKING WITHIN PARTITIONS PRIOR TO FINISH APPLICATION
 9. PROVIDE FIRE SEALANT WHERE REQUIRED PER UL 1479
 10. EXISTING LIGHTING AND ELECTRICAL TO REMAIN TO GREATEST EXTENT POSSIBLE
 11. PATCH AND PAINT OR REFINISH FINISHES AS NEEDED

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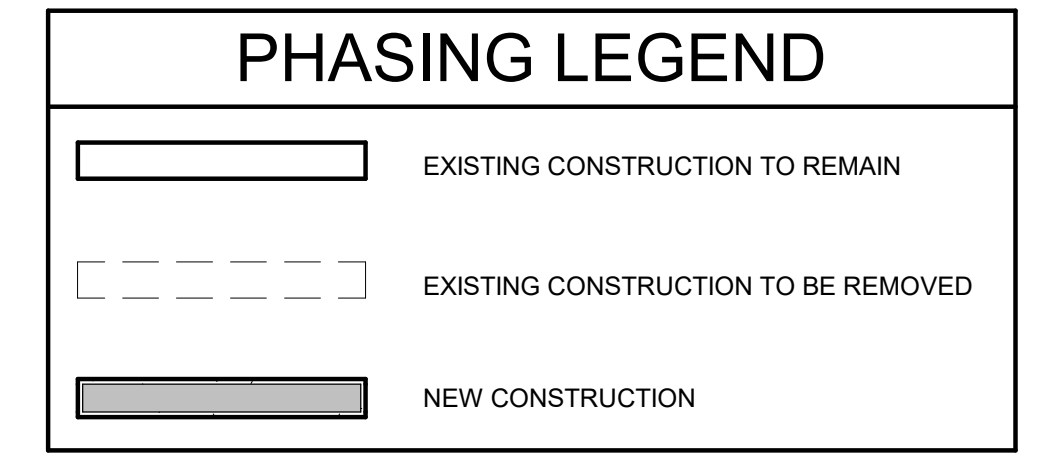


DOOR SCHEDULE

MARK	WIDTH	HEIGHT	OPERATION	HARDWARE	REMARKS
103	6'-0"	6'-8"	HINGED		DOUBLE DOOR
104	3'-0"	7'-0"	HINGED		RELOCATED EXISTING
204	3'-0"	7'-0"	HINGED		RELOCATED EXISTING
208	3'-0"	7'-0"	HINGED		RELOCATED EXISTING
E11	3'-0"	7'-0"	HINGED	POSITIVE LATCHING & CLOSER	EGRESS DOOR, EXISTING, VERIFY EXISTING HARDWARE
E21	3'-0"	7'-0"	HINGED	POSITIVE LATCHING & CLOSER	EGRESS DOOR
S12	3'-0"	7'-0"	HINGED	SMOKE SEALS, POSITIVE LATCHING & CLOSER	60 MINUTE FIRE RATING
S21	3'-0"	7'-0"	HINGED	SMOKE SEALS, POSITIVE LATCHING & CLOSER	60 MINUTE FIRE RATING
S22	3'-0"	7'-0"	HINGED	SMOKE SEALS, POSITIVE LATCHING & CLOSER	60 MINUTE FIRE RATING

WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	OPERATION	REMARKS
A	6'-0"	4'-0"	FIXED	SINGLE GLAZED INTERIOR, TEMPERED
B	4'-8"	4'-0"	FIXED	



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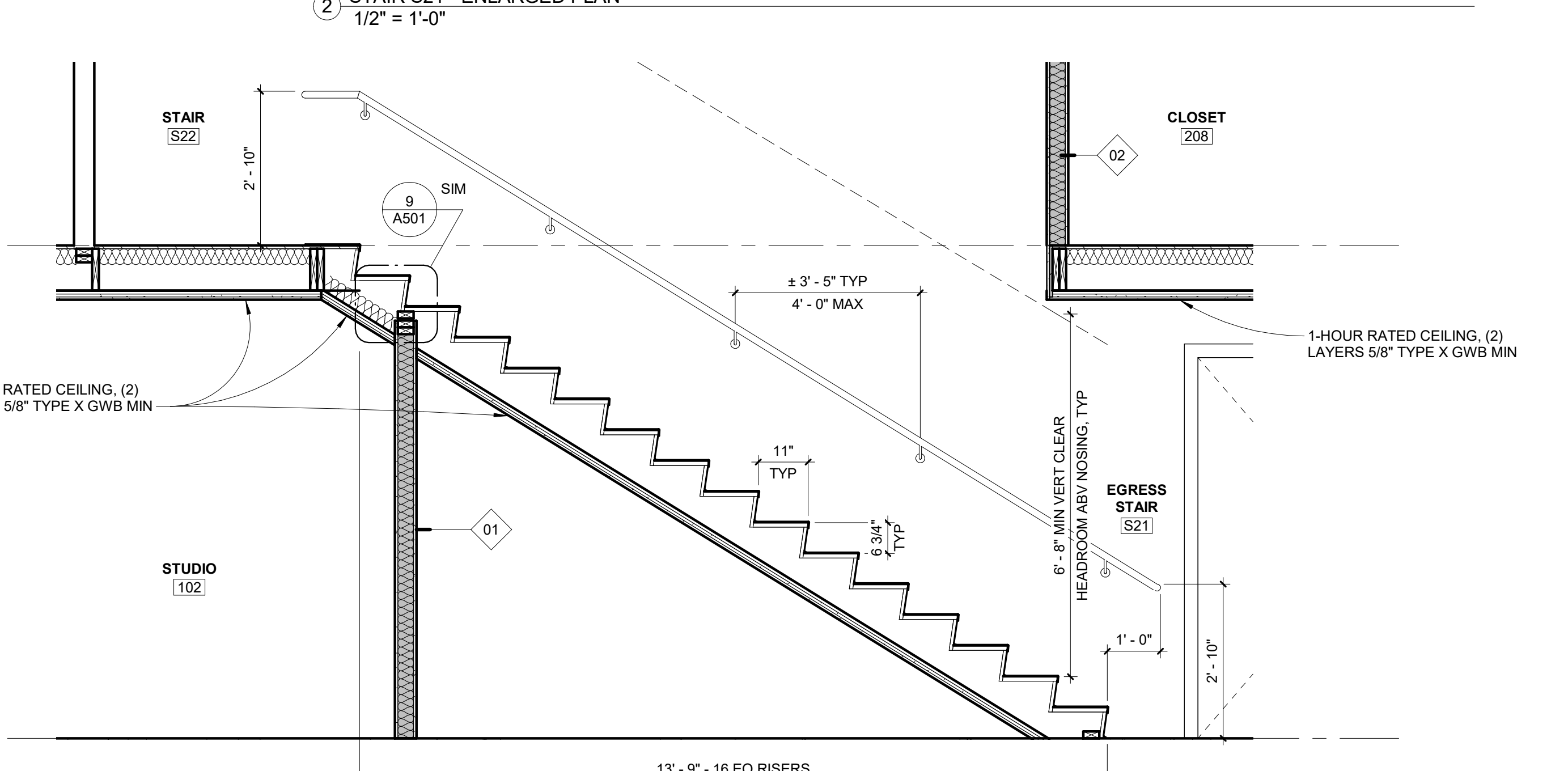
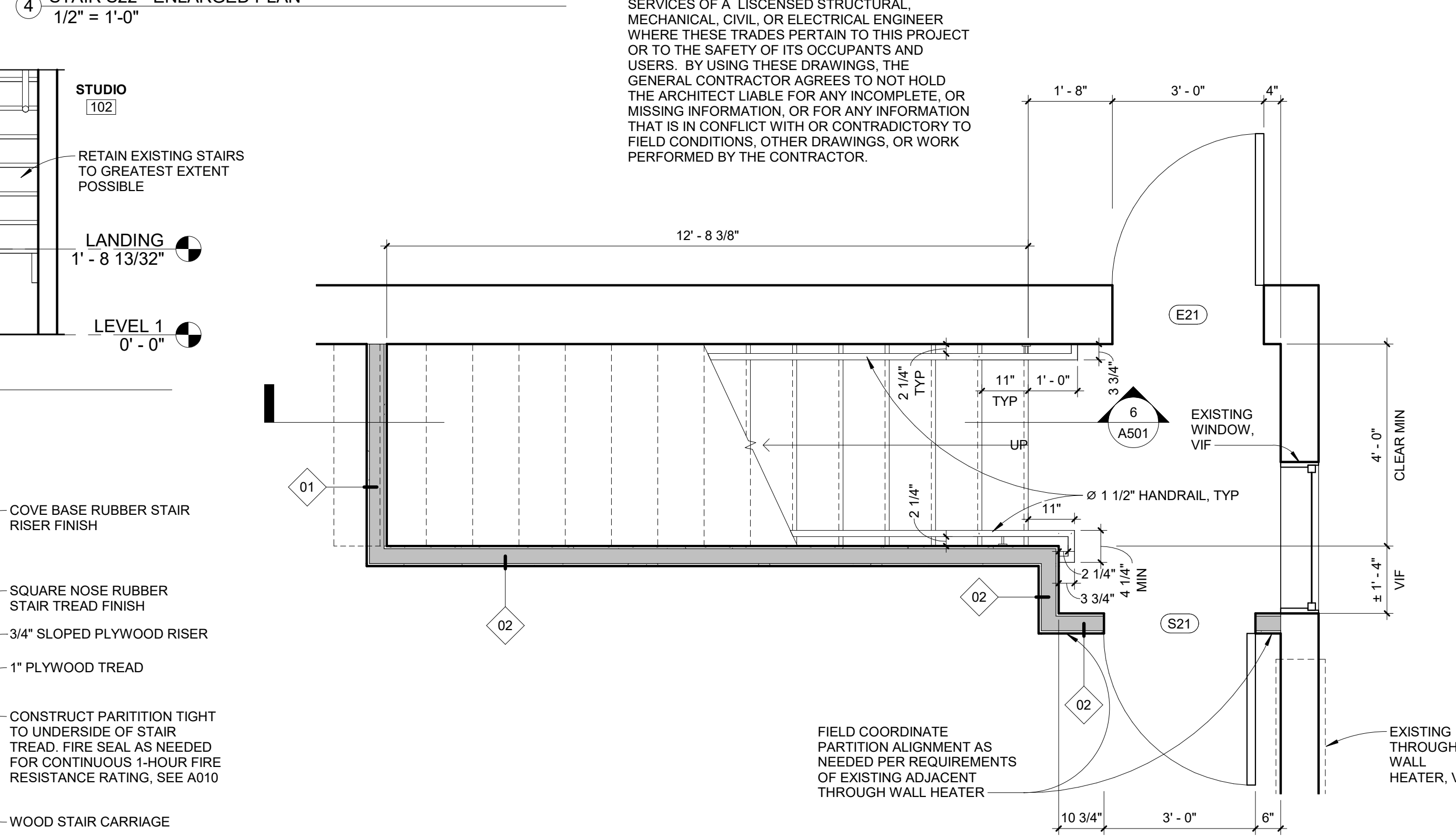
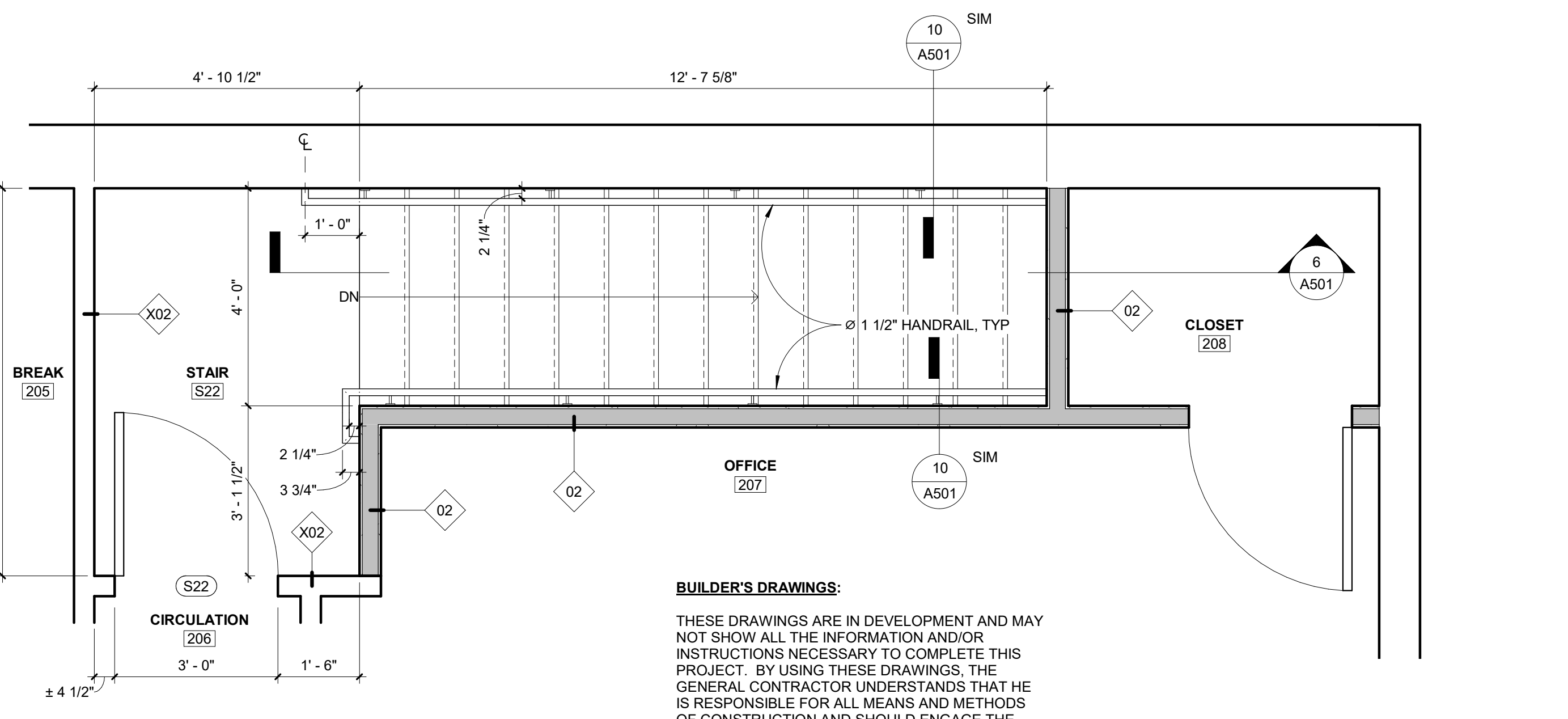
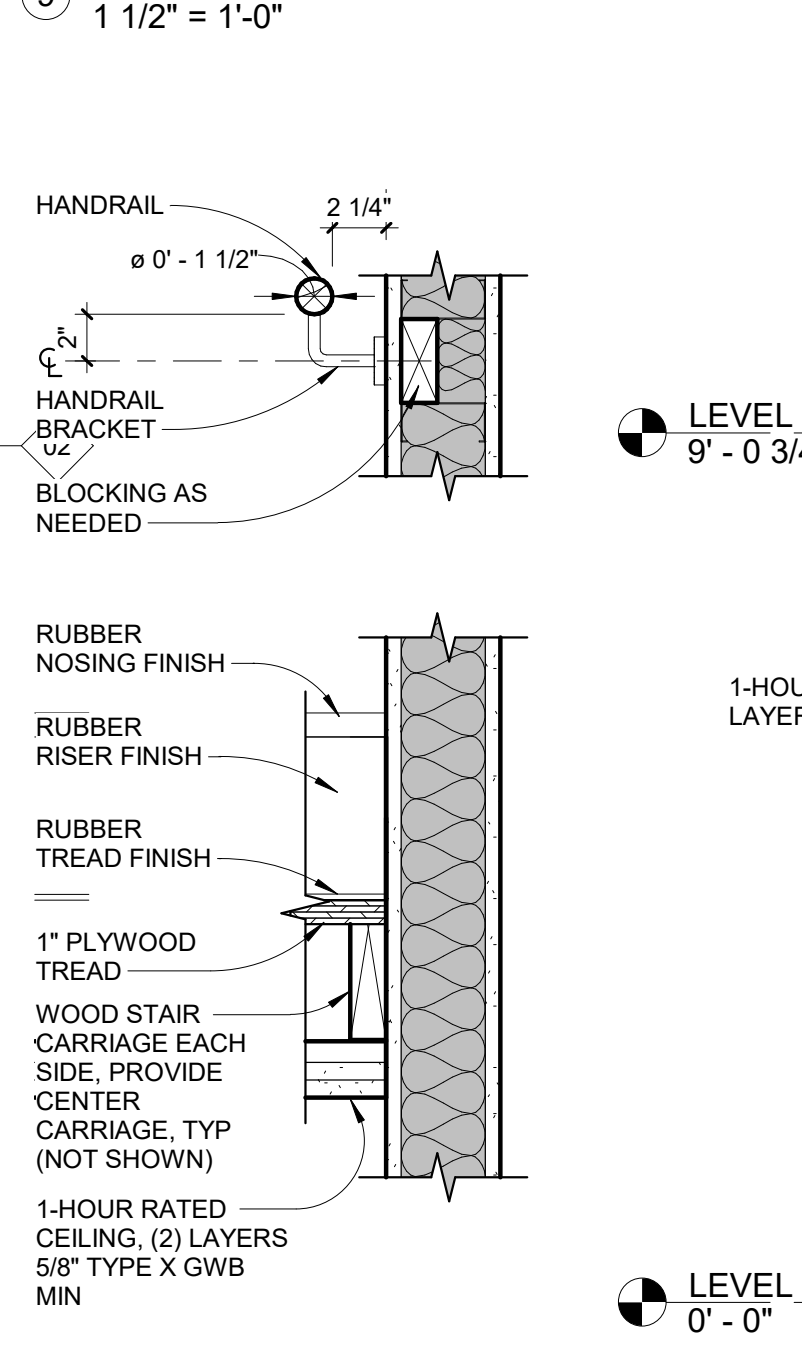
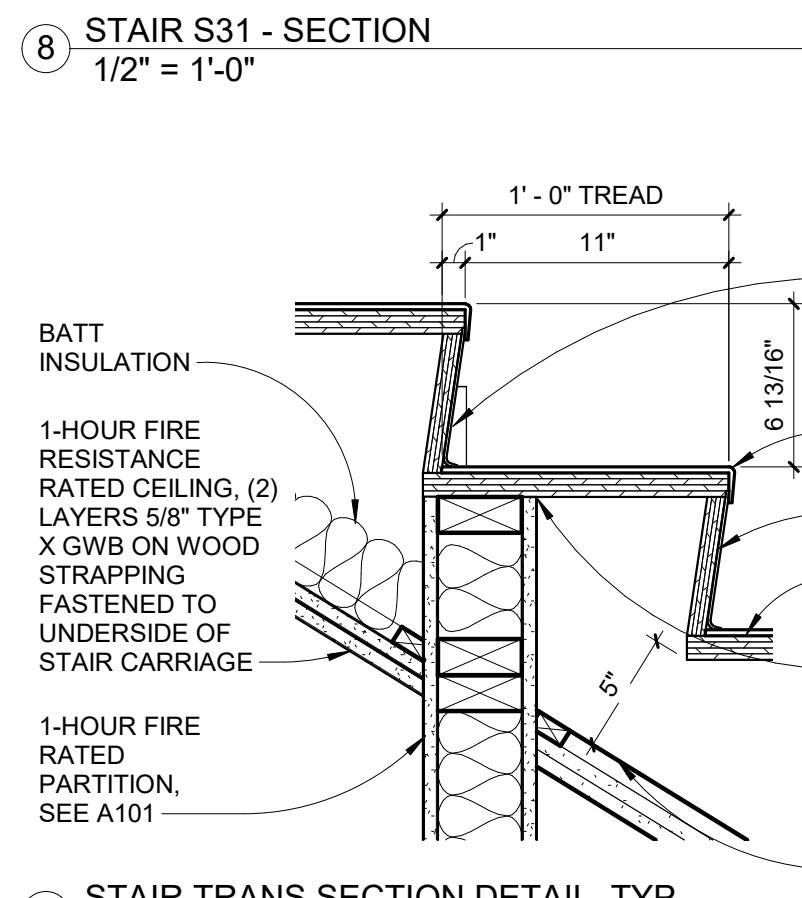
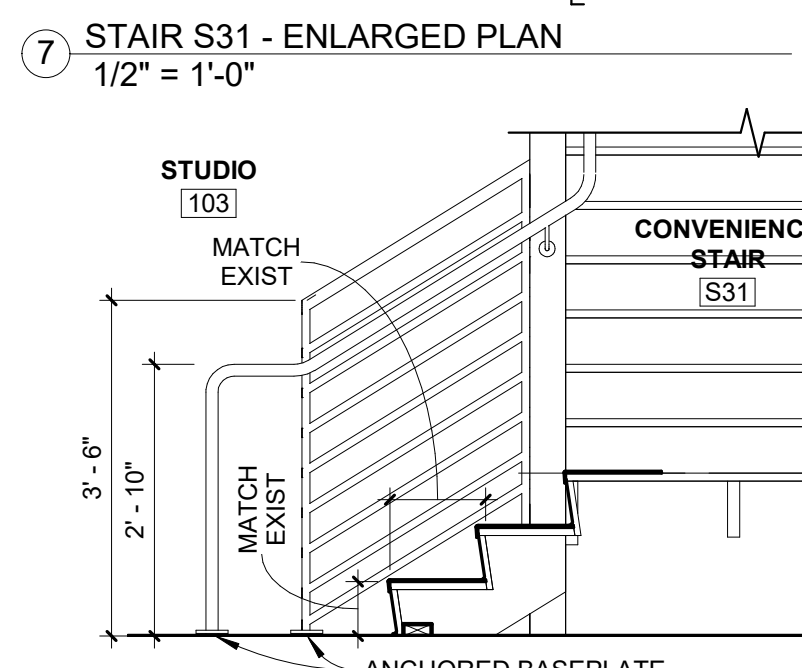
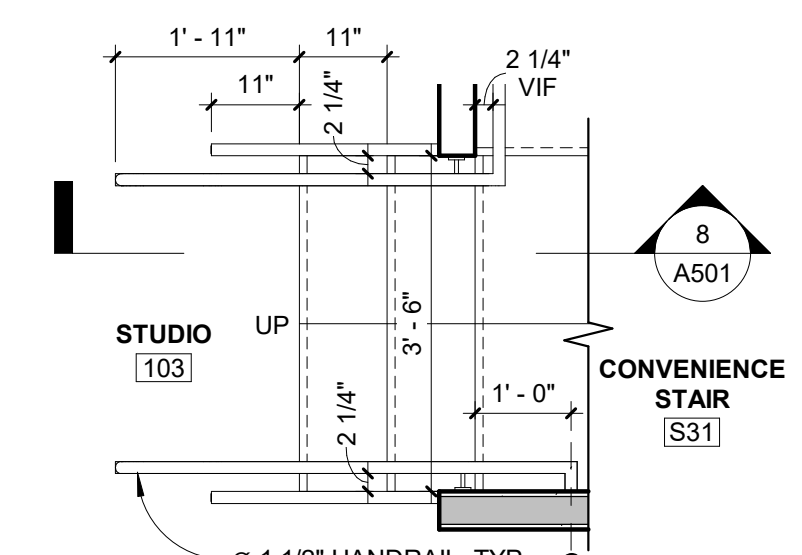
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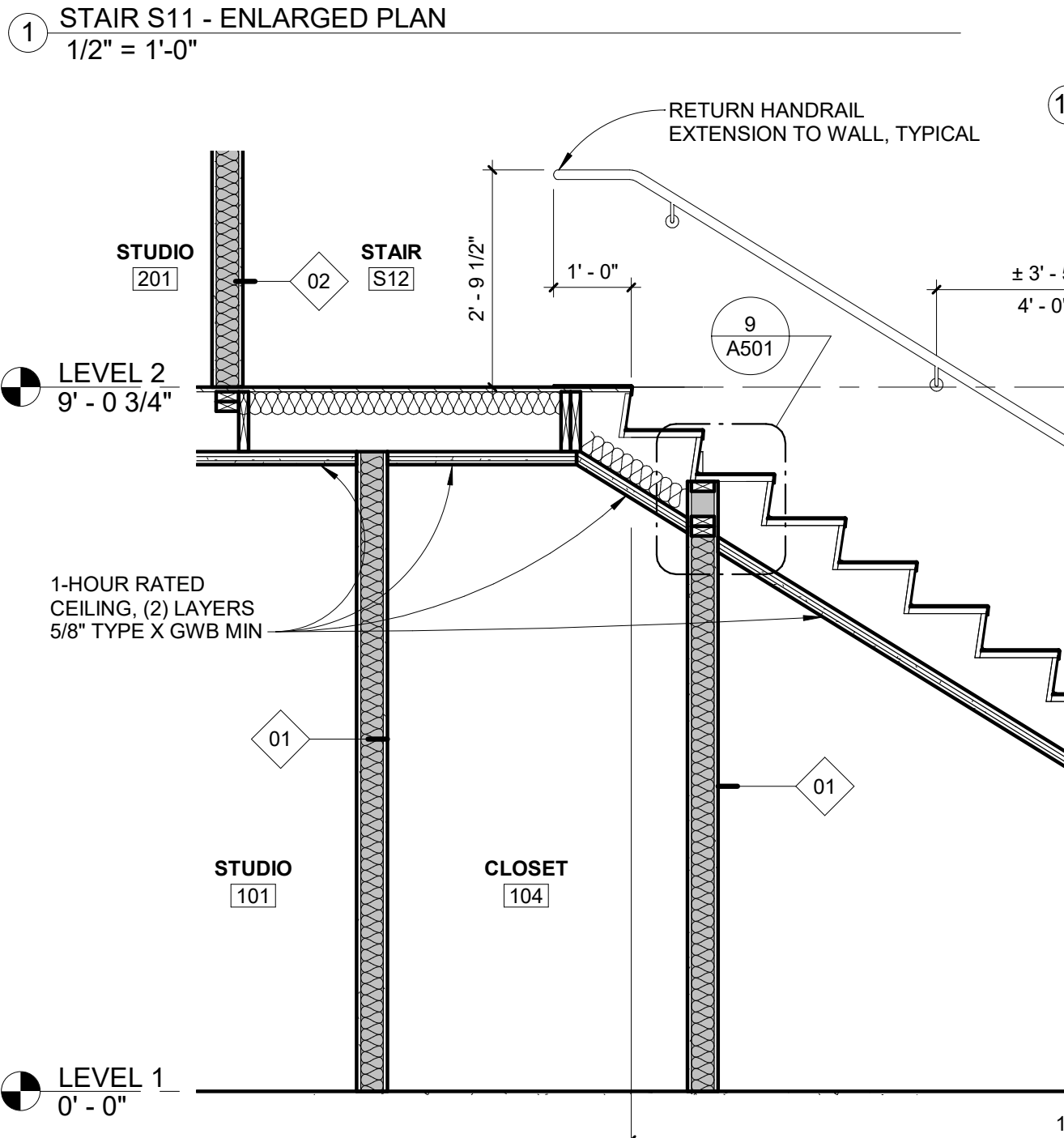
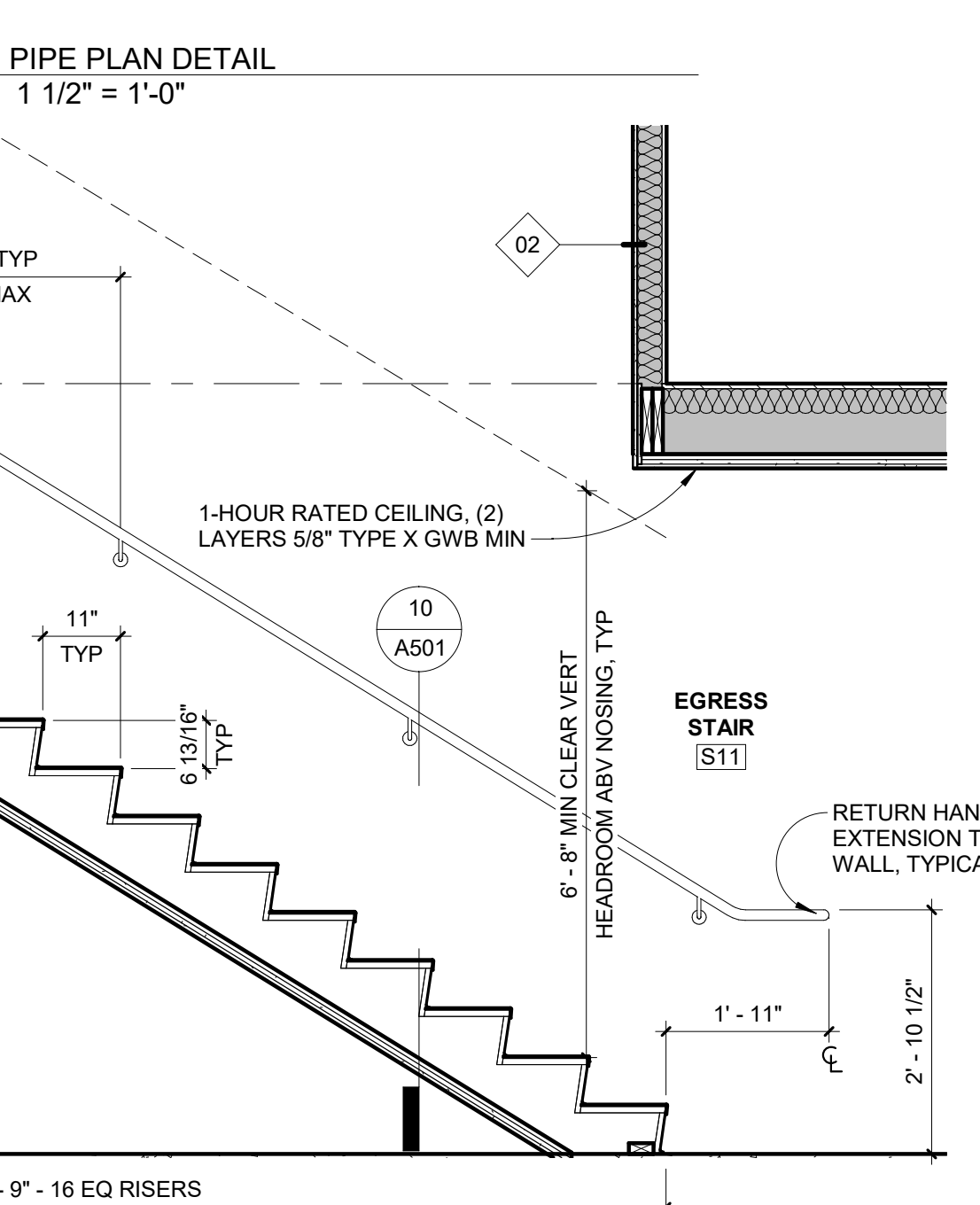
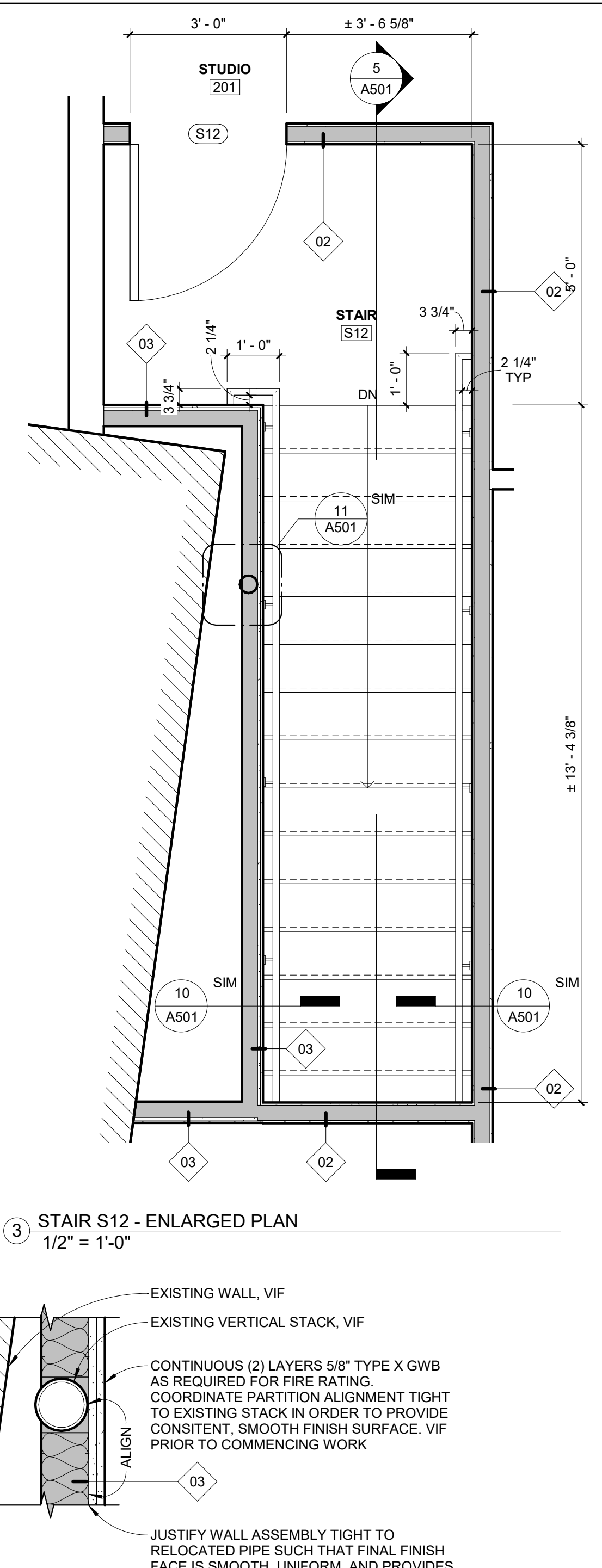
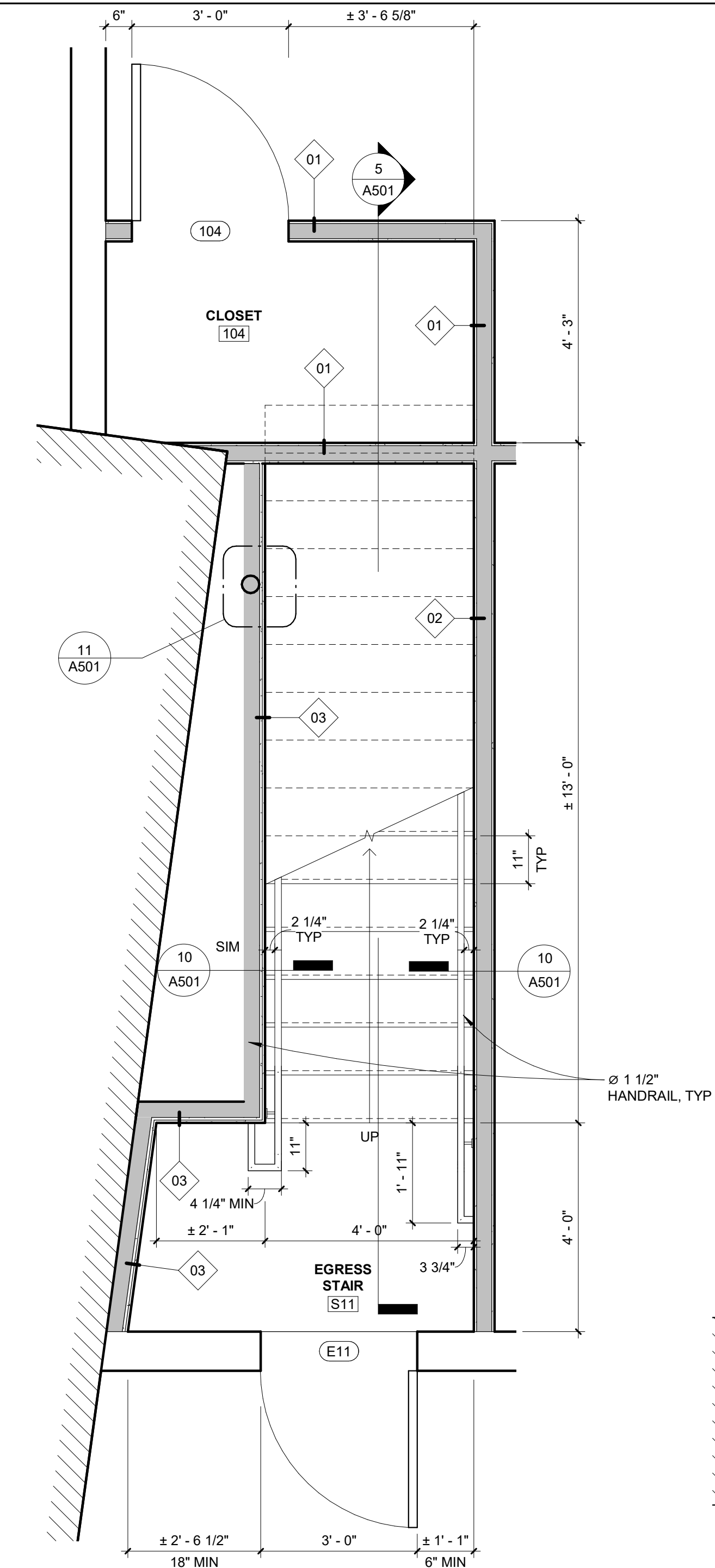
VERTICAL CIRCULATION

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5 STAIR SECTION
1/2" = 1'-0"