

# **PROJECT NARRATIVE**:

INTERIOR RENOVATION TO EXISTING
INDUSTRIAL/FACTORY OCCUPANCY. SCOPE OF
WORK PRIMARILY INCLUDES PROVISION OF TWO
NEW EGRESS STAIRS PER REQUIREMENTS OF
APPLICABLE CODES FOR EXISTING BUILDING,
CONVERSION OF EXISTING STAIR TO
CONVENIENCE STAIR BETWEEN LEVEL 01 AND
LEVEL 02, MINOR REVISION OF INTERIOR
PARTITIONS, AND COORDINATION OF RELOCATION
AND PROVISION OF LIFE SAFETY DEVICES AS
REQUIRED. BUILDING DOES NOT HAVE AN
AUTOMATIC SPRINKLER SYSTEM.

# OPEN BENCH PROJECT - Interior Renovation

971 Congress Street, Portland, Maine 04103

DRAWING LIST			
NUMBER	SHEET TITLE		
A001	COVER SHEET		
A010	DEMO & LIFE SAFETY		
A101	FLOOR PLANS & SCHEDULES		
A501	VERTICAL CIRCULATION		

SYMBOL LEGEND				
SIM A101	<ul><li>DETAIL NUMBER</li><li>BUILDING SECTION</li><li>DRAWING NUMBER</li></ul>			
SIM—A101	– DETAIL NUMBER CALL OUT – DRAWING NUMBER			
Ę.	CENTERLINE			
101	DOOR TAG			
•	ELEVATION INDICATOR			
Ref 1 A101 1 by Ref	ELEVATION TAG			
Ref View Name	ELEVATION TAG			
	NORTH ARROW			
<u></u>	REVISION			
Room name	ROOM TAG WITH NUMBER			
0	STRUCTURAL GRID BUBBLE			
<u>(1i)</u>	WALL TAG			
(1t)	WINDOW TAG			

ACT	ACOUSTICAL CEILING TILE	LF	LIGHT FIXTURE
AFF	ABOVE FINISHED FLOOR	MATL	MATERIAL
ALT	ALTERNATE	MAX	MAXIMUM
ALUM	ALUMINUM	MECH	MECHANICAL
BOS	BOTTOM OF STRUCTURE	MFR	MANUFACTURER
BOT	BOTTOM	MIN	MINIMUM
BV	BRICK VENEER	MO	MASONRY OPENING
CAP.	CAPACITY		MOISTURE RESISTANT GYPSUM WALL BOA
CJ	CONTROL JOINT	MTL	METAL
CL	CENTER LINE	N/A	NOT APPLICABLE
CLNG	CEILING	NIC	NOT IN CONTRACT
CLR	CLEAR	NO.	NUMBER
CM	CONSTRUCTION MANAGER	NOM	NOMINAL
COL	COLUMN	OCC	OCCUPANT(S) / OCCUPANCY
CONT	CONTINUOUS	OC	ON CENTER
CPT	CARPET	OD	OUTER DIAMETER
CT	CERAMIC TILE	OPP	OPPOSITE / OPPOSITE HAND
DBL	DOUBLE	OZ	OUNCE
DEMO	DEMOLITION	PERF	PERFORATED
DIA	DIAMETER	PREP	PREPARE
DIM	DIMENSION	PLN	PLAN
DN	DOWN	PNT	PATCH, PREP, & PAINT
DR	DOOR	PT	PRESSURE TREATED
DTL	DETAIL	PTD	PAINTED
DWG	DRAWING	PVY	POLYVINYL CHLORIDE
EA	EACH	PWD	PLYWOOD
EJ	EXPANSION JOINT	RBR	RUBBER
EL	ELEVATION	RB	RESILIENT BASE
ELEV	ELEVATOR	RCP	REFLECTED CEILING PLAN
ETR	EXISTING TO REMAIN	REQ	REQUIRED, REQUIREMENTS
EQ	EQUAL	RM	ROOM
EXIST	EXISTING	RWD	RECLAIMED WOOD
EXT	EXTERIOR	SF	SQUARE FEET
FD	FLOOR DRAIN	SIM	SIMILAR
FE	FIRE EXTINGUISHER	SQFT	SQUARE FEET
FEC	FIRE EXTINGUIDHER CABINET	SPK	SPRINKLER
FGP	FRAMELSS GLASS PARTITION	SS	STAINLESS STEEL
		STC	SOUND TRANSMISSION CLASS
FLR	FLOOR		STRUCTURE / STRUCTURAL
FO	FACE OF	STCT T	TEMPERED
GA	GAUGE		TELEPHONE & DATA
GC	(GENERAL) CONTRACTOR	TD	
GFI	GROUND FAULT INTERUPT	T&G	TONGUE AND GROOVE
GLS	GLASS	TEL	TELEPHONE
GT	GLASS TILE	TL	TILE
GWB	GYPSUM WALL BOARD	TLT	TOILET
HC	HOLLOW CORE	TME	TO MATCH EXISITING
HDWD	HARDWOOD	T.O.	TOP OF
HM	HOLLOW METAL	TOC	TOP OF CONCRETE
HVAC	HEATING, VENTILATING, & AIR CONDITIONING	TOS	TOP OF STRUCTURE
HVLS	HIGH VELOCITY LOW SPEED	TYP	TYPICAL
HR	HOUR	UNO	UNLESS NOTED OTHERWISE
HSS	HOLLOW STRUCTURAL SECTION	VAR	VARIES / VARIABLE
ILO	IN LIEU OF	VIF	VERIFY IN FIELD
INSUL	INSULATION	WD	WOOD
INT	INTERIOR	W/	WITH
IRGWB	IMPACT RESISTANT GYPSUM WALL BOARD	W/O	WITHOUT
LED	LIGHT EMITTING DIODE		

# CHRISTOPHER CT M. BRILEY No. 2788

ortland, Maine 04103

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architecture for life
28 Maple St. | Suite 202 | Portland, ME 04101 | 207-774-8482

ISSUED FOR PERMITTING

**REVISIONS:** 

ISSUED: 01 NOV 2018
PROJECT No: 1818
DRAWN BY: HB
CHECKED BY: CB

A001

SHEET TITLE:

**COVER SHEET** 

# **BUILDER'S DRAWINGS**:

THESE DRAWINGS ARE IN DEVELOPMENT AND MAY NOT SHOW ALL THE INFORMATION AND/OR INSTRUCTIONS NECESSARY TO COMPLETE THIS PROJECT. BY USING THESE DRAWINGS, THE GENERAL CONTRACTOR UNDERSTANDS THAT HE IS RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION AND SHOULD ENGAGE THE SERVICES OF A LISCENSED STRUCTURAL, MECHANICAL, CIVIL, OR ELECTRICAL ENGINEER WHERE THESE TRADES PERTAIN TO THIS PROJECT OR TO THE SAFETY OF ITS OCCUPANTS AND USERS. BY USING THESE DRAWINGS, THE GENERAL CONTRACTOR AGREES TO NOT HOLD THE ARCHITECT LIABLE FOR ANY INCOMPLETE, OR MISSING INFORMATION, OR FOR ANY INFORMATION THAT IS IN CONFLICT WITH OR CONTRADICTORY TO FIELD CONDITIONS, OTHER DRAWINGS, OR WORK PERFORMED BY THE CONTRACTOR.

**REVISIONS:** 

No. Name Date

SHEET TITLE: DEMO & LIFE

SAFETY

A010

**GENERAL DEMO NOTES:** 

LAND USE / SCOPE

Min Width

Min Height

\\_\_ = = = = = = = = = |

LINE OF CONTINUOUS 1-HOUR MIN RATED

ASSEMBLY

7

<u>\_\_\_7</u>

1. CONTRACTOR TO PROVIDE ADEQUATE TEMPORARY

SHORING AS NEEDED, TYPICAL 2. CONTRACTOR TO PROVIDE WEATHER TIGHT

CONDITIONS DURING CONSTRUCTION, TYPICAL

3. WORK SHALL BE PERFORMED IN CONFORMANCE WITH

APPLICABLE CODES AND REGULATIONS, TYPICAL 4. CONTRACTOR TO PROVIDE NEEDED STRUCTURAL SHORING PER REQUIREMENTS OF CONSTRUCTION, TYP

KEYNOTE LEGEND MATERIAL/NOTE

2 | SELECTIVELY REMOVE / REWORK STAIR AS NEEDED FOR REQUIREMENTS OF CONSTRUCTION

CONSTRUCTION

REMOVE DOOR AND FRAME, RETAIN FOR REUSE REMOVE PORTION OF WALL ASSEMBLY REQUIRED FOR

ABOVE

TYPICAL

DOCUMENTS

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THE ARCHITECT LIABLE FOR ANY INCOMPLETE, OR

MISSING INFORMATION, OR FOR ANY INFORMATION

THAT IS IN CONFLICT WITH OR CONTRADICTORY TO

IEBC 2015

7.2.1.2....

7.2.1.2.1

7.2.7.4....

closer if protrudes 7" into egress

FIELD CONDITIONS, OTHER DRAWINGS, OR WORK

OF CONSTRUCTION AND SHOULD ENGAGE THE

SERVICES OF A LISCENSED STRUCTURAL, MECHANICAL, CIVIL, OR ELECTRICAL ENGINEER

OR TO THE SAFETY OF ITS OCCUPANTS AND

GENERAL CONTRACTOR AGREES TO NOT HOLD

USERS. BY USING THESE DRAWINGS, THE

PERFORMED BY THE CONTRACTOR.

NOT SHOW ALL THE INFORMATION AND/OR INSTRUCTIONS NECESSARY TO COMPLETE THIS PROJECT. BY USING THESE DRAWINGS, THE

1 REMOVE STAIR AND RAILS IN ITS ENTIRETY

3 REMOVE INTERIOR PARTITION AS REQUIRED FOR

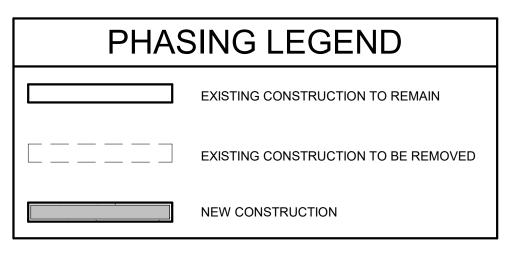
REMOVE INTERIOR WINDOW AND FRAME, RETAIN FOR

REMOVE MEZZANINE FLOOR AND FRAMING AS REQUIRED FOR CONSTRUCTION

OPENING CONSTRUCTION REMOVE COLUMN SUPPORTING DEMOLISHED FLOOR

REMOVE EXISTING EXIT SIGN / LIFE SAFETY DEVICE AS INDICATED. RETAIN FOR RELOCATION AND REUSE,

10 RELOCATE ROUTING OF EXISTING PLUMBING AS NEEDED PER REQUIREMENTS OF CONSTRUCTION



City of Portland

 $\setminus$ no work in  $^{\setminus}$ 

**HATCHED AREA** 

2 LEVEL 2 PLAN - Demolition 1/8" = 1'-0"

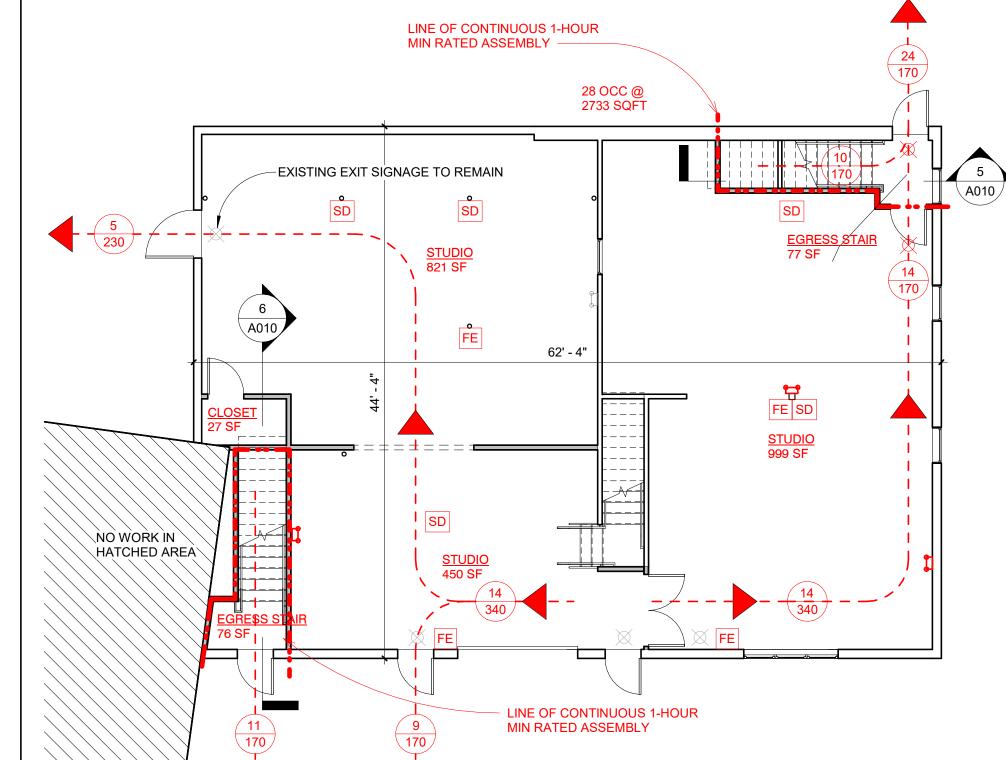
TOILET 23 SF

6

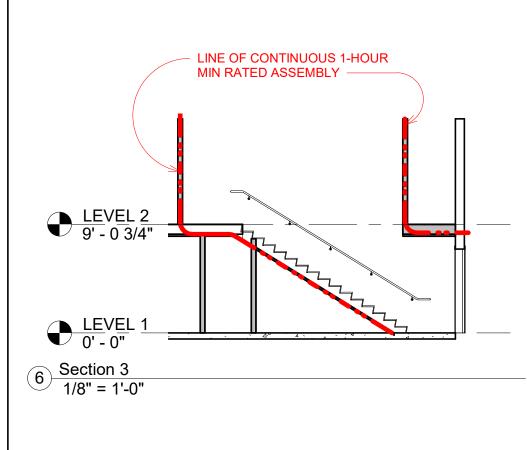
1 LEVEL 1 PLAN - Demolition 1/8" = 1'-0"

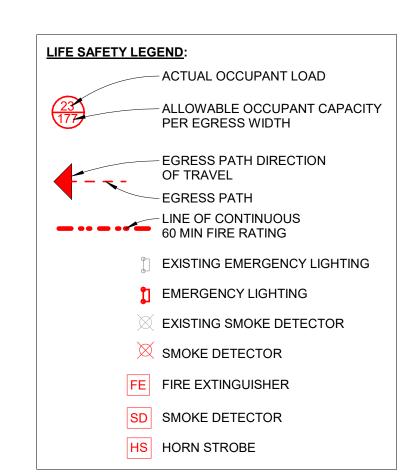
 $\setminus$ no work in  $^{\setminus}$ 

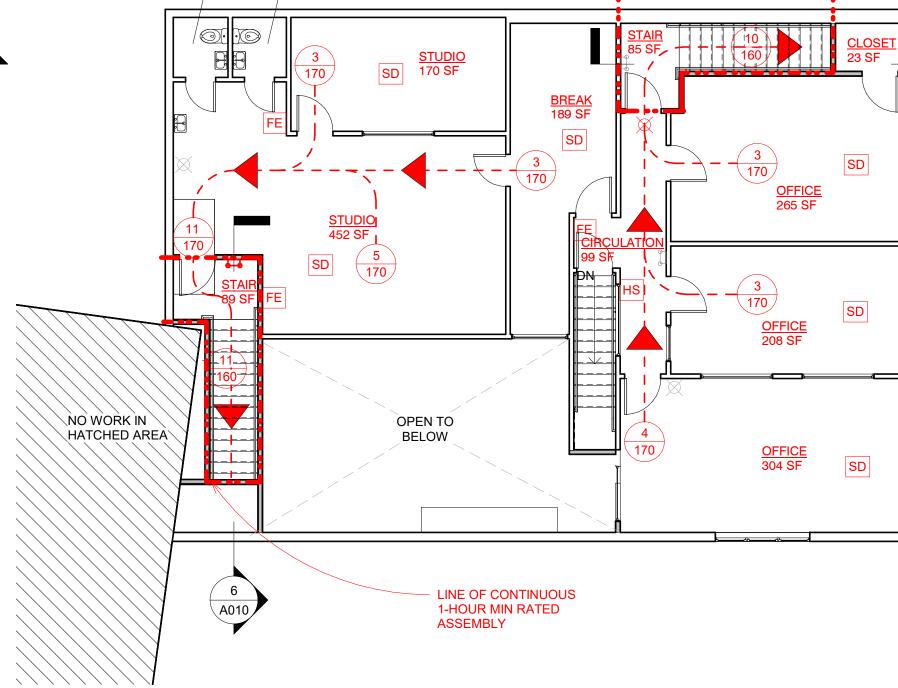
HATCHED AREA



3 LEVEL 01 LIFE SAFETY PLAN
1/8" = 1'-0"



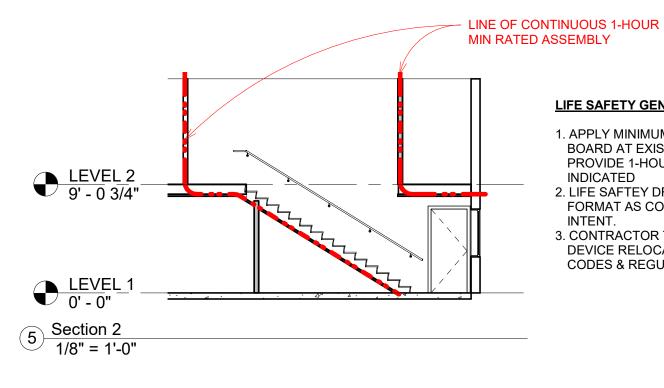




21 TOTAL OCC @

2078 SQFT

4 <u>LEVEL 02 LIFE SAFETY PLAN</u> 1/8" = 1'-0"



# **LIFE SAFETY GENERAL NOTES:**

1. APPLY MINIMUM (2) LAYERS 5/8" TYPE X GYPSUM WALL BOARD AT EXISTING PARITIONS AS NEEDED IN ORDER TO PROVIDE 1-HOUR MINIMUM CONTINUOUS FIRE RATING AS INDICATED

2. LIFE SAFTEY DRAWINGS SHALL BE VIEWED IN FULL COLOR FORMAT AS COLOR DISTINCTION IS REQUIRED TO DISCERN INTENT.

3. CONTRACTOR TO COORDINATE EXISTING LIFE SAFETY DEVICE RELOCATION PER REQUIREMENTS OF APPLICABLE CODES & REGULATIONS

LAND USE / SCOPE	City of Portland				IEBC 2015	
Zoning District	B2					
Permitted Use	M					
Alteration Level					Alteration Level 2 (Must also meet Level 1 Req.)	504.1
OCCUPANCY	IBC 2015	<u>'</u>	NFPA 101 2009			<u>'</u>
Building Use	Moderate Hazard Industrial F-1	306	Industrial (General)	6.1.12, 40	0.1.4.1.1	
Occupant Load	Industrial Areas - 100 sqft / occupant gross	1004.1.2	200 sqft / occupant	7.3.1.2		
C 5 c species 2 c s ii	Accessory Storage - 30 sqft / occupant	1004.1.2	200 - 410 /			
CONSTRUCTION						
Construction Name		601				
Construction Type	Type II B	601				
Max Height Abv Grade	55'	504.3				
Max Stories Abv Grade	3	504.4				
Max FIr Area / Story	23,000 sqft	506.2				
FIRE RESISTIVE RATINGS	1-0,000 04.1	333.2				
Stair Enclosures	1 hour	7.13.1 / 1023.2	2 1 hour	28.2.2.1.2		
EGRESS	1					
Min # Exits per Space		1006.2.1				
Min # Exits per Story		1006.3.1	2	40.2.4.1.1		
Max Travel Distance to			100'	7.6		
Max Travel Distance to			200'	40.2.6		
Min Distance b/n Exits			1/3 Building Diagonal			
Max Common Path of Travel			50' (unprotected)	40.2.5		
Max Dead End Corridor		1020.4	50' (unprotected)	40.2.5		
Corridor Unit Exit Width	0.2" / occupant	1005.3.2				
Corridor Wall Fire Rating	1 hour	1020.1				
Corridor Min Width	44"	1020.2				
Corridor Clear Headroom	7' - 6" Minimum	1003.2				
Stairs:						
Stairway Unit Exit Width	0.3" / occupant	1005.3.1				
Stairway Min Width	36" <50 occ or 44" min >50 occ	1011.2	36" <50 occ or 44" min >50 occ	7.2.2.2		
Stairway Min Landing Width	not less than width of stair (48" max	1011.6	min stair width	7.2.2.3.2		
Tread Requirements			30° max under tread angle, 1 1/2" max nosing projection	7.2.2.3.3. 4		
Max Landing w/ Door Swing	not less than 1/2 required width and no more than 7" projection into a landing					
Max Vertical Rise b/n	12'	1011.8				
Min Headroom	80"	1011.3				
Stair formula	7"max R, 4"min R; 11" min T	1011.5.2				
Handrail Cross Section	1 1/4" - 2" Diameter	1014.3	1 3/4" - 2" Diameter	7.2.2.4		
Handrail Clearance from Wall	1 1/2"	1014.7	2 1/4"	7.2.2.4		
Max Handrail Projection	4 1/2"	1014.8				
Handrail Height	34"-38"	1014.2	34-38" vertical from nosing	7.2.2.4		
Guardrail Height	42"	1015.3				
Communicating Stair	May atmospherically communicate between two stories only.	1019.3.1				
Doors:						

CODE REVIEW SUMMARY

- 5/8" TYPE X GWB

- 3 5/8" MTL STUD

FRAMING @ 24" O.C.

- BATT INSULATION

(OPTIONAL)

N/A

UL U404

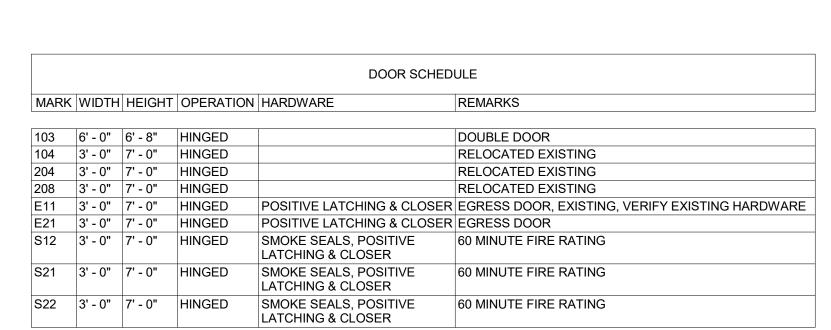
U305

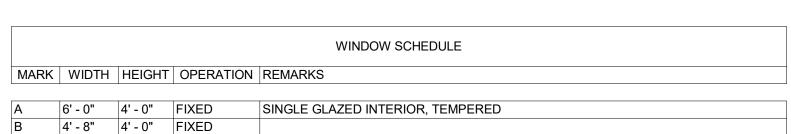
1 HOUR RATING

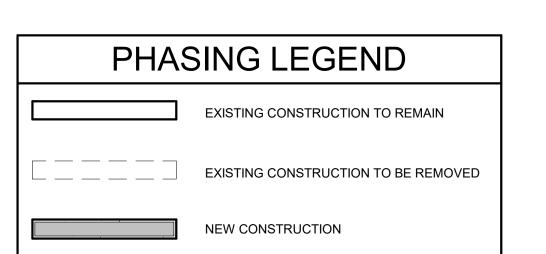
WOOD FRAME ALTERNATE: UL

UL V450

U304







FIRESTOPPING AS NEEDED

SEAL PENETRATIONS AND

FIRESTOPPING AS NEEDED

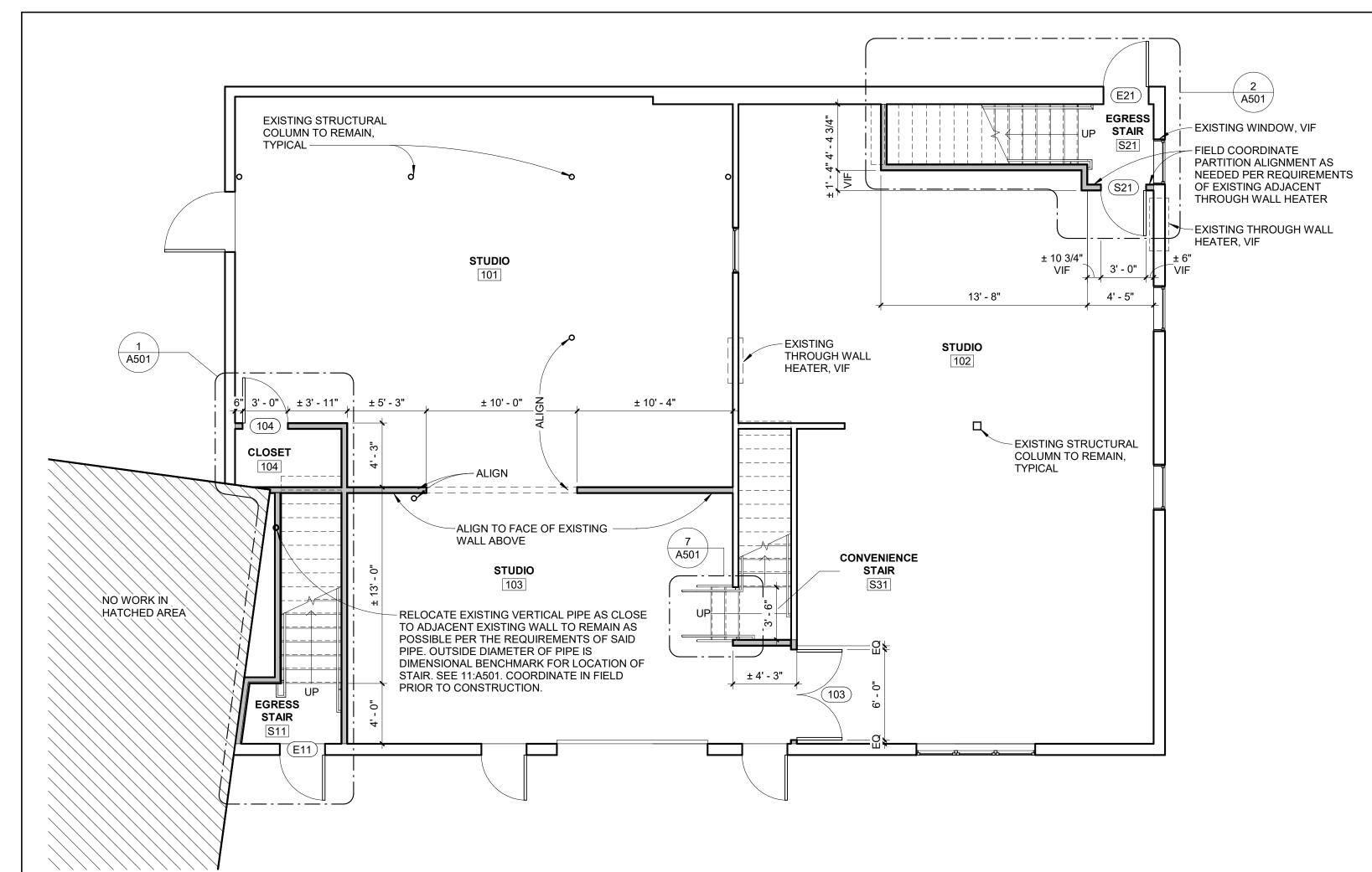
JOINTS WITH

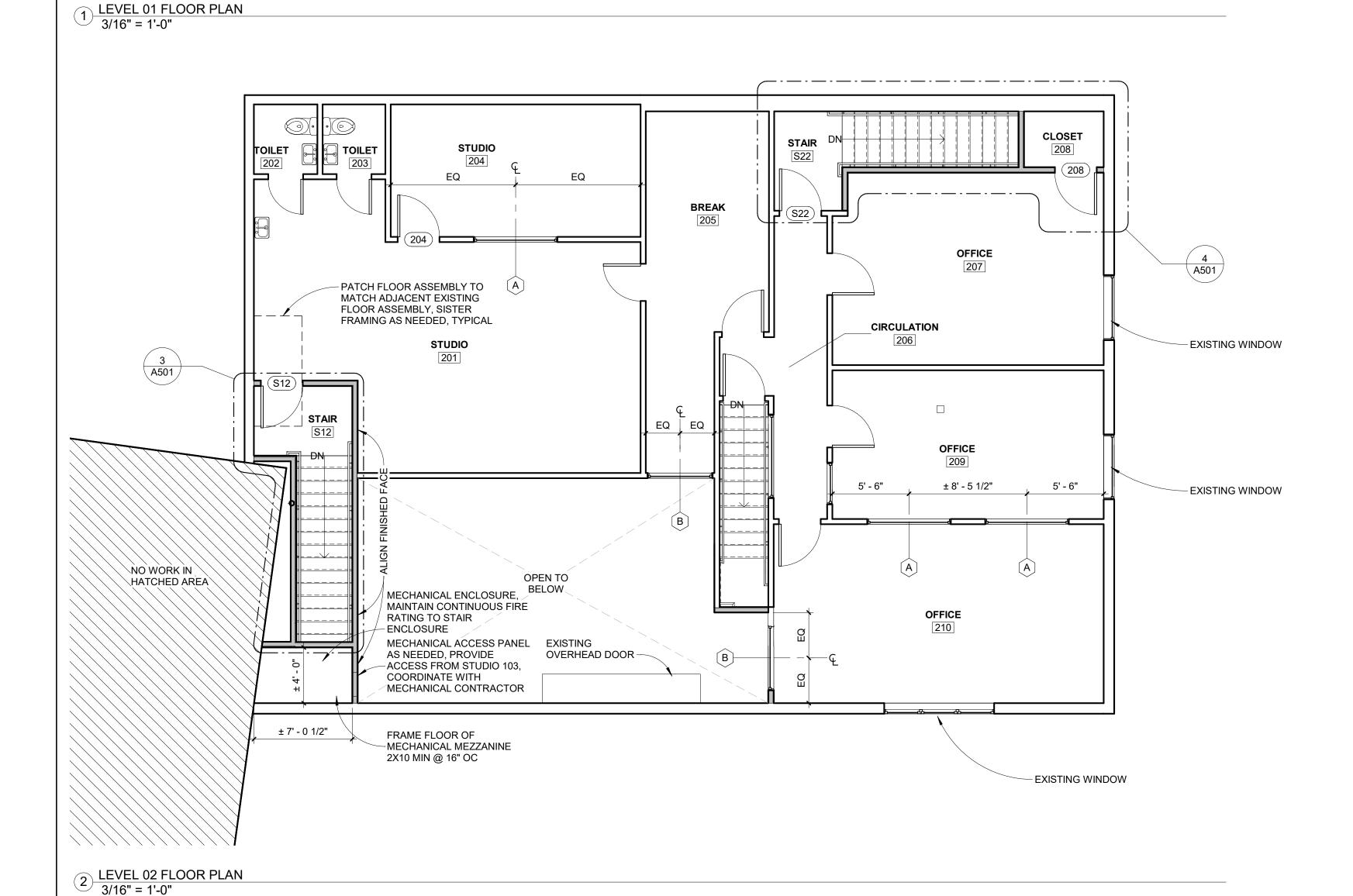


- 1. WORK TO CONFORM TO APPLICABLE CODES AND REGULATIONS
- 2. DIMENSIONS ARE TO CLEAR FACE OF FINISH UNLESS
- NOTED OTHERWISE 3. UNHATCHED ASSEMBLIES ARE EXISTING PRIOR TO
- CONSTRUCTION UNLESS NOTED OTHERWISE. CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION.
- 4. PARTITIONS TO BE TYPE 01 UNLESS NOTED OTHERWISE, SEE ASSEMBLY LEGEND ON A101
- 5. SEE A101 FOR PARITION TYPE ASSEMBLIES 6. HANDRAILS SHALL BE Ø 1 1/2", TYPICAL
- 7. TOP OF HANDRAILS SHALL BE 2'-10" ABOVE LEADING EDGE OF TREAD NOSING, TYPICAL
- 8. COORDINATE NEEDED BLOCKING WITHIN PARTITIONS PRIOR TO FINISH APPLICATION
- 9. PROVIDE FIRE SEALANT WHERE REQUIRED PER UL 1479 10. EXISTING LIGHTING AND ELECTRICAL TO REMAIN TO
- GREATEST EXTENT POSSIBLE 11. PATCH AND PAINT OR REFINISH FINISHES AS NEEDED

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CHRISTOPHER C M. BRILEY

03 ortland, **Q** 

**Q** 97

> RMIT Ш **D** OR H S <u>S</u>

**REVISIONS:** 

No. Name Date

SSI	JED:	01	NOV	2018		
RC	JECT	No:		1818		
RA	WN B	Y:		HE		
HE	CKE	BY:		CE		
HEET TITLE:						
LOOR PLANS &						
SCHEDULES						
SCHEDULES						

A101

