

- DEMOLITION GENERAL NOTES:**
- COORDINATE REMOVAL OF FF&E WITH ID DRAWINGS.
 - ALL DEBRIS TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. REMOVE FROM SITE AS SOON AS PRACTICABLE DEMOLISHED MATERIALS, DEBRIS, AND RUBBISH. DO NOT ACCUMULATE DEBRIS ON THE FLOOR OR AT THE SITE.
 - NOTIFY ARCHITECT BEFORE REMOVING ANY STRUCTURAL MEMBERS.
 - CONSULT OWNER REGARDING REUSE OF ANY EXISTING ITEMS, AND BEFORE DISPOSING OF ANY REMOVED ITEMS, INCLUDING BUT NOT LIMITED TO: FURNITURE, EQUIPMENT, PLUMBING FIXTURES, LIGHT FIXTURES AND DOORS.
 - PROVIDE ADEQUATE SUPPORT TO ANY CEILING STRUCTURES TO REMAIN IN AREA OF DEMOLITION WORK.
 - COORDINATE REMOVAL OF ANY RATED ASSEMBLIES WITH ARCHITECT AND LOCAL OFFICIALS BEFORE COMMENCING WORK.
 - DEMOLITION PLANS ASSUME EQUIPMENT, DUCTWORK, ETC. IN AREAS OF NEW WORK WILL BE REQUIRED TO BE REMOVED/RELOCATED TO MEET THE REQUIRED DESIGN PARAMETERS OF THE NEW WORK. CONTRACTOR TO VERIFY ANY POSSIBLE REUSE OF EXISTING EQUIPMENT, DUCTWORK, ETC. IN FIELD. COORDINATE WITH OWNER.
 - COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATIONS OF ALL NEW PENETRATIONS THRU FLOORS AND WALLS.
 - PATCH AND REPAIR EXISTING PARTITIONS AND CEILINGS FROM REMOVED EQUIPMENT, MILLWORK, MECHANICAL AND ELECTRICAL DEVICES AND OUTLETS, ATTACHMENTS, FURNISHINGS, ETC.
 - PREPARE DEMOLISHED AREAS TO RECEIVE NEW FINISHES.
 - ROOM NAMES & NUMBERS SHOWN ON DEMOLITION PLANS ARE EXISTING (PRE-RENOVATION). REFER TO NON-DEMOLITION SHEETS FOR NEW NAMES & NUMBERS.

DEMOLITION KEYNOTES	
NOTE	DESCRIPTION
D06	REMOVE EXISTING PARTITION. PATCH/REPAIR REMAINING PARTITION AS REQUIRED.
D07	CUT NEW DOOR OPENING IN EXISTING PARTITION.
D08	REMOVE EXISTING DOOR, FRAME, AND ALL HARDWARE.
D09	REMOVE EXISTING PTAC AND WINDOW.
D12	REMOVE EXISTING WINDOWS. PREPARE FOR NEW VESTIBULE AND CURTAIN WALL SYSTEM AT ENTRANCE.
D13	REMOVE EXISTING AWNING. PREPARE FOR NEW VESTIBULE AND CURTAIN WALL SYSTEM AT ENTRANCE.
D14	REMOVE EXISTING REGISTRATION DESK. PATCH/REPAIR AREA. PREPARE FOR NEW REGISTRATION PODS.
D16	REMOVE EXISTING BATHROOM IN ITS ENTIRETY & PREPARE FOR NEW WORK.

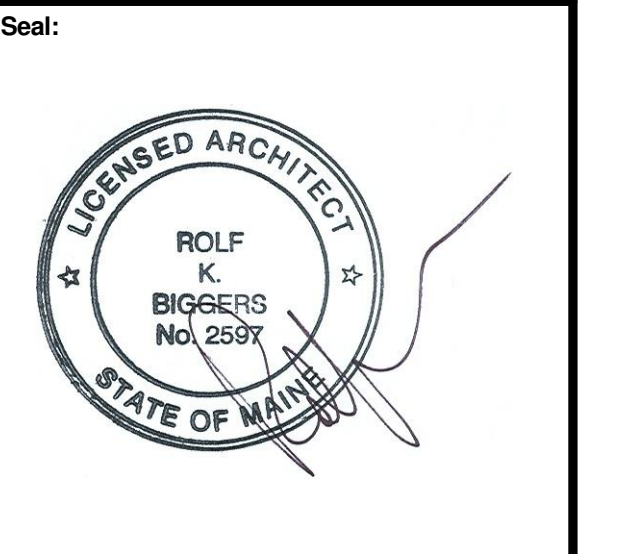
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REVISIONS

1	15Jun17	ASI-01
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Job Number: 3044
 Drawn By: CJT
 Checked By: RKB
 Phase: LOBBY AND ADA DOCUMENTS

Drawing Title:
ENLARGED LOBBY DEMOLITION PLAN

SHEET NUMBER:
AD-401
 DATE: 15 JUNE 2017

A1 ENLARGED LOBBY DEMOLITION PLAN
 1/4" = 1'-0"

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF THE RENOVATION OF THE PUBLIC AREAS AND SOME GUESTROOMS OF AN EXISTING FOUR STORY HOTEL. THE FIRST FLOOR CONTAINS LOBBY, RECEPTION, DINING WITH ASSOCIATED PREP KITCHEN, ADMINISTRATION OFFICES, LAUNDRY, FITNESS, AND MISCELLANEOUS MECHANICAL SPACE. THE SECOND FLOOR CONTAINS MAINTENANCE, GUESTROOMS, AND MISCELLANEOUS STORAGE. THE THIRD AND FOURTH FLOORS CONTAIN MECHANICAL SPACE, GUESTROOMS, AND MISCELLANEOUS STORAGE.

- APPLICABLE BUILDING CODES:
- 2009 INTERNATIONAL BUILDING CODE WITH MUBEC AMENDMENTS (ADOPTED CHAPTERS 1-10, 12-27, 31-35)
 - 2009 INTERNATIONAL EXISTING BUILDING CODE WITH MUBEC AMENDMENTS
 - 2009 INTERNATIONAL ENERGY CONSERVATION CODE WITH MUBEC AMENDMENTS
 - NFPA 54 NATIONAL FUEL GAS CODE: FIRE SAFETY CODES (ADOPTED PURSUANT TO TITLE 25 M.R.S. §§ 2452 AND 2465)
 - MAINE STATE PLUMBING CODE (ADOPTED PURSUANT TO TITLE 32 M.R.S. § 3404-B)
 - 2009 NFPA 1 (ADOPTED PURSUANT TO TITLE M.R.S. 25 §§ 2452 AND 2465)
 - 2009 NFPA 101
 - 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

THE SCOPE OF THIS RENOVATION INCLUDES MODIFICATION OF SOME EXISTING SPACES AT THE FIRST FLOOR, CREATION OF NEW ACCESSIBLE GUESTROOMS THROUGHOUT THE BUILDING, MODIFICATIONS TO EXISTING HVAC, PLUMBING, AND ELECTRICAL SYSTEMS TO ACCOMMODATE THESE CHANGES, AND NEW FINISHES AND FURNITURE THROUGHOUT. THE SCOPE ALSO INCLUDES REPLACEMENT AND/OR MODIFICATION OF EXISTING HVAC, PLUMBING, AND ELECTRICAL SYSTEMS AND FIXTURES DUE TO CONDITION. THE SCOPE ALSO INCLUDES REPLACEMENT OF THE EXISTING ENTRY AREA WITH A NEW ENTRY WITH VESTIBULE. THE EXISTING ENTRY DOES NOT CURRENTLY CONTAIN A VESTIBULE.

2009 IBC w MUBEC AMENDMENTS

SECTION 401.3 OCCUPANCY (IBC Chapter 3)

THE SCOPE OF THESE RENOVATIONS RESULT IN THE FOLLOWING OCCUPANT LOAD CHANGES:

EXISTING OCCUPANT LOAD IN AREA OF RENOVATIONS, INCLUDING GUESTROOMS 105, 107, 108, 110, AND 117, BREAKFAST ROOM, AND LOBBY AREA = **103 OCCUPANTS.**

PROPOSED OCCUPANT LOAD IN AREA OF RENOVATIONS (AREAS NOTED ABOVE) = **226 OCCUPANTS**

FITNESS	13 OCCUPANTS
BREAKFAST ROOM & SITTING	42 OCCUPANTS
BREAKFAST SERVING LOBBY	49 OCCUPANTS
	98 OCCUPANTS (2 MEANS OF EGRESS)
NET CHANGE IN OCCUPANT LOAD =	123 OCCUPANTS

SECTION 404 ALTERATION - LEVEL 2

THESE RENOVATIONS INCLUDE THE RECONFIGURATION OF SPACE, ADDITIONS AND ELIMINATIONS OF WINDOWS, AND THE RECONFIGURATION / EXTENSION OF BUILDING SYSTEMS.

LEVEL 2 ALTERATIONS SHALL COMPLY WITH CH. 6 AS WELL AS CH. 7

SECTION 602.1 INTERIOR FINISHES

ALL INTERIOR FINISHES SHALL COMPLY WITH CH. 8 OF THE IBC. SEE SECTION 703.4 BELOW

SECTION 703.2.1 EXISTING VERTICAL OPENINGS

ALL VERTICAL OPENINGS CONNECTING TWO OR MORE FLOORS SHALL BE ENCLOSED WITH AN APPROVED ASSEMBLY HAVING AT LEAST A 1 HR RATING

SEE SHEETS A404, A408, AND A601 FOR IMPACTS TO EXISTING RATED SHAFTS EXTENDING 2 FLOORS OR MORE. EXISTING 2 HR FIRE RATED SHAFTS HAVE BEEN MAINTAINED.

SECTION 703.4 INTERIOR FINISH

THE INTERIOR FINISH OF WALLS AND CEILINGS IN EXITS AND CORRIDORS IN ANY WORK AREA SHALL COMPLY WITH THE REQUIREMENTS OF THE IBC.

ALL FURNISHINGS AND INTERIOR FINISHES BY INTERIOR DESIGNER (NOT PART OF THIS CONTRACT SET) AND SHALL MEET THE FLAME SPREAD REQUIREMENTS, WHICH SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND ARCHITECT. (SEE GEN. NOTE 11 THIS SHEET)

SECTION 704.1.1 CORRIDOR RATINGS

WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM, THE FIRE RESISTANCE RATING FOR CORRIDORS MAY BE REDUCED ACCORDING TO THE IBC

THERE IS AN APPROVED AUTOMATIC SPRINKLER SYSTEM INSTALLED THROUGH THIS FACILITY. THIS SYSTEM REQUIRES EXTENSION TO INCORPORATE ADEQUATE COVERAGE FOR THE NEW AREA OF WORK.

ALTERATIONS TO THE BUILDING'S FIRE SPRINKLER SYSTEM AND VERIFICATION OF ADEQUATE COVERAGE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND IS NOT PART OF THIS CONTRACT SET.

NO CORRIDOR RATING REDUCTIONS HAVE BEEN TAKEN. ALL EXISTING PREVIOUSLY REQUIRED CORRIDOR FIRE RATINGS HAVE BEEN MAINTAINED.

SECTION 704.3 STANDPIPES

THE EXISTING STANDPIPE SYSTEM REMAINS UNAFFECTED BY THE WORK OF THIS PROJECT, GC TO VERIFY

SECTION 704.4 FIRE ALARM AND DETECTION

AN APPROVED FIRE ALARM SYSTEM SHALL BE MAINTAINED IN ACCORDANCE WITH 704.4 OF THE IBC AND NFPA 72.

THERE IS AN APPROVED FIRE ALARM SYSTEM INSTALLED THROUGH THIS FACILITY. THIS SYSTEM REQUIRES EXTENSION TO INCORPORATE ADEQUATE COVERAGE FOR THE NEW AREA OF WORK.

ALTERATIONS TO THE BUILDING'S FIRE ALARM SYSTEM AND VERIFICATION OF ADEQUATE COVERAGE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND IS NOT PART OF THIS CONTRACT SET. (SEE GEN. NOTE 33 & 34 ON SHEET E0.1).

SECTION 704.4.3 SMOKE ALARMS

INDIVIDUAL SLEEPING UNITS AND INDIVIDUAL DWELLING UNITS IN ANY WORK AREA IN GROUP R-1 SHALL BE PROVIDED WITH SMOKE ALARMS IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE.

ALTERATIONS TO THE BUILDING'S SMOKE ALARM SYSTEM AND VERIFICATION OF ADEQUATE COVERAGE PER THE INTERNATIONAL FIRE CODE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND IS NOT PART OF THIS CONTRACT SET.

SECTION 705.3 NUMBER OF EXITS

THERE ARE FOUR (4) REMOTE EXITS EXISTING AT THE FIRST FLOOR. THIS IS NOT PROPOSED TO CHANGE.

SECTION 705.4 EGRESS DOORWAYS

THE NUMBER AND LOCATION OF EGRESS DOORWAYS REMAINS UNAFFECTED BY THIS PROJECT.

SECTION 705.6 DEAD-END CORRIDORS

THERE ARE NO DEAD END CORRIDORS CREATED BY THE ALTERATIONS OF THIS PROJECT.

ABBREVIATIONS

ACOUST
ACC
ACT
ADU
AFF
ALUM
ANOD
ARCH
AUTO
AAC
BD
BLDG
BLKG
BRG
CFCI
CJ
CL
CLG
CLO
CLR
CMU
COL
CONC
CONSTR
CONT
CPT
CT
CTR
DBL
DIA
DIM
DS
DTL
DWG
E
EA
EJ
ELEC
ELEV
EQ
EQUIP
EWC
EXT
FD
FE
FEC
FIN
FFE
FL
FT
FR
FRT
GA
GALV
GI
GFRG
GST
GWB
GYP
HB
HG
HH
HM
HT
HVAC
ID
INCL
INSUL
INT
JT
KD
KP
LAM
LAV
LH
LHBR
MANS
MAT
MAX
MDO
MECH
MFG
MIN
MISC
MO
MTL
N
NA
NIC
NTS
OC
OD
OFCI
OFOI
OPG
OPP
PART
PNT
PL
PLAS LAM
PR
PSI
PVC
R
RD
REF
REFR
REINFR
REQ
RH
RHRB
RM
RO
ROW
R&S
SCW
SCHED
SECT
SHT
SIM
SPEC
SQ
SS
STD
STL
STO
STRUC
SUSP
SYM
SYS
TELE
T&G
TC
TLT
TP
TV
TYP
UNO
VCT
VWC
W
W/
WC
WD
WM
WO
WTR
WWF

ACOUSTICAL
ACCESSIBLE
ADJUSTABLE
ABOVE FINISHED FLOOR
ALUMINUM
ANODIZED
ARCHITECT (URAL)
AUTOMATIC
AUTOCLAVED AERATED CONCRETE BOARD
BUILDING
BLOCKING
BEARING
CONTRACTOR FURNISHED CONTRACTOR INSTALLED
CONTROL JOINT
CENTER LINE
CEILING
CLOSET
CLEARANCE
CONCRETE MASONRY UNIT
COLUMN
CONCRETE
CONSTRUCTION
CONTINUE/CONTINUOUS
CARPET
CERAMIC TILE
CENTER
DOUBLE
DIAMETER
DIMENSION
DOWN SPOUT
DETAIL
DRAWING
EAST
EA
EJ
ELEC
ELEV
EQ
EQUIP
ELECTRIC WATER COOLER
EXTERIOR OR EXTENDED
FLOOR DRAIN, REF: PLUMBING FOR SIZE AND TYPE
FIRE EXTINGUISHER
FIRE EXTINGUISHER CABINET
FINISH
FURNITURE, FIXTURE & EQUIPMENT FLOORING
FOOT
FIRE RATED
FIRE RESISTANT TREATED WOOD
GAUGE
GALVANIZED IRON
GALVANIZED IRON
GLASS FIBER REINFORCED CONCRETE
GUEST
GYPSUM WALL BOARD
GYPSUM
HOSE BIB
HOLLOW CORE
HEAD HEIGHT
HOLLOW METAL
HOUR
HEIGHT
HEAT/VENT/AIR CONDITION
INSIDE DIAMETER
INCLUDE(D)
INSULATION
INTERIOR
JOINT
KNOCK DOWN
KICK PLATE
LAMINATE
LAVATORY
LEFT HAND
LEFT HAND REVERSE BEVEL
MASONRY
MATERIAL
MISCELLANEOUS
MASONRY OPENING
METAL
NORTH
NOT APPLICABLE
NOT IN CONTRACT
NOT TO SCALE
ON CENTER
OUTSIDE DIAMETER
OWNER FURNISHED CONTRACTOR INSTALLED
OWNER FURNISHED OWNER INSTALLED
OPENING
OPPOSITE
PARTITION
PAINT
PLATE
PLASTIC LAMINATE
PAIR
POUNDS/SQUARE INCH
POLYVINYL CHLORIDE
RADIUS
ROOF DRAIN
REFER
REFRIGERATOR
REINFORCE
REQUIRED
RIGHT HAND
RIGHT HAND REVERSE BEVEL
ROOM
ROUGH OPENING
RIGHT OF WAY
ROD & SHELF
SOUTH
SOLID CORE WOOD
SCHEDULE
SECTION
SHEET
SIMILAR
SPECIFICATION
SQUARE
STAINLESS STEEL
STANDARD
STEEL
STORAGE
STRUCTURAL
SUSPENDED
SYMMETRICAL
SYSTEM
TELEPHONE
TONGUE & GROOVE
TOP OF CURB
TOILET
TOP OF PAVEMENT
TELEVISION
TYPICAL
UNLESS NOTED OTHERWISE
VINYL COMPOSITION TILE
VINYL WALL COVERING
WEST
WITH
WATER CLOSET
WOOD
WIRE MOLD BASE, REF: ELEC.
WITHOUT
WATER
WELDED WIRE FABRIC

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SYMBOLS LEGEND

1 SIM SECTION REFERENCE
1 SIM DETAIL REFERENCE
A101 INTERIOR ELEVATION REFERENCE
XXXX DOOR TAG
X WINDOW TAG
X PARTITION TYPE
Room name XXXX ROOM NAME/NO.
MOLDING TAG
EQUIPMENT TAG
FINISH/MATERIAL TAG
SHEET NOTE TAG
MAT XX-XX CEILING MATERIAL AND HEIGHT
XX-XXX FURNITURE TAG

MATERIALS LEGEND

EARTH
GYP. BOARD/PLASTER
CONCRETE
CONCRETE BLOCK
STEEL
BATT INSULATION
RIGID INSULATION
PLYWOOD
WOOD FRAME CONT.
WOOD BLOCKING

GENERAL NOTES

- ALL WORK TO COMPLY WITH ALL LOCAL AND STATE CODES, CURRENT EDITION.
- ALL FURNISHINGS BY OWNER UNLESS NOTED ON DRAWINGS OR SPECIFICATIONS.
- CONTRACTOR TO PROTECT ALL EXISTING AREAS BEYOND LIMIT OF WORK AS REQUIRED.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.
- ALL SPECIFIED ITEMS SHALL BE INSTALLED PER WRITTEN INSTRUCTIONS BY THE SPECIFIED MANUFACTURER.
- PERFORM DEMOLITION WORK AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. CONTRACTOR SHALL VERIFY THAT ALL REMOVED COMPONENTS ARE NOT STRUCTURAL.
- NOTIFY ARCHITECT IN CASE OF DISCREPANCY BEFORE PROCEEDING WITH WORK.
- REMOVE INTERIOR FINISHES AS REQUIRED TO ACCOMMODATE NEW WORK.
- ALL SITE, LANDSCAPING, MECHANICAL, PLUMBING, ELECTRICAL AND FIRE PROTECTION WORK TO BE COMPLETED ON A DESIGN/BUILD BASIS.
- ALL WOOD IN CONTACT WITH CONCRETE OR STEEL TO BE PRESSURE TREATED.
- ALL FABRICS AND FINISHES SHALL MEET THE FLAME SPREAD REQUIREMENTS. CERTIFICATION OF FLAMESPREAD SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL.
- FINISHES INDICATED AS 'MATCH EXISTING' ARE TO MATCH IN COLOR, TEXTURE, MANUFACTURER AND SIZE.
- MAINTAIN RATINGS OF ALL FIRE-RATED ASSEMBLIES.
- ALL DIMENSIONS ARE FROM FACE OF FOUNDATION WALL, FACE OF CONCRETE BLOCK, FACE OF EXTERIOR SHEATHING, AND CENTERLINE OF PARTITIONS UNLESS NOTED OTHERWISE ON DRAWINGS.

LOCATION MAP



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Job Number:	3044
Drawn By:	CJT
Checked By:	RKB
Phase:	LOBBY AND ADA DOCUMENTS

Drawing Title:
GENERAL INFORMATION

SHEET NUMBER:
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DATE: 15 JUNE 2017