

# PROJECT DESCRIPTION

THE PROJECT CONSISTS OF THE RENOVATION OF THE PUBLIC AREAS AND SOME GUESTROOMS OF AN EXISTING FOUR STORY HOTEL. THE FIRST FLOOR CONTAINS LOBBY, RECEPTION, DINING WITH ASSOCIATED PREP KITCHEN, ADMINISTRATION OFFICES, LAUNDRY, FITNESS, AND MISCELLANEOUS MECHANICAL SPACE. THE SECOND FLOOR CONTAINS MAINTENANCE, GUESTROOMS, AND MISCELLANEOUS STORAGE. THE THIRD AND FOURTH FLOORS CONTAIN MECHANICAL SPACE, GUESTROOMS, AND MISCELLANEOUS STORAGE.

- APPLICABLE BUILDING CODES:
- 2009 INTERNATIONAL BUILDING CODE WITH MUBEC AMENDMENTS (ADOPTED CHAPTERS 1-10, 12-27, 31-35)
  - 2009 INTERNATIONAL ENERGY CONSERVATION CODE WITH MUEC AMENDMENTS
  - NFPA 54 NATIONAL FUEL GAS CODE: FIRE SAFETY CODES (ADOPTED PURSUANT TO TITLE 25 M.R.S. §§ 2452 AND 2465)
  - MAINE STATE PLUMBING CODE (ADOPTED PURSUANT TO TITLE 32 M.R.S. § 3404-B)
  - 2009 NFPA 1 (ADOPTED PURSUANT TO TITLE M.R.S. 25 §§ 2452 AND 2465)
  - 2009 NFPA 101
  - 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

THE SCOPE OF THIS RENOVATION INCLUDES MODIFICATION OF SOME EXISTING SPACES AT THE FIRST FLOOR, CREATION OF NEW ACCESSIBLE GUESTROOMS THROUGHOUT THE BUILDING, MODIFICATIONS TO EXISTING HVAC, PLUMBING, AND ELECTRICAL SYSTEMS TO ACCOMMODATE THESE CHANGES, AND NEW FINISHES AND FURNITURE THROUGHOUT. THE SCOPE ALSO INCLUDES REPLACEMENT AND/OR MODIFICATION OF EXISTING HVAC, PLUMBING, AND ELECTRICAL SYSTEMS AND FIXTURES DUE TO CONDITION. THE SCOPE ALSO INCLUDES REPLACEMENT OF THE EXISTING ENTRY AREA WITH A NEW ENTRY WITH VESTIBULE. THE EXISTING ENTRY DOES NOT CURRENTLY CONTAIN A VESTIBULE.

THE SCOPE OF THESE RENOVATIONS RESULT IN THE FOLLOWING OCCUPANT LOAD CHANGES:

EXISTING OCCUPANT LOAD IN AREA OF RENOVATIONS, INCLUDING GUESTROOMS 105, 107, 108, 110, AND 117, BREAKFAST ROOM, AND LOBBY AREA = **103 OCCUPANTS.**

PROPOSED OCCUPANT LOAD IN AREA OF RENOVATIONS (AREAS NOTED ABOVE) = **226 OCCUPANTS**

NET CHANGE IN OCCUPANT LOAD = **123 OCCUPANTS**

THE TOTAL PROPOSED OCCUPANT LOAD FOR THE FIRST FLOOR IS APPROXIMATELY **155 OCCUPANTS.** THERE ARE FOUR (4) REMOTE EXITS EXISTING AT THE FIRST FLOOR. THIS IS NOT PROPOSED TO CHANGE.

THIS RENOVATION IS A LEVEL 2 ALTERATION PER IBC SECTION 504.

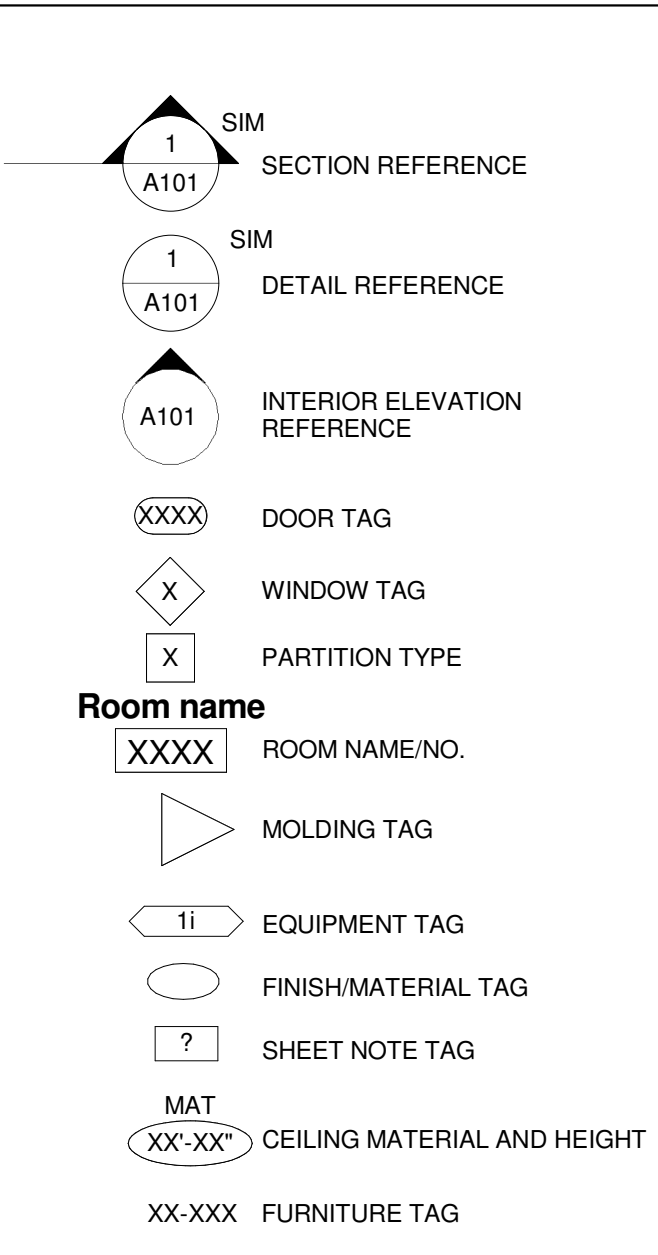
# ABBREVIATIONS

ACOUST	ACOUSTICAL
ACC	ACCESSIBLE
ACT	ACOUSTIC CEILING TILE
ADJ	ADJUSTABLE
AF	ABOVE FINISHED FLOOR
ALUM	ALUMINUM
ANOD	ANODIZED
ARCH	ARCHITECT (URAL)
AUTO	AUTOMATIC
AAC	AUTOCLAVED AERATED CONCRETE
BD	BOARD
BLDG	BUILDING
BLKG	BLOCKING
BRG	BEARING
CFCI	CONTRACTOR FURNISHED CONTRACTOR INSTALLED
CJ	CONTROL JOINT
CL	CENTER LINE
CLG	CEILING
CLO	CLOSET
CLR	CLEARANCE
CMU	CONCRETE MASONRY UNIT
CLM	COLUMN
CONC	CONCRETE
CONSTR	CONSTRUCTION
CONT	CONTINUE/CONTINUOUS
CPT	CARPET
CT	CERAMIC TILE
CTR	CENTER
DBL	DOUBLE
DIA	DIAMETER
DIM	DIMENSION
DS	DOWN SPOUT
DTL	DETAIL
DWG	DRAWING
E	EAST
EA	EXPANSION JOINT
EJ	ELECTRIC(J)
ELEC	ELECTRICAL
ELEV	ELEVATION
EO	EQUAL
EQUIP	EQUIPMENT
EWC	ELECTRIC WATER COOLER
EXT	EXTERIOR OR EXTENDED
FD	FLOOR DRAIN, REF: PLUMBING FOR SIZE AND TYPE
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FIN	FINISH
FFE	FURNITURE, FIXTURE & EQUIPMENT
FL	FLOORING
FT	FOOT
FR	FIRE RATED
FRT	FIRE RESISTANT TREATED WOOD
GA	GALVANIZED
GALV	GALVANIZED
GI	GALVANIZED IRON
GFRC	GLASS FIBER REINFORCED CONCRETE
GST	GUEST
GWB	GYPSON WALL BOARD
GYP	GYPSON
HB	HOSE BIB
HG	HOLLOW CORE
HH	HEAD HEIGHT
HM	HOLLOW METAL
HR	HOUR
HT	HEIGHT
HVAC	HEAT/VENT/AIR CONDITION
ID	INSIDE DIAMETER
INCL	INCLUDE(D)
INSUL	INSULATION
INT	INTERIOR
JT	JOINT
KD	KNOCK DOWN
KP	KICK PLATE
LAM	LAMINATE
LAV	LAVATORY
LH	LEFT HAND
LHRB	LEFT HAND REVERSE BEVEL
MAS	MASONRY
MAT	MATERIAL
MAX	MAXIMUM
MDO	MEDIUM DENSITY OVERLAY
MECH	MECHANICAL
MFG	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MTL	METAL
N	NORTH
NA	NOT APPLICABLE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
OFOI	OWNER FURNISHED OWNER INSTALLED
OPG	OPENING
OPP	OPPOSITE
PART	PARTITION
PNT	PAINT
PL	PLATE
PLAS LAM	PLASTIC LAMINATE
PR	PAIR
PSI	POUNDS/SQUARE INCH
PVC	POLYVINYL CHLORIDE
R	RADIUS
RD	ROOF DRAIN
REF	REFER
REFR	REFRIGERATOR
REINF	REINFORCE
REQ	REQUIRED
RH	RIGHT HAND
RHRB	RIGHT HAND REVERSE BEVEL
RM	ROOM
RO	ROUGH OPENING
ROW	RIGHT OF WAY
R&S	ROD & SHELF
S	SOUTH
SCW	SOLID CORE WOOD
SCHED	SCHEDULE
SECT	SECTION
SHT	SHEET
SIM	SIMILAR
SPEC	SPECIFICATION
SQ	SQUARE
SS	STAINLESS STEEL
STD	STANDARD
STL	STEEL
STO	STORAGE
STRUC	STRUCTURAL
SUSP	SUSPENDED
SYM	SYMMETRICAL
SYS	SYSTEM
TELE	TELEPHONE
T&G	TONGUE & GROOVE
TC	TOP OF CURB
TLT	TOILET
TP	TOP OF PAVEMENT
TV	TELEVISION
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VCT	VINYL COMPOSITION TILE
VWC	VINYL WALL COVERING
W	WEST
W	WITH
WC	WATER CLOSET
WD	WOOD
WM	WIRE MOLD BASE, REF: ELECT.
WO	WITHOUT
WTR	WATER
WWF	WELDED WIRE FABRIC

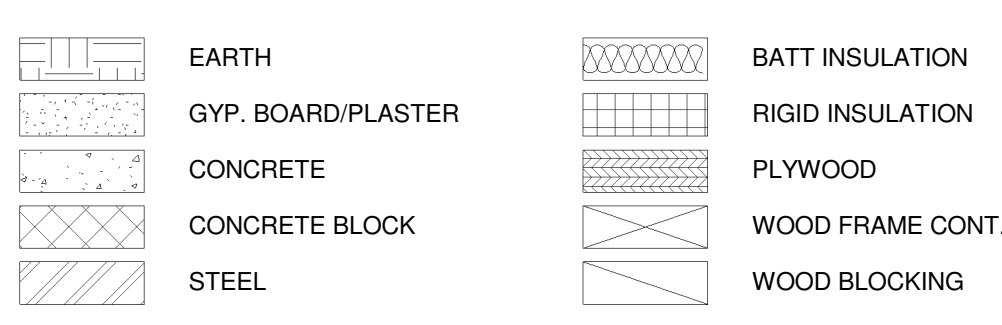
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# SYMBOLS LEGEND



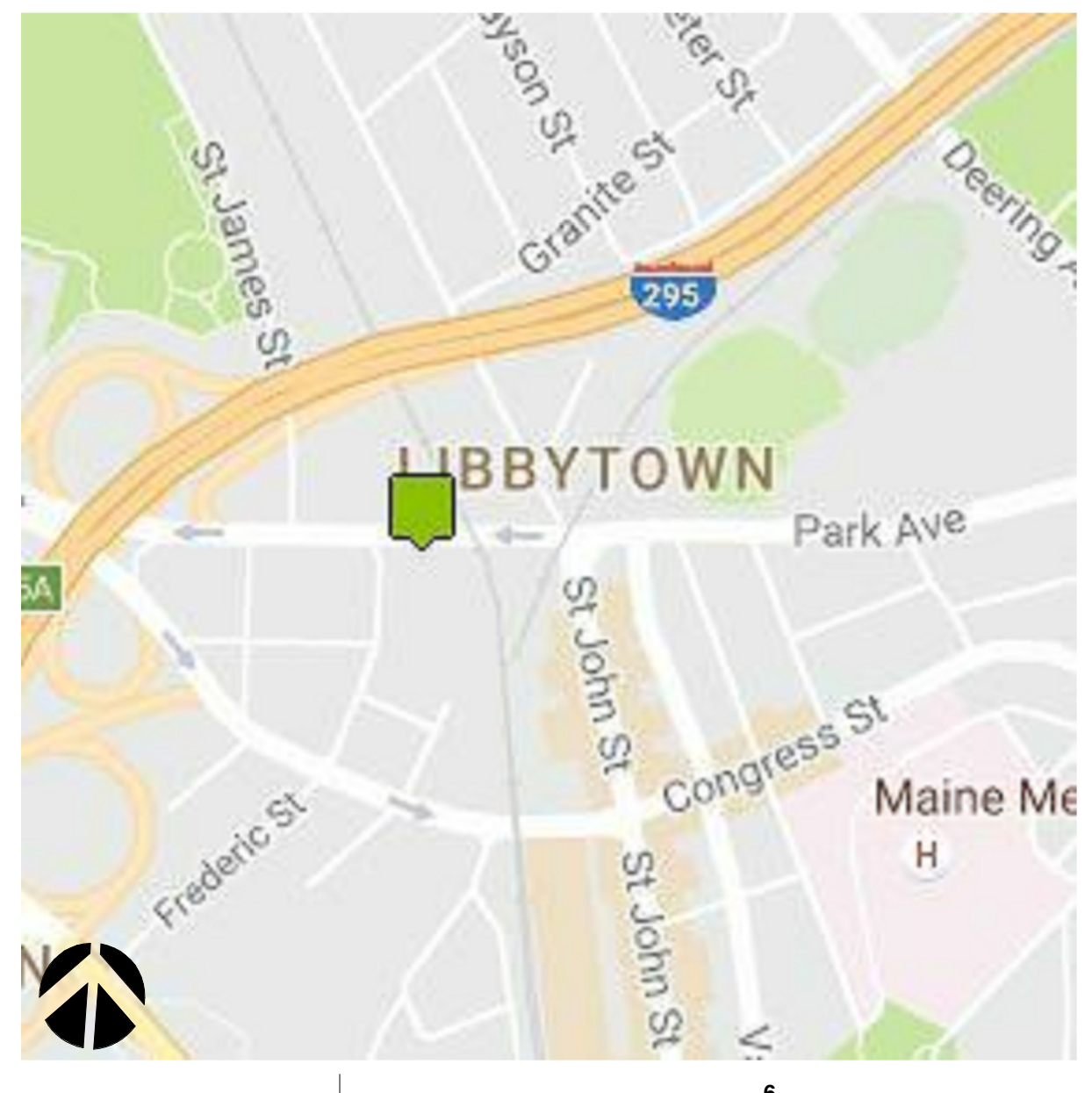
# MATERIALS LEGEND



# GENERAL NOTES

- ALL WORK TO COMPLY WITH ALL LOCAL AND STATE CODES, CURRENT EDITION.
- ALL FURNISHINGS BY OWNER UNLESS NOTED ON DRAWINGS OR SPECIFICATIONS.
- CONTRACTOR TO PROTECT ALL EXISTING AREAS BEYOND LIMIT OF WORK AS REQUIRED.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.
- ALL SPECIFIED ITEMS SHALL BE INSTALLED PER WRITTEN INSTRUCTIONS BY THE SPECIFIED MANUFACTURER.
- PERFORM DEMOLITION WORK AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. CONTRACTOR SHALL VERIFY THAT ALL REMOVED COMPONENTS ARE NOT STRUCTURAL.
- NOTIFY ARCHITECT IN CASE OF DISCREPANCY BEFORE PROCEEDING WITH WORK.
- REMOVE INTERIOR FINISHES AS REQUIRED TO ACCOMMODATE NEW WORK.
- ALL SITE, LANDSCAPING, MECHANICAL, PLUMBING, ELECTRICAL AND FIRE PROTECTION WORK TO BE COMPLETED ON A DESIGN/BUILD BASIS.
- ALL WOOD IN CONTACT WITH CONCRETE OR STEEL TO BE PRESSURE TREATED.
- ALL FABRICS AND FINISHES SHALL MEET THE FLAME SPREAD REQUIREMENTS, CERTIFICATION OF FLAMESPREAD SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL.
- FINISHES INDICATED AS 'MATCH EXISTING' ARE TO MATCH IN COLOR, TEXTURE, MANUFACTURER AND SIZE.
- MAINTAIN RATINGS OF ALL FIRE-RATED ASSEMBLIES.
- ALL DIMENSIONS ARE FROM FACE OF FOUNDATION WALL, FACE OF CONCRETE BLOCK, FACE OF EXTERIOR SHEATHING, AND CENTERLINE OF PARTITIONS UNLESS NOTED OTHERWISE ON DRAWINGS.

# LOCATION MAP



Project:

**LAQUINTA INNS & SUITES**

**PORTLAND LaQUINTA INN & SUITES LQ #2049 RENOVATION**

340 Park Ave, Portland, ME 04102

psmfi

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Seal:

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REVISIONS

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Job Number: 3044

Drawn By: CJT

Checked By: RKB

Phase: LOBBY AND ADA DOCUMENTS

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Drawing Title:

**GENERAL INFORMATION**

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SHEET NUMBER:

**G-001**

DATE: 15 JUNE 2017