

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 340 PARK AVE		Owner: OLYI LLC SUSSE CHALET		Phone: 882-0505		Permit No: <b>010009</b>
Owner Address:		Lessee/Buyer's Name:		BusinessName:		
Contractor Name: *** BMA ARCHITECTURAL GROUP 12 MIDDLE ST		Address: <del>AMHERST</del> AMHERST NEW HAMPSHIRE		Phone: 03031**** 603-673-1001		Permit Issued:  JAN 3 2001
Past Use:  HOTEL		Proposed Use:  SAME		COST OF WORK: \$ 350,000 FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied Signature: <i>[Signature]</i> PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied: <input type="checkbox"/> Signature: _____ Date: _____		
Proposed Project Description:  INTER RENO AND NEW LOBBY ENTRANCE <i>on East side</i>		COST OF WORK: \$ 2,124.00 INSPECTION: Use Group: R-1 Type: 2B Signature: <i>[Signature]</i>		Zone: <b>B-2</b> CBL: 065-A-008 Zoning Approval: <i>[Signature]</i> Special Zone or Reviews: <input type="checkbox"/> Shoreland <i>with conditions</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <input type="checkbox"/> minor <input type="checkbox"/> mm signed by <i>S.H. - [Signature]</i> Zoning Appeal <i>[Signature]</i>		
Permit Taken By:  K		Date Applied For:  DEC. 18 2000		K		

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS: \_\_\_\_\_ DATE: December 22, 2000 PHONE: \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ PHONE: \_\_\_\_\_


**PERMIT ISSUED WITH REQUIREMENTS**  
CEO DISTRICT **3**

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

**Building or Use Permit Pre-Application  
Additions/Alterations/Accessory Structures  
To Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: <b>340 Park Ave; Portland, ME. (Sugge Chalet Hotel)</b>		
Tax Assessor's Chart, Block & Lot Number Chart# <b>065</b> Block# <b>A</b> Lot# <b>003</b>	Owner: <b>Oly LLC</b> <b>96 Paramont Hotel Group</b>	Telephone#: <b>(973) 882-0505</b>
Owner's Address: <b>Oly LLC 96 Paramont Hotel Group</b> <b>710 Route 40 East</b> <b>Fairfield, NJ 07004</b>	Lessee/Buyer's Name (If Applicable)	Cost Of Work: <b>\$350,000.00</b> Fee: <b>\$2,125.00</b>
Proposed Project Description: (Please be as specific as possible) <b>Construction of New Lobby Entrance on existing entry foundation. Misc. interior renovations and modifications.</b>		
Contractor's Name, Address & Telephone		Rec'd By: 

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

If there is expansion to the structure, a complete plot plan (Site Plan) must include:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and required zoning district setbacks


**4) Building Plans (Sample Attached)**

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

**Certification**

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <b>12.15.00</b>
---	-----------------------

Building Permit Fee: \$30.00 for the 1st \$1000. cost plus \$6.00 per \$1,000.00 construction cost thereafter.

BUILDING PERMIT REPORT

DATE: 23 December 2K ADDRESS: 340 Park Ave. CBL: 065-A-003

REASON FOR PERMIT: Interior Reno - New Lobby Entrance

BUILDING OWNER: OLYI LLC

PERMIT APPLICANT: CONTRACTOR BMA Arch. Group

USE GROUP: A-1 CONSTRUCTION TYPE: 2B CONSTRUCTION COST: 350,000 PERMIT FEES: 2,124.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: \*1, \*2, \*11, \*6, \*15
\*20, \*21, \*22, \*23, \*22, 31, \*24, \*25, \*27, \*28, \*29, \*40

- \*1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
\*2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts.
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
\*6. Precaution must be taken to protect concrete and masonry.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
\*11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
12. Headroom in habitable space is a minimum of 7'6".
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise.
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
\*15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
16. Each apartment shall have access to two (2) separate, remote and approved means of egress.
17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's.
18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment.

12/22

19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

X 20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)

X 21. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.

X 22. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.

X 23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)

24. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.

26. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).

X 27. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.

28. All requirements must be met before a final Certificate of Occupancy is issued.

29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).

30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)

31. Please read and implement the attached Land Use Zoning report requirements. *shall not increase the existing footprint during alterations, reconstructions, with a separate review*

32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.

33. Bridging shall comply with Section 2305.16.

X 34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)

X 35. All flashing shall comply with Section 1406.3.10.

X 36. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).

X 37. ~~This project will require STATE Fire Marshall's office approval -~~

X 38. ~~All swimming pools shall comply with SECTION 421.0 of the bld. Code~~

X 39. ~~Safety glazing shall comply with SECTION 2406.0~~

X 40. ~~E.F.S shall comply with SECTION 1406.8 OF THE bldg. CODE~~

X 41. ~~State Fire Marshall Approval required for this project~~

P Samuel Hoffes, Building Inspector

Cc: M. McDougall, PFD

Marge Schmuckal, Zoning Administrator

Michael Nugent, Inspection Service Manager

PSH 10/1/00

\*\*This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.

\*\*\*THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. ( You Shall Call for Inspections )

\*\*\*\*ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.

\*\*\*\*\*CERTIFICATE OF OCCUPANCY FEE \$50.00

# BMA Architectural Group

Professional Corporation



Architecture



Design



Planning



Interiors

15 December 2000

Mr. Sam Hoffses  
City of Portland  
389 Congress Street  
Portland, ME 04101

**RE: Building Permit Application  
Susse Chalet Hotel – Conversion  
340 Park Avenue, Portland, Maine**

Dear Mr. Hoffses:

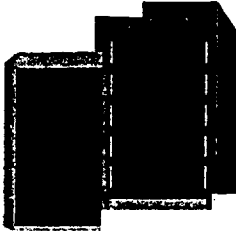
Enclosed are two (2) stamped sets of our drawings for the above-referenced project along with the Building Permit Application & Building Code Certificate. Please contact our office with any questions you may have and to notify us of the permit status and Building Permit Fee.

Sincerely,

Richard J. Lobao  
BMA Architectural Group

Enclosures





**CITY OF PORTLAND  
BUILDING CODE CERTIFICATE  
389 Congress St., Rm 315  
Portland, ME 04101**

**TO:** Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Service

**FROM:** BMA ARCHITECTURAL GROUP, P.C.

**RE:** Certificate of Design

**DATE:** 15 DECEMBER 2000

These plans and/or specifications covering construction work on:

Susse Chalet Hotel Renovations

340 Park Ave; Portland, ME

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and local amendments.

(SEAL)

Signature *[Handwritten Signature]*

Title PRESIDENT

Firm BMA, P.C.

Address 12 MIDDLE STREET  
AMHERST, NH 03031

As per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.



December 21, 2000

**Via Federal Express**

City of Portland  
Inspector of Buildings  
389 Congress Street, Room 315  
Portland, Maine 04101

Re: Susse Chalet, 340 Park Avenue, Portland

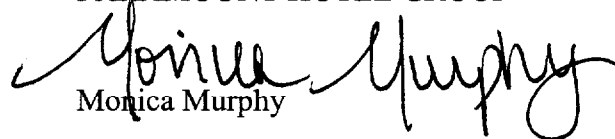
Dear Madam/Sir:

At the request of Dick Lobao of BMA Architectural Group, I am enclosing Paramount's check in the amount of \$2,124 representing payment for the permit fee for the above referenced location.

Should you have any questions, please do not hesitate to contact Mr. Lobao at 603-673-1991.

Very truly yours,

PARAMOUNT HOTEL GROUP

  
Monica Murphy

MM/  
Enclosure  
cc: Dick Lobao





**APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW**

Paramount Hotel Group  
 Applicant  
710 Rt. 46 East #102, Fairfield, NJ 07004  
 Applicant's Mailing Address  
BMA Architects 603-673-1991  
 Consultant/Agent/Phone Number Rolf Biggers

15 August 2000  
 Application Date  
Susse Chalet  
 Project Name/Description  
340 Park Ave.  
 Address of Proposed Site

Description of Proposed Development:  
Replace existing greenhouse portion of lobby with metal stud structure in same location as existing paint building and add efis band on first floor

Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:

See Section 14-523 (4)

- a) Within Existing Structures; No New Buildings, Demolitions or Additions
- b) Footprint Increase Less Than 500 Sq. Ft.
- c) No New Curb Cuts, Driveways, Parking Areas
- d) Curbs and Sidewalks in Sound Condition/ Comply with ADA
- e) No Additional Parking / No Traffic Increase
- f) No Stormwater Problems
- g) Sufficient Property Screening
- h) Adequate Utilities

Applicant's Assessment (Yes, No, N/A)	Planning Office Use Only
<u>yes</u>	<input checked="" type="checkbox"/>
<u>yes</u>	<input checked="" type="checkbox"/>
<u>modifying front of new work</u>	<input checked="" type="checkbox"/>
<u>repair</u>	<input checked="" type="checkbox"/>
<u>yes</u>	<input checked="" type="checkbox"/>
<u>yes</u>	<input checked="" type="checkbox"/>
<u>yes</u>	<input checked="" type="checkbox"/>
<u>yes</u>	<input checked="" type="checkbox"/>

**Planning Office Use Only:**  
 Exemption Granted  Date: \_\_\_\_\_

**AutoCAD digital format Final plans depicting  
the as-built condition must be filed with this  
office prior to closure.**