

64-F-20

190 Vauvey St.

Florence House







Avesta Florence House

10 Optional Vertical Slipfitter Mounts:







Mounting Configuration
 1SA - Single arm mount
 2SB - 2 at 180°
 2SL - 2 at 90°
 3ST - 3 at 90°
 3SY - 3 at 120°
 4SC - 4 at 90°

For existing pole installation or for use with poles provided by others.

For Standard Fixtures

	VSF-1SA Cat. No.
	VSF-2SB
	VSF-2SL
	VSF-3ST
	VSF-4SC
	SVSF-1SA Cat. No.
	SVSF-2SB
	SVSF-2SL
	SVSF-3ST
	SVSF-4SC

NOTE: For Fixtures with Structural Options Only

	STRF-1SA Cat. No.
	STRF-2SB
	STRF-2SL
	STRF-3ST
	STRF-4SC
	STSF-1SA Cat. No.
	STSF-2SB
	STSF-2SL
	STSF-3ST
	STSF-4SC







Allows fixture, arm, and Structural Option (when applicable) to be mounted to steel poles having a steel 2" pipe-size tenon (2 3/8" O.D. x 4 1/2" min. length). Not available for GS Gusset.

11 Optional Support Arm:

NOTE: Refer to Kim Lighting's Architectural Arms Catalog for complete details.

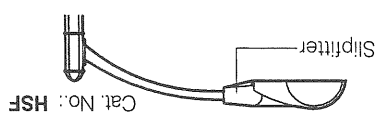
Optional Support Arm **cannot be used with #14 Pole Mounted Structural Option.**

Refer to Architectural Arms Catalog for wall mounting feature.

	AA12	Uplift Adjustable Stainless Steel Arm	1.3	2.6	1.8	3.1	3.1	3.5
	AA10	Uplift Adjustable Aluminum Arm	1.3	2.6	1.8	3.1	3.1	3.5
	AA08	Upsweep Hollow Arm	1.0	2.0	1.4	2.4	2.4	2.5
	AA06	Upsweep Solid Arm	1.1	2.2	1.5	2.6	2.6	2.7
	AA04	Swept Hollow Arm	0.9	1.8	1.3	2.2	2.2	2.3
	AA02	Swept Solid Arm	1.0	2.0	1.4	2.4	2.4	2.5

12 Optional Horizontal Slipfitter Mount:

Replaces standard mounting arm with a slipfitter for mounting to a horizontal pole davit-arm with 2" pipe-size mounting end (2 3/8" O.D.). Provides ±5° vertical fixture adjustment.



13 Special Options for Street Lighting:

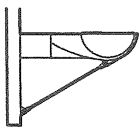
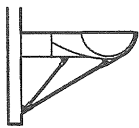
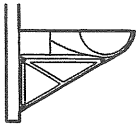
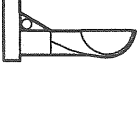
Air Filter to allow ventilation through the optical chamber.

14 Structural Option:

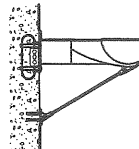
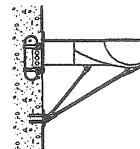
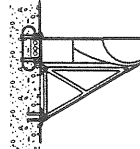
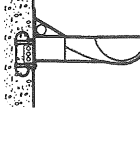
NOTE: For use with Standard Straight Arm Only.

Pole Mounted Structural Option **cannot be used with #11 Optional Support Arm.**

Pole Mounted Structural Options

	TSN - Stainless steel rod painted to match fixture.	Cat. No.:
	TSP - Rod and clevis painted to match fixture.	Cat. No.:
	TDP - Rod and clevis painted to match fixture.	Cat. No.:
	TDN - Stainless steel rod with nickel plated clevis.	Cat. No.:

Wall Mounted Structural Options

	TSN-W - Stainless steel rod with nickel plated clevis.	Cat. No.:
	TSP-W - Rod and clevis painted to match fixture.	Cat. No.:
	TDP-W - Rod and clevis painted to match fixture.	Cat. No.:
	TDN-W - Stainless steel rod with nickel plated clevis.	Cat. No.:

See Kim Pole Catalog for a complete selection of round and square poles in aluminum or steel.

15 Poles:

**Memorandum
Department of Planning and Development
Planning Division**



TO: Chair Patterson and Members of the Portland Planning Board

FR: Carrie M. Marsh, AICP, Urban Designer, City of Portland

DT: October 17, 2007

RE: Avesta Housing proposal for Florence House, vicinity of 190 Valley Street

I. Introduction

Florence House will be presented at an upcoming Planning Board Hearing. This memo reviews the site layout, and landscaping plans dated September 4, 2007, and the building plans and elevations dated October 2, 2007 for conformance with the City's Site Plan Review Criteria and the B-2 Design Standards. The applicant's letter of October 2, 2007 notes the revisions that have been made to the architectural design. This submittal also includes a summary of the Sun/Shadow Study video simulation that was presented to the Planning Board at an earlier date.

The project was previously reviewed by the Planning Board, as part of the conditional rezoning process. At that time, shadow studies (permitted and proposed), a massing study (permitted and proposed), cross sections, perspective renderings, and an analysis of the impact on residential properties were provided. The design of the project was reviewed for the Planning Board workshop in September 2007, though the memo was erroneously dated June 7, 2007.

II. Description

The proposed Florence House will be a three story building with full daylight basement. It will have a footprint of 8,138 sf and a total of 31,272 sf. The building will have a flat roof.

Massing: Horizontal masonry banding was added in an effort to create additional texture and visual interest. It should be considered whether this detail emphasizes the horizontal massing of the building, particularly along Valley Street. A goal should be to emphasize the verticality of a building of this scale.

Materials: The sheathing includes a brick veneer (Old Port Blend) on the lower levels of the facade, and tan-colored vinyl clapboard on the upper floors (Monogram 46 CertainTeed in Buckskin color). Details were not provided on the trim boards, window trim and cornice. These building elements should be dimensional stock in a typical size and scale compatible with the building massing. A composite board may be used.

Roof. The building will have a flat roof to minimize its height. The screening of the rooftop mechanicals is critical, particularly given the proximity to the Western Prom. The design and specifications of the screened area that will hide the rooftop mechanicals should be provided.

The **North Elevation A402** incorporates the design elements described above. A masonry wall is shown on the lower levels. Several windows of various sizes have been added. Horizontal masonry banding was added to the facade to create additional texture and visual interest. Two Japanese yews were added at solid wall locations along the facade to add visual interest.

The **West Elevation A402** incorporates the design elements described above. A graded landscaped garden terrace covers the lower level of much of the facade, creating three stories of height. There is a door to access the terrace. The building "L" is four stories of perceived building. The second and third floor of the "L" step back at the upper floors.

The **South Elevation A401** includes large windows to the main lobby that will be tinted as noted above. The building drops down with the grade and is four stories at the southwest corner. The lower level includes two doors designated as employee entrances from the parking lot. The variety and alignment of the windows on this facade were discussed above.

The **Valley Street facade** includes horizontal masonry banding which was added in an effort to create additional texture and visual interest, though this may emphasize the horizontality of the building. The variety and alignment of the windows on this facade was discussed above.

The **Valley Street Elevation A401 (east)** shows a street facade with three stories. The main entrance is at the south end of the facade along Valley Street and the drop-off area. There are large windows at the corner in to the lobby, other large windows along Valley Street in to office spaces, and smaller, high windows in to service areas. There are two service doors at the north end of the Valley Street elevation which incorporate half lite glazing.

Additionally, a fundamental design element for creating visual coherence on a building is to align the windows and other fenestration along the vertical and horizontal axis. The variety and alignment of windows and other fenestration along Valley Street and on the south elevation was discussed with the applicant in earlier meetings, and may warrant final consideration at this time.

The building contains a large number windows in different sizes and types which is of concern particularly from the street and the pedestrian level. For example, the Valley Street facade has ten different window sizes, types and configurations. A large variety of windows can detract from the overall visual coherence of the building. This may warrant further consideration.

Windows. The applicant is proposing that the windows in to the lobby on the south elevation be tinted with a 50% blue-green color for security purposes (SunGuard LE Series LE63 % Transmittance 53/34). The tinted windows will look out to the patio and the covered entryway. The applicant has noted that no tinted glazing will be located on the Valley Street elevation. The specific windows that are proposed to be tinted should be clearly noted on the plans.

Landscaping. Physical samples of the retaining wall blocks should be provided, and reviewed in the context of the residential neighborhood. Clarity is needed on the fencing that is shown, and the compatibility with the neighborhood context should be considered.

Signage, Awnings and Lighting. The location, size and design details of signage should be further discussed with staff. Specifications for awnings should be provided.

Roof. The design and specifications of the screened area that will hide the rooftop mechanicals should be provided.

The building contains a large variety of window sizes and types, which are not vertically and horizontally aligned. The type, size and alignment of windows and other fenestration, particularly along Valley Street and on the south elevation may warrant consideration.

Windows. The tinted windows on the south elevation, facing the patio and covered entry should be considered. The specific windows that are proposed to be tinted should be clearly noted on the plans.

Materials. Trim boards, window trim and cornice should be dimensional stock. The details (size and materials) should be provided.

Massing. It should be considered whether the horizontal masonry banding detail emphasizes the horizontal massing of the building, particularly along Valley Street.

The project was reviewed for conformance with the B-2 Design Guidelines. The project largely meets the guidelines, though the issues below may warrant further consideration.

III. Considerations

Two additional Freeman Maples (total of seven) and 14 Blushing Bride Hydrangeas have been added between the sidewalk and the building on Valley Street.

Several different fencing styles are shown in various renderings, which do not clearly match the specifications that are provided on Sheet 14 Landscape Details. Clarity is needed on this item. Fencing should be of a style that is compatible with the surrounding neighborhood.

Landscaping. Landscape details have been provided in the packet. The material for the retaining walls is proposed to be Anchor Vertica Series blocks. Physical samples should be provided. This product appears to be industrial in appearance, and should be reviewed in the context of the residential neighborhood that it faces.

Signage, Awnings and Lighting. Signage has been proposed for the Valley Street facade. The location, size and design details of this and any other signage should be further discussed with staff. Awnings are proposed on the building but specifications have not been provided. Building mounted architectural lighting was added along the precast banding on the building.

IV. Conditions for Approval

The following items are suggested for Conditions for Approval at a minimum. The above items related to massing, and type and alignment of the windows may also become possible conditions for approval, pending the Planning Board's consideration.

Materials. Trim boards, window trim and cornice should be dimensional stock. The details (size and materials) should be provided.

Windows. The specific windows that are proposed to be tinted should be clearly noted on the plans.

Roof. The design and specifications of the screened area that will hide the rooftop mechanicals should be provided.

Signage and Awnings. The location, size and design details of signage should be further discussed with staff. Specifications for awnings should be provided.

Landscaping. Physical samples of the retaining wall blocks should be provided, and reviewed in the context of the residential neighborhood. Clarity is needed on the fencing that is shown, and the compatibility with the neighborhood context should be considered.

September 3, 2008

Ms. Jean Fraser, Planner
Portland Planning Department
389 Congress Street, 4th Floor
Portland, Maine 04101

**RE: Florence House
Conditions of Approval**

Dear Jean:

Mitchell & Associates, on behalf of Avesta Florence House L.P., Florence House Housing Corporation (FHHC) and Florence House Condominium Association, submits the following information to address Conditions of Approval for Subdivision and Site Plan standards for the Florence House project. The following are responses to e-mail comments received from you dated August 29, 2008.

Subdivision Plat
The submitted Plat does not incorporate the revisions requested by Penny Littell on Jan 7, 2008 (I will forward that e-mail again separately); the Plat needs to be signed and stamped by a licensed surveyor.

• Revisions have been made based on comments requested by Penny Littell on January 7, 2008. This plan is resubmitted signed and sealed by a licensed surveyor. Please see Sheet 1 – Subdivision Plat.

Signage
The high level sign and light are not "residential" in character and the proposed location is still awkward and over-large. We suggest that the necessary wording be incorporated into the front entrance canopy instead.

• We understand that we will need to go through the signage approval process and will work with the City Staff at that time to determine the actual size and format. The elevations note "Signage to be reviewed and approved by City Staff" which is the same note from the Planning Board approval process. The area noted on the

the given Penny Littell copy of the plat is a copy of the plat as submitted to the City Staff

RECEIVED

SEP 3 2008

*City of Portland Planning Division
order after applicant*

plan is not necessarily indicative of size, only approximate location. Directional signage noting the Main Entrance and Service Entrance are currently located within the metal canopies.

- The B-2 Community Business Zone has a mix of uses including industrial, commercial, office and residential. Existing signage along Valley Street includes two pylon signs, one for Alan Auto Volvo Service and one for The Granite Group. We feel that building mounted signage is more in keeping with the proposed uses at Florence House.

- The signage ordinance allows Building Signs within the B-2 zoning district to be 150 SF (the building is 130 linear feet long) for the maximum cumulative area of all signs. The ordinance also allows one (1) sign per building facade facing an abutting street plus one (1) additional sign.

Cornerboard Trim

It would be preferable if this was the same material as the cladding (which appears to be non vinyl); if PVC please submit a sample as these have not always worked well in cases we are familiar with.

- We are proposing to use PVC as the corner board trim. In our experience, PVC trims perform better and look better than the vinyl or cementitious trim. Please see sample provided.

Lighting

I note the high lighting levels along Valley Street and am seeking advice on this question.

We note a light fixture has been removed from the parking lot area and consequently reduced the lighting levels for that area. The lights added to the building along Valley Street have resulted in quite high photometric levels in Valley Street. These are still under review.

- A fixture has been removed from the lower parking lot due to lack of space at the base of the retaining wall. The light fixture distribution has been revised to account for this missing fixture. The number of light fixtures along the Valley Street facade has been adjusted to note 3 fixtures instead of 4. Please see attached Lighting-Photometrics Plan, Sheet L401 (Formerly Sheet 16).

Have

Windows/walls facing St. John Street abutters
The extension of the brick material appears to be an improvement but we would like clarification of the transition between cladding and brick at the first floor level between structural column gridlines 2 and 4.

- The transition between the brick and clapboard material on the First Floor occurs at the corner of the building. The PVC corner board will run down the wall and create the transition between the brick veneer and clapboard siding. Please see attached plan noting the location of the material transition in relation to floor level.

Roof plant

Please submit specs for the roof plant screening and for the elevator hoist way vent.

- Please see attached rooftop mechanical equipment screen specifications and cut-sheets and elevator hoist way vent cut-sheet. A sample of the metal used for the equipment screen has also been submitted.

I have

Noise

The condition regarding noise relates to the construction period and when the building is completed and in operation; the latter includes things like equipment for ventilation from the kitchen, A/C units, and generators etc and you will need to demonstrate that these have been located/designed to ensure they will meet the City's Code requirements for noise and vibration. For example, does the proposed screening material provide attenuation of sound from all roof plant?

- The mechanical rooftop equipment will have curbs and isolators to minimize the noise and vibration from those units. There is no generator on site. The screening material is not designed to attenuate sound; it is designed to conceal the equipment visually.

will follow up on disc of an Rev Rev.

Plan Numbering

...please note that as the Planning Board set of plans are the "approved" set it would be helpful to retain the numbering and titles as in that set and note the changes by way of Revision dates and comments.

- The final approved set of plans will include references to plan numbers approved by the Planning Board for ease of reference.

Service Doors on Valley Street Elevation

In response to the Planning Board concerns regarding the "non-residential" character of these doors when these were presented to the PB Workshop, you added half light glazing to both doors (as confirmed in your letter of Oct 2, 2007 page 5) in the proposals presented to the PB Hearing. This has not been retained in the revised submission of Aug 12th, 2008; please restore these doors to the design as approved by the Planning Board and annotate that they are half lite glazing.

- The door to the Service Entrance has retained the half lite glazing. During the process of creating construction documents for the project, it became evident that the door exiting the building from the egress stairs could not have half lite glazing per code (IBC) as it is a 90 minute door. We are showing a 100 square foot vision panel which is the largest glazing allowed in a 90 minute door. Please see code requirement below:

IBC 2006

715.4.6 Glazing material. Fire-protection-rated glazing conforming to the opening protection requirements in Section 715.4 shall be permitted in fire door assemblies.

715.4.6.1 Size limitations. Wired glass used in fire doors shall comply with Table 715.5.3. Other fire-protection-rated glazing shall comply with the size limitations of NFPA 80.

Exceptions:

1. Fire-protection-rated glazing in fire doors located in fire walls shall be prohibited except that where serving as a horizontal exit, a self-closing swinging door shall be permitted to have a vision panel of not more than 100 square inches (0.065 m²) without a dimension exceeding 10 inches (254 mm).
2. Fire-protection-rated glazing shall not be installed in fire doors having a 1-1/2-hour fire protection rating intended for installation in fire barriers, unless the glazing is not more than 100 square inches (0.065 m²) in area.

Windows facing Valley Street

Similarly, the Board was concerned about that elevation and the need for more windows and detailed treatment. We note you have removed one large window and request that be restored to be as approved (its removal does not contribute to an achievement of the conditions).

- This window was removed as it was in conflict where the stair landing ended up, being located. We had reviewed this with Carrie Marsh, former Urban Designer,

and she understood the issue of constructability and thought it would be fine as long as we resolved her concerns with the windows aligning and changing the proportions of the First Floor windows to work better with the proportions of the Second Floor windows.

Materials

It appears that the cladding material has been revised from those shown to staff and to the Planning Board (Cladding: Monogram 46 Vinyl siding made by CertainTeed in color "Buckskin"; Tinted glass: Sun Guard LE Series made by Guardian LE-63 on green 1/4 inch double glazed (50% tint) and Brick Veneer: "Old Port Blend" 10% BL, 10% Crossets made by Morin Brick company). Please advise us of any proposed revisions to these materials and provide samples of any new materials (along with samples of the cornerboards and roof screening materials).

- The construction documents currently show cementitious clapboard siding with vinyl as an alternate deduct. Should the cementitious siding be used, the color will match the vinyl siding submitted (CertainTeed-Buckskin). The glazing and brick have remained the same. Samples of the corner boards and roof screening material have been submitted.

Demolition Plan

We note that the entire brick sidewalk (in good condition) on the site frontage will be taken up at the start of this project. When preparing the Construction Program and Plan showing construction vehicle access etc. please include a detailed plan for the provision of safe re-routing of pedestrians (to include a circulation plan with crossings at the nearby intersections). Another issue to clarify in that plan is how you will ensure that the bricks used in the sidewalk relocation and reconstruction will match and do not end up a mix of old and new bricks.

- The Demolition Plan notes "Remove brick sidewalk and stockpile brick for reuse." The specifications note reuse of stockpiled brick with supplemental bricks meeting the City Standard. The existing brick sidewalk is fairly new and supplemental bricks should not be noticeable. The Construction Program and Plan will note safe location for pedestrian crossings during sidewalk closure.

Landscape Plan (former Sheet 5; now L102)

We note there have been a number of changes to the number and choice of plants, including to those outlined in the letter of Oct 2, 2007 and described to the Planning Board. These revisions require review and I will get back to you once I have final comments.


- Revisions to plant material are based on MaineHousing standards which require at least 75% northern hardy native species; which is measured by the number of plantings. The plan approved by the Planning Board included 34 trees, 101 shrubs, 92 groundcover plants and an unspecified number of perennials. The plan submitted to you on August 12, 2008 increases the quantity of plant material and includes 37 trees, 170 shrubs, 116 groundcover plants and 58 perennials; 82.4% of which are northern hardy native species.

Submissions

Please see the attached documentation and plans:

- PVC Corner Board Trim Sample
- Sketch Noting Façade Material Transition Area
- Rooftop Mechanical Equipment Screen Cut Sheets, Specifications and Sample
- Elevator Hoist Way Vent Cut-Sheet
- Plans, 3 full sized sets and one 11x17 set
- Sheet 1 - Subdivision Plat
- Sheet L401 (Formerly Sheet 16) - Lighting- Photometrics Plan

Should you have any questions or require additional information for meeting the conditions of approval, please feel free contact me.

Sincerely,
Mitchell & Associates

Betsy Melrose

Enclosure

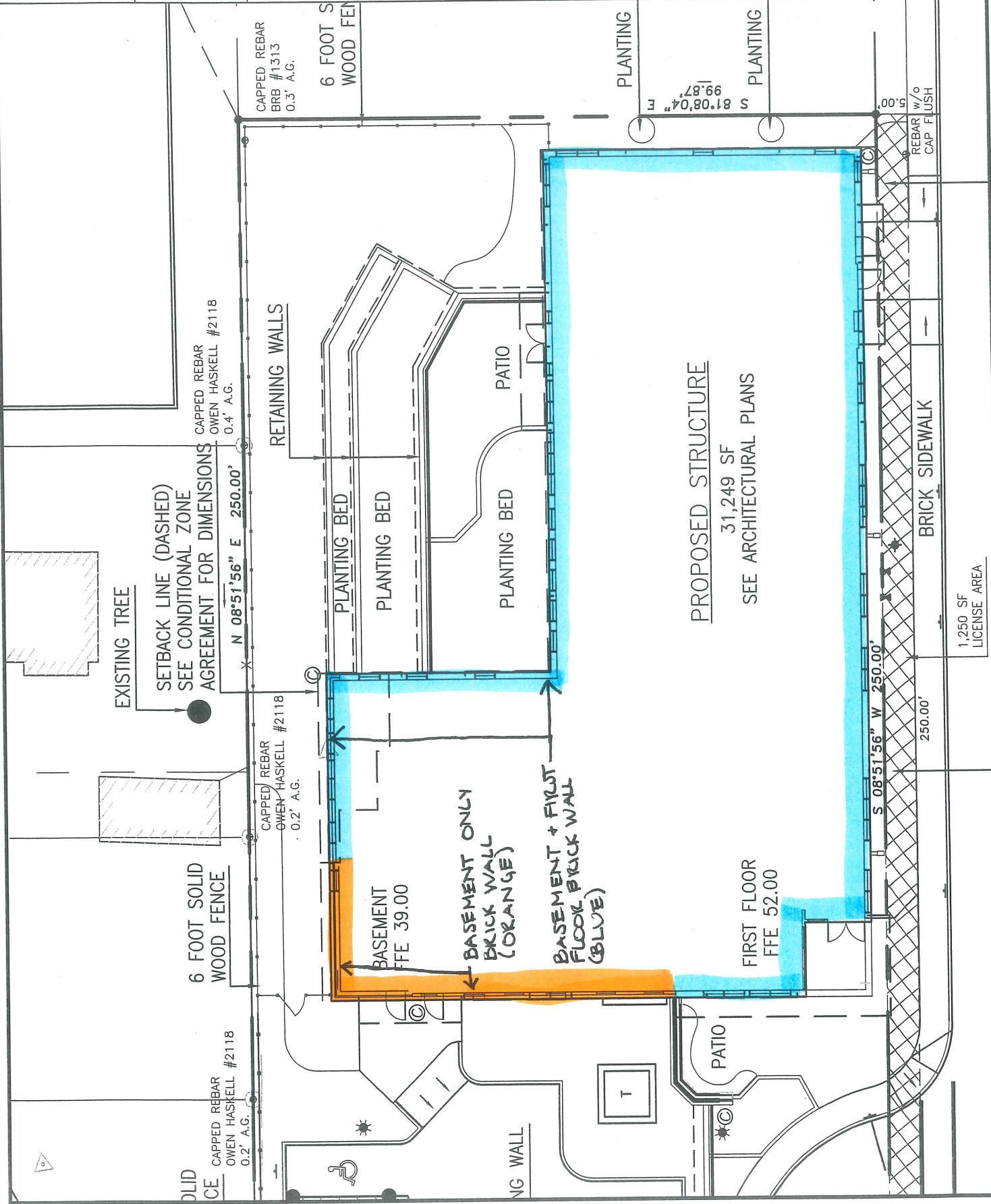
cc. Deb Keller – Avesta Housing
Rebecca Dillon – Gawron Turgeon Architects

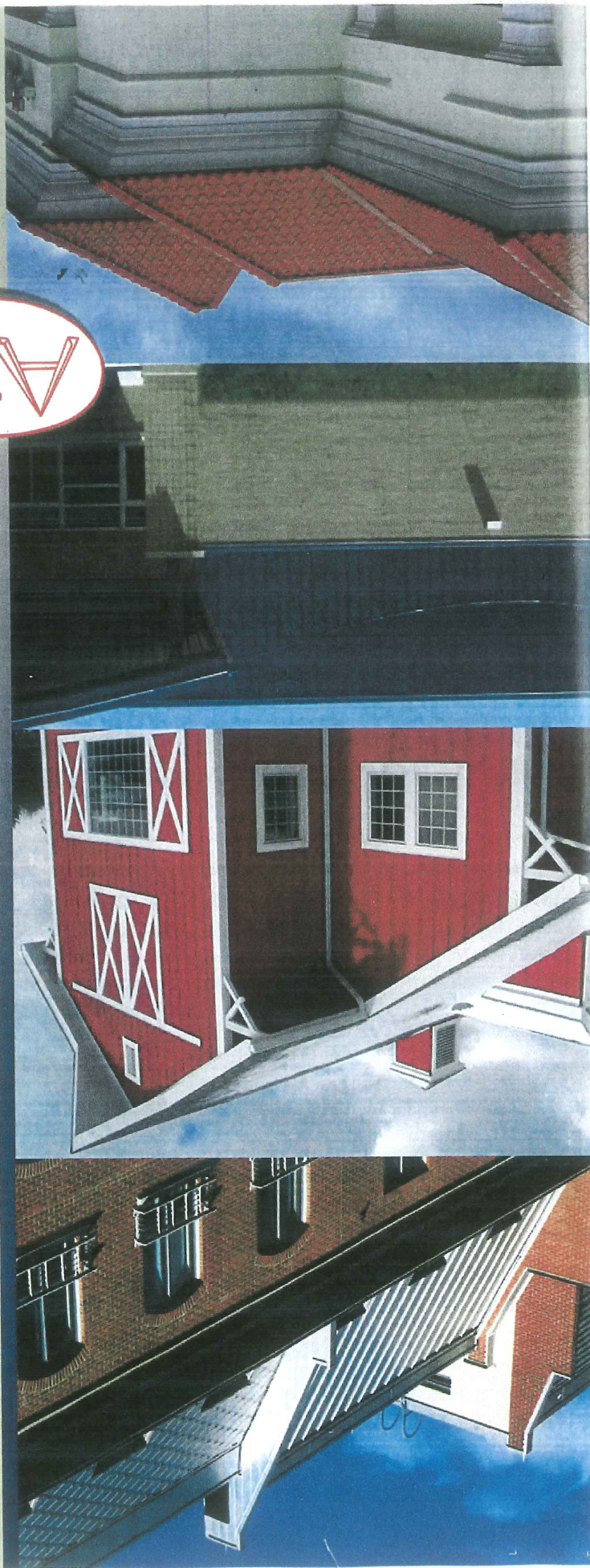
Mitchell & Associates
 Landscape Architects
 70 Center Street
 Portland, Maine 04101
 (207) 774-4427

Title: BUILDING FACADE MATERIAL SKETCH
 Date: SEPT. 2, 2008
 Scale: 1"=20'
 Project: FLORENCE HOUSE



A





Metal
ROOFING SYSTEMS

Metal
WALL PANELS

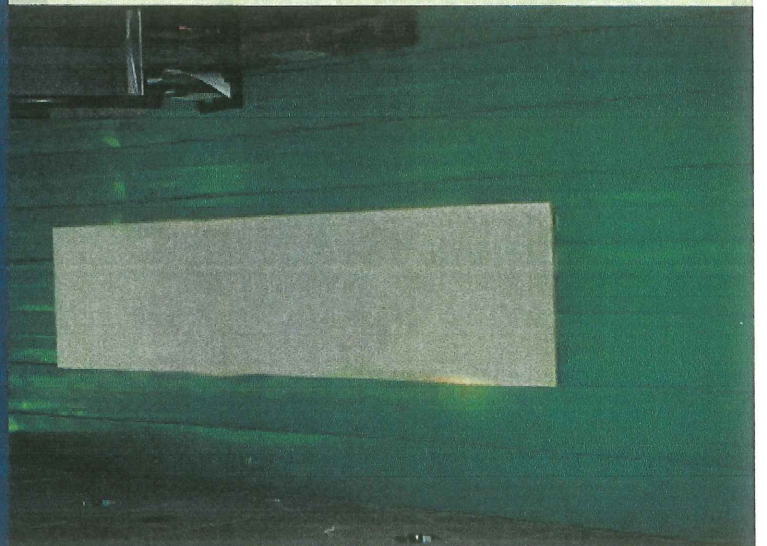
Featuring
 Batten Seam
 Standing Seam
 Tile & Shingles

Featuring
 Facades, Mansards,
 Curved Panels, Soffits,
 Ceilings, Light Gauge Framing,
 Custom Accessories, & Rainware

ATAS INTERNATIONAL, INC.
www.atas.com
 email: info@atas.com

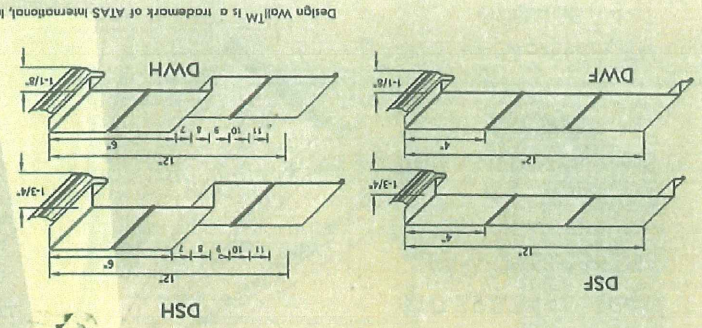
6612 Snowdrift Rd.
 Allentown, PA 18106
 800.468.1441 toll-free
 610.395.8445 phone
 610.395.9342 fax
 Mesa, AZ
 480.558.7210 phone
 480.558.7217 fax
 Maryville, TN
 800.468.1441

Design Wall™



The Design Wall System is a structural panel with (optional) Louvered style venting. It consists of a 12" wide panel in two distinct profiles: a smooth panel and a "board" panel. The "board" panel has an upside down style venting. Typical applications for this panel are walls, horizontally or vertically. Typical applications for this panel are walls, soffits, fascia, or equipment screens.

SKU:	DSF, DWF, DSH, DWH
Gauge:	.032, .040, .050 Aluminum 24, 22* ga. G90 galvanized Steel 22* ga. Al-Zn coated Steel with acrylic coating
Panel Width:	12" (Specify with or without stiffening ribs.) Cut to customer specifications with a minimum of 3'-0", maximum to transportation limitations.
Panel Height:	1'-1/8" or 1'-3/4" Embossed, Smooth KYNAR 500® or HYLAR 5000®
Finish:	Clear, Bronze
Anodized:	Choice of 30 standard colors.
Accessories:	Same gauge and finish as the panel or as specified.
* Subject to minimum quantities and lead time Inquire for availability	



Design Wall™ is a trademark of ATAS International, Inc.

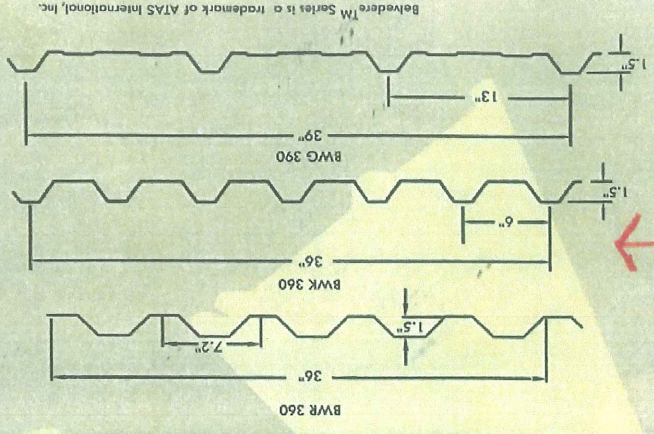
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Belvedere wall panels are structural in nature and can be installed either on solid substrate or open framing. Belvedere Series is made up of 5 panels - Rib Panel, Short Rib Panel, Grand R Panel, Spanwall, and Corrugated.

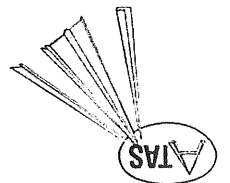


Belvedere™

SKU:	BWR360, BWK360, BWC390
Gauge:	.032, .040, .050 (BWR 360 only) Aluminum 24, 22* (BWK 360 only) ga. G90 galvanized Steel 24*, 22* ga. 55% Al-Zn coated Steel
Panel Width:	36" - Rib - BWR360, Short Rib - BWK360 39" - Grand R - BWC390
Panel Length:	Cut to customer specifications with a minimum of 6'-0" maximum to transportation limitations
Panel Height:	1'-1/2"
Texture:	Embossed, Smooth
Finish:	KYNAR 500® or HYLAR 5000®
Anodized:	Clear, Bronze
Colors:	Choice of 30 standard colors.
Accessories:	Same gauge and finish as the panel or as specified. * subject to minimum quantities and lead time Inquire for availability



Belvedere™ Series is a trademark of ATAS International, Inc.



ATAS INTERNATIONAL, INC.

SPECIFICATION DATA SHEET

1. PRODUCT NAME

**BELVEDERE
SHORT RIB PANEL
BWK360**

2. MANUFACTURER

ATAS INTERNATIONAL, INC.

Website: www.atas.com

Email: info@atas.com

Corporate Headquarters:

Allentown, PA 18106

Phone: (610) 395-8445

Fax: (610) 395-9342

Western Facility:

Mesa, AZ 85204

Phone: (480) 558-7210

Fax: (480) 558-7217

Southern Facility:

Manville, TN 37801

Phone: (800) 468-1441

Basic Uses

BWK360 is a 1-1/2" deep ribbed panel that features six broad low and six narrow high cells. This panel can be used for roofing applications and installed vertically or horizontally on walls.

Composition & Materials

Standard Offerings: The BWK360 panel is roll-formed from .032 and .040 Aluminum; 24 gauge Metallic Coated Steel.

Special Offerings: 20, 22 and 24 gauge 55% Al-Zn Coated Steel; 20 and 22 gauge Metallic Coated Steel; 16 or 20 oz. Copper.

The BWK360 panel has 36" (width) net coverage. Panel lengths are cut to customer specifications, with a minimum of 2' and a maximum of 45'.

Colors & Finishes

A choice of 30 colors is available in a KYNAR® 500 PVDF or HYLAR® 5000 PVDF finish. (Request color chart or chips).

3. PRODUCT DESCRIPTION

4. TECHNICAL DATA
KYNAR® 500 PVDF or HYLAR® 5000 PVDF based finishes tested by paint supplier for:
Dry Film Thickness: ASTM D 1005, ASTM D 1400, ASTM D 4138 or ASTM D 5796
Specular Gloss: ASTM D 523
Pencil Hardness: ASTM D 3363
T-Bend Flexibility: ASTM D 4145
Mandrel Bend Flexibility: ASTM D 522
Impact Resistance: ASTM D 2794
Adhesion: ASTM D 3359
Water Immersion Resistance: ASTM D 870
Abrasion Resistance: ASTM D 968
Acid Resistance: ASTM D 1308
Acid Rain Resistance (Kesternich): ASTM G 87 or DIN 50018
Salt Spray: ASTM B 117
Cyclic Salt Spray: ASTM D 5894 and ASTM D 5487
Humidity Resistance: ASTM D 2247
Accelerated Weathering: ASTM D 822 and ASTM G 23, ASTM G 151 or ASTM G 153
Color Retention, Florida Exposure: ASTM D 2244
Chalking Resistance – ASTM D 4214
Cleveland Condensing Cabinet: ASTM D 4585
Cure Test, MEK Resistance: ASTM D 5402
Alkali Resistance, Sodium Hydroxide: ASTM D 1308, Procedure 7.2
Organic coatings meet requirements of AAMA 2605 when applied to aluminum. Panel testing/ratings:
UL Fire resistance rating design numbers: See www.ul.com, File R12113, or contact ATAS for current listing.
Galvanized Steel: ASTM A 653
55% Al-Zn Coated Steel: ASTM A 792
Aluminum: ASTM B 209
Copper: ASTM B 370
Coil Coating: ASTM A 755
Field Tested and Approved.
Load Tables available upon request.

5. INSTALLATION

Installation is with direct fastening methods. Contact ATAS technical service advisors for more information, including details and installation seminars.

6. AVAILABILITY & COST

Availability
The BWK360 panel is available through ATAS product distributors. A complete line of related components and trim accessories

is available to complete the wall system. In addition, a complete line of rainware and perimeter roof edge trims can be supplied by ATAS to complement the wall system. Flat sheet and/or coil stock is available in matching color for fabrication of related components by the installing contractor.

Cost

Contact ATAS product distributors for current pricing.

7. WARRANTY

The fluoropolymer, KYNAR® 500 PVDF or HYLAR® 5000 PVDF finish carries a thirty (30) year limited warranty against chipping, cracking, peeling, chalking and fading.

8. MAINTENANCE

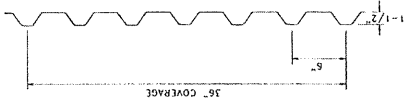
The BWK360 panel is virtually maintenance free. Surface residue may be easily removed by conventional cleaning methods. Minor scratches may be touched up with a matching paint, available from the manufacturer.

9. TECHNICAL SERVICES

Complete technical information and literature are available from ATAS International, Inc. ATAS will assist with design ideas and shop drawings.

10. FILING SYSTEM

• Sweet's Catalog
• Sweet's CD
• www.atas.com
• Additional product information is available from the manufacturer upon request.



LAT741

© 2007 ATAS International Inc.

B. Bituminous Coating: Cold-applied asphalt mastic, SSPC-Paint 12, compounded for 15-mil dry film thickness per coat. Provide inert-type noncorrosive compound free of asbestos fibers, sulfur components, and other deleterious impurities.

2.04 EXPOSED-FASTENER, LAP-SEAM METAL WALL PANELS

A. General: Provide factory-formed metal wall panels designed to be field assembled by lapping side edges of adjacent panels and mechanically attaching panels to supports using exposed fasteners in side laps.

- B. Tapered-Rib-Profile, Exposed-Fastener Metal Wall Panels: Formed with raised, trapezoidal major ribs and flat pan between major ribs.
1. Product: Belvedere Series, Short Rib Panel, Model BWK360; ATAS International, Inc.
 2. Material: Aluminum-zinc alloy-coated steel sheet, 0.0269 inch thick (24 gage) minimum, uncoated metal thickness.
 - a. Exterior Finish: Fluoropolymer.
 - b. Color: As selected by Architect from manufacturer's full range.
 3. Major-Rib Spacing: 6 inches o.c.
 4. Panel Coverage: 36 inches.
 5. Panel Height: 1.5 inches.

2.05 ACCESSORIES

A. Wall Panel Accessories: Provide components required for a complete metal wall panel assembly including corner units, clips, and similar items. Match material and finish of metal wall panels, unless otherwise indicated.

2.06 FABRICATION

A. General: Fabricate and finish metal wall panels and accessories at the factory to greatest extent possible, by manufacturer's standard procedures and processes, as necessary to fulfill indicated performance requirements demonstrated by laboratory testing. Comply with indicated profiles and with dimensional and structural requirements.

1. Form panel lines, breaks, and angles to be sharp and true, with surfaces free from warp and buckle.

B. Provide panel profile, including major ribs and intermediate stiffening ribs, if any, for full length of panel.

C. Sheet Metal Accessories: Fabricate flashing and trim to comply with recommendations in SMACNA's "Architectural Sheet Metal Manual" that apply to the design, dimensions, metal, and other characteristics of item indicated.

1. Form exposed sheet metal accessories that are without excessive oil canning, buckling, and tool marks and that are true to line and levels indicated, with exposed edges folded back to form hems.

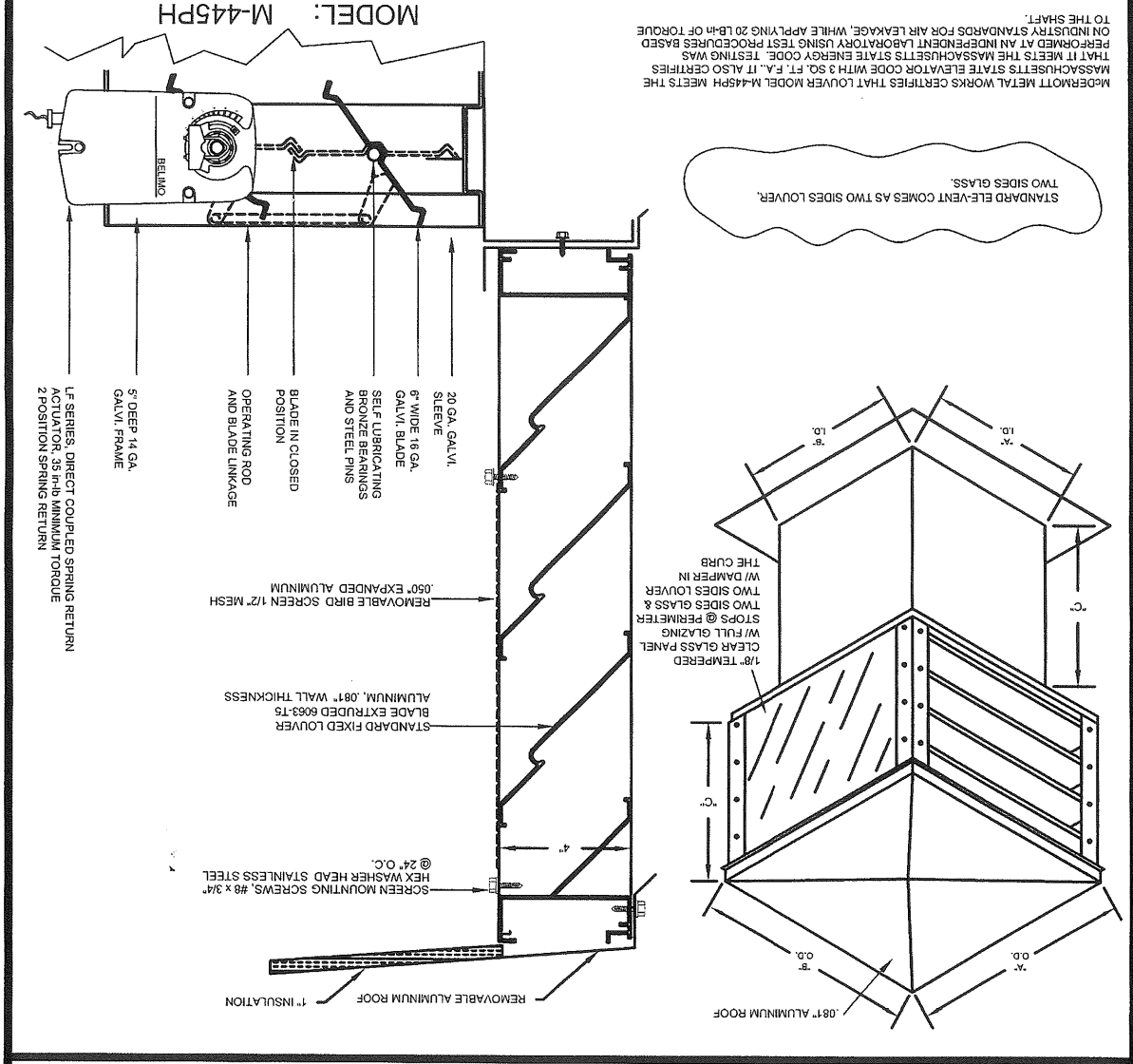
2.07 FINISHES, GENERAL

A. Comply with NAAMM's "Metal Finishes Manual for Architectural and Metal Products" for recommendations for applying and designating finishes.

B. Protect mechanical and painted finishes on exposed surfaces from damage by applying a stipple, temporary protective covering before shipping.

METAL WALL PANELS

TAG	QTY.	"A" WIDTH	"B" WIDTH	"C" HEIGHT	MOD.	FINISH

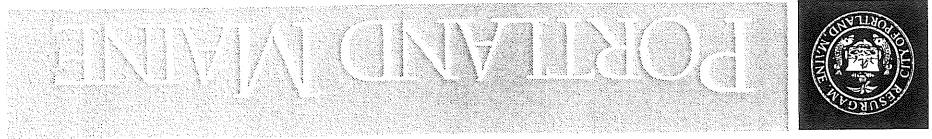


MCDERMOTT METAL WORKS CORP.
 20 PATTERSON BROOK ROAD WEST WARHAM, MA
 (508) 295-9533 (800) 828-VENT (FAX) 295-9534

REPRESENTATIVE:
 ARCH./ENGR:
 PROJECT:
 LOCATION:
 CONTRACTOR:
 DATE:

MCDERMOTT METAL WORKS CERTIFIES THAT LOUVER MODEL M-445PH MEETS THE MASSACHUSETTS STATE ELEVATOR CODE WITH 3 SQ. FT. F.A. IT ALSO CERTIFIES THAT IT MEETS THE MASSACHUSETTS STATE ENERGY CODE. TESTING WAS PERFORMED AT AN INDEPENDENT LABORATORY USING TEST PROCEDURES BASED ON INDUSTRY STANDARDS FOR AIR LEAKAGE, WHILE APPLYING 20 LB-IN OF TORQUE TO THE SHAFT.

STANDARD ELEV-VENT COMES AS TWO SIDES LOUVER,
 TWO SIDES GLASS.



Planning Division
Jean Fraser, Planner

12-15-08

To: Marie Schumaker, Inspector

Florence House

cc Phil
Bipera

Final Plan Set

The applicant has revised the

plans to meet conditions and

this is the final plan set - as

will be stamped over the

Best Gray has fees + infrastructure
Contributions are paid (e-mail fee)
see 12/15/08

For use in reviewing the Building
Permit Application. To scale

These plans + CZD relate to
person applicable if needed.

190 Valley Street

although one
state plan (#2007-0156)

access in from St Johns.
rs. (#2007-0156)

Please note neighboring + poss.
need for planning plan.

389 Congress Street, 4th floor • Portland, ME • (207) 874-8728 • Fx 756-8258
Email: jfraser@portlandmaine.gov

* = "good" copies Plat
○ = "worst" "

make 11x17s of exec+plat?
ok dup? "0" ?
ask re others

(left - last 11x17)
(right - last 11x17)

- ✓ Fire Dept.
- ✓ Plat Review
- ✓ Inspectors + review of plan
- ✓ David M-P/Todd PS
- ✓ Bill Clark PS *
- ✓ Planning file *
- ✓ Assessors *

mylar + *

sample in room - big thing
*
review plan

Jean Fraser, Planner
Planning Division



PORTLAND MAINE

all standard/rent 1/28 + 1/29

Spoke with Betsy Melrose -
she called me to explain some
of the reasons for changes & asking
for a meeting today.
Meeting would need BR + BV +
today difficult - you will send
or planning letter + samples for
review tomorrow of BUIKed

9.2.08

Planning Division
Jean Fraser, Planner

PORTLAND MAINE



389 Congress Street, 4th floor • Portland, ME • (207) 874-8728 • Fx 756-8258
Email: jf@portlandmaine.gov



Planning Division
Jean Fraser, Planner

9-3-08

To: Barbara Bill
Re: Florence House renovation

Since our design meeting & e-mailed our concerns and this is the reply.

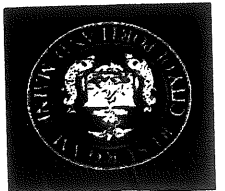
- ① Assuming the Plat is ok, it will be asking the Board (with de. who can sign - one Bd. member at that time now left) to sign the Plat on Sept 9th.

- ② Could you have and I need urgently * to review the lighting, materials and design arguments. Their site plan appears to have Oct 23 2008. As they are trying to get a Permit for an expansion. (Should a review be done in court - maybe - if not court date now -) comments on spec/ #'s

- ③ Left comments on spec/ #'s

Shawn Jan

389 Congress Street, 4th floor • Portland, ME • (207) 874-8728 • Fx 756-8258
Email: jf@portlandmaine.gov



Planning and Urban Development
Penny St. Louis Littell, Director

Planning Division
Alexander Jaegerman, Director

September 12, 2008

Betsy Melrose
Mitchell & Associates
The Staples School
70 Center Street
Portland ME, 04101

RE:
Florence House
Vicinity of 190 Valley Street, Portland
Conditions of Approval
Site Plan/Subdivision #2007-0156

Application ID:

Dear Betsy:

I am writing further to your submission of August 12, 2008 (which included revised proposals and information to address the conditions of approval for this project), my e-mailed comments of August 29, 2008 and your responses to these comments outlined in your letter of September 3, 2008.

The revisions generally meet the conditions of approval under discussion but a few issues remain to be resolved.

For clarity I have listed each of the conditions that need to be addressed at this stage and confirmed the current status:

I: That the final recording subdivision plat will be completed to the satisfaction of the Corporation Counsel and include a list of any conditions imposed by the Planning Board, and will be submitted for the Planning Board's Signature; and

II: That the applicant shall receive approval of its Condominium Documents and the issuance of a License from the City for uses within the right of right of way, through the City's Corporation Counsel office; and

Status: The revised Plat, Condominium documents and license are under review by the City (Penny Littell).

2!!!: That the applicant shall submit for review and approval by the Planning Authority, prior to the issuance of a Certificate of Occupancy, the location, size and design details of all signage; and

Status: The signage on the building was a concern during the review and there was no implied approval to

therefore the signage needs to be consistent with that character. A sign at this level and location appears to necessitate a light near residential windows and disrupts the alignment of the windows. We consider that the sign should be avoided if possible and at most be small in scale with low level timed lighting. This will require further discussion with staff prior to the application for a sign permit.

2iv. *That the applicant shall submit for review and approval by the Planning Authority, prior to the issuance of a Building Permit, the details, size, specifications and materials of the trim boards, window trim and cornice (which should be dimensional stock), awnings and segmental blocks; and*

Status: The cladding and trim board materials, revised materials for the retaining walls, and main entrance canopy etc, as described in your letters of 8.12.2008 and 9.3.2008, are approved and this condition has been met.

2v. *The applicant should adhere to the arboricultural practices shown on the submitted letters, plans and details and those outlined in the comments from the City Arborist of 10.18.2007 to protect the large Silver Maple tree in the rear yard of 213 St John Street. If during the first 2 years from Certificate of Occupancy this tree becomes unstable due to root loss or other construction damage related to the project, the applicant shall be responsible for pruning, removal and replacement of the tree if necessary and agreed with the owner. If removal and replacement is necessary, the replacement tree should be of 3 inch caliper of the same species (or other species as agreed with the owner); and*

Status: The City Arborist has reviewed the plans and details submitted 8.12.2008 and confirms they are acceptable in respect of this condition. However, it is noted that the Landscape Plan (originally Sheet 5, now L102) has been revised to incorporate a greater percentage of native species. Jeff Tarling has also reviewed these revisions and all are acceptable except that the Armstrong Freeman Maple (keyed as "Act") should be 2.5 inches caliper. Please confirm this revision in writing.

2vi. *That the applicant shall submit for review and approval by the Planning Authority, prior to the issuance of a Building Permit, details, catalog cuts and illumination information regarding the proposed wall-mounted lights on the Valley Street elevation; and*

Status: We remain concerned about three aspects of the photometric plan submitted with your letter of 9.3.2008:

a. The parking lot average is .99 foot candles and the City's standard is 1.25 foot candles. The photometric plan shown to the Planning Board showed the average for the parking lot as 1.51 foot candles.

b. There is a "hot spot" of 7.7 foot candles (City standard is 5 foot candles maximum) near the southern-most building mounted light on the Valley Street elevation. While a waiver in this location could be considered, the question is whether this lighting level reflects the proposed light over the indicative sign on that elevation or not. If not, any sign lighting would add to the overall lighting level and exceed the standard substantially.

c. Will there be any lighting incorporated into the canopy over the main entrance?

2viii. That the applicant continue to work with the City's Urban Designer to refine the architecture to better align the windows to create a more unified design and to mitigate the blank wall facing the St John Street abutters; and

Status: This condition has been met. Please note that the revised (reduced) glazing on one of the service doors facing Valley Street has been approved based on the stated need to meet the requirements of fire protection codes.

2ix. That the applicant shall submit for review and approval by Urban Designer Marsh, prior to the issuance of a Building Permit, the design, materials and specifications for screening the rooftop appurtenances; and

2x. That the applicant shall meet the noise standards of the Portland City Code and shall mitigate violations thereof.

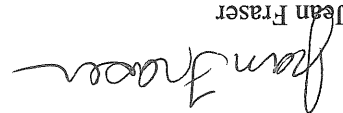
Status: We would like a plan showing the location of each item of plant and the noise specifications (from the manufacturer) for each one and their cumulative impact. We need to see how near they are to the boundary of the site and seek documentation that the required noise standards can be met.

It may be useful to have a short meeting to run through this information so that the possibility of noise problems is minimized.

It is our experience that developments such as Florence House usually do require an emergency generator and we suggest it would be desirable to address this question at this stage.

Please note that condition 1iii and 2i must be undertaken prior to the release of the signed Subdivision Plat. Conditions 2ii and 2vii do not require any further action at this time.

Sincerely,


Jean Fraser
Planner

Electronic Distribution:

cc: Penny St. Louis Littell, Director of Planning and Urban Development

Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Bill Needelman, Senior Planner

Philip DiPietro, Development Review Coordinator

Marge Schmuckal, Zoning Administrator

Jeanie Bourke, Inspections Division

Jim Carmody, Transportation Manager

Jeff Tarling, City Arborist

Captain Greg Cass, Fire Prevention

Shawn Jan

- ③ Left tonight's comments on spec/ #'s (should address comments needed asap)
- ② Could you have and I meet urgently * to review the lighting, material and design arguments. Then site plan approved to get a Permit they can far an extension; exp on 04 23 2008 as they are trying
- ① Assuming the Plat is ok, I will be asking the Board (with de. who can sign - one Bd. member at that time now left) to sign the Plat on Sept 9th.

To: Barbara & Bill
Cc: Florence House members

9:308

Planning Division
Jean Fraser, Planner



Discussion Barbara Ft
Bull Needleman &

Sigma: Set Plan w/f:

small scale & routes
no light / light levels?

lighting: ? last spot: sign light will or not
(if not, when added even
brighter)

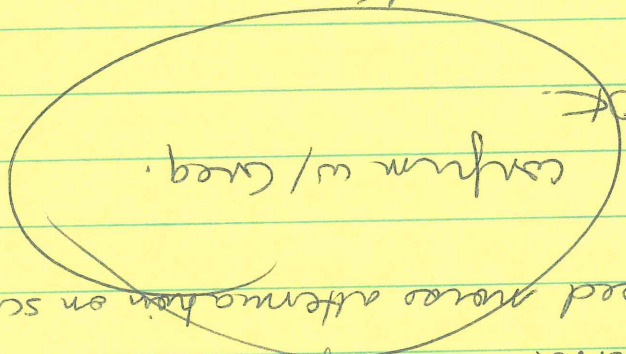
Control - OK.

Notes - note for papers.

plan of plant -

? cumulative nerve from more than 1 plant.
may need more attention on screening material.

OK
contract your agreement



Other windows - OK

Windows / materials - OK

not shown

September 3, 2008

Ms. Jean Fraser, Planner
 Portland Planning Department
 389 Congress Street, 4th Floor
 Portland, Maine 04101

**RE: Florence House
 Conditions of Approval**

Dear Jean:

Mitchell & Associates, on behalf of Avesta Florence House L.P., Florence House Housing Corporation (FHHC) and Florence House Condominium Association, submits the following information to address Conditions of Approval for Subdivision and Site Plan standards for the Florence House project. The following are responses to e-mail comments received from you dated August 29, 2008.

Subdivision Plat
 The submitted Plat does not incorporate the revisions requested by Penny Littell on Jan 7, 2008 (I will forward that e-mail again separately); the Plat needs to be signed and stamped by a licensed surveyor.

- Revisions have been made based on comments requested by Penny Littell on January 7, 2008. This plan is resubmitted signed and sealed by a licensed surveyor. Please see Sheet 1 – Subdivision Plat.

Signage
 The high level sign and light are not "residential" in character and the proposed location is still awkward and over-large. We suggest that the necessary wording be incorporated into the front entrance canopy instead.

- We understand that we will need to go through the signage approval process and will work with the City Staff at that time to determine the actual size and format. The elevations note "Signage to be reviewed and approved by City Staff" which is the same note from the Planning Board approval process. The area noted on the

RECEIVED

SEP 3 2008

City of Portland
 Planning Division

*(copy for Jeff)
 Jeff
 9/4/08 +
 will do comments*

plan is not necessarily indicative of size, only approximate location. Directional signage noting the Main Entrance and Service Entrance are currently located within the metal canopies.

- The B-2 Community Business Zone has a mix of uses including industrial, commercial, office and residential. Existing signage along Valley Street includes two pylon signs, one for Alan Auto Volvo Service and one for The Granite Group. We feel that building mounted signage is more in keeping with the proposed uses at Florence House.

- The signage ordinance allows Building Signs within the B-2 zoning district to be 150 SF (the building is 130 linear feet long) for the maximum cumulative area of all signs. The ordinance also allows one (1) sign per building facade facing an abutting street plus one (1) additional sign.

Cornerboard Trim

It would be preferable if this was the same material as the cladding (which appears to be non vinyl); if PVC please submit a sample as these have not always worked well in cases we are familiar with.

- We are proposing to use PVC as the corner board trim. In our experience, PVC trims perform better and look better than the vinyl or cementitious trim. Please see sample provided.

Lighting

I note the high lighting levels along Valley Street and am seeking advice on this question.

We note a light fixture has been removed from the parking lot area and consequently reduced the lighting levels for that area. The lights added to the building along Valley Street have resulted in quite high photometric levels in Valley Street. These are still under review.

- A fixture has been removed from the lower parking lot due to lack of space at the base of the retaining wall. The light fixture distribution has been revised to account for this missing fixture. The number of light fixtures along the Valley Street facade has been adjusted to note 3 fixtures instead of 4. Please see attached Lighting-Photometrics Plan, Sheet L401 (Formerly Sheet 16).

Windows/walls facing St. John Street abutters
The extension of the brick material appears to be an improvement but we would like clarification of the transition between cladding and brick at the first floor level between structural column gridlines 2 and 4.

- The transition between the brick and clapboard material on the First Floor occurs at the corner of the building. The PVC corner board will run down the wall and create the transition between the brick veneer and clapboard siding. Please see attached plan noting the location of the material transition in relation to floor level.

Roof plant

- Please submit specs for the roof plant screening and for the elevator hoist way vent. Please see attached rooftop mechanical equipment screen specifications and cut-sheets and elevator hoist way vent cut-sheet. A sample of the metal used for the equipment screen has also been submitted.

Noise

The condition regarding noise relates to the construction period and when the building is completed and in operation; the latter includes things like equipment for ventilation from the kitchen, A/C units, and generators etc and you will need to demonstrate that these have been located/designed to ensure they will meet the City's Code requirements for noise and vibration. For example, does the proposed screening material provide attenuation of sound from all roof plant?

- The mechanical rooftop equipment will have curbs and isolators to minimize the noise and vibration from those units. There is no generator on site. The screening material is not designed to attenuate sound; it is designed to conceal the equipment visually.

Plan Numbering

...please note that as the Planning Board set of plans are the "approved" set it would be helpful to retain the numbering and titles as in that set and note the changes by way of Revision dates and comments.

- The final approved set of plans will include references to plan numbers approved by the Planning Board for ease of reference.

Service Doors on Valley Street Elevation

In response to the Planning Board concerns regarding the "non-residential" character of these doors when these were presented to the PB Workshop, you added half light glazing to both doors (as confirmed in your letter of Oct 2, 2007 page 5) in the proposals presented to the PB Hearing. This has not been retained in the revised submission of Aug 12th, 2008; please restore these doors to the design as approved by the Planning Board and annotate that they are half lite glazing.

- The door to the Service Entrance has retained the half lite glazing. During the process of creating construction documents for the project, it became evident that the door exiting the building from the egress stairs could not have half lite glazing per code (IBC) as it is a 90 minute door. We are showing a 100 square foot vision panel which is the largest glazing allowed in a 90 minute door. Please see code requirement below:

IBC 2006

715.4.6 Glazing material. Fire-protection-rated glazing conforming to the opening protection requirements in Section 715.4 shall be permitted in fire door assemblies.

715.4.6.1 Size limitations. Wired glass used in fire doors shall comply with Table 715.5.3. Other fire-protection-rated glazing shall comply with the size limitations of NFPA 80.

Exceptions:

1. Fire-protection-rated glazing in fire doors located in fire walls shall be prohibited except that where serving as a horizontal exit, a self-closing swinging door shall be permitted to have a vision panel of not more than 100 square inches (0.065 m²) without a dimension exceeding 10 inches (254 mm).
2. Fire-protection-rated glazing shall not be installed in fire doors having a 1-1/2-hour fire protection rating intended for installation in fire barriers, unless the glazing is not more than 100 square inches (0.065 m²) in area.

Windows facing Valley Street

Similarly, the Board was concerned about that elevation and the need for more windows and detailed treatment. We note you have removed one large window and request that be restored to be as approved (its removal does not contribute to an achievement of the conditions).

- This window was removed as it was in conflict where the stair landing ended up, being located. We had reviewed this with Carrie Marsh, former Urban Designer,

and she understood the issue of constructability and thought it would be fine as long as we resolved her concerns with the windows aligning and changing the proportions of the First Floor windows to work better with the proportions of the Second Floor windows.

Materials

It appears that the cladding material has been revised from those shown to staff and to the Planning Board (Cladding: Monogram 46 Vinyl siding made by CertainTeed in color "Buckskin"; Tinted glass: Sun Guard LE Series made by Guardian LE-63 on green 1/4 inch double glazed (50% tint) and Brick Veneer: "Old Port Blend" 10% BL, 10% Crossets made by Morin Brick company). Please advise us of any proposed revisions to these materials and provide samples of any new materials (along with samples of the cornerboards and roof screening materials).

- The construction documents currently show cementitious clapboard siding with vinyl as an alternate deduct. Should the cementitious siding be used, the color will match the vinyl siding submitted (CertainTeed-Buckskin). The glazing and brick have remained the same. Samples of the corner boards and roof screening material have been submitted.

Demolition Plan

We note that the entire brick sidewalk (in good condition) on the site frontage will be taken up at the start of this project. When preparing the Construction Program and Plan showing construction vehicle access etc. please include a detailed plan for the provision of safe re-routing of pedestrians (to include a circulation plan with crossings at the nearby intersections). Another issue to clarify in that plan is how you will ensure that the bricks used in the sidewalk relocation and reconstruction will match and do not end up a mix of old and new bricks.

- The Demolition Plan notes "Remove brick sidewalk and stockpile brick for reuse." The specifications note reuse of stockpiled brick with supplemental bricks meeting the City Standard. The existing brick sidewalk is fairly new and supplemental bricks should not be noticeable. The Construction Program and Plan will note safe location for pedestrian crossings during sidewalk closure.

Landscape Plan (former Sheet 5; now L102)

We note there have been a number of changes to the number and choice of plants, including to those outlined in the letter of Oct 2, 2007 and described to the Planning Board. These revisions require review and I will get back to you once I have final comments.


- Revisions to plant material are based on MaineHousing standards which require at least 75% northern hardy native species; which is measured by the number of plantings. The plan approved by the Planning Board included 34 trees, 101 shrubs, 92 groundcover plants and an unspecified number of perennials. The plan submitted to you on August 12, 2008 increases the quantity of plant material and includes 37 trees, 170 shrubs, 116 groundcover plants and 58 perennials; 82.4% of which are northern hardy native species.

Submissions

Please see the attached documentation and plans:

- PVC Corner Board Trim Sample
- Sketch Noting Facade Material Transition Area
- Rooftop Mechanical Equipment Screen Cut Sheets, Specifications and Sample
- Elevator Hoist Way Vent Cut-Sheet
- Plans, 3 full sized sets and one 11x17 set
- Sheet 1 - Subdivision Plat
- Sheet L401 (Formerly Sheet 16) - Lighting- Photometrics Plan

Should you have any questions or require additional information for meeting the conditions of approval, please feel free contact me.


Sincerely,
Mitchell & Associates

Betsy Melrose

Enclosure

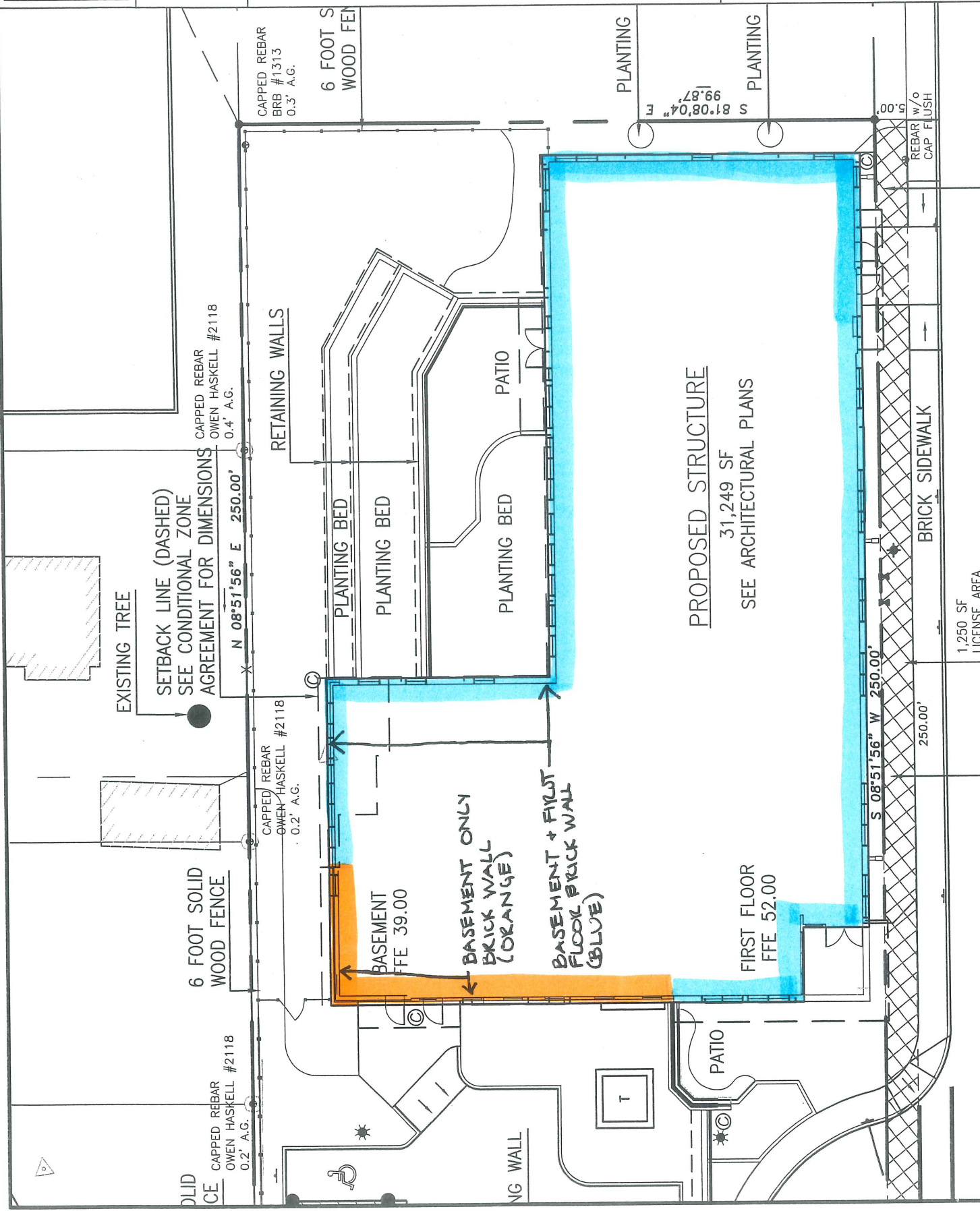
cc. Deb Keller – Avesta Housing
Rebecca Dillon – Gawron Turgeon Architects

Mitchell & Associates
 70 Center Street
 Portland, Maine 04101
 (207) 774-4427

Title: BUILDING FACADE MATERIAL SKETCH
 Date: SEPT. 2, 2008
 Scale: 1" = 20'
 Project: FLORENCE HOUSE

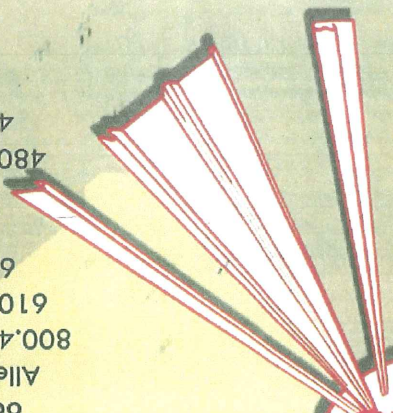
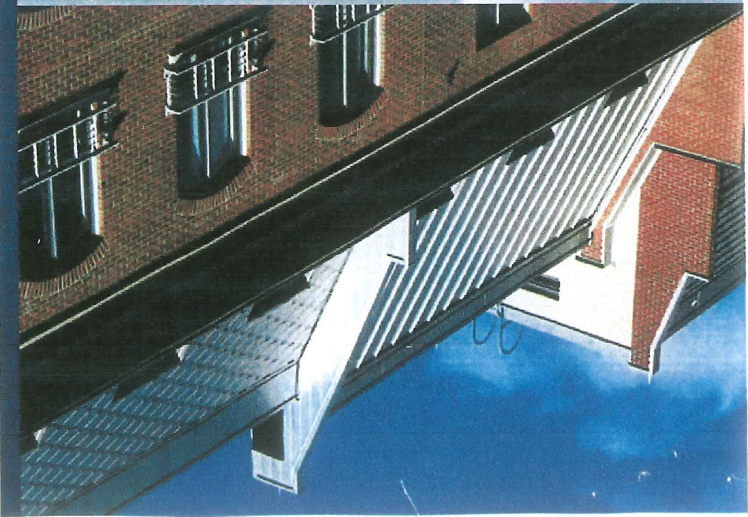
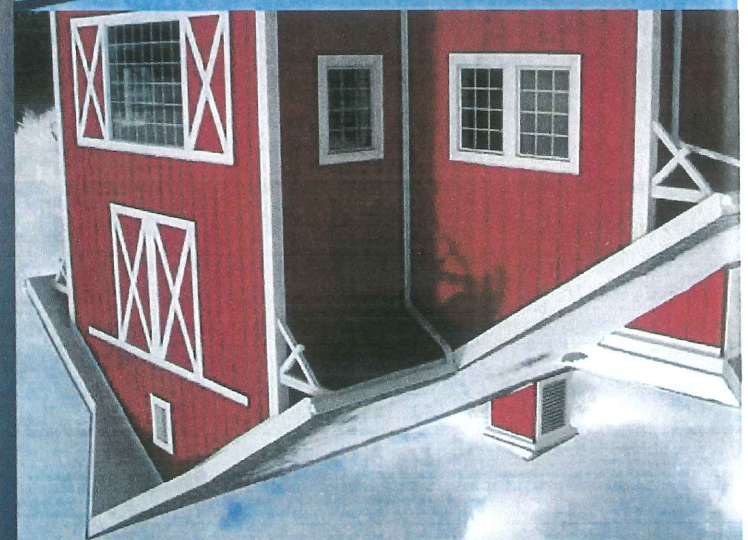
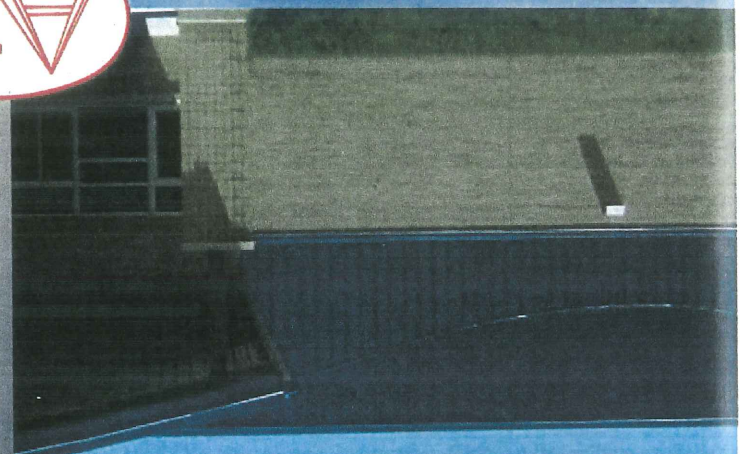
North: 

A



PROPOSED STRUCTURE
 31,249 SF
 SEE ARCHITECTURAL PLANS

1,250 SF
 LICENSE AREA



6612 Snowdrift Rd.
 Allentown, PA 18106
 800.468.1441 toll-free
 610.395.8445 phone
 610.395.9342 fax

Mesa, AZ
 480.558.7210 phone
 480.558.7217 fax

Marville, TN
 800.468.1441

email: info@atas.com

www.atas.com

ATAS INTERNATIONAL, INC.

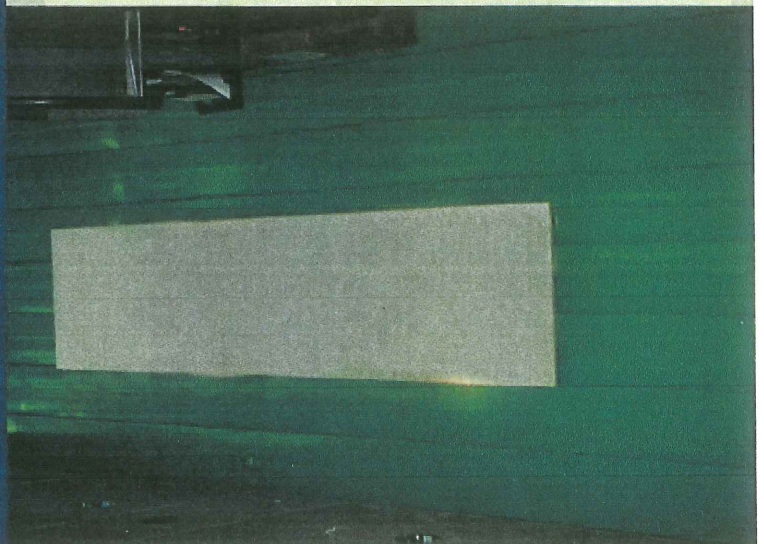
Featuring
 Facades, Mansards,
 Curved Panels, Soffits,
 Ceilings, Light Gauge Framing,
 Custom Accessories, & Rainware

Metal
 WALL PANELS

Featuring
 Batten Seam
 Standing Seam
 Tile & Shingles

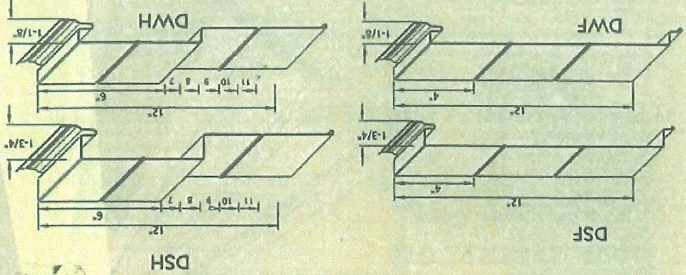
Metal
 ROOFING SYSTEMS

Design Wall™



The Design Wall System is a structural panel with (optional) Louvered style venting. It consists of a 12" wide panel in two distinct profiles: a smooth panel and a "board" panel. The "board" panel has an upside down style venting. Typical applications for this panel are walls, soffits, fascia, or equipment screens.

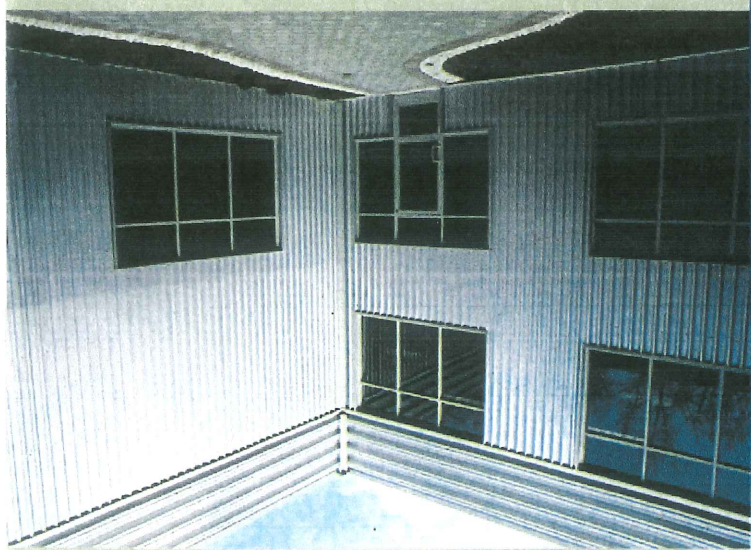
SKU:	DSF, DWF, DSH, DWH
Gauge:	.032, .040, .050 Aluminum 24, 22* ga. G90 galvanized Steel 22* ga. Al-Zn coated Steel with acrylic coating
Panel Width:	12" (Specify with or without stiffening ribs.)
Panel Length:	of 3'-0", maximum to transportation limitations.
Panel Height:	1-1/8" or 1-3/4"
Texture:	Embossed, Smooth
Finish:	KYNAR 500® or HYLAR 5000®
Anodized:	Clear, Bronze
Colors:	Choice of 30 standard colors.
Accessories:	Same gauge and finish as the panel or as specified.
	* Subject to minimum quantities and lead time
	Inquire for availability



Design Wall™ is a trademark of ATAS International, Inc.

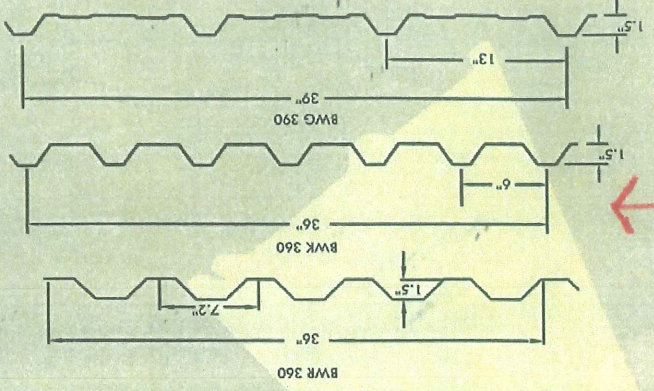
16

Belvedere wall panels are structural in nature and can be installed either on solid substrate or open framing. Belvedere Series is made up of 5 panels - Rib Panel, Short Rib Panel, Grand R Panel, Span wall, and Corrugated.

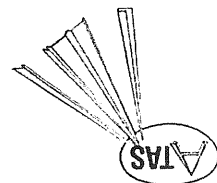


Belvedere™

SKU:	BWR360, BWK360, BWC390
Gauge:	.032, .040, .050 (BWR 360 only) Aluminum 24, 22* (BWK 360 only) ga. G90 galvanized Steel 24*, 22*, 20* ga. 55% Al-Zn coated Steel
Panel Width:	36" - Rib - BWR360, Short Rib - BWK360 39" - Grand R - BWC390
Panel Length:	Cut to customer specifications with a minimum of 6'-0" maximum to transportation limitations
Panel Height:	1-1/2"
Texture:	Embossed, Smooth
Finish:	KYNAR 500® or HYLAR 5000®
Anodized:	Clear, Bronze
Colors:	Choice of 30 standard colors.
Accessories:	Same gauge and finish as the panel or as specified.
	* subject to minimum quantities and lead time
	Inquire for availability



Belvedere™ Series is a trademark of ATAS International, Inc.



1. PRODUCT NAME
BELVEDERE
SHORT RIB PANEL
BWK360

2. MANUFACTURER

ATAS INTERNATIONAL, INC.

Email: info@atas.com

Website: www.atas.com

Corporate Headquarters:

Allentown, PA 18106

Phone: (610) 395-8445

Fax: (610) 395-9342

Western Facility:

Mesa, AZ 85204

Phone: (480) 558-7210

Fax: (480) 558-7217

Southern Facility:

Marville, TN 37801

Phone: (800) 468-1441

3. PRODUCT DESCRIPTION

Basic Uses

BWK360 is a 1- 1/2" deep ribbed panel that features six broad low and six narrow high cells. This panel can be used for roofing applications and installed vertically or horizontally on walls.

Composition & Materials

Standard Offerings: The BWK360 panel is roll-formed from .032 and .040 Aluminum;

Special Offerings: 20, 22 and 24 gauge 55% Al-Zn Coated Steel

24 gauge Metallic Coated Steel

20, 22 and 24 gauge 55% Al-Zn Coated Steel; 20 and 22 gauge Metallic Coated Steel; 16 or 20 oz. Copper.

Sizes

The BWK360 panel has 36" (width) net coverage. Panel lengths are cut to customer specifications, with a minimum of 2' and a maximum of 45'.

Colors & Finishes

A choice of 30 colors is available in a KYNAR® 500 PVDF or HYLAR® 5000 PVDF finish. (Request color chart or chips).

6. AVAILABILITY & COST

Availability

The BWK360 panel is available through ATAS product distributors. A complete line of related components and trim accessories

5. INSTALLATION

Installation is with direct fastening methods. Contact ATAS technical service advisors for more information, including details and installation seminars.

Load Tables available upon request.

Field Tested and Approved.

Coil Coating: ASTM A 755

Copper: ASTM B 370

Aluminum: ASTM B 209

55% Al-Zn Coated Steel: ASTM A 792

Galvanized Steel: ASTM A 653

ATAS for current listing.

See www.ul.com, File R12113, or contact UL Fire resistance rating design numbers:

Panel testing/ratings:

AAMA 2605 when applied to aluminum.

Organic coatings meet requirements of ASTM D 1308, Procedure 7.2

Alkali Resistance, Sodium Hydroxide: Cure Test, MEK Resistance: ASTM D 5402

Chalking Resistance – ASTM D 4214

Cleveland Condensing Cabinet: ASTM D 4585

Color Retention, Florida Exposure: ASTM D 2244

Accelerated Weathering: ASTM D 822 and ASTM G 23, ASTM G 151 or ASTM G 153

Humidity Resistance: ASTM D 2247

Cyclic Salt Spray: ASTM D 5894 and ASTM D 5487

Salt Spray: ASTM B 117

ASTM G 87 or DIN 50018

Acid Rain Resistance (Kesternich): ASTM D 1308

Adhesion: ASTM D 3359

Water Immersion Resistance: ASTM D 870

Adhesion: ASTM D 3359

Impact Resistance: ASTM D 2794

Mandel Bend Flexibility: ASTM D 522

T-Bend Flexibility: ASTM D 4145

Pencil Hardness: ASTM D 3363

Specular Gloss: ASTM D 523

D 5796

D 1400, ASTM D 4138 or ASTM

Dry Film Thickness: ASTM D 1005, ASTM

supplier for:

PVDF based finishes tested by paint

KYNAR® 500 PVDF or HYLAR® 5000

is available to complete the wall system. In addition, a complete line of rainware and perimeter roof edge trims can be supplied by ATAS to complement the wall system. Flat sheet and/or coil stock is available in matching color for fabrication of related components by the installing contractor. Contact ATAS product distributors for current pricing.

7. WARRANTY

The fluoropolymer, KYNAR® 500 PVDF or HYLAR® 5000 PVDF finish carries a thirty (30) year limited warranty against chipping, cracking, peeling, fading and fading.

8. MAINTENANCE

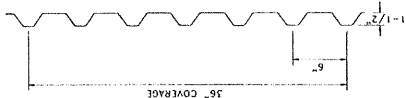
The BWK360 panel is virtually maintenance free. Surface residue may be easily removed by conventional cleaning methods. Minor scratches may be touched up with a matching paint, available from the manufacturer.

9. TECHNICAL SERVICES

Complete technical information and literature are available from ATAS International, Inc. ATAS will assist with design ideas and shop drawings.

10. FILING SYSTEM

• Sweet's Catalog
 • Sweet's CD
 • www.atas.com
 • Additional product information is available from the manufacturer upon request.



B. Bituminous Coating: Cold-applied asphalt mastic, SSPC-Paint 12, compounded for 15-mil dry film thickness per coat. Provide inert-type noncorrosive compound free of asbestos fibers, sulfur components, and other deleterious impurities.

2.04 EXPOSED-FASTENER, LAP-SEAM METAL WALL PANELS

A. General: Provide factory-formed metal wall panels designed to be field assembled by lapping side edges of adjacent panels and mechanically attaching panels to supports using exposed fasteners in side laps.

B. Tapered-Rib-Profile, Exposed-Fastener Metal Wall Panels: Formed with raised, trapezoidal major ribs and flat pan between major ribs.
 1. Product: Belvedere Series, Short Rib Panel, Model BWK360; ATAS International, Inc.
 2. Material: Aluminum-zinc alloy-coated steel sheet, 0.0269 inch thick (24 gage) minimum, uncoated metal thickness.
 a. Exterior Finish: Fluoropolymer.
 b. Color: As selected by Architect from manufacturer's full range.
 3. Major-Rib Spacing: 6 inches o.c.
 4. Panel Coverage: 36 inches.
 5. Panel Height: 1.5 inches.

2.05 ACCESSORIES

A. Wall Panel Accessories: Provide components required for a complete metal wall panel assembly including corner units, clips, and similar items. Match material and finish of metal wall panels, unless otherwise indicated.

2.06 FABRICATION

A. General: Fabricate and finish metal wall panels and accessories at the factory to greatest extent possible, by manufacturer's standard procedures and processes, as necessary to fulfill indicated performance requirements demonstrated by laboratory testing. Comply with indicated profiles and with dimensional and structural requirements.
 1. Form panel lines, breaks, and angles to be sharp and true, with surfaces free from warp and buckle.

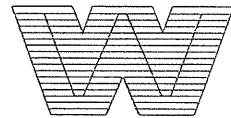
B. Provide panel profile, including major ribs and intermediate stiffening ribs, if any, for full length of panel.

C. Sheet Metal Accessories: Fabricate flashing and trim to comply with recommendations in SMACNA's "Architectural Sheet Metal Manual" that apply to the design, dimensions, metal, and other characteristics of item indicated.
 1. Form exposed sheet metal accessories that are without excessive oil canning, buckling, and tool marks and that are true to line and levels indicated, with exposed edges folded back to form hems.

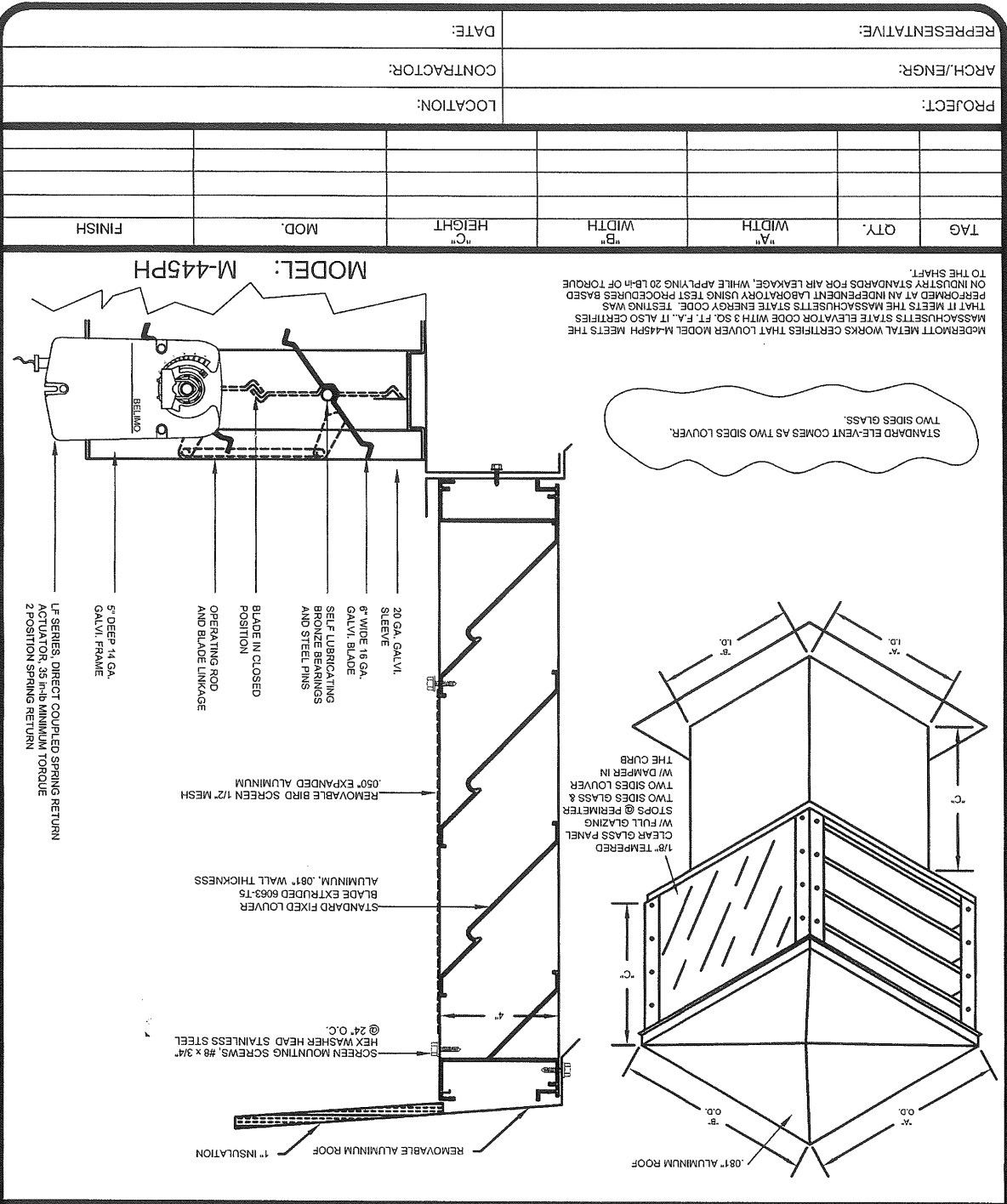
2.07 FINISHES, GENERAL

A. Comply with NAAMM's "Metal Finishes Manual for Architectural and Metal Products" for recommendations for applying and designating finishes.
 B. Protect mechanical and painted finishes on exposed surfaces from damage by applying a stripable, temporary protective covering before shipping.

METAL WALL PANELS



McDERMOTT METAL WORKS CORP.
 20 PATTERSON BROOK ROAD WEST WARHAM, MA
 (508) 295-9533 (800) 828-VENT (FAX) 295-9534



Spec submitted 11/9/08

FLORENCE HOUSE
GTA #100405

- 5. Overall Height: 27 inches.
- 6. Overall Depth: 25-1/2 inches.
- 7. Mounting Method: In-ground.
- 8. Product: Bench Model No. GN430P; Wabash Valley Manufacturing, Inc.
- C. Steel Finish: Galvanized and PVC-color coated.
- 1. Color: As selected by Architect from manufacturer's full range.

2.02 BICYCLE RACKS

- A. Product: Model 2170-7-E-G; Columbia Cascade Company.
- B. Bicycle Rack Construction:
 - 1. Frame: Steel.
 - a. Pipe OD: Not less than 2-3/8 inches.
 - 2. Style: Double-side parking.
 - a. Overall Height: 3 feet.
 - b. Capacity: Designed to accommodate no fewer than eleven bicycles.
 - 3. Security: Designed to lock wheel and frame.
 - 4. Installation Method: Cast in concrete.

- C. Steel Finish: Color coated.
- 1. Color: As selected by Architect from manufacturer's full range.

2.03 TRASH AND ASH RECEPTACLES

- A. Steel Facing Surrounds: Perforated-steel sheet.
- B. Support Frames: Galvanized steel; welded.

- C. Trash Receptacles:
 - 1. Receptacle Shape and Form: Round cylinder.
 - 2. Lids and Tops: Steel secured by cable or chain, hinged, swiveled, or permanently secured.
 - a. Description: Flat rim ring lid with inward slope and center opening.
 - 3. Receptacle Height: 33-1/8 inches.
 - 4. Overall Height: 38-1/8 inches.
 - 5. Overall Size: 25-3/8 inches outside diameter.
 - 6. Weight: 85 lbs.
 - 7. Disposable Liners: Provide receptacle designed to accommodate disposable liners.
 - 8. Capacity: Not less than 32 gal.
 - 9. Post Mount: Galvanized steel pipe; for mounting one receptacle(s).
 - 10. Product: Trash Receptacle Model No. LR300P with mounting post Model No. LR100N and Flat Top Lid No. FT110N; Wabash Valley Manufacturing, Inc.

- D. Ash Receptacles:
 - 1. Receptacle Shape and Form: Round cylinder.
 - 2. Ash Receptacle Function: Uncovered receptacle with sand pan for depositing cigarette butts; fire-proof design; bowl and pan removable for cleaning; stainless steel fasteners.
 - 3. Overall Size: 13-3/4 inches diameter.
 - 4. Weight: 35 lbs.
 - 5. Post Mount: Galvanized structural steel tubing.
 - 6. Product: Ash Receptacle Model No. AT100P with mounting post Model No. AU105N; Wabash Valley Manufacturing, Inc.

SITE FURNISHINGS AND FIXTURES

02870 - 2

From: Jean Fraser
To: DiPiero, Phillip; Schmuackal, Marge
Date: 12/15/2008 4:52:11 PM
Subject: Fwd: Florence House Building Permit

FYI

>>> Jean Fraser 12/15/2008 4:51:05 PM >>>
Deb,

It appears that no building permit application has been submitted to the third floor Inspections Office.

Just want to be sure that your team is aware that the Building Permit process will take awhile because of the blasting required and the scale of the building - therefore if you are working to a tight timetable it is best to get that process started asap. You could ask for a delay on making some of the payments if there are supporting reasons.

I appreciate there may be other issues affecting the timetable but the last I had heard from you was a closing on Dec 18th and that a BP was needed for that.....so just trying to anticipate coordination on all of the paperwork at our end.

Jean

Jean Fraser
Planner, City of Portland
874 8728

September 23, 2008

Ms. Jean Fraser, Planner
Portland Planning Department
389 Congress Street, 4th Floor
Portland, Maine 04101

**RE: Florence House
Conditions of Approval**

Dear Jean:

Mitchell & Associates, on behalf of Avesta Florence House L.P., Florence House Housing Corporation (FHHC) and Florence House Condominium Association, submits the following additional information to address Conditions of Approval for Subdivision and Site Plan standards for the Florence House project. The following are responses to your letter dated September 12, 2008.

Planting Plan
The City Arborist has reviewed the plans and details submitted 8.12.2008 and confirms they are acceptable in respect of this condition. However, it is noted that the Landscape Plan (originally Sheet 5, now L102) has been revised to incorporate a greater percentage of native species. Jeff Tarling has also reviewed these revisions and all are acceptable except that the Armstrong Freeman Maple (keyed as "Act") should be 2.5 inches caliper. Please confirm this revision in writing.

○ Please see attached Planting Plan and Plant Schedule, Sheet L102, which revises the specified size of the Armstrong Freeman Maple to 2.5 inch caliper.

Lighting
We remain concerned about three aspects of the photometric plan submitted with your letter of 9.3.2008:

a. The parking lot average is .99 foot candles and the City's standard is 1.25 foot candles. The photometric plan shown to the Planning Board showed the average for the parking lot as 1.51 foot candles.

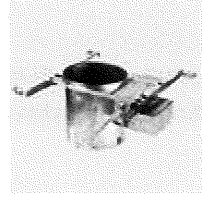
- A light fixture, which had been at the base of the retaining wall during the approval process, has been relocated to the southeastern planting island along the parking lot. All light fixtures in this lower parking lot have a mounting height of 18 feet and are 175 watt metal halide. Fixtures along the residential housing include house side shields. The average illumination for the parking lot has been increased to 1.34 foot candles to meet the City standard. Please see attached Lighting-Photometrics Plan, Sheet L401.

- b. There is a "hot spot" of 7.7 foot candles (City standard is 5 foot candles maximum) near the southern-most building mounted light on the Valley Street elevation. While a waiver in this location could be considered, the question is whether this lighting level reflects the proposed light over the indicative sign on that elevation or not. If not, any sign lighting would add to the overall lighting level and exceed the standard substantially.

- The light fixtures along the front of the building on Valley Street have been reduced in wattage from 175 to 100 watt metal halide. This decrease in wattage brings lighting below the 5 foot candle maximum City standard. Please see attached Lighting-Photometrics Plan, Sheet L401.

- c. Will there be any lighting incorporated into the canopy over the main entrance?

- Lighting is proposed within canopy over entrances. This lighting would have minimal affect on lighting levels being a 26 watt compact fluorescent lamp which is directed straight down. Please see the below information.



Progress Lighting, Inc. P83-26ICAT
Progress P83-26ICAT - 6 Recessed Housing
Progress Lighting, Inc. Fluorescent Housings, Dimensions: -
120V NPF electronic ballast
Energy Star rated

- One 4-pin triple tube or spiral tube 26w compact fluorescent lamp vertically oriented
- Spans 24 T-bar spacing
- Can be installed in ceilings from 1/2 to 2-1/2 thick
- UL-CUL listed for damp locations
- Complies with California Title 24 legislation
- Meets Washington State energy code requirements
- Ceiling opening: 6-7/8
- Plaster frame: 7-7/8

Submissions

Please see the attached plans:

- Plans, 2 full sized and one 11x17
 - Sheet L102 (Formerly Sheet 5) – Planting Plan & Plant Schedule
 - Sheet L401 (Formerly Sheet 16) - Lighting- Photometrics Plan
- Subdivision Plat Mylar

Should you have any questions or require additional information for meeting the conditions of approval, please feel free contact me.

Sincerely,

Mitchell & Associates



Betsy Melrose

Enclosure

cc.

Deb Keller – Avesta Housing

Rebecca Dillon – Gawron Turgeon Architects

RECEIVED

SEP 23 2008

City of Portland
Planning Division

September 23, 2008

Ms. Jean Fraser, Planner
Portland Planning Department
389 Congress Street, 4th Floor
Portland, Maine 04101

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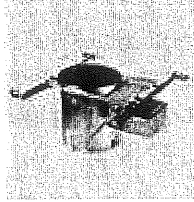
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Progress Lighting, Inc. Fluorescent Housings, Dimensions: -



- 120V NPF electronic ballast
- Energy Star rated
- One 4-pin triple tube or spiral tube 26w compact fluorescent lamp vertically oriented
- Spans 24 T-bar spacing
- Can be installed in ceilings from 1/2 to 2-1/2 thick
- UL-CUL listed for damp locations
- Complies with California Title 24 legislation
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Betsy Melrose
Betsy Melrose

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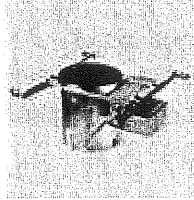
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Mitchell & Associates

Betsy Melrose

Enclosure

cc. Deb Keller – Avesta Housing
Rebecca Dillon – Gawron Turgeon Architects

**CITY OF PORTLAND, MAINE
PLANNING BOARD**

Michael J. Patterson, Chair
Janice E. Tevastian, Vice Chair
Thatcher Freund
Bill Hall
Lee Lowry III
Shalom Odokara
David Silk

November 9, 2007

Avesta Florence House LP; Florence House Housing Corporation
(FHH); Florence House Condominium Association
C/O Debora Keller
Development Officer
Avesta Housing
307 Cumberland Avenue
Portland, ME, 04101

**RE: Florence House
Vicinity of 190 Valley Street, Portland
CBL: 68-A-11 and 64-F-20
Application ID: Rezoning #1139
Site Plan/Subdivision #2007-0156**

Dear Ms Keller and Mr Mitchell:

On September 17th, 2007, the City Council adopted a Conditional Rezoning of 190 Valley Street. A copy of the City Council Motion and Conditional Zone Agreement are included as Attachments 1 and 2.
October 23rd, 2007, the Portland Planning Board considered the Florence House proposed subdivision/site plan for 190 Valley Street: a 31,272 sq. ft. residential building of 3 stories plus a partial daylight basement, comprising 25 studio apartments, 15 safe haven units and a maximum of 25 emergency shelter beds along with other accommodation, support facilities, parking, drop off area, and landscaping. The Planning Board voted 5-0 to approve the following motions regarding the proposed Florence House project:
On the basis of plans and materials submitted by the applicant and on the basis of information contained in Planning Board Report #47-07 relevant to standards for subdivision and site plan regulations, and other findings as follows:

- i. That the plan is in conformance with the subdivision standards of the land use code with the following conditions of approval:
 - i. That the final recording subdivision plat will be completed to the satisfaction of the Corporation Counsel and include a list of any conditions imposed by the Planning Board, and will be submitted for the Planning Board's Signature; and
 - ii. That the applicant shall receive approval of its Condominium Documents and the issuance of a License from the City for uses within the right of way, through the City's Corporation Counsel office; and

Lowry + Silk recessed

PB recommended # 8.14.07
GZA
4-0 (Lowry + Silk recessed)
Tevastian absent

- iii. That the developer shall contribute \$3000 towards the City's Street Tree Program to cover the cost of purchasing and planting fifteen (15) street trees in the vicinity of the project (based on the provision of one tree per unit less the cost of the ten (10) trees along Valley Street to be planted as part of the project). The contribution shall be provided prior to issuance of a Building Permit.

2. That the plan is in conformance with the site plan standards of the land use code with the following conditions of approval.

- i. That the applicant shall make a \$5,000 contribution to the City, prior to the issuance of a Building Permit, towards the implementation of traffic calming improvements on Valley Street between Congress Street and Commercial Street; and
- ii. That the applicant shall ensure that the approved Management Plan contained in this Report is forwarded to all those responsible for the building and its operation, and shall facilitate adherence to that Plan; and
- iii. That the applicant shall submit for review and approval by the Planning Authority, prior to the issuance of a Certificate of Occupancy, the location, size and design details of all signage; and
- iv. That the applicant shall submit for review and approval by the Planning Authority, prior to the issuance of a Building Permit, the details, size, specifications and materials of the trim boards, window trim and cornice (which should be dimensional stock), awnings and segmental blocks; and
- v. That the applicant should adhere to the arboricultural practices shown on the submitted letters, plans and details and those outlined in the comments from the City Arborist of 10.18.2007 to protect the large Silver Maple tree in the rear yard of 213 St John Street. If during the first 2 years from Certificate of Occupancy this tree becomes unstable due to root loss or other construction damage related to the project, the applicant shall be responsible for pruning, removal and replacement of the tree if necessary and agreed with the owner. If removal and replacement is necessary, the replacement tree should be of 3 inch caliper of the same species (or other species as agreed with the owner); and
- vi. That the applicant shall submit for review and approval by the Planning Authority, prior to the issuance of a Building Permit, details, catalog cuts and illumination information regarding the proposed wall-mounted lights on the Valley Street elevation; and
- vii. That the applicant shall brick over the entire island (in the pull-off right-of-way) to match the sidewalk in the event the planted portion becomes unsightly; and
- viii. That the applicant continue to work with the City's Urban Designer to refine the architecture to better align the windows to create a more unified design and to mitigate the blank wall facing the St John Street abutters; and
- ix. That the applicant shall submit for review and approval by Urban Designer Marsh, prior to the issuance of a Building Permit, the design, materials and specifications for screening the rooftop appurtenances; and
- x. That the applicant shall meet the noise standards of the Portland City Code and shall mitigate violations thereof.

The approval is based on the submitted site plan and subdivision plat and the findings related to site plan and subdivision review standards as contained in Planning Board Report #47-07 (attached as Attachment 3).

Please note the following provisions and requirements for all subdivision and site plan approvals:

1. Updated plans (seven sets) meeting the Planning Board's conditions of approval must be submitted for review and approval by the Planning Office prior to the issuance of any permits. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

2. The above approvals do not constitute approval of building plans, which must be reviewed and approved by Portland's Inspection Division.

3. Mylar copies of the construction drawing for the subdivision must be submitted to the Public Works Department prior to the release of the plat. Final sets of plans shall be submitted digitally to the Planning division on a CD or DVD, in AutoCAD format (*.dwg), release Autocad 2005 or greater.

4. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount must be submitted to and approved by the Planning Division and Public Works prior to the recording of the subdivision plat and prior to the release of the building permit. The subdivision approval is valid for three (3) years.

5. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.

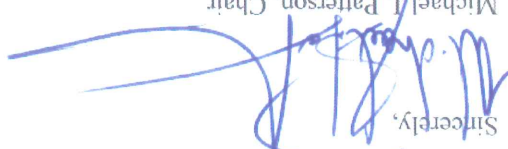
6. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.

7. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Works representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.

8. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Jean Fraser at 874-8728.

Sincerely,

Michael J. Patterson, Chair
Portland Planning Board

- Attachments:
1. City Council Motion
 2. Conditional Zone Agreement
 3. Planning Board Report #47-07 and Addendum #1 (text only)
 4. City Arborist comments of 10.18.2007 and submitted Tree Preservation Guidelines
 5. Approved Management Plan

Electronic Distribution:

- cc: Lee D. Urban, Planning and Development Department Director
 Alexander Jaegerman, Planning Division Director
 Barbara Barhydt, Development Review Services Manager
 Jean Fraser, Planner
 Philip DiPietro, Development Review Coordinator
 Marge Schmuckal, Zoning Administrator
 Michael Bobinsky, Public Works Director
 Jeanie Bourke, Inspections Division
 Katherine Earley, Public Works
 Bill Clark, Public works
 Jim Carmody, Transportation Manager
 Michael Farmer, Public Works
 Jeff Tarling, City Arborist
 Captain Greg Cass, Fire Prevention
 Assessor's Office
 Approval Letter File

IN COUNCIL REGULAR MEETING SEPT. 17, 2007 VOL. 124 PAGE 23

ROLL CALL:

Mayor Mavodones called the meeting to order at 7:02 P.M. Councilor Cohen arrived during announcements. Councilor Duson arrived after Proclamation 10.

APPROVAL OF MINUTES OF PREVIOUS MEETING:

Motion was made by Councilor Suslovic and seconded by Councilor Donoghue to approve the minutes of the 9/5/07 meeting. Passage 7-0.

ANNOUNCEMENTS:

RECOGNITIONS:

State Proclamation Honoring Deering High School Boys' Baseball Team as 2007 Class A State Champions – Presented by State Representative Anne Haskell.

State Proclamation Honoring Longfellow School's Odyssey of the Mind Team Presented by State Representative Anne Haskell.

PROCLAMATIONS:

Proc 10-07/08 Honoring Longfellow School's Odyssey of the Mind Team – Sponsored by Mayor Nicholas M. Mavodones, Jr.

Proc 11-07/08 Honoring Dr. Kolarowic Bankole as Employee of the Month for September 2007 - Sponsored by Mayor Nicholas M. Mavodones, Jr.

Proc 12-07/08 Honoring Officer Robert Bickford as Officer of the Month for August 2007 -- Sponsored by Mayor Nicholas M. Mavodones, Jr.

Proc 13-07/08 Recognizing Save Darfur Day of Remembrance September 22, 2007 - Sponsored by Mayor Nicholas M. Mavodones, Jr.

APPOINTMENTS:

Order 51-07/08 Making Appointments to Various Boards and Committees - Sponsored by the Appointments and Non-Union Personnel Committee, Councilor Cheryl A. Leeman, Chair.

Motion was made by Councilor Leeman and seconded by Councilor Cohen for passage. Passage 9-0.

IN COUNCIL REGULAR MEETING SEPT. 17, 2007 VOL. 124 PAGE 24

Order 52-07/08 Appointing Member to Business Diversity Task Force -- Sponsored by Councilor David A. Marshall.

CONSENT ITEMS:

Motion was made by Councilor Marshall and seconded by Councilor Duson for passage. Passage 9-0.

Order 53-07/08

Accepting Donations to the City's Tree Trust to Replace Trees Destroyed by the Patriots' Day Storm and Recognize Donors - Sponsored by Councilor Cheryl A. Leeman.

Order 54-07/08

Amending Traffic Schedule Re: Installation of Parking Meters: Chestnut Street, Forest Avenue, Hancock Street, Marginal Way, Spring Street, and Thames Street - Sponsored by the Transportation Committee, Councilor Kevin J. Donoghue, Chair.

Order 55-07/08

Accepting Drainage Easement Vicinity: Dorothy Street from W & C Limited Liability Company - Sponsored by Joseph E. Gray, Jr., City Manager.

Order 56-07/08

Accepting Land Vicinity: Dorothy Street from W & C Limited Liability Company Sponsored by Joseph E. Gray, Jr., City Manager.

Order 57-07/08

Accepting Forrestal Memorial Collection of Artifacts Re: the USS Portland and USS Maine - Sponsored by Joseph E. Gray, Jr., City Manager.

Motion was made by Councilor Cloutier and seconded by Councilor Marshall for passage of the Consent Calendar. Passage 9-0.

LICENSES:

Order 58-07/08

Granting Municipal Officer's Approval of Acropolis I, LLC, d/b/a Acropolis, at 795 Forest Avenue. Application for Class I Restaurant with Liquor and Entertainment without Dance License. Entertainment Restricted to Inside Only. Outside Dining - Sponsored by Linda C. Cohen, City Clerk.

Motion was made by Councilor Marshall and seconded by Councilor Carr for passage. Passage 9-0.

IN COUNCIL REGULAR MEETING SEPT. 17, 2007 VOL. 124 PAGE 25

Order 59-07/08

Granting Municipal Officer's Approval of The Meritline Co., Inc., d/b/a Bleachers, 114-118 Preble Street, Catering for Skillful Vending's 30th Anniversary Block Party. Application to Serve Beer at Special Event on Alder Street on September 29, 2007, from 1:00 P.M. to 6:00 P.M. Sponsored by Linda C. Cohen, City Clerk.

Motion was made by Councilor Cloutier and seconded by Councilor Suslovic to

withdraw this item at the applicant's request. Passage 9-0.

BUDGET ITEMS:

COMMUNICATIONS:

Com 1-07/08
Re: Reuse of the Adams School Site Final Draft Report Sponsored by
Councilor Kevin J. Donoghue on Behalf of Dan Haley and Matt Thayer, Co-
chairs, Adams School Reuse Committee.

RESOLUTIONS:

UNFINISHED BUSINESS:

Order 50-07/08 was taken out of order.

Order 50-07/08

Amendment to City Code §14-49 (Zoning Map Amendment) Re: Conditional
Rezoning for Property in the Vicinity of Valley and St. John Streets – Sponsored
by the Planning Board, Michael J. Patterson, Chair. Given first reading on
9/5/07.

Motion was made by Councilor Marshall and seconded by Councilor Suslovic for
passage. Passage 9-0.

Councilor Cohen said he would recuse himself from participation in Orders 42
and 42A-07/08.

Order 42-07/08

Authorizing City Manager to Enter into Negotiations with Ocean Properties,
LTD. Regarding the Lease and Redevelopment of the Maine State Pier –
Sponsored by the Community Development Committee, Councilor James H.
Cloutier, Chair. Public hearing held on 8/20/07. Postponed on 9/5/07.

Motion was made by Councilor Cloutier and seconded by Councilor Duson for
passage.

IN COUNCIL REGULAR MEETING SEPT. 17, 2007 VOL. 124 PAGE 26

Motion was made by Councilor Cloutier and seconded by Councilor Duson to
amend the order by adding "as long as the following condition is met: Upon
commencement of negotiations, Ocean Properties shall place \$10 Million in an
escrow account to be released to the City if Ocean Properties does not enter into a
contract with the City for the development of the pier. Upon signing a contract
with the City, the \$10 Million in escrow may be replaced by a performance
guarantee for the entire project, including pier repairs, and released to Ocean
Properties." Withdrawn.

Motion was made by Councilor Suslovic and seconded by Councilor Cloutier to
postpone this item for 45 days to allow the developer to address issues related to
the construction of a megabit. Failed 1-7 (Mavodones, Cloutier, Lecman,

Duson, Carr, Marshall, Donoghue).

4-4 (Lecman, Suslovic, Marshall, Donoghue). Item comes back to the next meeting.

Order 42A-07/08 Authorizing the City Manager to Enter into Negotiations with the Olympia Companies Regarding the Lease and Redevelopment of the Maine State Pier Sponsored by Councilor David A. Marshall. Postponed on 9/5/07.
Motion was made by Councilor Cloutier and seconded by Councilor Marshall for passage. 4-4 (Mavodons, Cloutier, Duson, Carr). Item comes back to the next meeting.

PUBLIC HEARINGS:

ORDERS:

AMENDMENTS:

Order 60-07/08 Amendment to Portland City Code Chapter 28, Traffic and Motor Vehicles (City Traffic Engineer) Re: Regulatory Powers - Sponsored by the Transportation Committee - Councilor Kevin J. Donoghue, Chair. First reading.

Order 61-07/08 Amendment to Portland City Code Chapter 14, Article III, Zoning: Division 23, Nonconforming Use and Nonconforming Buildings §14-385 - Sponsored by Councilor David A. Marshall. First reading.

Motion was made by Councilor Cloutier and seconded by Councilor Suslovic to waive the rules to add an item to the agenda. Passage 8-0 (Cohen gone).

IN COUNCIL REGULAR MEETING SEPT. 17, 2007 VOL. 124 PAGE 27

Councilor Marshall said he would recuse himself from participating in Order 62-07/08.

Order 62-07/08 Supporting Designation of Area in the Vicinity of Cassidy Point for Memorial to P.D. Merrill - Sponsored by Joseph B. Gray, Jr., City Manager.

Motion was made by Councilor Cloutier and seconded by Councilor Suslovic for passage.

Motion was made by Councilor Donoghue and seconded by Councilor Duson to postpone this item to the next meeting. Passage 6-0 (Lecman gone).

LICENSE RENEWALS:

Motion was made by Councilor Donoghue and seconded by Councilor Carr to adjourn. Passage 6-0, 1:46 P.M.

A TRUE COPY.

ATTEST

Linda C. Cohen, MMC, City Clerk

WHEREAS, Owner has acquired land and buildings located at 190 Valley Street in Portland, consisting of parcels shown on City of Portland Tax Map 64, Block F, Lot 20 and Tax Map 68, Block A, Lot 11, and more particularly described in a deed from C & D Associates dated _____, 2007 and recorded in the Cumberland County Registry of Deeds in Book _____, Page _____ (collectively the "Property"); and

W I T N E S S E T H

AGREEMENT made this _____ day of _____, 2007 by AVESTA FLORENCE HOUSE LP, a Maine limited partnership with a place of business in Portland, Maine ("Florence House"), FLORENCE HOUSE HOUSING CORPORATION, a Maine nonprofit corporation with a place of business in Portland, Maine, and each of their successors and assigns ("FHHC") and FLORENCE HOUSE CONDOMINIUM ASSOCIATION, a Maine nonprofit corporation (the "Association"; the Association, FHHC and Florence House are sometimes collectively called "Owner")

AVESTA FLORENCE HOUSE LP, FLORENCE HOUSE HOUSING CORPORATION AND FLORENCE HOUSE CONDOMINIUM ASSOCIATION

CONDITIONAL ZONE AGREEMENT

ORDERED, that the Zoning Map of the City of Portland, dated December 2000 as amended and on file in the Department of Planning & Development, and incorporated by reference into the Zoning Ordinance by Sec. 14-49 of the Portland City Code, is hereby amended to reflect a conditional rezoning as detailed below.

**ORDER AUTHORIZING AMENDMENT TO CITY CODE
SEC. 14-49 (ZONING MAP AMENDMENT)
RE: CONDITIONAL REZONING FOR PROPERTY
IN THE VICINITY OF
VALLEY AND ST. JOHN STREET**

JAMES L. COHEN (S)
JAMES F. STONIC (A/L)
JAMES F. CLOUTIER (A/L)
JILL C. DRISCOLL (A/L)

CITY OF PORTLAND
IN THE CITY COUNCIL

NICHOLAS M. MAVOJONES (MAYOR) (A)
KEVIN J. DONOGHUE (L)
DAVID A. MARSHALL (2)
DONNA L. CARR (3)
CHRISTY A. FLEEMAN (4)

Order 50-07/08
Given first reading: 9/5/07
Public Hearing & Passage 9/17/07 9-0

WHEREAS, Owner intends to create a condominium within the proposed building to be built on the Property, which will consist of two units, as more particularly described in this Agreement, and the Association will be responsible for certain maintenance obligations as set forth in this Agreement; and

WHEREAS, Owner has requested a rezoning of the Property in order to permit the development of the project described in this Agreement within each unit of the condominium to be created by Owner; and

WHEREAS, Owner's funding sources require that each of the two condominium units be held in separate ownership; and

WHEREAS, the Portland City Council has determined the rezoning and proposed development would provide needed housing in the City for low income individuals as is consistent with the housing component of the Comprehensive Plan, and would not negatively impact the surrounding business and residential community; and

WHEREAS, the Portland City Council, pursuant to 30-A M.R.S.A. § 4352(8) and Portland City Land Use Code (the "Code") §§ 14-60 to 14-62, and after notice and hearing and due deliberation thereon, recommended the rezoning of the Property as aforesaid, subject, however, to the conditions set forth in this Agreement; and

WHEREAS, the City Council (the "City") has determined that because of the unusual nature and unique location of the proposed development it is necessary and appropriate to impose by agreement the following conditions and restrictions in order to ensure that the rezoning is consistent with the City's comprehensive land use plan; and

WHEREAS, the City Council has on _____, 2007 approved this Agreement in its entirety, by City Council Order No. _____, a true copy of which is attached hereto as Attachment 1 (the "Order");

NOW, THEREFORE, in consideration of the rezoning, Owner covenants and agrees as follows:

Pursuant to the Order, the City shall amend the Zoning Map of the City of Portland, dated _____, 2007 (as amended from time to time and on file in the Department of Planning and Urban Development, and incorporated by reference into the Zoning Ordinance by § 14-49 of the Code) by adopting the map change amendment shown below. If this Agreement is not recorded within sixty days after the date of the approval of the Order, then the conditional rezoning shall become null and void and the zoning of the Property shall revert to the pre-existing B-2 zone.

ii. On the basement level of the building, two offices, a conference room, an employee lounge, an open office area, three storage and three mechanical/maintenance rooms and a bicycle storage closet, all as shown on the floor plans attached hereto as Attachment 2. The facilities in the basement of the building shall be used for providing services to the residents of Units 1 and 2 but not to the

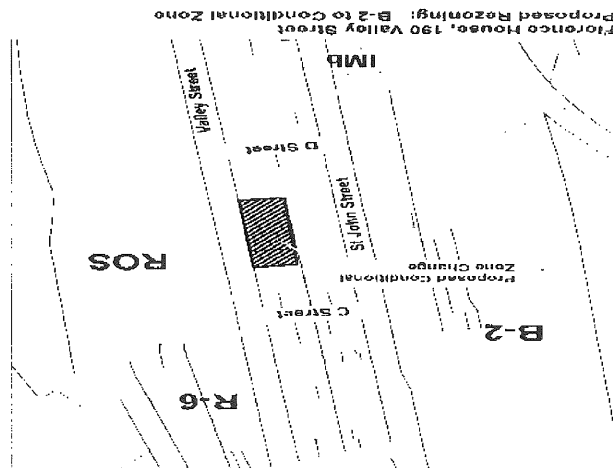
all as shown on the floor plans attached hereto as Attachment 3.

3. three offices
2. laundry, kitchen and pantry as labeled; and
1. maximum capacity of 40 beds (up to 25 emergency shelter beds and 15 safe haven beds) for women only. For purposes of this Agreement, the term "emergency shelter" has the meaning given to it in Section 14-47 of the Code, and the term "safe haven" means a facility or space providing semi-private accommodations with shared washroom facilities, with meals provided, for individuals with special needs (such as but not limited to individuals who are or were formerly homeless and/or are suffering from mental illness, substance abuse or other disability), with appropriate levels of social services provided to the residents of the safe haven;

i. On the first floor of the building:

a. Unit 1 of the Condominium shall consist of the following uses which are permitted under and subject to this Agreement:

The building to be built on the Property is being developed as a two-unit condominium, to be called Florence House Condominium (the "Condominium").



general public. Any residential use within the basement of the building is strictly prohibited.

b. Unit 2 of the Condominium shall consist of the following uses which are permitted under and subject to this Agreement:

- i. Up to twenty-five affordable rental efficiency apartments (twelve on floor 2 and thirteen on floor 3) for women only on the second and third floors of the building ("Unit 2") as shown on the floor plans attached hereto as Attachments 4 and 5.

- ii. One office, a community room and a community kitchen on the second floor, all as shown on the floor plans attached hereto as Attachment 4. All uses described in this subsection (ii) shall be for providing services to the residents of Units 1 and 2 but not to the general public.

- iii. One office, a laundry and a storage area on the third floor, all as shown on the floor plans attached hereto as Attachment 5. All uses described in this subsection (iii) shall be for providing services to the residents of Units 1 and 2 but not to the general public.

Unit 1 shall be owned by FHHC or an entity wholly owned by or affiliated with Avesta Housing Development Corporation, a Maine nonprofit corporation ("Avesta"), and Unit 2 shall be owned by Avesta Florence House LP. The Association shall have and fulfill the responsibilities set forth in the Maine Condominium Act, 33, M.R.S.A. Section 1601-101 et seq. Each of FHHC and Florence House shall retain sole discretion as to what level of social services to provide to the residents of Units 1 and 2, respectively. At minimum, however, there shall be adequate, on-site, awake staff, consisting of not less than three persons, providing security for and supervision of residents of both Units 1 and 2 twenty four hours a day, seven days a week.

Except as limited in Section 12 of this Agreement, execution of this Agreement binds FHHC, Florence House and the Association and their respective successors and assigns to the terms of this Agreement.

Any change in ownership of either Unit 1 or Unit 2 shall be brought to the Planning Board for its review and approval, but this requirement shall not apply (i) with respect to Unit 1 so long as the transfer is to an entity that is either affiliated with or wholly owned by Avesta, provided notice of any such change is provided to the Planning Department in advance of such change, or (ii) to the granting of mortgages or other security interest by Owner or to the enforcement by the mortgages of their rights under such mortgages.

5. The Association shall be responsible for ongoing maintenance of the Property, including snowplowing, salting, sanding, sweeping, lighting, trash pickup (at

- 1. 11 foot setback for basement and first floor for a distance of 50 feet as shown on Attachment 10;
- b. Minimum rear yard: 11 feet as follows:
 - a. Occupancy and Density: Maximum occupancy (not including staff) and density shall be no more than 40 beds for women only on the first floor including up to 25 emergency shelter beds and 15 safe haven beds; and up to twenty five affordable rental efficiency apartments on the second and third floors, with associated ancillary service space as detailed in paragraph 2, above.

B-2:

- 9. Space and Bulk Requirements. The following space and bulk requirements shall apply to the Property:
 - 8. The Planning Board shall review and approve the development of the building according to the site plan and subdivision provisions of the Code.
 - 7. The Property will be developed substantially in accordance with the Site Plan, including but not limited to elevations, floor plans, roof plans and height depictions, shown on Attachments 2 through 9 submitted by Mitchell and Associates dated _____, 2007.
 - 6. A Management Plan, containing, at minimum the following specific categories of control (Responsibilities, Staffing, Access Restrictions, Surveillance including functional surveillance cameras, Safety measures, Control of behaviors, Control of noise levels, and Monitoring reports) shall be submitted to the City for review and approval prior to site plan approval. Thereafter the Management Plan shall be implemented and enforced by the Association. Compliance review with respect to the Management Plan shall be performed by the City on a quarterly basis during the first year after issuance of a certificate of occupancy and at least annually thereafter, or as otherwise requested by the City, to ensure the effectiveness of such plan to protect the health, safety and welfare of the residents and the City as a whole. This Management Plan is subject to periodic updating, upon demand by the City, should it be determined by the City that the Management Plan in place is ineffective or as otherwise reasonably necessary to achieve its purposes. By virtue of this Agreement, the Association agrees to and shall be bound to amend, fund and implement the Management Plan. Should the Association fail to fulfill this obligation, FHHC and Florence House and their respective successors and assigns shall be responsible for the amendment, funding and implementing of such plan.
- least weekly) by a private contractor, mowing, etc. If the Association fails to satisfy its obligations under this Section, after written notice and a reasonable opportunity to cure, then FHHC and Florence House and their respective successors and assigns shall be jointly and severally liable for performance of the obligations set forth in this Section.

c.	Minimum side yard on northerly property line:	5 feet
d.	Maximum lot coverage:	40%
e.	Minimum front yard:	none required
f.	Open space ratio:	26 %
g.	Parking requirements:	Unit 1: 9 parking spaces. Unit 2: 7 parking spaces.

- i. 11 foot setback for second and third floors for a distance of 21 feet as shown on Attachment 10;
 - ii. 14 foot setback for second and third floors for a distance of 8 feet as shown on Attachment 10;
 - iii. 47 foot setback for remaining portion of the building as shown on Attachment 10.
- b. Minimum rear yard:
- a. Density: Maximum density shall be no more than 40 beds for women only on the first floor including up to 25 emergency shelter beds and 15 safe haven beds; and up to twenty five affordable rental efficiency apartments for women only on the second and third floors, with associated ancillary service space as detailed in paragraph 2. above.

R-6:

c.	Parking requirements:	Unit 1: 9 parking spaces. Unit 2: 7 parking spaces.
d.	Maximum lot coverage:	40%
e.	Minimum side yard on northerly property line:	5 feet

- ii. 11 foot setback for second and third floors for a distance of 21 feet as shown on Attachment 10;
- iii. 14 foot setback for second and third floors for a distance of 8 feet as shown on Attachment 10;
- iv. 47 foot setback for remaining portion of the building as shown on Attachment 10.

13. The above stated restrictions, provisions, and conditions are an essential part of this Conditional Rezoning Agreement, shall run with the Property, shall bind and benefit Owner, any entity affiliated with Owner that takes title to the Property, their successors and assigns, and any party in possession or occupancy of said Property or any part thereof, and shall inure to the benefit of and be enforceable by the City, by and

to cure any default or violation of the defaulting party under this Agreement. 5 and 6 above as detailed therein Each party shall have the right (but not the obligation) FHHC and Florence House shall have the obligation to fulfill the requirements of Section safe haven or associated social services otherwise permitted in this Agreement, but Florence House nor FHHC shall have any obligation to operate an emergency shelter or a Amended and Restated Conditional Zone Agreement shall remain in full force and effect with respect to the portion of the Property occupied by the non-defaulting party. Neither default within a reasonable period of time after written notice from the City, this and assigns, defaults in its respective obligations hereunder and fails to remedy said In the event that either Florence House or FHHC, or their approved successors

execution of this Agreement. this Agreement and a reversion of the Property to the B-2 zone in place before the Agreement be amended, or be rescinded, such rescission to result in the termination of hearing, may recommend to the City Council that the Conditional Zone and this of Appeals or a court determines such breach), the Planning Board, after notice and zoning provisions contained herein (whether the Zoning Administrator, the Zoning Board 12. In the event of a breach by Owner or its successors or assigns of the

underlying B-2 (and the R-6 by reference herein) zone shall apply to this site. paragraph 2, are intended to supersede the uses and requirements of the underlying B-2 11. The provisions of this Agreement, including the permitted uses listed in

- 40% of units at 60% of Area Median Income
- 60% of units at 50% of Area Median Income

follows: 10. Florence House agrees to maintain, for a term of 90 years, the rent levels and income requirements for the efficiency affordable rental apartments in Unit 2 as

To the extent not otherwise altered herein, the zoning requirements for the underlying B-2 zone (and the R-6 by reference therein) shall apply to this site. The measurement of building height per code is the vertical measurement from grade to the highest point on the roof beams in a flat roof. The average grade of the site, post construction, is 46.81 feet. The building height proposed here, taking into account the average grade, complies in all respects with the building height permitted in the B-2 (45 feet) and R-6 (45 feet) zones and need not be altered herein.

through its duly authorized representatives. Owner shall file a counterpart original of this Agreement in the Cumberland County Registry of Deeds.

14. If any of the restrictions, provisions, conditions, or portions thereof set forth herein is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed as a separate, distinct, and independent provision and such determination shall not affect the validity of the remaining portions hereof.

15. Except as expressly modified herein, the development, use, and occupancy of the subject premises shall be governed by and comply with the provisions of the Portland City Code and any applicable amendments thereto or replacement thereof.

AVRSTA FLORENCE HOUSE LP WITNESS:

BY: Pinetree Housing
Development LLC, its
General Partner

BY: Avesta Housing
Development Corporation, its
Sole Member

BY: Dana Toman, its President
FLORENCE HOUSE HOUSING
CORPORATION

BY: Dana Toman, its President
FLORENCE HOUSE
CONDOMINIUM ASSOCIATION

BY: Dana Toman, its President

STATE OF MAINE
CUMBERLAND, ss.

_____, 2007

Personally appeared before me the above-named Dana Torman, in his capacity as President of Avesta Housing Development Corporation, Sole Member of Pinetree Housing Development LLC, General Partner of Avesta Florence House LP, as President of Florence House Housing Corporation, and as President of Florence House Condominium Association, as aforesaid, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporations, limited liability company and limited partnership.

Before me,

Notary Public/Attorney at Law

Attachment no:	Description:
1	City Council Order
2	A100 Basement Plan
3	A101 First Floor Plan
4	A102 Second Floor Plan
5	A103 Third Floor Plan
6	A106 Roof Plans
7	A401 Elevations
8	A402 Elevations
9	Site Plan
10	Building setback plan

LIST OF ATTACHMENTS



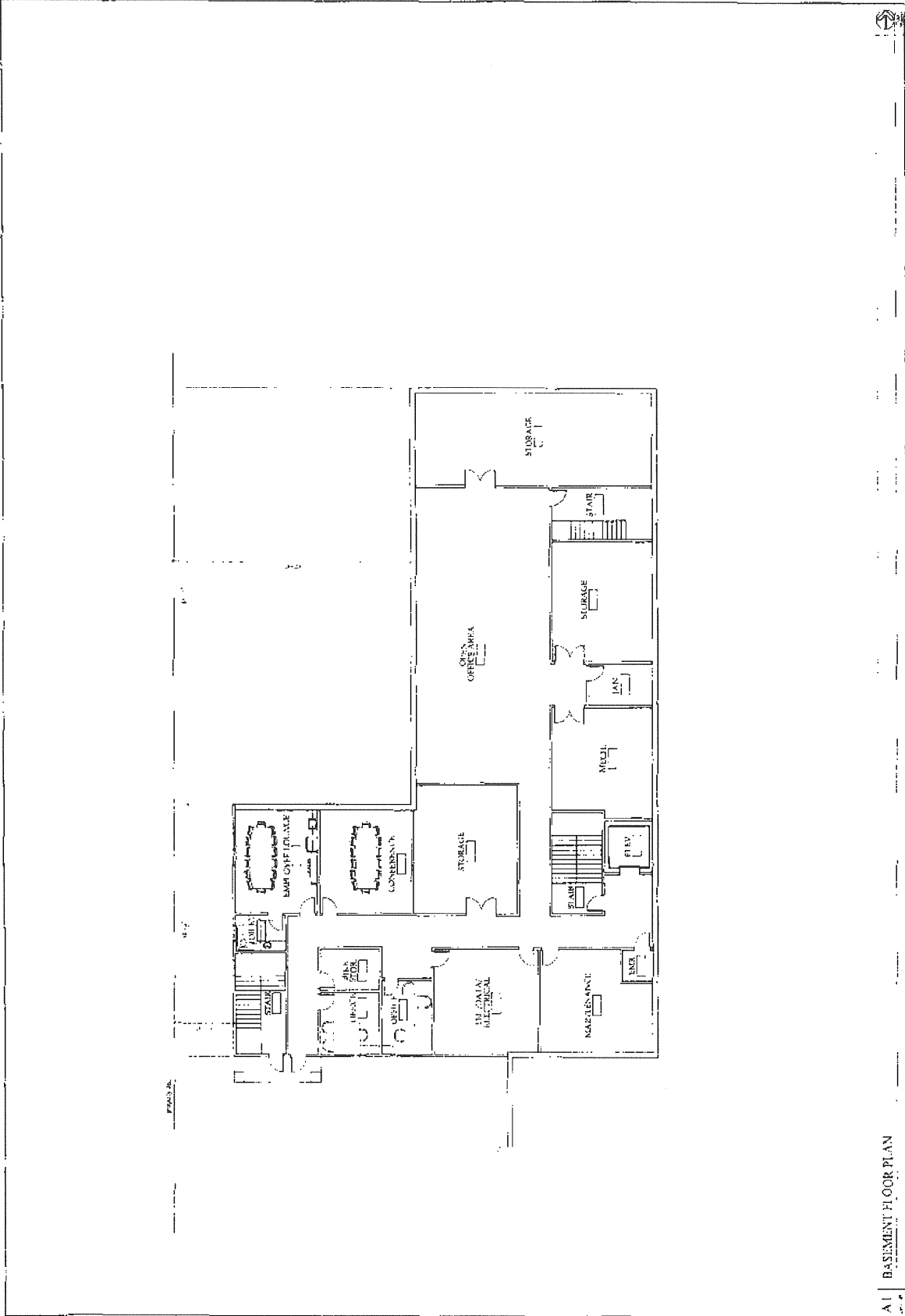
REVISIONS
DATE
BY
DESCRIPTION

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PROJECT	100
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DESIGNER	100
DATE	11/11/11
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DESIGNER	100
DATE	11/11/11

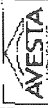
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CLIENT	100
DESIGNER	100
DATE	11/11/11
PROJECT	100
CLIENT	100
DESIGNER	100
DATE	11/11/11



A1 BASEMENT FLOOR PLAN



GARRISON
TURISON
ARCHITECTS
2000 W. 10TH STREET
SOUTH BEND, IN 46708
TEL: 765.291.8881



FLORENCE HOUSE
BURLINGTON, MAINE

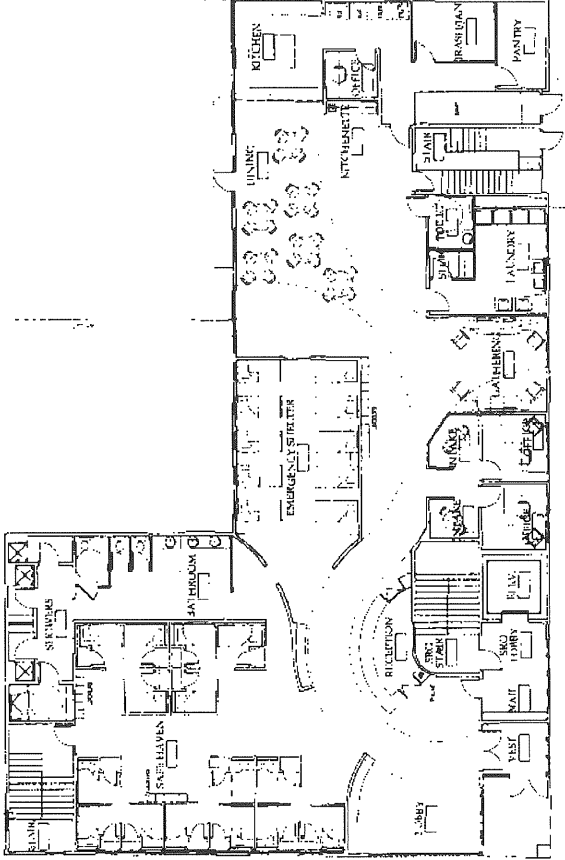


REVISIONS	
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2	ISSUED FOR PERMIT
3	ISSUED FOR PERMIT
4	ISSUED FOR PERMIT
5	ISSUED FOR PERMIT
6	ISSUED FOR PERMIT
7	ISSUED FOR PERMIT
8	ISSUED FOR PERMIT
9	ISSUED FOR PERMIT
10	ISSUED FOR PERMIT

DATE	11/16
PROJECT	1000
ARCHITECT	GT
DRAWN BY	PK
CHECKED BY	PK
DATE PLOTTED	11/16
SCALE	1/8" = 1'-0"

SHEET TITLE	AVESTA
FLOOR PLAN	FLOOR PLAN

A 101



A1 - FIRST FLOOR PLAN



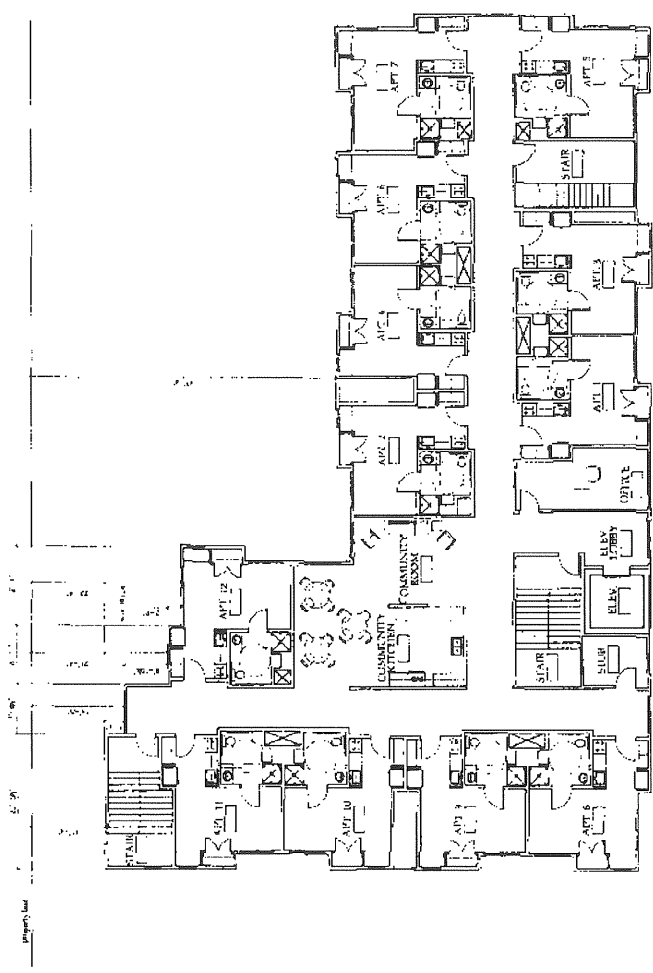
FLORENCE HOUSE
PORTLAND, MAINE

PROVISIONS
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE AND THE 2018 INTERNATIONAL MECHANICAL AND PLUMBING CODE AS AMENDED BY THE STATE OF MAINE.

DATE: 11/15/2023
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CHECKED BY: J. TURGEON
SCALE: AS SHOWN

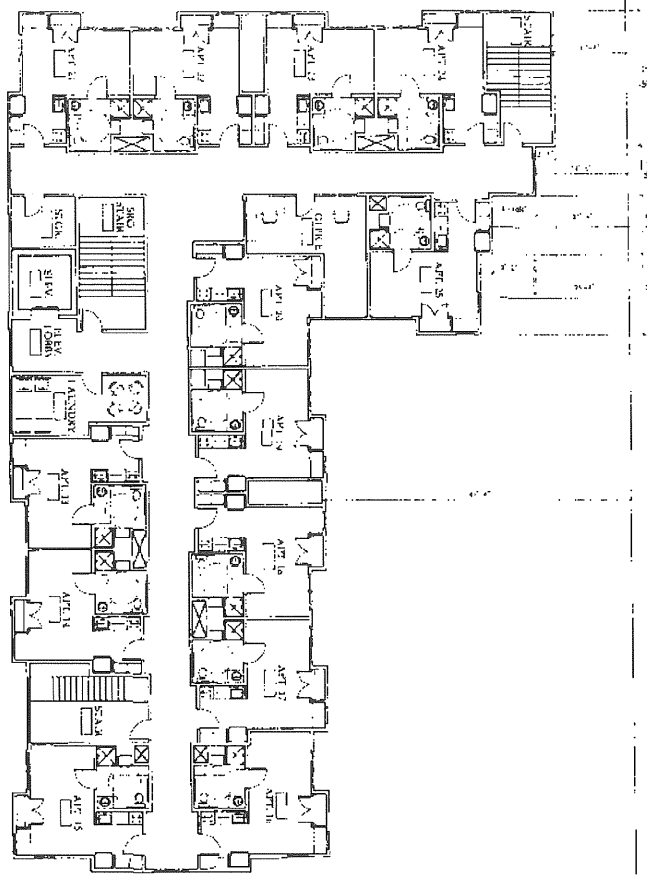
SHEET TITLE
SHEET # 142 OF 143

A 102



A1 | SECOND FLOOR PLAN

A1 THIRD FLOOR PLAN



A 103

SHEET #
 TITLE
 DATE

REVISIONS
 NO. DATE DESCRIPTION
 1 11/11/11

FLORENCE HOUSE
 PORTLAND, MAINE



DAVIDSON PEREON ARCHITECTS
 1000 BROADWAY
 PORTLAND, ME 04102
 TEL: 603.761.1111
 FAX: 603.761.1112



ATTACHMENT C



GAWRON
TURGEON
ARCHITECTS
20125 North Road
Beverly Hills, CA 90212
Tel: 310 451 1234
Fax: 310 451 1234



AVESTA
CONSULTING
FLORENCE HOUSE
NEW HAVEN, MAINE



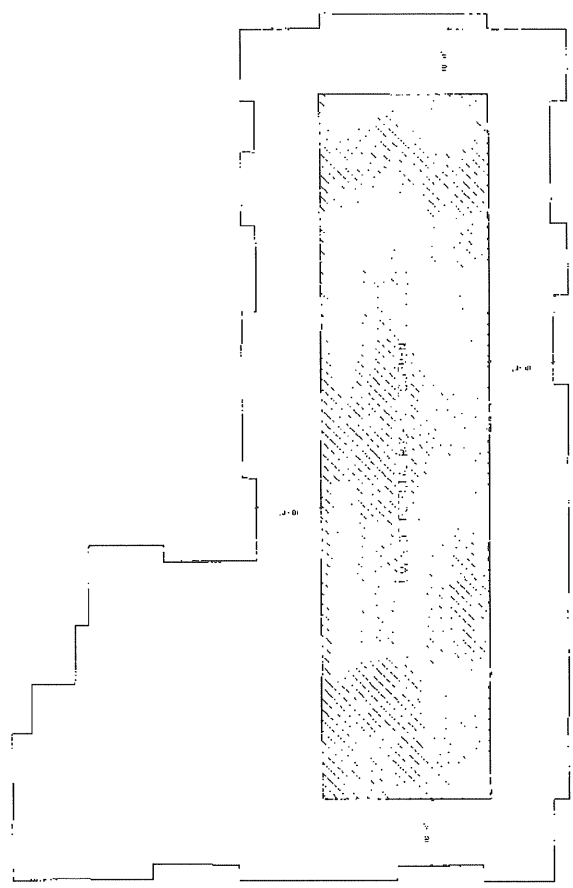
REGIONAL
ENGINEERS
1111 Main Street
New Haven, CT 06511
Tel: 203 785 1234
Fax: 203 785 1234

DATE	10/10/00
PROJECT	NEW HAVEN, CT
CLIENT	REGIONAL ENGINEERS
SCALE	AS SHOWN
DESIGNED BY	J. J. JONES
CHECKED BY	J. J. JONES
DATE	10/10/00

DATE	10/10/00
PROJECT	NEW HAVEN, CT
CLIENT	REGIONAL ENGINEERS
SCALE	AS SHOWN
DESIGNED BY	J. J. JONES
CHECKED BY	J. J. JONES
DATE	10/10/00

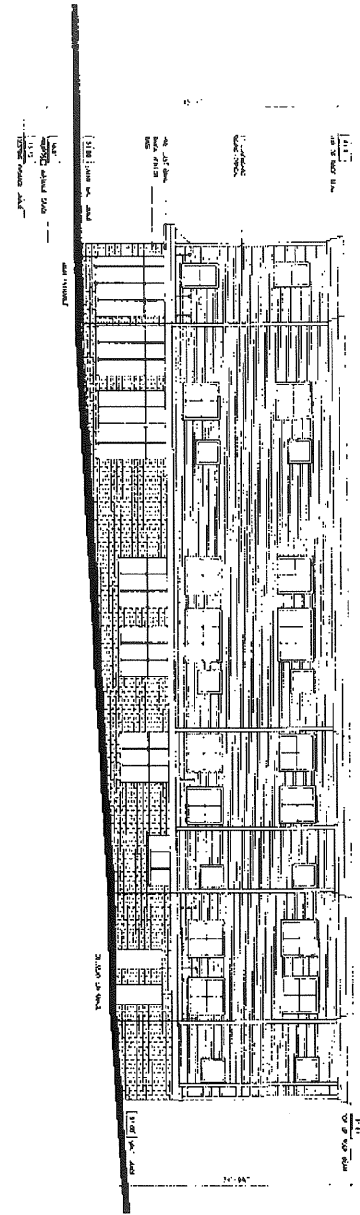
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CLIENT	REGIONAL ENGINEERS
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DESIGNED BY	J. J. JONES
CHECKED BY	J. J. JONES
DATE	10/10/00

A 105

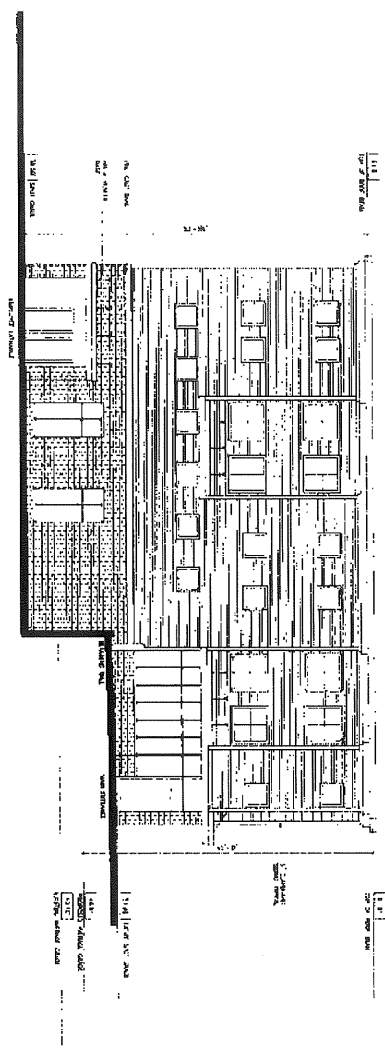


A1 | ROOF PLAN

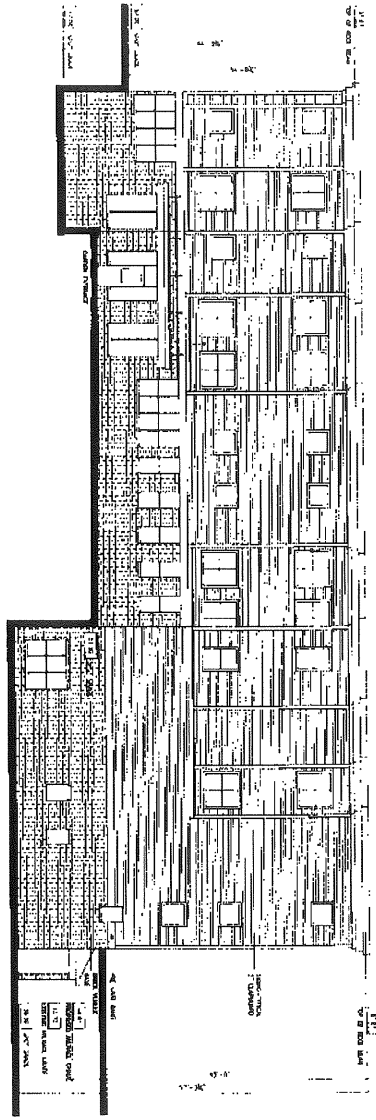
21 VALLEY STREET ELEVATION



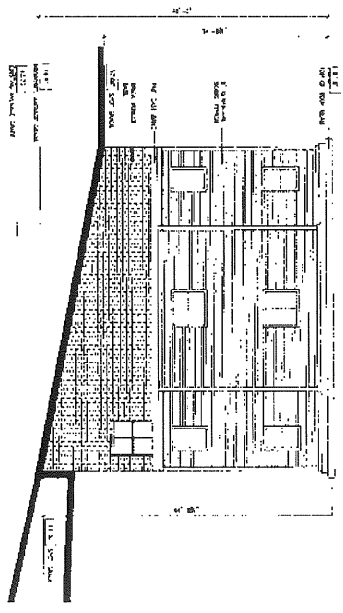
A1 LEFT SIDE ELEVATION



 <p>CLAYTON TORCHSON ARCHITECTS 1000 Commercial Street Portland, ME 04101 Tel: 603.761.2511</p>	 <p>AVESTA CONSULTANTS</p>	<p>FLORENCE HOUSE PORTLAND, MAINE</p>	<p>REVISIONS</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>08/11/11</td> <td>ISSUED FOR PERMITS</td> </tr> <tr> <td>2</td> <td>08/11/11</td> <td>ISSUED FOR PERMITS</td> </tr> <tr> <td>3</td> <td>08/11/11</td> <td>ISSUED FOR PERMITS</td> </tr> <tr> <td>4</td> <td>08/11/11</td> <td>ISSUED FOR PERMITS</td> </tr> <tr> <td>5</td> <td>08/11/11</td> <td>ISSUED FOR PERMITS</td> </tr> </table>	NO.	DATE	DESCRIPTION	1	08/11/11	ISSUED FOR PERMITS	2	08/11/11	ISSUED FOR PERMITS	3	08/11/11	ISSUED FOR PERMITS	4	08/11/11	ISSUED FOR PERMITS	5	08/11/11	ISSUED FOR PERMITS	<p>SHEET TITLE ELEVATIONS</p>	<p>A401</p>
NO.	DATE	DESCRIPTION																					
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3	08/11/11	ISSUED FOR PERMITS																					
4	08/11/11	ISSUED FOR PERMITS																					
5	08/11/11	ISSUED FOR PERMITS																					



J1 REAR ELEVATION



A1 RIGHT SIDE ELEVATION

**GAYBORN
TORDON
ARCHITECTS**
Portland, ME 04101
Tel: 603.883.8800
Fax: 603.883.8800

**AVESTA
CONSULTING**

FLORENCE HOUSE
PORTLAND, MAINE

REVISIONS

DATE	BY	REVISIONS
11/11/11	GT	ISSUE FOR PERMITS
11/11/11	GT	ISSUE FOR PERMITS
11/11/11	GT	ISSUE FOR PERMITS
11/11/11	GT	ISSUE FOR PERMITS
11/11/11	GT	ISSUE FOR PERMITS

SHEET TITLE:
ELEVATIONS

A402

Prepared For:
AVESTA
 37 Commercial Avenue
 Portland, ME 04103-1171

Prepared By:
MICHAEL B. ASSOCIATES
 100 Commercial Avenue
 Portland, ME 04103-1171

FLORENCE HOUSE
 190 Valley Street
 Portland, Maine

DATE: APRIL 3, 2007
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO.: [Number]

CONTRACT NO. AND
 SHEET NUMBER

REVISIONS:

NO.	DATE	DESCRIPTION
1	APR 3, 2007	FOR PERMIT
2	APR 3, 2007	FOR PERMIT
3	APR 3, 2007	FOR PERMIT
4	APR 3, 2007	FOR PERMIT
5	APR 3, 2007	FOR PERMIT

REVISIONS:

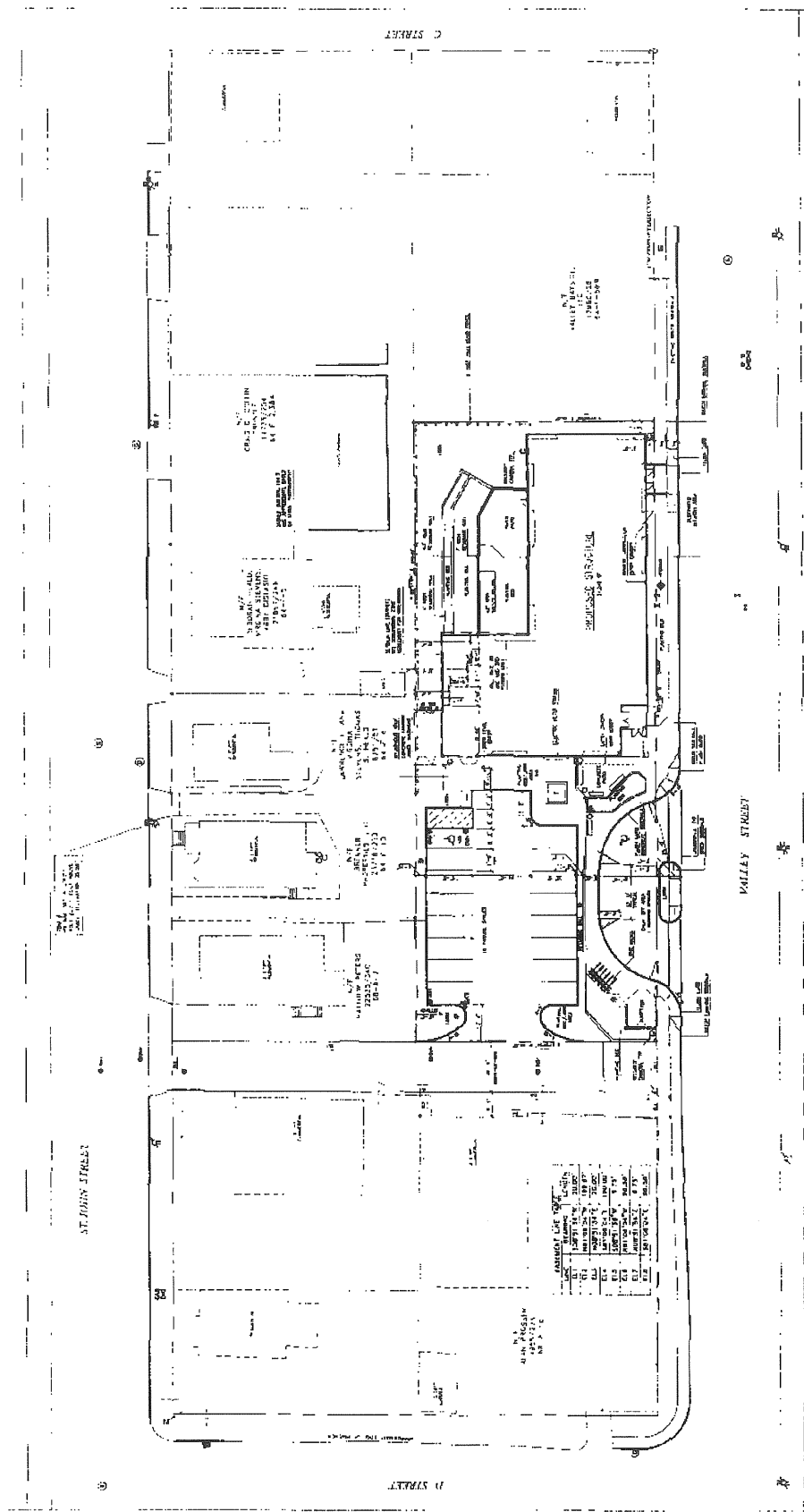
DATE: APRIL 3, 2007

BY: [Name]

DESCRIPTION: [Text]

2

Sheet No.



LEGEND

SYMBOL	DESCRIPTION
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[Symbol]	CEILING
[Symbol]	FLOORING
[Symbol]	WALLS
[Symbol]	DOORS
[Symbol]	WINDOWS
[Symbol]	STAIRS
[Symbol]	ELEVATORS
[Symbol]	MECHANICAL
[Symbol]	ELECTRICAL
[Symbol]	PLUMBING
[Symbol]	FINISHES

GENERAL NOTES

1. CONSULT ALL APPLICABLE CODES AND REGULATIONS.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.
3. ALL MATERIALS SHALL BE OF THE BEST QUALITY AND SHALL BE APPROVED BY THE ARCHITECT BEFORE INSTALLATION.
4. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
5. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
6. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF PORTLAND.
7. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE STATE OF MAINE.
8. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE FEDERAL GOVERNMENT.
9. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE INTERNATIONAL LABOUR ORGANIZATION.
10. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE UNITED NATIONS.

TABLE OF DIMENSIONS

ITEM	DESCRIPTION	LENGTH	WIDTH	HEIGHT
1	Living Room	12'-0"	10'-0"	8'-0"
2	Dining Room	10'-0"	8'-0"	8'-0"
3	Kitchen	8'-0"	6'-0"	8'-0"
4	Bathroom	6'-0"	4'-0"	8'-0"
5	Bedroom	10'-0"	8'-0"	8'-0"
6	Staircase	4'-0"	4'-0"	8'-0"
7	Hallway	4'-0"	4'-0"	8'-0"
8	Entry	4'-0"	4'-0"	8'-0"
9	Front Porch	8'-0"	8'-0"	8'-0"
10	Rear Porch	8'-0"	8'-0"	8'-0"

Mitchell & Associates
Landscape Architects
70 Center Street
Portland, Maine 04101
(207) 774-4427

Project: FLORENCE HOUSE

Date: JULY 31, 2007

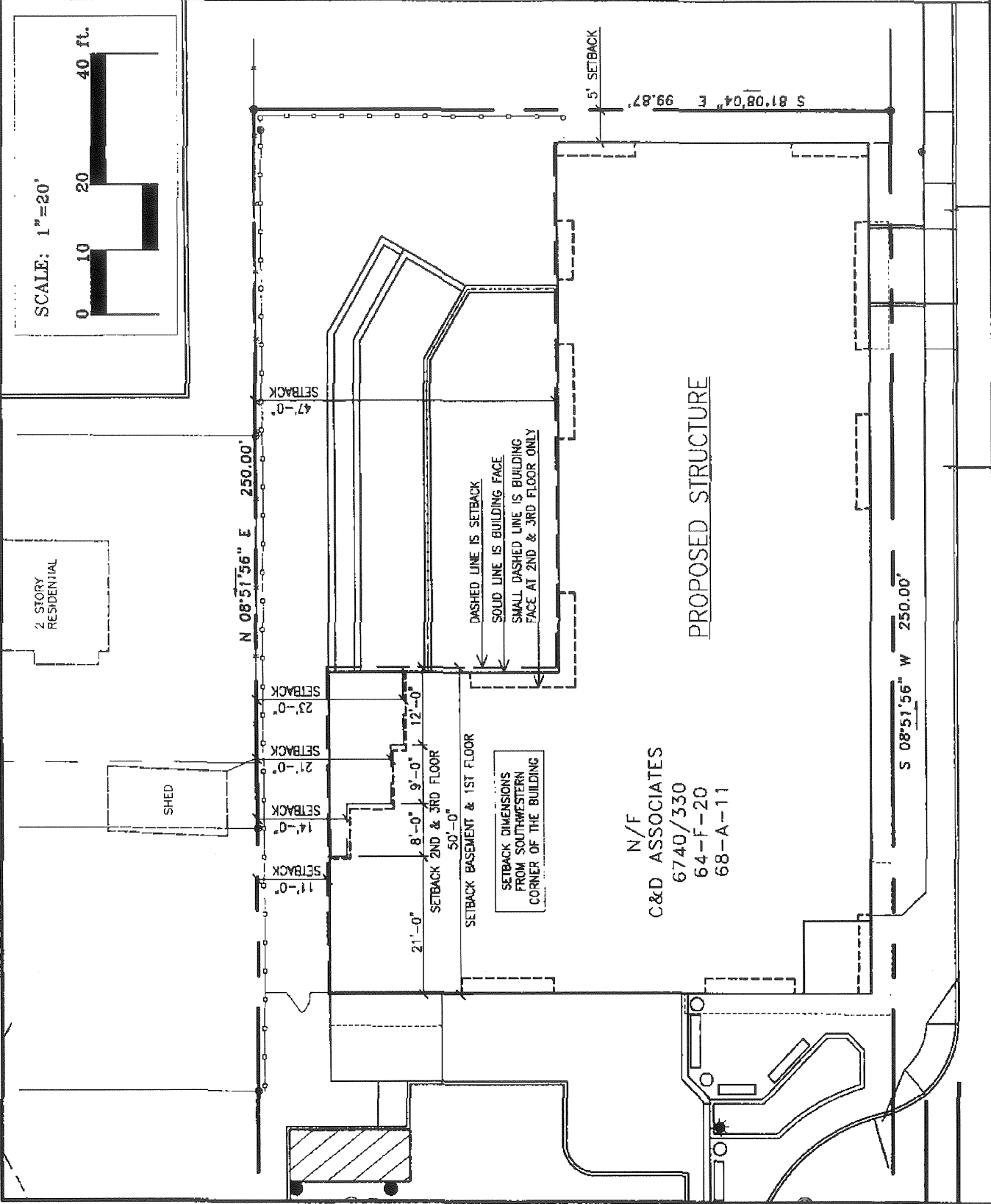
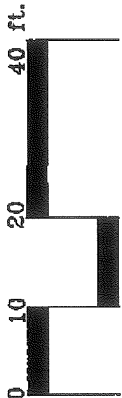
Scale: 1"=20'

Title: SETBACK EXHIBIT

North:



SCALE: 1"=20'



PROPOSED STRUCTURE

N/F
C&D ASSOCIATES
6740/330
64-F-20
68-A-11

October 23, 2007

Jean Fraser, Planner

Submitted by:

Portland Planning Board
Portland, Maine

Submitted to:

JOINT APPLICANTS

**FLORENCE HOUSE CONDOMINIUM ASSOCIATION,
FLORENCE HOUSE HOUSING CORPORATION (FHHC)
AVESTA FLORENCE HOUSE LP**

SITE PLAN AND SUBDIVISION REVIEW

VICINITY OF 190 VALLEY STREET

FLORENCE HOUSE

I. INTRODUCTION

Avesta Florence House LP, Florence House Housing Corporation (FHHC) and Florence House Condominium Association request Subdivision and Site Plan approval for development of a 31,272 sq ft building comprising 3 stories plus a partial daylight basement (footprint of 8,140 sq ft). It would be located on a 24,968 sq ft site at 190 Valley Street, between St John Street and Valley Street, which is currently occupied by a one story commercial building.

The proposed building is known as Florence House and would house approximately 50 homeless women in three types of supported housing with common facilities and 24 hour staffing.

The site is located within the B-2 Community Business Zone; the zoning requirements have been varied by a Conditional Zone Agreement ((ZA) (Attachment I) which was approved by the City Council on September 17, 2007. This Site Plan/ Subdivision review is an entirely separate review and all comments attached to this Memorandum relate solely to the contents of the Site Plan and Subdivision submissions of September 4, October 2 and October 16, 2007 (attached as Submissions A&B, each separately bound. B includes the Plan Set).

The proposal was considered at a Planning Board Workshop on September 25, 2007 where a number of detailed issues were raised and the Planning Board requested further information and revisions to:

- incorporate more interest at pedestrian level along the Valley Street frontage;
- show the impact of the proposal on loss of light for abutters; and
- understand what the proposal would look like and in particular what the neighbors would see.

The applicant has submitted revisions and further graphics to address these points and they have been reviewed by staff.

A Neighborhood Meeting was held on October 9, 2007 and attended by 7 neighbors (Submission B3). Notices were sent to 217 area residents and interested citizens and a notice also appeared in the *Portland Press Herald*.

II. SUMMARY OF FINDINGS

Zoning: Conditional Zone Agreement agreed by City Council Sept. 17, 2007
 Parcel Size: 24,968 sq ft
 Parking Spaces: 16 at lower level; 3 in pull off on Valley Street
 Building Floor Area: 31,272 sq ft
 Building Height: Per zoning measurement methodology: 45 feet
 Actual: Ranges from 35 ft (Valley St. side) to 53.3 ft (wing nearest St John St.)
 As described in CZA to include 25 efficiency apartments, 15 "safe haven" beds,
 10-15 emergency shelter beds, plus support facilities for residents including
 kitchen, dining area, laundry, staff offices, storage.

III. PROPOSED DEVELOPMENT

The applicant is proposing to construct a building with 3 levels of accommodation and a basement, with a main lobby and drop off area facing Valley Street (See Submission B, 4, Plan Set). Access and parking for staff and apartment residents with cars is at the lower level, accessible only from St John Street via the

alley shared with abutter "Alan Autos". The proposed layout and key features reflect the programmatic requirements of this type of housing, such as creating a single statted point of access and providing facilities for support staff throughout the building.

Florence House will provide permanent, supported housing with common facilities and 24 hour staffing for approximately 50-65 homeless women and is based on nationally recognized strategies for ending homelessness. Three types of housing are included in one building to address the varied needs of these women for safety, privacy and support, plus community and support facilities as follows (see Submission A, Tab 6):

a. 25 self-contained efficiency apartments are proposed for the second and third floors. Each unit contains a small kitchen area and a bathroom (also termed SR(Os - Single Room Occupancy). A community room, laundry room and staff offices are also located on these two floors, and access to these floors is via the main entrance off of Valley Street or the door from the parking lot.

b. Other residential accommodation is located on the first floor, described as "Emergency Shelter and Safe Haven housing" (together comprising 15 safe haven bed spaces and 10 shelter beds, which can be increased to up to 25 shelter beds). This floor includes a commercial kitchen and dining area, laundry room, bathroom and staff offices; it is designed so that staff can monitor entrance and exit from the building, provide immediate support to residents of the first floor, and monitor activities at the efficiency apartments and common space.

c. The lowest (semi basement) level includes, in addition to utilities and storage, 2 separate offices and a large office space to be shared by 16 staff over three shifts.

These floors/uses are divided into two condominium units as each is in a different ownership. Unit one is owned by FHHC and comprises the basement and first floor, and unit two is owned by Avesta Florence House LP and comprises the second and third floor. These are described in para 2 of the CZA (Attachment I). The Condominium Agreement limits the total number of beds on the first floor to 40; the building has a maximum capacity of 160 people by code.

The proposal also includes some 19 parking spaces, 16 at the lower level accessed via St John Street and 3 more at the upper level in the drop off area from Valley Street. To the rear of the building there is a terraced open space area with a patio at first floor level, and site improvements include landscaping, fencing and four security cameras.

IV. CONDITIONAL ZONE AGREEMENT

The approved Conditional Zone Agreement is included in Attachment I. The CZA includes a number of provisions that bear on the Site Plan and Subdivision Review:

The provisions:

- Define the uses (para 2);
- Limit the numbers of occupants of the first floor to 40 (para 2);
- Prohibit residential use within the basement of the building (para 2);
- Specify that the development will be substantially in accordance with the submitted plans and will be subject to site plan and subdivision provisions of the City Code (para 7 and 8);

V. COMPLIANCE WITH THE CONDITIONAL ZONE AGREEMENT

The applicant submitted documentation on 10.2.07 (Submission B.1) to address the previous comments of the Zoning Administrator, Marge Schmuckal (in Attachment 2), and the proposal now meets the dimensional requirements of the CZA (Attachment 3g).

The Management Plan has been submitted to and reviewed by the City in compliance with the CZA Paragraph 6. It has been circulated to relevant departments (including the Police Department and Director of Health and Social Services) and approved by the City. A copy of the final approved Management Plan is included in Submission B.4.

Neighbor Mrs Heald previously submitted comments for consideration in relation to the Management Plan (Attachment 4a) : these sought assurances regarding the Police response to possible incidents. The City does not consider that this issue should be directly addressed in the Management Plan as the applicant and their managers have limited control over this issue. The Police Department (Deputy Chief Joe Loughlin) has indicated that based on experience of the current Women's shelter he does not anticipate the kind of problems mentioned by Mrs Heald and will be able to ensure a "low impact on the neighborhood in regard to these issues" (see comments in Attachment 3g).

The CZA requirements regarding staffing are addressed and met by the submitted information (Submission A Tab 6 Staffing) and are elaborated in the Management Plan. Responsibilities of the Florence House Condominium Association (the party identified in the CZA as responsible for meeting maintenance and management requirements) would be set out in the condominium documents which have been submitted and are currently under discussion with the City's Associate Corporation Counsel. A suggested condition of the subdivision approval requires that the final version of the condominium documents be submitted for approval.

The proposed development is substantially in accordance with attachments to the CZA, in that the submitted plans correspond with the Site Plan, Floor Layouts, roof layout, and elevations attached to the CZA.

VI. STAFF REVIEW

The proposed development has been reviewed by staff for conformance with the relevant review standards of the subdivision and site plan ordinances. Staff comments are highlighted in this report.

VII. SUBDIVISION REVIEW

1. Water and Air Pollution
The project will not result in undue water or air pollution, although the normal safety measures would need to be taken during construction due to the proximity of neighbors.

2/3.

Water

The applicant has provided a 'Capacity to Serve' letter from the Portland Water District dated 29.9.07 (Submission A Tab 9).

Soil Erosion

An "Erosion and Sedimentation Control Plan" document and associated plans were submitted as part of the original application (Submission A Tab 16; Submission B Plan Set Sheets 6, 12, and 13). Reviewers had no comments or concerns regarding these proposals (Attachment 3b).

5.

Traffic

The site has rights for vehicular access over the 20 foot wide "alley" leading to St John Street from the lower (parking) level and another 9.75 ft wide adjoining strip alongside Alan Prosser's property ("Alan's Autos") at the Valley Street end (evidence of rights and map are included in the Submission Tab 2). "Alan's Autos" has a separate main access from St John's Street but includes 3 garages opening onto the alley.

Staff and a few residents who would regularly access the lower level parking would share this "alley". This proposed use by vehicles appears to be an improvement over the trucks now using to "alley" to access the existing commercial premises. This "alley" would not be used for waste collection as the dumpster is located off of Valley Street; nor would it be used for deliveries which would be made directly off of Valley Street (see below). The traffic generated by the proposal is described in the Submission Tab 12 and is stated to be 15 trip ends in the peak hour.

The proposal also includes a pull-off area at the upper level as the design of the building and security arrangements require all visitors (except staff and a few residents who will be "buzzed in" via a door at the parking level) to enter through the entrance at Valley Street. A pick-up/drop off area has been provided at this upper level to serve the majority of residents and visitors who are anticipated will not have their own cars.

The pull-off area includes 3 parking spaces, handicapped parking and access, dumpster and dumpster access, a brick walkway (in addition to the public sidewalk along Valley Street), a concrete patio and landscaping (See Plans 2 and 5 of Submission B 4 Final Plan Set). It will create two curb cuts into the existing sidewalk along Valley Street, which at present is brick and in good condition, and will result in the loss of approximately 8 on-street parking spaces.

Servicing of the property is proposed from Valley Street and a commercial loading zone has been incorporated alongside the north part of the proposed building. The Traffic Engineering reviewer, Jim C'armody, originally commented on the design of the handicapped ramps and the sign design and location. The applicant has addressed all of these comments and these are included in the Final Plan Set and described in the Submission B 1 & 2 letters. One small item remains incorrect (related to the location of a decelerable warning strip) and a suggested condition relates to this item. The Traffic Engineering Reviewer confirms that the proposals are otherwise satisfactory in terms of the proposed traffic generation, traffic signing, access and servicing (Attachment 3i).

The applicant was requested to contribute \$5000 to the traffic calming initiative to be implemented by the City in Valley Street (Attachment 2b). The applicant has agreed to this contribution in Submission B1, but in response to a question at the Neighborhood Meeting has raised a related question: whether, as part of these proposals, a pedestrian crossing could be provided on Valley Street near the site. The Peer Review Engineer (Tom Frisco) responded that this request will be taken into account at a future stage when the traffic calming proposals are being designed (Attachment 3d).

Bus Access

This aspect of the proposal has been comprehensively described in the Submission Tab 12. The site is well served by the existing MBTRC route system, including Bus Route 1 which runs from Congress Street down St John Street. This route runs through the Valley Street/D Street intersection and the applicant has met with MBTRC to explore the possibility of a new bus stop/service in front of the proposed building on Valley Street.

The applicant has submitted a letter from MBTRC (Submission Tab 13) confirming that they would be willing to consider creating a new stop at the corner of Valley Street and "D" Street; an e-mail dated 9.5.2007 (end of Submission B1) reiterates MBTRC's intention to "explore every opportunity in order to provide quality accessible public transportation at or near [the] proposed Florence House project".

Parking

The applicant has submitted a Parking Analysis in the Submission Tab 13 which explains why there is the low demand for parking related to the proposed use. While the disaggregated uses (as offices, restaurants and dwelling units) would separately lead to a much higher requirement (46 spaces for the dwelling units alone), staff consider the parking provision to be sufficient and that the loss of nearby on street parking is also acceptable (see comments in Attachment 3f). Bicycle racks have been provided at the upper level of the site to cater for the anticipated high number of bicycle users and staff bicycle storage is provided in the basement.

Sanitary Sewer/Soils

The proposed development will tie into an existing 24 inch sanitary sewer in St John Street via a 6 inch line in the "alley" area. A letter of 8.31.2007 confirming capacity was submitted in the application (Submission A Tab 9).

Stormwater

An existing 30 inch storm drain main in St John Street will provide service for the site. Underground stormwater chambers will be installed on site as part of a detentions system to detain flows which will then be piped to the main (Submission B4 Plan Set Sheet 12). A Stormwater Management Report (not attached) was submitted and reviewed (Attachment 2 a) with no comments.

Solid Waste Disposal

The waste disposal for the building is proposed to be via a dumpster located at the upper level of the site at the rear of the sidewalk along Valley Street. The need for it to be at this location is described in the Submission Tab 17, which explains that it needs to be accessible to both staff and residents.

Access to it for emptying has also been a factor in choosing this location, as almost any other location along Valley Street is challenging (ie trucks would be parked across Valley Street). Please see the sketch in Tab 17 and comments from the Traffic Engineering Reviewer in Attachment 2 g).

The dumpster is proposed to be enclosed by a cedar fence enclosure (layout and detail in Submission B4Plan Set Sheets 2 & 8) which has been reinforced and increased in height in response to staff concerns that it would not stand up to the proposed frequency of emptying. Waste disposal is described in:

- Submission A Tab 17 outlines operation and sizing
- Mitchell & Associates letter of 10.2.07 (Submission B1, 2nd page) outlines pickup times
- Mitchell & Associates letter of 10.16.07 (Submission B2, 1st page) outlines their proposals to make the enclosure more durable, including additional bollards within and at the sides of the dumpster enclosure as suggested by staff to minimize the risk of damage to the enclosure. A cut sheet for the design of the dumpster is also included to show the sliding door for use by residents and staff so that the cover can remain closed and odors prevented. This letter also confirms that the dumpster area will be included in the security camera viewing area and near the entrance which is staffed 7/24, which should prevent vandalism and misuse.
- Mitchell & Associates letter of 10.18.07 (Submission B3, 2nd page) confirms revisions to the enclosure including height of 7 feet (previously 6 feet), and a cut sheet showing the design of the dumpster. However, an e-mail message from Pine Tree Waste advises that the internal side bollards should not be added as they serve no purpose (hence final plan does not have the side bollards but does retain the rear bollards)

9. Scenic Beauty

The applicant has submitted four sketch perspectives of the proposal which gives an indication of its appearance within its local setting. The views are:

- Valley Street looking north (Submission B 1 towards end)
- Valley Street looking south (Submission B 1 towards end)
- Birds Eye View from St John Street neighbors (Submission B3)
- View from Heald Driveway (Submission B3)

The building will be prominent in its setting but it is located outside of the Western Promenade Historic District and is located among commercial and residential structures and nestled into the base of the hillside of the Western Prom. One neighbor (Attachment 5a) has commented that the building should not "turn its back" on St John Street. A long distance view from St John Street has not been submitted although the landscaped terrace would contribute to its "face" as seen from the lower level St John sidewalk.

The detailed design of the building and its integration into the streetscene and neighborhood are discussed further under Site Plan.

10. Comprehensive Plan

The proposal has been determined to be consistent with the Comprehensive Plan through the conditional rezoning process.

11. Financial Capability
 The applicant has submitted a letter from TD Banknorth dated 2.7.2007 (Submission # Tab 11) confirming that the applicant has the ability to secure the anticipated loans and would be pleased to consider Avesta's request to finance the venture at the appropriate time.
 12/13/14 (Groundwater/Flood Hazard/Shoreland/Wetlands
 The existing site is partially paved and the proposed detention chambers and inclusion of open space will ensure that the proposal does not adversely affect the quality/quantity of groundwater. The proposal is not in a flood prone area and has no effect on wetlands or waterways.

VIII. SITE PLAN REVIEW (Sec. 14-526)

1/2. Traffic
 See Subdivision Review, paragraph 5. Traffic.
 3. Bulk, Location or Height... will not cause health or safety problems as to existing uses in the neighborhood including... resulting from any substantial reduction in light and air...
 The proposed building is an average of 45 feet high as based on zoning methodology for measuring height, but the City's Site Plan standard relates to the actual bulk, height and location and its impact. The actual height from existing grade on the side nearest residential abutters is 53.3 feet and on the side adjacent to Valley Street the building is 35-40 feet (see Elevations in the Submission B4 Final Plan Set)

The CZA allows the building to be 11 feet from the boundary with abutters facing St John Street and the building is nearest to the properties at 209 St John Street and 213 St John Street (Ms Heald, who has not submitted comments on this aspect). The bulk of the building nearest to 213 St John Street has been reduced by the incorporation of stepsacks for the two top stories. As part of the conditional rezoning a plan clarifying these stepsacks was included as Attachment 10 of the CZA (Attachment 1 to this Memo), and they are illustrated in a graphic (perspective of the building wing) item 8 in Submission B1 and on the Layout and Lighting Plan (Sheet 2 in the Submission B4 Plan Set).

Some indication of the bulk of the building can be seen in the submitted sketch perspectives as listed under Subdivision "Scenic Beauty" above, particularly the "Birds Eye View" and "View from Heald Drive"way" included in Submission B3. Fencing and landscaping help mitigate the bulk of the building.
Safety Problems as to existing uses in the neighborhood
 The proposed building may be occupied by up to 160 people and this will inevitably lead to more activity in this neighborhood as compared with the existing. The CZA requirement for a Management Plan seeks to ensure that the uses permitted by CZA do not create any safety problems for existing uses in the neighborhood. This is discussed in detail under Section V. (COMPLIANCE WITH THE CONDITIONAL ZONE AGREEMENT) above.

Reduction in light
 The proposed building is substantially higher and in a different location than the existing single story commercial building. The proposed building has been located as

far north as possible thus reducing its potential impact on the four neighboring residential buildings, with the greatest impact being on 213 St John Street (Ms Head).

The Planning Board requested shadow information to illustrate the impact of the proposed building compared to the existing situation (the existing shadows relate to the impact of the Western Promenade on morning sunlight). The applicant has submitted (in Submission B1) sun/shadow simulations (stills) showing the shadow cast by the proposed building on the property at 213/215 St John Street at different times of the morning over the year, along with a summary of the times when the shadow cast by the proposed building leaves the garage structure of this property as compared with the shadow of the existing (Western Promenade).
The loss of light for this property ranges from just over an hour/day in December to just over three hours/day in June. The applicant has noted that the existing silver maple (40-50 feet in height in the rear yard of 213 St John Street) currently results in loss of light during these times when in leaf.

4. Bulk, Location, Height of Proposed Buildings... minimizes any substantial diminution in the value or utility to neighboring structures

The applicant has submitted an extract of the "Study of the Impact on Real Estate Value of Abutting Properties Attributable to the Proposed Florence House to be Located at 190 Valley Street" study prepared by Amidon Appraisal company on March 14, 2007 (Submission Tab 21). This study concluded that "... the value of the abutting properties will not be negatively impacted by the development of the Florence House if developed as proposed" (page 5).

5. Sewers, Stormdrains, Water

Refer to Subdivision Review, paragraph 6 & 7.

6. Landscaping and Existing Vegetation

The proposal includes two landscaped areas: the terraced area at the rear of the building (with patio at first floor level) and the landscaped area around the drop off. Both are illustrated on Plans 2 and 5 of the Submission B final Plan Set. In addition, tree and shrub planting are proposed around the lower level parking area and between the building and the abutters where this space is narrow (where the "L" is at the 11 foot setback).

Since the Planning Board Workshop the landscape proposals have been enhanced through the addition of more trees and climbing plants, as described on page 3 of the Submission B1. A 6 foot high cedar fence is proposed along part of the western boundary, ie between the building and residential abutters; a 4 foot high cedar fence is proposed along the boundary between the parking lot and residential abutters. This buffering augmented by a single row of junipers between the parking lot and residential abutters.

The City Arborist has reviewed the overall landscaping proposals and has not raised any major issues (Attachment 31). The applicant has already revised the planting schedule to upgrade the two plants mentioned by the City Arborist in the first paragraph (see Sheet 5 of the Submission B4 final Plan Set). The proposals include planting to screen the "wing" of the building, the high retaining wall by the parking

area and the parking area itself. The 6 foot high cedar fence is attractive and provides low level screening along the boundary towards St John Street.

The applicant has added a note to Sheet 1 of the Submission B4 Plan Set referring to the removal of the existing hump of earth along the property line, as requested by Ms Heald of 213 St John Street (Attachment 4a).

The proposals include retaining walls and fencing which is very prominent and visible from nearby streets as well as from nearby residential and other properties. The applicant has submitted catalog cuts of the proposed segmental blocks for the retaining walls (Submission B1) and the City's Urban Designer has suggested that these appear industrial in appearance and "should be reviewed in the context of the residential neighborhood that it faces" (Attachment 3h). A suggested condition has been included to address this concern.

Details of the proposed railings has been included in Sheet 14 of the Submission B4 Final Plan Set and illustrated in the submitted perspectives. The design of the Valley Street railings have been simplified at staff request.

The layout and materials for the pull off area and associated sitting area and landscaping are detailed in the Sheets 7, 8, 14, and 15 of the submitted Plan Set (Submission B4) and reflect improvements based on staff comments in meetings. The proposals extend 5 feet into the City's ROW and this issue is discussed below.

Trees including Street Trees

A significant silver maple tree over 50 feet tall stands outside but near the boundary of the site within the property of 213 St John Street (Ms Heald). The applicant has submitted an extract from "Tree Preservation Guidelines for Contractors" in Submission Tab 20 to address concerns regarding this tree and includes tree protection details and notes on the plans in Submission Plan B Final Plan Set Sheets 2, 5, and 15.

Ms Heald, owner of 213 St John Street, has requested particular actions to be taken to minimize damage to the tree (Attachment 4a), and the City Arborist has made further recommendations including a suggested condition that covers pruning, removal or replacement of the tree in the event that the construction work, despite protection efforts, cause the tree to become unstable (see Attachment 3i).

A subdivision requirement is the planting of two trees per unit, which for this project would mean the provision of 50 street trees (relating to the 25 efficiency apartments). The applicant has requested a waiver from this requirement in Submission B1 page 9), citing the proposal for 34 trees (including 10 along Valley Street) on the site and the nature of the apartment units.

The City Arborist suggests that the Board consider a partial waiver and request a contribution that would allow an "additional 15 trees to be planted in the project area to include: St. John Street, Valley Street and A thought D Streets to replace missing trees. The benefit of adding trees to improve this area in regards to aesthetics, shade, environmental benefit is considerable." (Attachment 3i). A suggested waiver and associated suggested condition are included for the Board to consider.

7. **Soils and Drainage**
Refer to Subdivision Review, paragraphs 6 and 7.
8. **Exterior Lighting**
The applicant has submitted catalog cuts for lighting fixtures in Submission Tab 19 and the associated Photometric Plan in Submission B4 Final Plan Set Sheet 16. The City's Lighting Standards require that the light levels be at 0.1 footcandles or less at the property line. The applicant has relocated the lights within the parking area to reduce the trespass, but the revised Photometric Plan indicates that this is still exceeded (is at 0.2 footcandles) at the boundary nearest the abutting three story apartment building at 205 St Johns Street. The Board is given an two suggested options for a condition: either to include a monitoring condition in recognition that the neighbors may welcome some additional lighting in this area; or to require the further revision of the lighting to meet the City standards.
Additional lighting has been proposed for the Valley Street elevation and further details should be submitted for review - a suggested condition has been included.
- Security Cameras**
The mounting and location of the security cameras has been clarified and is shown on Sheet 2 (Layout) of the Submission B4 Final Plan Set; these have been agreed with the Police Department. All are mounted at a minimum of 10 feet, with the one near the Valley Street pull off on a lighting pole and the other three mounted on the building, as described in Submission B2.
The approved Management Plan (Submission B3) allows for changes in the location and mounting of the cameras if this is required once operational; in this case the applicant would need to submit an application for an amendment to the site plan, to be reviewed as there may be new poles and higher mounting levels.
The approved Management Plan also requires the viewable area of the cameras to be limited to the Florence House property unless the inclusion of abutters or other private property is specifically agreed with the owner.
9. **Fire**
The Fire Department has approved this project (Attachment 3a).
10. **City Infrastructure**
Public Works has required the inclusion of survey documentation (Attachment 3d) and the applicant has addressed these comments (Submission B3 page 2).
Along Valley Street there is a brick sidewalk in good repair. The proposal involves creation of two curb cuts and includes paving, patio paving and planting within 1250 sq ft of the ROW along Valley Street. A license from the City will be required for this area to ensure that maintenance of these areas does not fall to the City (see below). The applicant has confirmed a license is intended in Submission B2.
Within this area is an "island" formed by the pull off which is proposed to be half public sidewalk (brick) and half perennial planting, with a vertical curb around part of it to reduce the chance of vehicles driving over it. Staff consider that the ramps for pedestrians over part of it may result in the island being driven over, possibly in order to provide access for the dumpster truck. A suggested condition is that if the planting

is not/can not be maintained then the applicant should brick over the island to match the sidewalk.

15. Two-family, special needs independent living unit, multiple-family development, lodging houses, bed and breakfast, and emergency shelters

This proposed development must meet design criteria which cover exterior design, relationship to the street, design of open space on the site, windows, and screening of vehicles from adjacent properties and streets.

The applicant has revised the proposals to add landscape features and design elements to the building. The Planning Board had requested the submission of information that helped them to understand "what the neighbors would see" and to address this request the applicant has submitted four sketch perspectives:

- Valley Street looking north (Submission B 1 towards end)
- Valley Street looking south (Submission B 1 towards end)
- Birds Eye View from St John Street neighbors (Submission B3)
- View from Heald Driveway (Submission B3)

a) *Exterior Design:* The applicant has revised the proposals substantially to reduce and break up the bulk of the building and introduce setbacks, architectural elements and buffer planting to integrate the design into the environment (which is of a mixture of architectural styles). This issue is discussed further under the B2 guidelines below. A suggested condition of approval is included to ensure that design and specifications of the rooftop mechanicals does not detract from the exterior design.

b) *Relationship to the street:* The proposal is required to be integrated with the existing city fabric and streetscape. This criteria is also included under Standard 27 below and is discussed in detail under that paragraph.

c) *Design of open space on the site:* The applicant has integrated open space and landscaping throughout the development site, as illustrated in the submitted section of the terraced area facing St Johns Street (Submission B1) and in the layout and details in the Plan Set. Staff considers this requirement has been met.

d) *Windows:* Ample windows have been provided and this requirement has been met.

e) *Screening of vehicles:* the Ordinance requires that parking, driveways and paved areas are arranged and landscaped to properly screen vehicles from adjacent properties and streets. Since the workshop the applicant has extended the cedar fencing so that it is along the entire boundary with residential abutters (seen in the perspective from the Heald driveway and in Sheet 2 of the Plan Set) and the buffering is augmented with planting.

27. Standards for Development located in the B-1, B-1b, B-2 and B-2b zones. The applicant has added a number of elements to the Valley Street frontage to address the Planning Board concerns that this frontage lacked interest and parts of it presented a "blank wall" to passers by. These elements are shown in the Valley Street Perspectives and described on pages 5 & 6 of Submission B1 and include:

- Partial glazing to the service doors and 2 new windows
- Horizontal masonry banding
- Building mounted architectural lighting
- No tinted glazing on the Valley Street elevation
- New signage
- Planning

The City's Urban Designer, Carrie Marsh, has provided a further memo outlining her comments on the proposal in the context of these standards (her previous Memo is in Attachment 2c; a new Memo based on the final submissions is included in Attachment 3b). Ms Marsh concludes:

"The project was reviewed for conformance with the B-2 Design Guidelines. The project largely meets the guidelines, though the issues below may warrant further consideration:

Massing. It should be considered whether the horizontal masonry banding detail emphasizes the horizontal massing of the building, particularly along Valley Street.

Materials. Trim boards, window trim and cornice should be dimensional stock. The details (size and materials) should be provided.

Windows. The tinted windows on the south elevation, facing the patio and covered entry should be considered. The specific windows that are proposed to be tinted should be clearly noted on the plans.

The building contains a large variety of window sizes and types, which are not vertically and horizontally aligned. The type, size and alignment of windows and other fenestration, particularly along Valley Street and on the south elevation may warrant consideration.

Roof. The design and specifications of the screened area that will hide the rooftop mechanicals should be provided.

Signage, Awnings and Lighting. The location, size and design details of signage should be further discussed with staff. Specifications for awnings should be provided.

Landscaping. Physical samples of the retaining wall blocks should be provided, and reviewed in the context of the residential neighborhood. Clarity is needed on the fencing that is shown, and the compatibility with the neighborhood context should be considered.

IV. Conditions for Approval

The following items are suggested for conditions for Approval at a minimum. The above items related to massing, and type and alignment of the windows may also become possible conditions for approval, pending the Planning Board's consideration.

Materials. Trim boards, window trim and cornice should be dimensional stock. The details (size and materials) should be provided.

Windows. The specific windows that are proposed to be tinted should be clearly noted on the plans.

Roof. The design and specifications of the screened area that will hide the rooftop mechanicals should be provided.

Signage and Awnings. The location, size and design details of signage should be further discussed with staff. Specifications for awnings should be provided.

Landscaping. Physical samples of the retaining wall blocks should be provided, and reviewed in the context of the residential neighborhood. Clarity is needed on the fencing that is shown, and the compatibility with the neighborhood context should be considered.

IX. CONDOMINIUM DOCUMENTS, EASEMENTS AND LICENSES

The condominium Documents have been submitted and are being reviewed by Corporation Council and a suggested condition of approval is included to ensure these are consistent with the CZA and conditions of site plan and subdivision approval.

The proposals as located within the area of the RCW (discussed under VIII 10. Infrastructure, above) will need to be the subject of a license and this is included in the suggested condition of approval related to the Condominium documents.

No new easements have been identified during this review, as the legal ability to use the "alley" from St Johns Street is already in place along with other easements identified on the Subdivision Plat.

X. SUMMARY

The proposals have generally been revised to address the Planning Board and staff concerns. The outstanding issues are generally minor or related to the need for documentation of details except for the questions raised by the City's Urban Designer regarding the building windows and horizontal banding.

XI. MOTIONS FOR THE BOARD TO CONSIDER

On the basis of plans and materials submitted by the applicant and on the basis of information contained in Planning Report #47-07 relevant to standards for subdivision and site plan regulations, and other findings as follows:

1. That the plan is/ is not in conformance with the subdivision standards of the land use code with the following conditions of approval:

Potential Conditions of Approval:

1. [If required] The final recording subdivision plat will be completed to the satisfaction of the Corporation Council and include a list of any conditions imposed by the Planning Board, and will be submitted for the Planning Board's Signature; and

- ii. That the applicant shall receive approval of its Condominium Documents and the issuance of a License from the City for uses within the right of way, through the City's Corporation Counsel office; and
- iii. That the developer shall contribute \$3000 towards the City's Street Tree Program to cover the cost of purchasing and planting fifteen (15) street trees in the vicinity of the project (based on the provision of one tree per unit less the cost of the ten (10) trees along Valley Street to be planted as part of the project). The contribution shall be provided prior to issuance of a building permit.
- 3. That the plan is/is not in conformance with the site plan standards of the land use code with the following conditions of approval.
 - Potential Conditions of Approval
 - i. That the applicant shall make a \$5,000 contribution to the City prior to the issuance of a building permit towards the implementation of traffic calming improvements on Valley Street between Congress Street and Commercial Street; and
 - ii. That the applicant shall ensure that the approved Management Plan contained in this Report is forwarded to all those responsible for the building and its operation, and shall facilitate adherence to that Plan; and
 - iii. That the applicant shall submit for review and approval by the Planning Authority, prior to the issuance of a Certificate of Occupancy, the location, size and design details of all signage; and
 - iv. That the applicant shall submit for review and approval by the Planning Authority, prior to the issuance of a Building Permit, the details, size, specifications and materials of the trim boards, window trim and cornice (which should be dimensional stock), awnings and segmental blocks; and
 - v. That the applicant should adhere to the arboricultural practices shown on the submitted letters, plans and details and those outlined in the comments from the City Arborist of 10.18.2007 to protect the large Silver Maple tree in the rear yard of 213 St John Street. If during the first 2 years from Certificate of Occupancy this tree becomes unstable due to root loss or other construction damage related to the project, the applicant shall be responsible for pruning, removal and replacement of the tree if necessary and agreed with the owner. If removal and replacement is necessary, the replacement tree should be of 3 inch caliper of the same species (or other species as agreed with the owner); and
 - vi. That the applicant shall submit for review and approval by the Planning Authority, prior to the issuance of a Building Permit, the design and specifications of the screened area that will hide the rooftop mechanicals; and

- vii. That the applicant shall submit for review and approval by the Planning Authority, prior to the issuance of a Building Permit, the plan showing precisely where the tinted windows and doors will be located; and
- viii. That the applicant shall submit for review and approval by the Planning Authority, prior to the issuance of a Building Permit, details, catalog cuts and illumination information regarding the proposed wall-mounted lights on the Valley Street elevation; and
- ix. [Lighting]

- a. That in the event that any neighbors nearest to the eastern boundary of the proposal site complain regarding the levels or glare of light from the proposal site, that the applicant shall immediately implement revised lighting that is in accord with the City's *Technical and Design Standards and Guidelines for Lighting* (Section XV);
- OR
- b. That the applicant shall submit for review and approval by the Planning Authority, prior to the issuance of a Building Permit, revised lighting proposals and photometric plans that accord with the City's *Technical and Design Standards and Guidelines for Lighting* (Section XV); and

- x. That the applicant shall brick over the entire island (in the pull-off right-of-way) to match the sidewalk in the event the planted portion becomes unsightly; and
- xi. That the applicant shall submit for review and approval by the Planning Authority, prior to the issuance of a Building Permit, the details for handicapped ramps on Plan Sheet # 7 to modify the lower detail (for the loading ramp at the service entrance) to omit the detectable warning strip as there is no crosswalk at this location.

Attachments

- 1. Conditional Zone Agreement
- 2. Staff comments provided at 9.25.07 Workshop:
 - a. Previous Engineering Review Memo
 - b. Final Traffic Contribution Memo dated Sept 20, 2007
 - c. Previous Traffic Engineering and parking e-mail
 - d. Previous Zoning Memo
 - e. Previous Urban Design Memo

3. Staff comments since Workshop
 - a. Fire Department Sign off from L1 October 16, 2007
 - b. Final Engineering Review Memo dated October 16, 2007
 - c. E-mail exchange re possible crosswalk in Valley Street dated October 17, 2007
 - d. Public Works Memorandum dated October 17, 2007
 - e. Final Zoning Memorandum dated October 17, 2007
 - f. City Arborist comments dated October 18, 2007
 - g. Police Department Memorandum re issue raised at Workshop, rec'd Oct. 18, 2007
 - h. Final Urban Design Memorandum dated October 17, 2007
 - i. Final Traffic Engineering and parking e-mail dated October 19, 2007
4. Public Comments as provided at Workshop
 - a. Ms Deborah Heald
5. Public comments since the Workshop
 - a. Mr. Dan Chase

Under separate cover:

- A. **Site Plan and SubDivision application** [Blue cover]
 - Application and supporting information submitted by applicant Sept. 4, 2007
- B. **Supporting information submitted since the PB Workshop** [Purple cover]

1. Letter and graphics dated October 2, 2007
2. Letter dated October 16, 2007
3. Letter dated October 18, 2007
- Neighborhood Meeting Certificate
- Approved Management Plan
4. Final Plan Set (27 Sheets)

Memorandum
Department of Planning and Development
Planning Division



To: Chair Patterson and Members of the Portland Planning Board

From: Jean Fraser, Planner

Date: Prepared on: October 23rd, 2007
Prepared for: October 23rd, 2007 Planning Board Hearing

Re: Florence House, vicinity of 190 Valley Street
APPENDUM #1

1. Staff recommend the omission of three of the potential conditions with respect to the SITE PLAN Review included in the Hearing Report #47-07; the requirements of these conditions have been met by the applicant through updated or clarified information.

2. **Conditions Removed:**

The following conditions as set out and numbered in PBR#47-07 have been removed in full:

Condition vii: Rc location of tinted windows: this plan has been submitted and shows tinted glazing on the large window overlooking the parking lot, the large window facing but set back from Valley Street at the main entrance, and the inner doors of the vestibule.

Condition ix: Rc lighting trespass near neighbors: the updated photometric has been submitted, which takes account of the 4 foot high fence, and shows that there is no trespass along the boundary with residential abutters.

Condition xi: Rc details for the handicapped ramps: the reviewers' comments related to a detail for a different location and the submitted detail for the loading ramp location is correct and the condition is not required.

3. **Final Motion 3 (as revised):**
[see next page]

3. [as revised] That the plan is/its not in conformance with the site plan standards of the land use code with the following conditions of approval:

Potential Conditions of Approval

- i. That the applicant shall make a \$5,000 contribution to the City prior to the issuance of a building permit towards the implementation of traffic calming improvements on Valley Street between Congress Street and Commercial Street; and
- ii. That the applicant shall ensure that the approved Management Plan contained in this Report is forwarded to all those responsible for the building and its operation, and shall facilitate adherence to that Plan; and
- iii. That the applicant shall submit for review and approval by the Planning Authority, prior to the issuance of a Certificate of Occupancy, the location, size and design details of all signage; and
- iv. That the applicant shall submit for review and approval by the Planning Authority, prior to the issuance of a Building Permit, the details, size, specifications and materials of the trim boards, window trim and cornice (which should be dimensional stock), awnings and segmental blocks; and
- v. That the applicant should adhere to the arboricultural practices shown on the submitted letters, plans and details and those outlined in the comments from the City Arborist of 10.18.2007 to protect the large Silver Maple tree in the rear yard of 213 St John Street. If during the first 2 years from Certificate of Occupancy this tree becomes unstable due to root loss or other construction damage related to the project, the applicant shall be responsible for pruning, removal and replacement of the tree if necessary and agreed with the owner. If removal and replacement is necessary, the replacement tree should be of 3 inch caliper of the same species (or other species as agreed with the owner); and
- vi. That the applicant shall submit for review and approval by the Planning Authority, prior to the issuance of a Building Permit, the design and specifications of the screened area that will hide the rooftop mechanicals; and
- vii. That the applicant shall submit for review and approval by the Planning Authority, prior to the issuance of a Building Permit, details, catalog cuts and illumination information regarding the proposed wall-mounted lights on the Valley Street elevation; and
- viii. That the applicant shall brick over the entire the island (in the pull-off right-of-way) to match the sidewalk in the event the planted portion becomes unsightly.

cc:

Barbara Barby; Little Lake

Jeff Tarrington

"It during the first 2 years from the silver maple declines to the extent that it needs pruning or removing, that the applicant shall (a) be responsible for any required pruning or removal and (b) if removal is necessary, be responsible for its replacement with a tree of the 2 inch caliper of the same species for other species as agreed with the owner."

The three point - planting guideline - in review, although the applicant has requested a waiver from this standard, I would ask the board to consider a contribution to plant an additional tree in the project area to offset the loss of the silver maple tree. The benefits of adding trees to improve this area in regards to shading, shade, environmental benefits is considerable.

might include the following description:

should be responsible to prune, remove and replace the tree if effected. This tree to root loss, construction damage related to the project the project area is protected. If the large silver maple tree were to become unstable and fall to decline or pose greater risk to both the Florence House or the surrounding area, the potential long term impact on this large tree is unknown, thus I would recommend that the Florence House project impact on the tree may cause damage. The potential long term impact on this large tree is unknown, thus I would recommend that the Florence House project impact on the tree may cause damage. The potential long term impact on this large tree is unknown, thus I would recommend that the Florence House project impact on the tree may cause damage. The potential long term impact on this large tree is unknown, thus I would recommend that the Florence House project impact on the tree may cause damage.

silver maple - Tree Protection - The plan outlines steps to be taken to protect the large silver maple on the nearby adjacent property. This includes structural practices such as root pruning, exposed roots and covering with soil to protect once exposed, construction fencing etc. I would stress that clean up and removal of debris is important to be completed within 48 hours of the tree being removed. The plan outlines steps to be taken to protect the large silver maple on the nearby adjacent property. This includes structural practices such as root pruning, exposed roots and covering with soil to protect once exposed, construction fencing etc. I would stress that clean up and removal of debris is important to be completed within 48 hours of the tree being removed. The plan outlines steps to be taken to protect the large silver maple on the nearby adjacent property. This includes structural practices such as root pruning, exposed roots and covering with soil to protect once exposed, construction fencing etc. I would stress that clean up and removal of debris is important to be completed within 48 hours of the tree being removed.

I have reviewed the Florence House Landscape Plan and offer the following comments:

From: Jeff Tarrington
 To: Jean Fraser
 Date: 10/18/2007 1:26:11 PM
 Subject: Florence House Landscape Plan

Tab 20

TREE PRESERVATION GUIDELINES

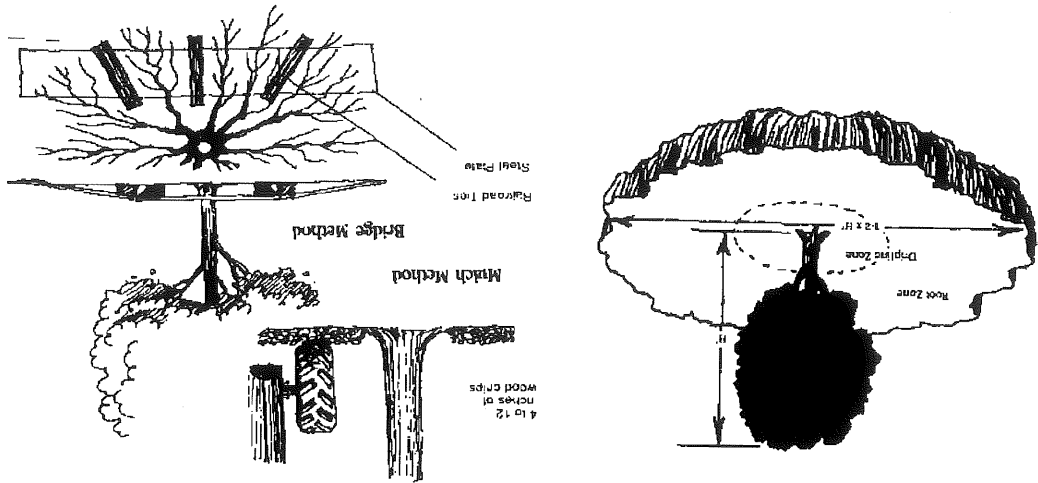
Tree preservation measures have been prepared to address the silver maple on an abutting property. A tree protection detail has been added to the detail sheet and the attached *Tree Preservation Guidelines for Contractors* has been added to the application as an additional measure of protection.

Tree Preservation Guidelines for Contractors

While working around any trees on your job site, it is critical and mandatory that you follow some guidelines to prevent construction damage to the trees.

FENCING

Tree protection fencing is a requirement for you to receive your building permit. You are notified of the



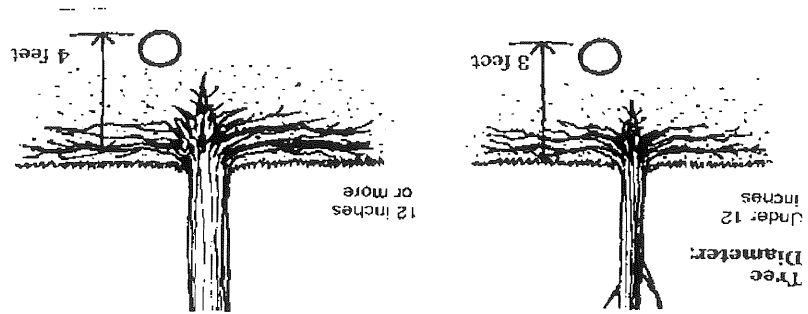
requirements when the application for permit is filed. Follow the fence detail noted on the permit. Keep in mind the diagram above. Fencing around the dripline is the minimum requirement. The farther away from the dripline you are, the better for the tree. If you must fence within the dripline, you must take other protective measures, including putting down a layer of mulch at least 4" to 12" deep. The *Mulch method* is the preferred method. You may also use the *Bridge Method* illustrated above.

TRENCHING AND TUNNELING FOR UTILITIES

You will be notified about our requirements for trenching and tunneling through the tree(s) root system by our plumbing inspector and our tree preservation officer before your final permit is issued. Here are *trenching guidelines* you need to follow: (1) When any roots are cut or torn during construction, it is critical that you sharply cut all the ends of any exposed roots immediately. Failure to do so will leave crushed and torn roots which lead to decay and few new roots regrowing. (2) Pile soil on the side of the trench opposite the tree. If this is not possible, place the soil on a plastic tarp, plywood or a thick bed of mulch. (3) Do not compact the backfill on the trench more than its original firmness. (4) Water the backfill to allow the roots to begin healing.

Trenching near a tree can kill as much as 40%-50% of its roots. A tunnel for the utilities may be required in some cases where you are working too close to the dripline. A boring or augering tunnel should be a minimum depth of three feet (3'). For larger trees, it is better at four feet (4'). See the augering diagram on the opposite page.

Turn page over for more information...



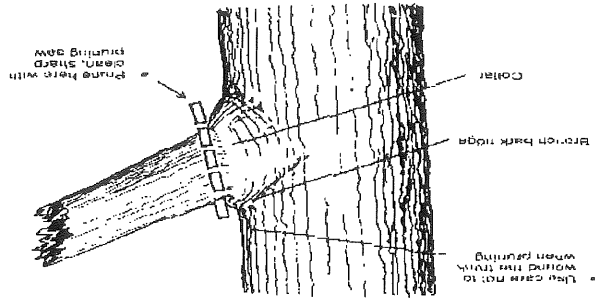
Work pits for tunnels are sometimes 5' to 8' wide and can damage too many roots. Minimize the width of work pits. Include the same procedures for root pruning in the work pits as for the trenches.

Prevent scraping or gouging bark or trunk or lower limbs with heavy equipment. If the tree you are working around is in a confined space and your equipment will be coming close to it, it is important for you to protect the trunk. Wrap the tree trunk in old tires or snow fence or place



2" x 4" studs around the tree and rope or bank them together.

Prune any broken branches at the end of each work day. When in doubt, call a professional tree service to work with you on the proper pruning required for that tree.



FLORENCE HOUSE MANAGEMENT PLAN

RESPONSIBILITIES

Florence House is a collaboration between Preble Street and Avesta Housing Development Corporation.

Avesta Housing is the developer/sponsor of the project, and Preble Street will provide social services. The project will be set up as a two unit condominium owned by Florence House Housing Corporation and Avesta Florence House LP. Both entities are affiliated with Avesta Housing. The Florence Condominium Association will be established pursuant to the Maine Condominium Act, 33 M.R.S. A Sections 1601-101 *et seq.* Florence House Condominium Association will be responsible for maintaining all common elements as indicated in the Plat and Plans in the Declaration of Condominium of the Florence House Condominium Association. This includes, but is not limited to driveways, open spaces and walkways, light fixtures on the property, water feeder lines, sewer lines, meters and drainage systems. In addition, the Association will be responsible for removal of solid waste, and snowplowing, salting, and sanding all driveways, walkways and parking areas. Florence House Condominium Association is responsible for implementing and enforcing this Management Plan.

Preble Street is the on-site social service provider at Florence House and is responsible for day to day operations including social work and on site support provided to residents of Florence House. Avesta Housing, through its affiliated management company, is responsible for tenant selection and income qualification, with consultation from Preble Street.

STAFFING

Preble Street has made a commitment to a minimum of three awake staff people on-site at all times. Attached is a proposed staffing plan and staffing schedule.

Florence House will be overseen by a Program Coordinator with experience in management of programs working with homeless women as well as extensive training in mental health and substance abuse issues. The Coordinator will be accountable for hiring and firing staff, assuring that all staff meet training requirements, for coordinating with Avesta, and for developing and implementing policies and procedures aimed at maintaining a safe environment and furnishing of quality social services at Florence House.

The Coordinator will be supported by a Clinical Supervisor who will assist in the development of clinical policies, directly supervise part of the Housing Support staff, lead case review meetings, and be the primary liaison with the many mental health, substance abuse, and health providers who will be working with Florence House residents.

- There are four access points to the building:
 - The primary entrance is at the south-east corner of the building on Valley Street. This entry consists of two sets of doors. The first set is un-locked and leads into a small vestibule. The second set is locked and leads to the staffed front desk in the main lobby. This front desk will be constantly staffed by Preble Street employees. All people entering the building will have to be buzzed in by Preble Street staff.
 - There is a basement level door at the south-west corner of the building. This door provides limited access only to staff and residents with cars. This door will be monitored through a video intercom system monitored at the front desk. This system will include electronic door unlocking for entry. Residents will not have access to this door.
 - There is a door located at the rear terrace. This door will be used by residents and staff to access the patio.
 - The rear yard area is fenced off with a 6 foot high wooden fence. A locked gate is located near the parking lot.

ACCESS RESTRICTIONS

Both the physical design of the building and the program design will act in tandem to control access to the building. The front desk staff person is responsible for monitoring entry into and exit from the building.

Housing Support Workers will receive training that meets the residential standards for mental health programs and then additional training to understand the complex issues that face chronically homeless individuals. This training will include: CPR, First Aid, intervention in potentially violent situations, mental health, substance abuse, co-occurring disorders, homelessness, Housing First, crisis intervention, and essential community resources. Three team leaders will be responsible for providing leadership for other housing support staff throughout the shifts. Team leaders will receive additional training in supervision, policy implementation, and crisis intervention and will be directly supervised by the Program Coordinator.

Housing Support Workers will receive training that meets the residential standards for mental health programs and then additional training to understand the complex issues that face chronically homeless individuals. This training will include: CPR, First Aid, intervention in potentially violent situations, mental health, substance abuse, co-occurring disorders, homelessness, Housing First, crisis intervention, and essential community resources. Three team leaders will be responsible for providing leadership for other housing support staff throughout the shifts. Team leaders will receive additional training in supervision, policy implementation, and crisis intervention and will be directly supervised by the Program Coordinator.

Housing Support Workers will work directly with Florence House residents to assure that basic needs are met, that supports are available, that referrals and appointments in the community are made, and in developing individual service plans with residents who are ready to do so. In addition these staff will be responsible for monitoring safety in the building and on the property. Safety will be monitored through staffing of the front desk, requiring that all persons who enter the building sign in and exhibit safe behavior, and by staff doing frequent walks throughout the facility.

Residents' behavior is expected to be safe and appropriate. Residents may not unreasonably disturb others, use the premises for any purpose deemed hazardous, conduct any activity or occupation which is illegal, noisy or dangerous, nor cause any

CONTROLS OF BEHAVIORS; CONTROL OF NOISE LEVELS

Working closely with the Portland Police Department and other public safety departments, Preble Street provides extensive trainings to all staff on basic safety including CPR, First Aid, intervention with potentially violent situations, how to communicate with crisis services and with 911, and the role of police and Medu in on site situations. Preble Street have developed specific safety protocols and regularly communicate with the Portland Police and other emergency personnel. Attached is an outline of the Preble Street training material.

SAFETY MEASURES

Four functional surveillance cameras will be situated in order to monitor the outer perimeter of the property and will be directed to avoid monitoring any neighboring properties unless explicitly agreed with the owner of that property. Exact mounting locations will be selected to maximize viewing coverage; mounting height will be a minimum of 10 feet above the ground to prevent vandalism. The cameras are part of a digital video security system that will allow for live viewing of each camera from a central computer as well as the recording of data. Front desk staff will be responsible for monitoring the cameras. Any changes in camera locations will be in consultation with the Portland Police Department.

SURVEILLANCE

Residents in the apartments on the second and third floors can have visitors. All visitors are required to be signed in and signed out at the front desk. Visitors cannot be intoxicated and cannot bring any alcohol or non-prescription drugs into Florence House. Any behavior that appears threatening or inappropriate will be managed as outlined below in the CONTROLS OF BEHAVIORS; CONTROL OF NOISE LEVELS section of this plan.

Visitor Policy

Florence House is accessible to residents twenty-four hours a day. Unlike traditional shelters that close in the morning for cleaning, residents may stay in the building at all times.

Resident Access

In addition, there are two egress doors – one located at the basement level door and the other located at the delivery area. Both doors lead directly into stairwells and are designed for emergency exit of the building, not as entrance points.

damage or waste to the premises. No alcohol is permitted in any indoor or outdoor public area. Expectations will be detailed in the tenant agreement that is part of the lease. An excerpt of a sample Avesta Housing lease is attached.

Loitering of non residents around Florence House is not permitted nor is any behavior that is disruptive or unsafe. Any behavior that does not meet safety and noise expectations as well as any loitering will be addressed by procedures that will vary based on the severity and the responsibility of the person whose behavior is being inappropriate:

- First, the individual(s) is asked to leave the area and staff use any existing relationship as well as offers of alternative resources, if needed, to make sure that the individual(s) leave the area and understand the need to change this behavior in the future.

• Second, in the event that the person returns to the area or refuses to leave, Preble Street staff will serve the individual(s) with paperwork approved by the City that lets them know that they are restricted from a specific area around the building.

- Third, if the individual(s) still does not leave the area or returns, the police will be notified to move the individual(s) along and/or to make an arrest for trespassing. Preble Street staff follow up with the Police Department to ensure that individuals do not return to the area and that they understand that continued trespassing can result in incarceration.

MONITORING REPORTS

Preble Street will submit regular reports to the funding sources of Florence House, as required (HUD, United Way, State of Maine, Maine State Housing Authority, etc). In addition, both Avesta Housing and Preble Street are active members of two planning and monitoring entities the local Emergency Shelter Assessment Committee and the Region One Homeless Council. Preble Street and Avesta Housing will regularly report on Florence House at those meetings. In addition, the Association will submit reports to the City on a quarterly basis during the first year of occupancy at Florence House and annually thereafter.

This Management Plan is subject to periodic updating and review. Any changes to this Management Plan must be mutually agreed upon by the City of Portland, acting through the Planning Authority, and the Florence House Condominium Association. This Management Plan is subject to the Conditional Zoning Agreement approved by the City of Portland on September 17, 2007.

ATTACHMENTS

1. Staffing Plan and Staffing Schedule
2. Preble Street Training Material Outline
3. Excerpt from sample Avesta Housing lease (re apartments only)
4. Excerpt from sample Avesta Housing resident selection policy (re apartments only)

Attachment 1: Staffing Plan and Staffing Schedule

The Florence House staffing team will be led by a Program Coordinator with experience in management of programs working with homeless women as well as extensive training in mental health and substance abuse issues. A Clinical Supervisor will provide additional support for staff regarding the challenges of implementing the housing first model. Team leaders with extensive experience in homeless and/or residential services will take responsibility for task supervision during weekend and overnight shifts and will report directly to the program Coordinator. Housing Support Workers will receive extensive training in crisis intervention, mental illness and substance abuse issues, CPR, First Aid, housing first, and harm reduction as well as an orientation to Preble Street's low barrier model and Portland resources. It is anticipated that all staff will receive three weeks of training and assisting in other Preble Street sites before Florence House opens.

To summarize, the proposed staffing team includes:

- 1 Program Coordinator
- 1 Clinical Supervisor
- 3 Team Leaders
- 13 FTE Life Skills Worker
- 1 Program Assistant
- Meal & Volunteer Program Manager
- Janitorial
- Per diem staff to cover gaps during staff vacation/holiday time

Typical Day Staffing Pattern

Staffing will take place in three shifts each day – a daytime shift, an evening shift, and an overnight shift. All staff members will be awake at all times. There will never be fewer than three staff members present on site. Most day and evening shifts will include five or six staff members present on site, including one supervisor or team leader and three line staff. Overnight shifts will have a minimum of three staff. There is also the possibility of one or two meal volunteers during the day shifts.

The following chart outlines the basic staffing pattern.

Please Note:
 The Food and Volunteer Manager and the Program Coordinator will have varying schedules.

FT - Full-time Housing Support Worker
 PT - Part-time Housing Support Worker
 Sup - Clinical Supervisor
 Coord. - Program Coordinator
 TL - Team Leader

SUN	MON	TUES	WED	THUR	FRI	SAT
FT#1	FT#1	FT#1	FT#1	FT#1	FT#2	FT#2
FT#3	FT#4	FT#2	FT#2	FT#2	FT#3	FT#3
FT#4	pt	FT#4	FT#3	FT#3	LS	LS
Sup/TL	Sup/TL	Sup/TL	Sup/TL	Sup/TL	TL	TL
Coord	Coord	Coord	Coord	Coord		
F&V mgr	F&V mgr	F&V mgr	F&V mgr	F&V mgr		
FT#7	FT#5	FT#5	FT#5	FT#5	FT#5	FT#6
"4pm-midnt"	FT#7	FT#5	FT#5	FT#5	FT#5	FT#6
"evening"	FT#8	FT#8	FT#6	FT#6	FT#6	FT#7
LS	LS	FT#8	FT#7	FT#7	FT#7	FT#8
TL	TL	Sup/TL	Sup/TL	Sup/TL	Sup/TL	Sup/TL
			Coord	Coord	Coord	
			F&V mgr	F&V mgr		
midnt-8am	FT#12	FT#9	FT#9	FT#9	FT#10	FT#11
"overn"	TL	FT#12	FT#10	FT#10	FT#10	FT#11
pt	TL	TL	TL	FT#11	FT#11	FT#12

Florence House Schedule

Attachment 2: Preble Street Training Material Outline

1. Preble Street Required Training for All Staff

- Step 1: (Orientation): Preble Street Handbook and Policies
- Confidentiality Policy and Unlawful Harassment Policy
- Exposure Risk Policies (Universal Precautions, Bloodborne and Airborne Pathogens)
- Incident and Accident reporting, Worker's Compensation, and Trauma Protocol
- Step 2: Maintaining a Safe Work Environment:
 - Boundaries & Confidentiality, Steps for Safety, Conflict Resolution, Challenging Behaviors, Emergency Services Intervention Basics, Weapon Policy and Trauma Procedures
 - Step 3: Mental Health & Suicide Intervention:
 - Emergency & Non-Emergency Procedures, Mental Health Crisis Intervention, Suicide Intervention
- Additional Annually Training: Unlawful Harassment & Safety Training, Video Display Terminal Training (for office staff)

11. Specific Program Training

Adult Services

Logan Place/Florence House:

History & Logan Place/Florence House Policies

Harm Reduction

Social Services Tour

Police Interaction Protocol/Referral Guidelines

Personal Safety & De-escalation Techniques

Boundaries & Confidentiality

Challenging and Unsafe Behaviors

Steps for Safe Interactions

Co-occurring Mental Health and Substance Use Disorders

Mental Health Intervention Training

Developing Positive Relationships

Assessing for Suicide

Stages of Alcoholism/Withdrawal/Overdose/Recovery

Substance Abuse and Victimization

History and Principles of Supportive Housing

Women's Shelter/Florence House:

Shelter Procedures and Policies (including Intake Procedures, On Call Procedures, Illegal

Substance Policy, & Overflow Plan)

Emergency Interventions/Police and Medical Protocols

De-escalating & Addressing Difficult Behaviors

Boundaries & Confidentiality

Suicide Intervention

Coordinator and Program Assistant (HMIS Training)

Sexual Abuse Training (SARS)

Adult Day Shelter:

Day Shelter Policies (including Drug & Alcohol Policies, Weapon Policy & Trauma

Protocol)

Social Work and Safety in the Day Shelter

Emergency Interventions/Police and Medical Protocols

De-escalating & Addressing Difficult Behaviors

Casework - Working with Clients & Paperwork

Weekend Breakfast Protocols/On Call Procedures

Teen Services

Teen Drop in Center:

- Agency Overview
- Drop in Policies/Rules/Regulations
- Confidentiality
- Consumer Needs, Issues, and Characteristics
- Boundaries
- Harm Reduction/Drugs & Alcohol
- Case Management/Taperwork/Resources
- Child Abuse Reporting (DHS/CPS Training)
- Crisis Intervention
- Outreach
- Program Assistant (HMIS Training)

Lighthouse:

- Lighthouse Policies/Rules
- Intake/Discharge Procedures
- Confidentiality
- Child Abuse Reporting (DHS/CPS Training)
- Police/Medic/Fire Department Procedure
- Emergency & Evacuation Procedure
- Emergency Preparedness Plan/Overflow
- Suicide Prevention

Upon Hire and as required by license:

- Physical for staff
- TB testing
- First Aide/CPR (American Red Cross)

III. Additional Training from Outside Sources:

- University Of Maine:** 40-42 course slots (days) for staff each year
- Ethical Decision Making, Motivational Interviewing, Communicating One on One, Using Feedback Effectively, Constructive Conflict Resolution, Anger as Information, The Practice of Supervision, Assessing the Risk of Violence, Stepping Up to Supervisor, Critical Thinking, Compassion Fatigue, Managerial Courage, Negotiation Skills, Coaching to Enhance & Improve Performance
- Co-Occurring Collaborative of Southern Maine** – some examples are: Multi-Cultural Responsiveness in Maine, Co-Occurring Disorders and the Criminal Justice System, Meth on the Move, Psychiatric Care of Patients in the ER Department, Treatment & Recovery Philosophies
- Sexual Assault Response Services of Southern Maine** – 4 Trainings contracted per year on sexual assault, medical and legal issues.
- American Red Cross** First Aide and CPR for Lighthouse staff upon hire and annually.
- DHHS** Intake and Referral - Mandatory Reporting
- David Mandt & Associates** - Mandt System Training
- Amistad** Mental Health Trainings
- Day One** - Teen Center Training
- Portland Police Department** – Police Interaction and Relationships, CIT Officers and Crisis Intervention
- Maine Medical Center** Ethics in the Health & Mental Health Care

Attachment 3: Excerpt from sample Avestra Housing lease (re apartments only)

RESIDENT'S OBLIGATIONS

- Resident shall:
- A. Use the Premises only for a private dwelling as stated above and for no other purpose.
 - B. Keep the Premises in a decent, safe and sanitary condition.
 - C. Pay the Resident's Monthly Rent to the Owner pursuant to Paragraph 3 above.
 - D. Promptly notify the Owner of any conditions that require repair or maintenance, including infestation with rodents, vermin or insects.
 - E. Permit the Owner to inspect the Dwelling Unit annually and at other such times as the Owner deems necessary to ascertain the conditions of the Dwelling Unit and to determine if repairs or improvements are necessary.
 - F. Reimburse the Owner within 30 days of his expenditures for all repairs, redecorating or replacement of furnishings and appliances necessitated by neglect or intentional conduct of Resident, or visitors
 - G. Be responsible for the conduct of any visitors on the Premises
 - H. Limit overnight visitors/guests to no more than 5 nights in a month. (All visitors must sign in at the front desk.)
 - I. Follow such rules and regulations governing the use and occupancy of the Premises as may be promulgated by the Owner pursuant to Paragraph 12 below.
 - J. Leave the Premises upon termination of this Lease Agreement in as good condition as at the date the Resident moved in, reasonable wear and tear excepted.
- Resident shall not:
- 1. Unreasonably disturb other residents, staff or volunteers, or neighbors with loud noises or other nuisances.
 - 2. Make any alterations, additions, or improvements to the Premises, without prior written consent of the Owner.
 - 3. Use the Premises for any purpose deemed hazardous by the Owner's insurance company or place combustible materials in storage areas.
 - 4. Keep any article or substance on the premises or conduct any activity or occupation which is illegal, noisy or dangerous.
 - 5. Hang items on the walls of the Premises other than with picture hooks, without the Owner's prior written approval.
 - 6. Assign this Lease Agreement or sublet the unit.
 - 7. Install washing machine or dryer, electric space heater, or other major appliance.
 - 8. Cause any damage or waste to the Premises.
 - 9. Cause Premises to be overcrowded.
 - 10. Permit any guests/visitors to remain overnight unless that guest/visitor has signed in at the front desk.

Attachment 4: Excerpt from sample Avesta Housing tenant selection policy (re apartments only)

Determination of Eligibility and Screening Criteria

Avesta Housing and Portland Housing Authority (PHA), in order to make the application process as low-barrier as possible, will provide a single application for Logan Place which will provide information for Avesta and PHA to determine eligibility for their respective program requirements. Preble Street will assist all referred applicants with completion of the Avesta/PHA Application.

To determine final Eligibility, verified information will be secured and evaluated and a determination will be made with respect to:

1. Eligibility of the Applicant as disabled and chronically homeless,
2. Eligibility of the Applicant with respect to Low-Income Housing Tax Credit and HOME Income Limits for admission;
3. Must not be, or intend to be a full-time student
4. Apartment size and design and whether an accessible or modified apartment is required for the household;
5. Qualification of the Applicant with respect to the Applicant Screening Criteria.

Screening Criteria

All Applicants for Logan Place will be screened according to the criteria set forth below.

- The Applicant must have the ability to pay the rent, i.e. apply for and be approved for a Portland Housing Authority Section 8 project based voucher.
- The Applicant must not owe money related to a previous HUD housing subsidy.
- The Applicant will be subject to a criminal history background check sufficient to determine whether he or she has a record of violent criminal history or for a pattern of criminal behavior.
- Persons convicted of sexual offenses and subject to a Lifetime Sexual Offender registration requirement are permanently prohibited from admission to Logan Place.
- Persons convicted of drug-related criminal activity for manufacture or production of methamphetamine on the premises of federally-assisted housing are permanently prohibited from admission to Logan Place.
- The Applicant must not have a history or illustrate a concern in which their behavior may interfere with other residents in such a manner as to diminish their peaceful enjoyment of the premises by adversely affecting their health, safety, or welfare;
- The Applicant must not have a history of, or illustrate a concern in which they may violate the civil rights of any person, while on the premises of Logan Place;
- The Applicant will not require services from Avesta Housing staff that would alter

From: Jean Fraser
To: Barhydt, Barbara
Date: 7/23/2008 5:01:11 PM
Subject: Fwd: Florence House

Barbara,

During the review the Board asked about this wall and were concerned about its materials- I don't really think they liked the segmental wall and wanted more planting - therefore I don't think the change to brick is de minimus as the idea was to break up the high blank walls of this project and tie into the architecture of the building.

I think it might be best for them to meet with us and run through the questions, giving me time to look back in the files and brief myself/others here re the issues. Not sure who should attend from our side.....in addition to me.....??????

Can we please discuss

thanks
Jean

<<<<"Betsy Melrose"<BMelrose@mitcheillassociates.biz> 7/22/2008 12:32:16 PM >>>>
Hi Jean-

I hope you are enjoying your summer!

We are in the process of having the construction documents reviewed by Maine Housing for the Florence House project. I am wondering what the process would be if we need to do any value engineering? For instance, we have the retaining wall between the lower parking lot and upper drop off area. As approved, this is a segmental block retaining wall, but changes to a brick veneer material closer to the building. If we had to change the brick veneer retaining wall to segmental block, would we just submit this request as a de minimis change for staff review?

Thanks.
Betsy

Plaintiffs Michael Brenner, Daniel Chase, Tim Ly, Matthew Peters and Alan Prosser (collectively, "Plaintiffs") separately own properties on St. John Street in Portland, Maine. Defendants Avesta Housing Development Corporation, Avesta Florence House LP, Florence Housing Corporation, Florence House Condominium Association (collectively, "Avesta") propose to construct and operate a project known as "Florence House" on a parcel located at 190 Valley Street in Portland, Maine ("the property"). The property is located between St. John Street and Valley Street within the B-2 Zone (Business-2 Zone). The B-2 Zone contains both residential and commercial properties.

BACKGROUND

Before the Court is an appeal brought pursuant to M.R. Civ. P. 80B by the Plaintiffs seeking judicial review of a decision by the City Council acting on behalf of the Defendant City of Portland to approve the conditional zoning agreement sought by Defendant Avesta Housing Development Corporation.

CITY OF PORTLAND, MAINE,
 AVESTA HOUSING DEVELOPMENT CORP.,
 AVESTA FLORENCE HOUSE LP,
 FLORENCE HOUSE HOUSING CORP., INC., and
 FLORENCE HOUSE CONDOMINIUM ASSOCIATION,
 Defendants

ORDER ON PLAINTIFFS' RULE 80B APPEAL

Plaintiffs
 ALAN PROSSER
 TIM Q. LY, MATTHEW PETERS and
 MICHAEL BRENNER, DANIEL CHASE,

STATE OF MAINE
 Cumberland, ss, Clerk's Office
 SUPERIOR COURT
 JUL 09 2008
 RECEIVED

SUPERIOR COURT
 CIVIL ACTION
 DOCKET NO. AP-07-50

in their zoning ordinances so long as certain conditions are met:

By statute, municipalities may provide for conditional or contract zoning

DISCUSSION

September 2007. This appeal followed.

accept the CZA. The City Council voted unanimously to adopt the CZA in In August 2007, the Planning Board voted to recommend that the City Council held several workshops, which resulted in small changes in Avesta's application. under the B-2 zoning regulations applicable to the property. The Planning Board CZA was necessary because Florence House could not legally be constructed ("CZA") that would allow it to construct Florence House on the property. A "City") Planning Board seeking approval of a Conditional Zone Agreement In April 2007, Avesta applied to the Defendant City of Portland (the

hours a day as a condition of the conditional zoning agreement.

unlike other homeless shelters in Portland, would remain open twenty-four contain twenty-five (25) single-room occupancy apartments. Florence House, Condominium Unit 2 would consist of the second and third floors and would increased to twenty-five if necessary) and provide fifteen "safe haven" beds. emergency homeless shelter with ten beds (the total number of beds can be would consist of the basement and first floor of the building and serve as an proposed units each of which would be separately owned. Condominium Unit 1 Portland. Within the single structure constituting Florence House are two Florence House is designed to serve the homeless women population of contain approximately 31,272 square feet of floor space.

area. Florence House would consist of three stories and a finished basement and The property consists of a single lot approximately 25,000 square feet in

8. CONDITIONAL AND CONTRACT REZONING. A zoning ordinance may include provisions for conditional or contract zoning. All rezoning under this subsection must:

- A. Be consistent with the growth management program adopted under this chapter;
- B. Establish rezoned areas that are consistent with the existing and permitted uses within the original zones; and
- C. Only include conditions and restrictions that relate to the physical development or operation of the property.

30-A M.R.S.A. § 4352(8) (2008). The statute also contains notice and hearing requirements that must be met. *Id.* The growth management program that this statute requires every municipality to have is "a document containing the components described in section 4326, including the implementation program, that is consistent with the goals and guidelines established by subchapter II [entitled "Growth Management Program"]." 30-A M.R.S.A. § 4301(9).

The Portland Land Use Code also contains provisions relating to conditional zoning. Under Portland Land Use Code sections 14-60 to 14-62, the City Council has the authority to rezone a property if due to "the unusual nature or unique location of the development proposed, the city council finds it necessary or appropriate to impose, by agreement with the property owner or otherwise, certain conditions or restrictions in order to ensure that the rezoning is consistent with the city's comprehensive plan."

The test for this Court's review of the City's approval of the CZA is whether "from the evidence before it the city council could have determined that the rezoning was in basic harmony with [the City's Comprehensive Plan]." *LaBonta v. City of Waterville*, 528 A.2d 1262, 1265 (Me. 1987) (quoting *Haines v. City*

(emphasis added). Thus, the sole determination to be made by this Court with *Labonta*, 528 A.2d at 1265 (quoting *City of Phoenix v. Haines*, 727 P.2d at 343)

Faced with the multiple goals of protecting residential neighborhoods and promoting economic opportunity and commercial development... the city council was not required to refrain from permitting any intrusion whatever upon an area previously zoned residential. Rather it had the job of accommodating these multiple goals in a way to advance the overall best interests of the City and its people as defined by the comprehensive plan read as a whole. The test for the courts review of the city council's rezoning action is whether "from the evidence before it the city council could have determined that the rezoning was in basic harmony with the comprehensive plan."

applicant.

does not support the imposition of such a burden on a conditional zoning of the comprehensive plan." Plaintiffs' Rule 80B Brief, page 12. The law simply proposed conditional zoning agreement "is in basic harmony with all provisions The Plaintiffs first argue that Avesta has the burden of showing that its

A. The CZA Is Consistent with the City's Comprehensive Plan

arguments in turn.

The Plaintiffs in the instant case argue that this Court should invalidate the CZA on several grounds: first, because the CZA is not consistent with the City's Comprehensive Plan; second, because the CZA is not consistent with the existing and permitted uses within the original B-2 zone; and, finally, because the CZA constitutes illegal spot zoning. The Court will address each of these

A.2d 1018, 1023; *Adelman v. Town of Baldwin*, 2000 ME 91, ¶ 22, 750 A.2d 577, 585. City's Comprehensive Plan. *City of Old Town v. Dimoulas*, 2002 ME 133, ¶ 18, 803 proving that it is inconsistent with the growth management program, here the (omitted). The party challenging the conditional zoning has the burden of *of Phoenix*, 151 Ariz. 286, 727 P.2d 339, 344 (Ariz. App. 1986)) (internal quotations

respect to the CZA's consistency with the Comprehensive Plan is whether the two are in basic harmony, not absolute harmony.

The CZA contains the following declaration: "the Portland City Council has determined the rezoning and proposed development would provide needed housing in the City for low income individuals as is consistent with the housing component of the Comprehensive Plan, and would not negatively impact the surrounding business and residential community." Record, page 1420 (hereinafter R. —.). The Plaintiffs argue that the City erred in finding that the general goal in the Comprehensive Plan that housing be available for all persons regardless of income means that each neighborhood in the City must itself contain housing for people of all economic strata. In other words, Plaintiffs argue that "[g]eneral goals [in the Comprehensive Plan] provide no rational justification for why this particular piece of property should be rezoned to allow the construction of Florence House." Plaintiffs' Rule 80B Brief, page 16. Instead, Plaintiffs argue, the City should have read beyond the general goal of providing housing to the more specific sections of the Comprehensive Plan that require that the integrity of existing neighborhoods be considered. The Plaintiffs also point to the *Future Land Use Plan*, one of the components of the City's Comprehensive Plan, which describes the B-2 Zone (in which the property is located) as primarily commercial and which states that no changes to the zone are anticipated. Thus, the Plaintiffs conclude, the CZA is not consistent with the Comprehensive Plan because the Comprehensive Plan indicates that residential goals "are to be achieved through development in other parts of the City," not in the B-2 Zone. Plaintiffs' Rule 80B Brief, page 22. Finally, emergency shelters like the one to be part of Florence House are currently permitted only in the B-3 Zone

The Plaintiffs' arguments with respect to the alleged inconsistencies between the CZA and the Comprehensive Plan are unpersuasive. The B-2 Zone in which the property lies is a mixed-use zone that permits both commercial and residential properties. Thus, the CZA does not intrude on the integrity of the neighborhood.¹ Nor is it sufficient for the Plaintiffs to argue that the City should seek to accomplish its residential goals (including providing more affordable housing) in other parts of the City. The B-2 Zone is a mixed-use zone that permits residential properties. Moreover, the Comprehensive Plan does not expressly limit its residential goals to certain areas within the City.

Finally, the fact that emergency shelters are presently permitted only in the B-3 Zone without any express authorization for them in the B-2 Zone is not sufficient to find that the CZA is inconsistent with the Comprehensive Plan. As set forth *supra*, the Comprehensive Plan sets forth the goal of increased housing in Portland for all people. The Comprehensive Plan does not require the City Council to find that the property is the best or only location on which Florence House could be built in the City. The City Council is merely required to find that the CZA is consistent with the Comprehensive Plan, which it did. Moreover, the Law Court has stated that "[t]he absence of language expressly allowing [a certain use]...does not necessarily mean that no development is allowed...[so long as that development] is not inconsistent with the Comprehensive Plan." *City of Old Town*, 2002 ME 133, ¶ 19, 803 A.2d at 1023.

¹ The Court notes that the Plaintiffs' arguments with respect to the City's proposed "Neighborhood Based Planning" program are irrelevant as the Plaintiffs admit that the City has not yet implemented this program. Plaintiffs' Rule 80B Brief, page 18.

The Plaintiffs' argument that Florence House violates several provisions of the zoning laws regulating the B-2 Zone cannot be disputed; after all, there would be no need for Avesta to seek conditional zoning if its proposed Florence House project met the existing zoning requirements. As there is no question that conditional zoning is permitted both by statute and under the Portland Land Use Code, the mere fact that a proposed building does not meet the existing zoning requirements cannot be sufficient to defeat the application for a conditional zoning. Indeed, 30-A M.R.S.A. § 4352(8)(B) itself requires only that the rezoned

neighborhood." Plaintiffs' Rule 80B Brief, page 31.

The Plaintiffs argue that the Florence House building would violate the minimum setback, open space and parking requirements applicable to other buildings in the B-2 Zone. The Plaintiffs also argue that the three uses included in Florence House (emergency shelter, "safe haven" beds and single room efficiency apartments) are not permitted uses in the B-2 Zone although the Plaintiffs concede that the "safe haven" beds and efficiency apartments are permitted in at least some circumstances. Thus, while the Plaintiffs argue that Florence House as a whole is not consistent with existing uses in the B-2 Zone, the Plaintiffs particularly argue that the three proposed uses within Florence House need not be combined and that the City "allowed Avesta's economic need for efficiency to trump all other considerations – including considerations about how combining the three uses amplifies the effects of Florence House on the neighborhood." Plaintiffs' Rule 80B Brief, page 31.

B. The CZA Is Consistent with the Existing and Permitted Uses within the Original Zone

with the Comprehensive Plan.

For all of these reasons, this Court finds that the CZA is in basic harmony

area be consistent with the existing uses in the original zone, not that it comply with every zoning regulation in the original zone.

As the Plaintiffs concede that the "safe haven" beds and efficiency apartments can "reasonably be construed as residential uses" that are currently permitted in the B-2 Zone, Plaintiffs' Rule 80B Brief, page 28, the primary issue before this Court is whether the emergency shelter is a use consistent with the present uses in the B-2 Zone. The Court answers this question in the affirmative.

The terms of the CZA require that the Florence House emergency shelter, unlike other emergency shelters in the City, remain open twenty-four hours a day. Thus, the Florence House shelter is distinguishable from nighttime only shelters that often result in queuing on the street outside. R. 734. As the City points out, this makes Florence House analogous to an apartment building or to a hotel or motel, all of which are permitted uses in the B-2 Zone. In sum, the B-2 Zone is a mixed use zone that contains both multi-unit residences and commercial properties of various sizes, including several buildings larger than the proposed Florence House that produce more activity than the proposed Florence House. For all of these reasons, the Court finds that the CZA is consistent with existing uses in the B-2 Zone.

C. The CZA Does Not Constitute Illegal Spot Zoning

The Plaintiffs hint strongly several times throughout their brief that the CZA constitutes illegal spot zoning. Illegal spot zoning "is the 'process of singling out a small parcel of land for a use classification totally different from that of the surrounding area, for the benefit of the owner of such property and to the detriment of other owners.'" *City of Old Town*, 2002 ME 133, ¶ 20, 803 A.2d at 1024 (quoting *Vella v. Trician Marine Corp.*, 677 A.2d 1051, 1053-54 (Me. 1996)). A

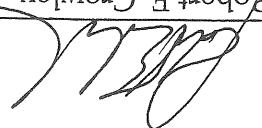
determination of illegal spot zoning requires that the ordinance "(1) must pertain to a single parcel or a limited-area - ordinarily for the benefit of a particular property owner or specially interested party - and (2) must be inconsistent with the city's comprehensive plan..." *Id.* (quoting *Citizens Ass'n of Georgetown, Inc. v. District of Columbia Zoning Comm'n*, 402 A.2d 36, 39-40 (D.C. 1979)).

As set forth above, the Plaintiffs in the instant case have failed to show that the CZA is inconsistent with the City's Comprehensive Plan. As such, the CZA does not constitute illegal spot zoning. *Id.* ¶ 21, 803 A.2d at 1024 ("Because the City has failed to establish that this ordinance is inconsistent with the Comprehensive Plan, the ordinance does not constitute illegal spot zoning").

Therefore, the entry is:

The decision of the City of Portland City Council to approve the Conditional Zoning Agreement is AFFIRMED.
The clerk shall incorporate this Order into the docket by reference pursuant to M.R. Civ. P. 79(a).

Dated at Portland, Maine this 9th day of July, 2008.


Robert E. Crowley
Justice, Superior Court

August 12, 2008

Ms. Jean Fraser, Planner
Portland Planning Department
389 Congress Street, 4th Floor
Portland, Maine 04101

**RE: Florence House
Conditions of Approval**

Dear Jean:

Mitchell & Associates, on behalf of Avesta Florence House L.P., Florence House Housing Corporation (FHHC) and Florence House Condominium Association, submits the following information to address Conditions of Approval for Subdivision and Site Plan standards for the Florence House project.

Conditions of Approval – Subdivision Standards

1. That the final recording subdivision plat will be completed to the satisfaction of the Corporation Counsel and include a list of any conditions imposed by the Planning Board, and will be submitted for the Planning Board's Signature; and
The draft recording plat is included in this submission for review and approval by Corporation Council. A list of Conditions of Approval has been placed on the plan.

2. That the applicant shall receive approval of its Condominium Documents and the issuance of a License from the City for uses within the right of right of way, through the City's Corporation Counsel office; and
The applicant is working in conjunction with the City's Corporation Counsel for approval of its Condominium Documents and the issuance of a License from the City.

- Exterior Building Elevation A1/A401: Three windows were added at the first floor (between structural column gridlines A & B). Two double hung windows were added at the second and third floors between structural column gridlines A & B).
- Exterior Building Elevation J1/A402: Two windows were added at the first floor (between structural column gridlines 4 & 7).

Please see attached Sheets A401 and A 402, Building Elevations.

9. That the applicant shall submit for review and approval by Urban Designer Marsh, prior to the issuance of a Building Permit, the design, materials and specifications for screening the rooftop appurtenances; and

Gawron-Turgeon Architects met with former Urban Designer, Carrie Marsh, on November 7, 2007 to discuss screening of the rooftop appurtenances. Revisions based on these discussions have been incorporated. Please see Sheet A202, Roof Details with detail A11 – Mechanical Unit Screen Detail. The screening extends 6” above the top of the mechanical units. Sheets A401 and A401, Building Elevations note the location and appearance of the screening, which stays within the boundaries noted during the approval process.

10. That the applicant shall meet the noise standards of the Portland City Code and shall mitigate violations thereof.

The construction schedule shall comply with the noise standards of the Portland City Code and the applicant shall mitigate violations, should they occur.

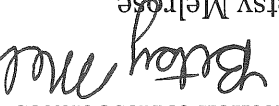
Submissions

Please see the attached documentation and plans:

- Management Plan review memo
- Anchor Segmental Retaining Wall images
- Lighting Cut Sheets
- Plans, 3 full sized sets and one 11x17 set
- Sheet 1 – Subdivision Plat
- Sheet D101 – Existing Conditions and Demolition Plan
- Sheet L102 – Planting Plan & Plant Schedule
- Sheet L210 – Planting Details
- Sheet L401 – Lighting-Photometrics Plan

- Sheet W1 – Proposed Segmental Retaining Walls, Title Page
- Sheet W2 – Proposed Segmental Retaining Walls, Wall Elevations
- Sheet W3 – Proposed Segmental Retaining Walls, Typical Details
- Sheet W4 – Proposed Segmental Retaining Walls, Sections & Details
- Sheet A202 – Roof Details
- Sheet A401 – Building Elevations
- Sheet A402 – Building Elevations
- Sheet A601 – Wall Sections & Architectural Details
- Sheet A801 – Window Types & Details

Should you have any questions or require additional information for meeting the conditions of approval, please feel free contact me.

Sincerely,
Mitchell & Associates

Betsy Melrose

Enclosure

cc. Deb Keller – Avesta Housing
Rebecca Dillon – Gawron Turgeon Architects

chainlink fence along the property line will remain in place during construction until installation of the solid wood fence as an added protection measure. Please see attached Sheets D101 and L102.

Sheet L201, Planting Details provides a Tree Protection Detail (L12). The detail includes construction fence and measures to protect tree roots on the Florence House site. Please see attached Sheet L201. The construction specifications also note protection of the Silver Maple.

6. That the applicant shall submit for review and approval by the Planning Authority, prior to the issuance of a Building Permit, details, catalog cuts and illumination information regarding the proposed wall-mounted lights on the Valley Street elevation; and

The specified wall mounted light along Valley Street is manufactured by Kim Lighting and is the Small Structural 175 watt metal halide with a house side shield. This is the same style as the site lighting. Please see attached Kim Lighting specifications page and Sheet L401, Lighting – Photometrics Plan.

7. That the applicant shall brick over the entire island (in the pull-off right-of-way) to match the sidewalk in the event the planted portion becomes unsightly; and

The planted portion of the island has been removed. The entire island is a brick sidewalk.

8. That the applicant continue to work with the City's Urban Designer to refine the architecture to better align the windows to create a more unified design and to mitigate the blank wall facing the St. John Street abutters; and
Gawron-Turgeon Architects met with former Urban Designer, Carrie Marsh, on November 7, 2007 to discuss revisions to the building facades to meet this condition of approval. Carrie reviewed and expressed satisfaction with the following changes to the exterior window locations:

- Exterior Building Elevation A1/A401: First floor awning window locations adjusted to align with awning windows at second and third floors.
- Exterior Building Elevation J1/A401: Second and third floor windows alignment adjusted to correspond with first floor storefront window locations.

Gawron-Turgeon Architects met with former Urban Designer, Carrie Marsh, on November 7, 2007 to discuss revisions to the building façade and segmental blocks. Revisions based on these discussions have been incorporated.

- Trim Boards. Trim material and size was not specified during the approval process. Dimensional stock has been specified as requested, see below.
 - Sheet A401 and Sheet A402, Building Elevations note 1x6 PVC cornerboard trim. Cornerboard trim material is cellular PVC, such as AZEK.
 - Sheet A202, Roof Details notes construction of the cornice trim on Detail J15 - Detail @ Roof Edge. Cornice trim material is cellular PVC, such as AZEK. Sheet A801, Window Types and Details notes 3-1/2" standard flat casing around awning and double hung windows.
- Awnings. Sheet A601, Wall Sections and Architectural Details shows details for the Steel Canopy.
- Segmental Blocks. Duracore Vertical Pro segmental retaining wall blocks were specified during the approval process. This block is changed to blend with the residential character of the neighborhood to the Anchor Diamond Pro Stone Cut Retaining Wall Unit. Please see Sheets W1, W2, W3 and W4 for plans and details. Color photo examples are also provided.

5. That the applicant should adhere to the arboricultural practices shown on the submitted letters, plans and details and those outlined in the comments from the City Arborist of 10.18.2007 to protect the large Silver Maple tree in the rear yard of 213 St John Street. If, during the first 2 years from Certificate of Occupancy this tree becomes unstable due to root loss or other construction damage related to the project, the applicant shall be responsible for pruning, removal and replacement of the tree if necessary and agreed with the owner. If removal and replacement is necessary, the replacement tree should be of 3 inch caliper of the same species (or other species as agreed with the owner) and

Several notes and details have been added to the plan set in relation to protection of the large Silver Maple. Sheet D101, Existing Conditions and Demolition Plan; Sheet C101, Layout Plan; Sheet C102, Grading and Drainage Plan; Sheet C103, Utilities Plan; and Sheet L102, Planting Plan and Plant Schedule note: "Protect large silver maple tree from construction damage, see Sheet L201, Planting Details." The existing

3. That the developer shall contribute \$3000 towards the City's Street Tree Program to cover the cost of purchasing and planting fifteen (15) street trees in the vicinity of the project (based on the provision of one tree per unit less the cost of the ten (10) trees along Valley Street to be planted as part of the project). The contribution shall be provided prior to issuance of a Building Permit.
- The applicant shall provide this contribution prior to Building Permit application.**

Conditions of Approval – Site Plan Standards

1. That the applicant shall make a \$5,000 contribution to the City, prior to the issuance of a Building Permit, towards the implementation of traffic calming improvements on Valley Street between Congress Street and Commercial Street; and

The applicant shall provide this contribution prior to Building Permit application.

2. That the applicant shall ensure that the approved Management Plan contained in this Report is forwarded to all those responsible for the building and its operation, and shall facilitate adherence to that Plan; and

The Management Plan has been forwarded to all those responsible for the building and operation, please see attached memos signed by Mark Swann, Executive Director of Preble Street Resource Center and Sherrin Vail, Regional Property Manager of Avesta Housing Management Corporation. The applicant shall facilitate adherence to the Plan.

3. That the applicant shall submit for review and approval by the Planning Authority, prior to the issuance of a Certificate of Occupancy, the location, size and design details of all signage; and

Signage details will be submitted to the Planning Authority prior to application for a Certificate of Occupancy.

4. That the applicant shall submit for review and approval by the Planning Authority, prior to the issuance of a Building Permit, the details, size, specifications and materials of the trim boards, window trim and cornice (which should be dimensional stock), awnings and segmental blocks; and



REC'D JUN 30 2008

6/23/08

*Rec'd Mark F. Swan
Executive Director
Preble Street*

MEMO

DATE: November 1, 2007

TO:

Avesta Housing Management Corporation
Michael Myatt, Vice-President
Sherrin Vail, Regional Property Manager
Preble Street Resource Center
Mark Swan, Executive Director
Jon Bradley, Assistant Director

FROM:

Debra Keller, Director of Development

RE:

Florence House Management Plan

Please find attached a final, approved copy of the Florence House Management Plan. As background, the development, implementation, and enforcement of this Management Plan was required by the City of Portland during the conditional rezoning process for Florence House.

This Plan was reviewed and approved by the City of Portland prior to Site Plan Approval on October 23, 2007. Once Florence House is operational, the Florence House Condominium Association is responsible for implementing and enforcing this Plan. Compliance review will be performed by the City on a quarterly basis during the first year of operation and at least annually (or when requested by the City) thereafter.

This Plan is subject to updating upon demand by the City. In addition to the Management Plan, I have included an excerpt from the Conditional Zone Agreement outlining the Management Plan requirements.

As a party responsible for Florence House and its operations, it is your responsibility to work with Avesta Florence House LP, Florence House Housing Corporation and Florence House Condominium Association to ensure the adherence to this plan.

Please acknowledge receipt of the above-mentioned documents by signing and returning a copy of this memo to my attention.

Thank you.

Quality Affordable Living

307 Cumberland Avenue, Portland, Maine 04101 • P: 1-800-339-6516 • 207-553-7777 • F: 207-553-7778
Equal Housing Opportunity



MEMO

DATE: November 1, 2007

TO: Avesta Housing Management Corporation

Michael Myatt, Vice-President

Sherrin Vail, Regional Property Manager

Preble Street Resource Center

Mark Swann, Executive Director

Jon Bradley, Assistant Director

FROM:

Debra Keller, Director of Development

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Thank you.

Quality Affordable Living

307 Cumberland Avenue, Portland, Maine 04101 • P: 1-800-339-6516 • 207-553-7777 • F: 207-553-7778
Equal Housing Opportunity

OK license by BVI & marine
Boatery

774-4427

Call to Boatery

FH

Layout

add in cycle racks (common 2:10 but smaller)

gen note around re 0277
why removed note 3, 4, 5, 13, 14, 15, 17, 20

~~no ref to height of safety railing 42"~~

add road fence

2 parking spaces - 3 up above
Striped

X show abutting owners (Heard) (Coffin) (Baystar) (Prossen)

sign - sign light not approved? €100

lighting - should be attention worthy plan

East Boatery

big km width w/ trees/shrubbery added
city added
no edging

landscape, larger plants around for enclosure

left or 1:10

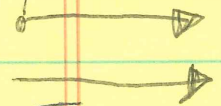
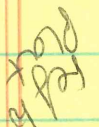
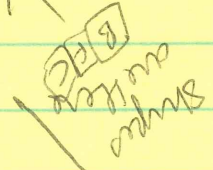
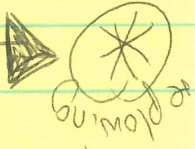
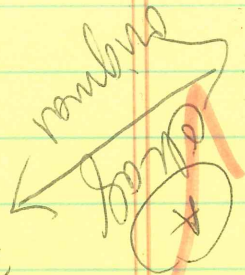
detail of edge of plant bed. Valley St

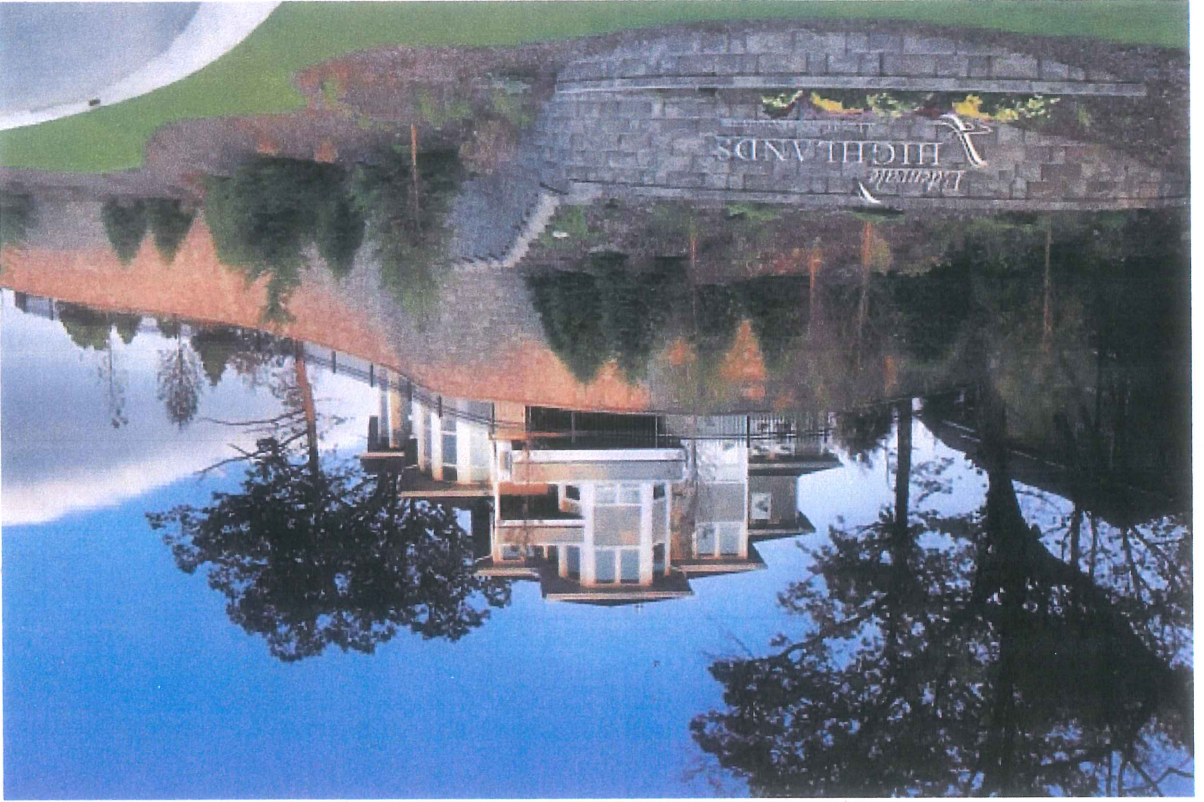
grading/fining

first floor plan A101 meaning ref to

grading at main exit

All above discussed Betty
11-4-08
She to start mural
or to run * by design
if a chm A

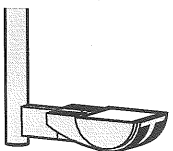




Anchor Diamond Pro™ Stone Cut™ Series

Ordering Information

175W Small Structural



STS
Medium Base
70 to 175 Watt

Ordering Example:

Mounting Pole Fixtures Electrical Module Finish Options Options Pole

Structural Option and Pole

1 Mounting:
3SY configuration is available for round poles only.

2 Fixture:
Cat. No. designates STS fixture and light distribution.
See the Kim Site/Roadway Optical Systems Catalog for detailed information on reflector design and application.

3 Electrical Module:
PMH = Pulse Start
Metal Halide
MH = Metal Halide
HPS = High Pressure Sodium
PL = Compact Fluorescent
Triple Tube
IF = Induction Fluorescent
See lamp and electrical data on pages 28 - 29 for ballast types and characteristics.

4 Finish:
Super TGIC powder coat paint over titanated zirconium conversion coating.

5 Optional Base Socket:
Cat. No.: G12
Optional G12 base socket available for 70W and 150W Pulse Start Metal Halide lamps only.

6 Optional Photocell Control:
Cat. No. and Line Volts:
A-30 120V
A-31 208V
A-32 240V
A-33 277V
A-35 347V
Sensor
s - slave unit(s)
No fixture wattage limit.

7 Optional Convex Glass Lens:
Cat. No.: CGL
Tempered convex glass lens replaces standard flat lens.
NOTE: Brightness control goes from Full Cutoff to Cutoff.

8 Optional Polycarbonate Lens:
Cat. No.: LS
Polycarbonate Lens replaces standard tempered glass lens. May be used with 400HPS in outdoor locations. Changes light distribution from Full Cutoff to Cutoff. See "CAUTION" on page 19.

9 Optional Houseside Shield:
Cat. No.: HS
HS for flat lens only
Cat. No.: HSC
HSC for convex lens

Module	Part No.	Finish	Options	Options	Options	Options	Options	Options	Options
Pulse Start Metal Halide	50PMH120	Black	DB	LG	PS	WH	CC	150HPS120	42PL120
	100PMH208	Black	DB	LG	PS	WH	CC	150HPS208	42PL208
	50PMH240	Black	DB	LG	PS	WH	CC	150HPS240	42PL240
	100PMH277	Black	DB	LG	PS	WH	CC	150HPS277	42PL277
	50PMH347	Black	DB	LG	PS	WH	CC	150HPS347	42PL347
	100PMH480	Black	DB	LG	PS	WH	CC	150HPS480	42PL480
	70PMH120	Black	DB	LG	PS	WH	CC	150HPS120	57PL120
	70PMH208	Black	DB	LG	PS	WH	CC	150HPS208	57PL208
	70PMH240	Black	DB	LG	PS	WH	CC	150HPS240	57PL240
	70PMH277	Black	DB	LG	PS	WH	CC	150HPS277	57PL277
	70PMH347	Black	DB	LG	PS	WH	CC	150HPS347	57PL347
	70PMH480	Black	DB	LG	PS	WH	CC	150HPS480	57PL480
High Pressure Sodium	70HPS120	Black	DB	LG	PS	WH	CC	150HPS120	42PL120
	70HPS208	Black	DB	LG	PS	WH	CC	150HPS208	42PL208
	70HPS240	Black	DB	LG	PS	WH	CC	150HPS240	42PL240
	70HPS277	Black	DB	LG	PS	WH	CC	150HPS277	42PL277
	70HPS347	Black	DB	LG	PS	WH	CC	150HPS347	42PL347
	70HPS480	Black	DB	LG	PS	WH	CC	150HPS480	42PL480
	100HPS120	Black	DB	LG	PS	WH	CC	150HPS120	57PL120
	100HPS208	Black	DB	LG	PS	WH	CC	150HPS208	57PL208
	100HPS240	Black	DB	LG	PS	WH	CC	150HPS240	57PL240
	100HPS277	Black	DB	LG	PS	WH	CC	150HPS277	57PL277
	100HPS347	Black	DB	LG	PS	WH	CC	150HPS347	57PL347
	100HPS480	Black	DB	LG	PS	WH	CC	150HPS480	57PL480
Compact Fluorescent	60PL120	Black	DB	LG	PS	WH	CC	150HPS120	42PL120
	60PL208	Black	DB	LG	PS	WH	CC	150HPS208	42PL208
	60PL240	Black	DB	LG	PS	WH	CC	150HPS240	42PL240
	60PL277	Black	DB	LG	PS	WH	CC	150HPS277	42PL277
	60PL347	Black	DB	LG	PS	WH	CC	150HPS347	42PL347
	60PL480	Black	DB	LG	PS	WH	CC	150HPS480	42PL480
	57PL120	Black	DB	LG	PS	WH	CC	150HPS120	57PL120
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	57PL277	Black	DB	LG	PS	WH	CC	150HPS277	57PL277
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	57PL480	Black	DB	LG	PS	WH	CC	150HPS480	57PL480
Induction Fluorescent	55IF120	Black	DB	LG	PS	WH	CC	150HPS120	42PL120
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	55IF277	Black	DB	LG	PS	WH	CC	150HPS277	42PL277
	55IF347	Black	DB	LG	PS	WH	CC	150HPS347	42PL347
	55IF480	Black	DB	LG	PS	WH	CC	150HPS480	42PL480
	57IF120	Black	DB	LG	PS	WH	CC	150HPS120	57PL120
	57IF208	Black	DB	LG	PS	WH	CC	150HPS208	57PL208
	57IF240	Black	DB	LG	PS	WH	CC	150HPS240	57PL240
	57IF277	Black	DB	LG	PS	WH	CC	150HPS277	57PL277
	57IF347	Black	DB	LG	PS	WH	CC	150HPS347	57PL347
	57IF480	Black	DB	LG	PS	WH	CC	150HPS480	57PL480

Electrical Module:
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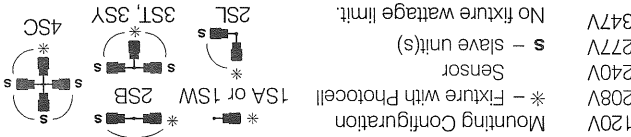
Recommended for use with clear lamps only. Effectiveness is reduced with coated lamps. Not for use with Type V light distribution.

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For fixtures with optional convex glass lens. Recommended for use with clear lamps only. Effectiveness is reduced with coated lamps.

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15 Poles:

See Kim Pole Catalog for a complete selection of round and square poles in aluminum or steel.

Wall Mounted Structural Options

Single Tension
Cat. No.: **TSP-W** - Rod and clevis painted to match fixture; **TSN-W** - Stainless steel rod with nickel plated clevis.

Double Tension
Cat. No.: **TDP-W** - Rod and clevis painted to match fixture; **TDN-W** - Stainless steel rod with nickel plated clevis.

Truss
Cat. No.: **TR-W**

Gusset
Cat. No.: **GS-W**

14 Structural Option: For use with Standard Straight Arm Only.
Pole Mounted Structural Option **cannot be used with** #11 Optional Support Arm.

Pole Mounted Structural Options

Single Tension
Cat. No.: **TSP** - Rod and clevis painted to match fixture; **TSN** - Stainless steel rod with nickel plated clevis.

Double Tension
Cat. No.: **TDP** - Rod and clevis painted to match fixture; **TDN** - Stainless steel rod with nickel plated clevis.

Truss
Cat. No.: **TR**

Gusset
Cat. No.: **GS**

13 Special Options for Street Lighting:

Air Filter to allow ventilation through the optical chamber. Cat. No.: **AF**

12 Optional Horizontal Slipfitter Mount:

Slipfitter
Cat. No.: **HSF**

Replaces standard mounting arm with a slipfitter for mounting to a horizontal pole davit-arm with 2" pipe-size mounting end (2 3/8" O.D.). Provides ±5° vertical fixture adjustment.

11 Optional Support Arm: Refer to Kim Lighting's Architectural Arms Catalog for complete details.
Optional Support Arm **cannot be used with** #14 Pole Mounted Structural Option.
Refer to Architectural Arms Catalog for wall mounting feature.

Arm Cat. No.:	Mounting:	EPA for fixture and arm:	1SA	2SB	2SL	3ST	3SY	4SC
AA02	Optional Support Arm:	1.0	1.0	2.0	1.4	2.4	2.4	2.5
AA04	Swept Hollow Arm	0.9	1.8	1.3	2.2	2.2	2.2	2.3
AA06	Upsweep Solid Arm	1.1	2.2	1.5	2.6	2.6	2.6	2.7
AA08	Upsweep Hollow Arm	1.0	2.0	1.4	2.4	2.4	2.4	2.5
AA10	Uplift Adjustable Aluminum Arm	1.3	2.6	1.8	3.1	3.1	3.1	3.5
AA12	Uplift Adjustable Stainless Steel Arm	1.3	2.6	1.8	3.1	3.1	3.1	3.5

10 Optional Vertical Slipfitter Mounts:

Mounting Configuration
1SA - Single arm mount
2SB - 2 at 180°
2SL - 2 at 90°
3ST - 3 at 90°
3SY - 3 at 120°
4SC - 4 at 90°
For existing pole installation or for use with poles provided by others.

For Standard Fixtures

Allows fixture, arm, and Structural Option (when applicable) to be mounted to steel poles having a steel 2" pipe-size tenon (2 3/8" O.D. x 4 1/2" min. length). Not available for **GS** Gusset.

4" Round	4" Square
VSF-1SA - Cat. No. VSF-1SA	SVSF-1SA - Cat. No. SVSF-1SA
VSF-2SB - Cat. No. VSF-2SB	SVSF-2SB - Cat. No. SVSF-2SB
VSF-2SL - Cat. No. VSF-2SL	SVSF-2SL - Cat. No. SVSF-2SL
VSF-3ST - Cat. No. VSF-3ST	SVSF-3ST - Cat. No. SVSF-3ST
VSF-3SY - Cat. No. VSF-3SY	SVSF-3SY - Cat. No. SVSF-3SY
VSF-4SC - Cat. No. VSF-4SC	SVSF-4SC - Cat. No. SVSF-4SC

For Fixtures with Structural Options Only

4" Round	4" Square
STSF-1SA - Cat. No. STSF-1SA	STSF-1SA - Cat. No. STSF-1SA
STSF-2SB - Cat. No. STSF-2SB	STSF-2SB - Cat. No. STSF-2SB
STSF-2SL - Cat. No. STSF-2SL	STSF-2SL - Cat. No. STSF-2SL
STSF-3ST - Cat. No. STSF-3ST	STSF-3ST - Cat. No. STSF-3ST
STSF-3SY - Cat. No. STSF-3SY	STSF-3SY - Cat. No. STSF-3SY
STSF-4SC - Cat. No. STSF-4SC	STSF-4SC - Cat. No. STSF-4SC

Florence House
 Compliance with conditions
 sign-off N/A 12/3/08

Re: CONVENTIONS that
 relate to final plan out

1) Completion of Subdiv Plat

2) Guide docs / license

3) Management Plan f/us

4) Signage

5) Details from bd / windows
 trim + cornice, awnings
 + segmental blocks

6) Wall mounted lights

7) Window alignment

8) Screening of roof top
 appurtenances

9) Left angled for larger
 planters around
 dumpster enclosure

10) Door glazing altered by
 them

11) Brickle rock spars

Completed after new
 cert amendment

PL cleared w/ w/ PS (see
 note from DM-r) + agreed
 cert docs at last minute on there
 were last min changes

Confirmed in letter from
 Mitchell Assoc. dated 8-12-08

Sign light + sign not
 approved, as noted on plans.
 A401

agreed w/ BS + BN
 specs + materials
 submitted + OK

letter + plans of Sept 23, 2008
 - complete

- agreed OK (w/ BS + BN)

Design OK but concerned about
 nerves, further details supplied +
 OK - gap in enclosure relocated
 see Dec 2008 e-mail + circ stamped
 plans.

met in letter/plan E102 dated 9.23.08

if checked w/ Fin Neavechin (grass)
 who advised that this is acceptable
 requirement.

added to L10.
 submitted 11/9/08 + OK

11/21

Note for the

Final site plans are in

"C" Drive (190 Valley St) - see map
for of.

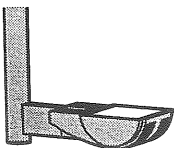
and in roll learning against breach
+ Phil has put

can be stamped when PG paid
more copies to come

large roll of stamped plans
are available.

Ordering Information

175W Small Structural



STS
Medium Base
70 to 175 Watt

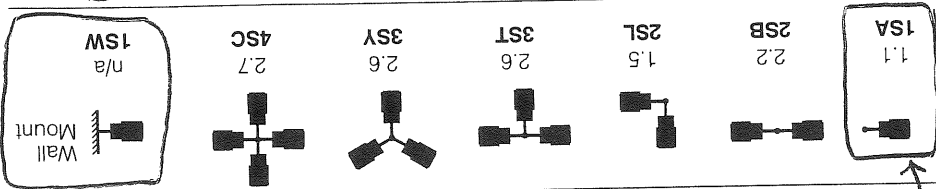
Ordering Example:
For Fixture,
Structural Option and Pole

Mounting Fixture Electrical Module Finish Options Structural Pole
 1 2 3 4 5-11 12 13
 2SB / STS3 / 175MH277 / WH-P / A-33 / TSN / PRA12-34188B-TS / WH-P
 See separate Kim Pole Catalog. Omit for 1SW Wall Mount.

1 Mounting:

3SY configuration is available for round poles only.

Plan View:

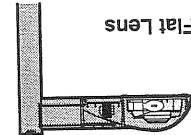


Site Pole Mounted

Valley Street Facade Wall Mounted

2 Fixture:

Cat. No. designates STS fixture and light distribution. See the Kim Site/Roadway Optical Systems Catalog for detailed information on reflector design and application.



Horizontal Lamp

Light Distribution:
Flat Lens

Cat. No.:

STS2 Full Cutoff Type II

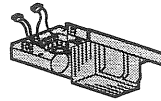
STS3 Full Cutoff Type III

STS4 Full Cutoff Type IV Forward Throw

STS5 Type V Square Full Cutoff

3 Electrical Module:

HPS = High Pressure Sodium
MH = Metal Halide
See lamp and electrical data on pages 28 - 29 for ballast types and characteristics.



Lamp Line Watts Type HPS 150
 70HPS120
 70HPS208
 70HPS240
 70HPS277
 70HPS347
 100HPS120
 100HPS208
 100HPS240
 100HPS277
 100HPS347
 150HPS120
 150HPS208
 150HPS240
 150HPS277
 150HPS347
 175MH120
 175MH208
 175MH240
 175MH277
 175MH347

Valley Street Facade Wall Mounted

Site Pole Mounted or 12', 15', + 18'

4 Finish:

Super TGIC powder coat paint over chromate conversion coating.

Color: Black
Cat. No.: BL-P

Dark Bronze
DB-P

Light Gray
LG-P

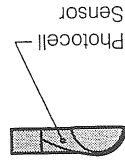
Platinum Silver
PS-P

White
WH-P

Custom Colors
CC-P

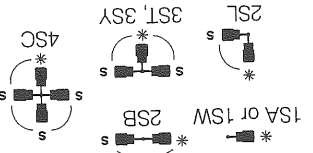
Consult representative for custom colors.

5 Optional Photocell Control:

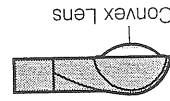


Cat. No. and Line Volts:
A-30 120V
A-31 208V
A-32 240V
A-33 277V
A-35 347V

Mounting Configuration
* - Fixture with Photocell
1SA or 1SW
Sensor
s - slave unit(s)
No fixture wattage limit.



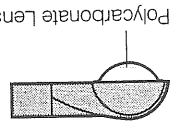
6 Optional Convex Glass Lens:



Cat. No.: CGL

Tempered convex glass lens replaces standard flat lens. Changes light distribution from Full Cutoff to Cutoff.

7 Optional Polycarbonate Lens:



Cat. No.: LS

Polycarbonate Lens replaces standard tempered glass lens. 250 Watt Maximum. May be used with 400HPS in outdoor locations were ambient air temperature during fixture operation will not exceed 85°F. Changes light distribution from Full Cutoff to Cutoff. See "CAUTION" on page 19.

FLORENCE HOUSE
TYPE K
PROGRESS
P83-26ICAT/P8062-28
REXBL NE PROJCTS GROUP

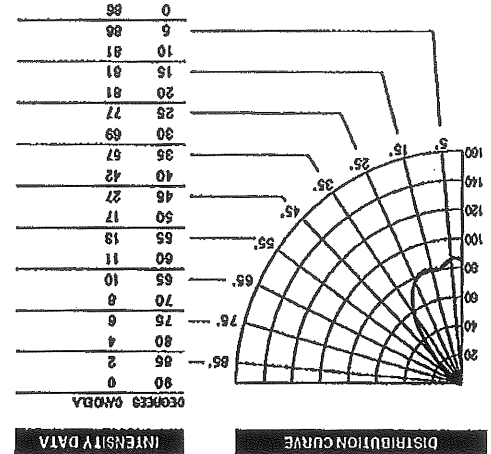
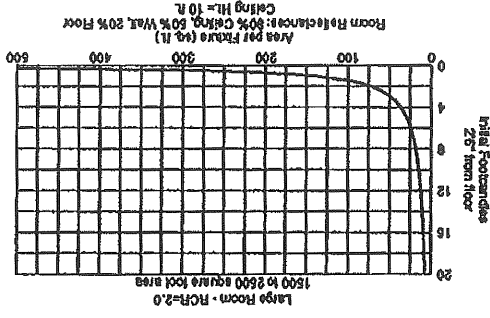
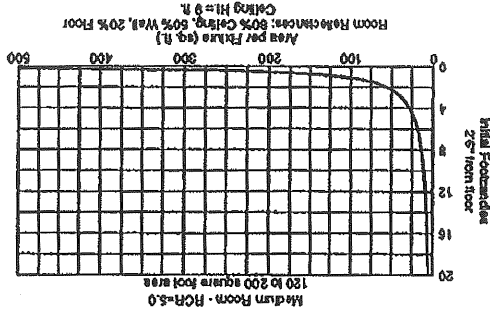
P83
P83 WITH 8062-28
Report No. 98043

No. Lamps: 1 Type Lamp: 13W QUAD CF - GE Total Lumens: 860
Fixture Efficiency: 17.7%
S/MH Ratio: 1.1

Single Fixture Data

50% Values	Ceiling		10% Values		Ft.-C (Footcandles) are initial and measured 2'-0" from floor
	Beam Angle - 62°		Beam Angle - 91°		
	Beam Dia.	HI (FI)	Ft.-C	Beam Dia.	
7	0.8	1.4	0.3	11	16
9	0.8	1.4	0.2	16	14
11	0.5	0.9	0.1	19	12
14	0.3	0.6	0.1	24	10
16	0.2	0.5	0.0	28	8

Quick Calculator Charts



ZONAL CAVITY COEFFICIENTS OF UTILIZATION

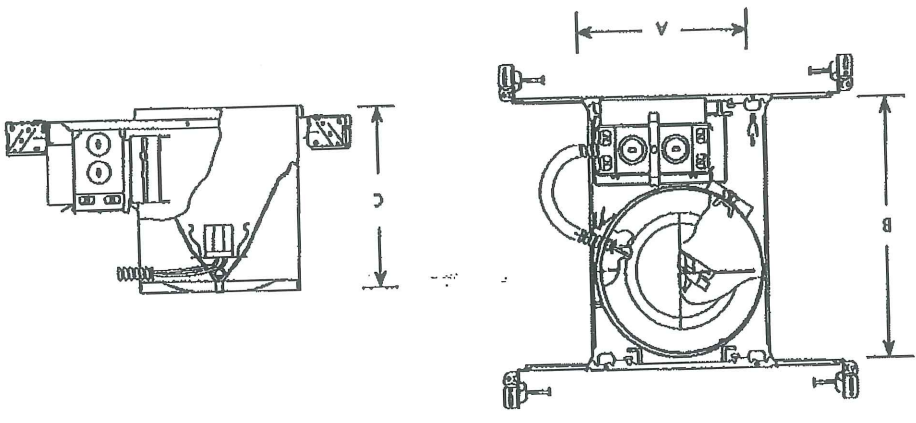
PC	Effective Floor Cavity Reflectance 0.20										
	RM	70	80	90	10	20	30	40	50	60	70
0	21	21	21	21	20	20	20	20	19	19	18
1	19	19	18	18	18	17	17	17	17	16	16
2	18	17	16	16	16	15	15	15	15	14	14
3	17	15	14	14	14	13	13	13	13	12	12
4	16	14	13	13	13	12	12	12	12	11	11
5	15	13	12	12	12	11	11	11	11	10	10
6	14	12	11	11	11	10	10	10	10	9	9
7	13	11	10	10	10	9	9	9	9	8	8
8	12	10	9	9	9	8	8	8	8	7	7
9	11	9	8	8	8	7	7	7	7	6	6
10	11	9	7	7	7	6	6	6	6	5	5

CITY OF PORTLAND
APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: _____

Compact Fluorescent 6" Single Vertical Lamp Recessed Housing IC/Air-Tight/Energy Star

FLORENCE HOUSE
 TYPE K
 PROGRESS
 P83-26ICAT/P8062-28
 REXBL NE PROJCTS GROUP

Dimensions (Inches) A B C
 7-7/8 10-3/4 7-1/2
 Ceiling Opening 6-7/8
 Catalog No. P83-26ICAT
 Lamping (1) 26w Triple CF (4-pin)



Specifications:

- Wiring**
- Universal junction box with snap-out sides
 - Removable housing for field inspection of wiring
 - Grounding pigtail
 - Knockout free Romex clamps
 - 1/2" & 3/4" Knock outs for rigid or BX fittings
 - Electronic NPF 120-volt ballast with end of life protection
 - Pre-installed 4-port wire quick connects
- Construction**
- Notched housing for chalkline alignment
 - Full wrap-around plaster frame
 - Removable K.O. for remodel use (P8607-01 plaster frame clips also required)
 - Galvanized steel construction
 - Toolless adjustment for 1/2" to 2-1/2" thick ceilings
- Bar Hangers**
- Integral II ga. fluted nail for wood joist construction
 - Integral snap-on T-bar mounting clip
 - Rigid male/female design spans 24" for suspended ceilings
- Lamp/Trim**
- Trim-Lok® action forces trim to fit snugly against the ceiling
 - Socket mounts to trim for optimum performance, and provides consistent vertical lamp position
 - Single-lamp vertical 26w (4-pin) GX24q-3 or GX24q-3 compact fluorescent
 - Foil gasket included to complete air-tight installation
- Labeling**
- Lock to secure housing
 - Captive with extension stop tab
 - 90-degree mounting for tight spaces
 - Joint alignment tab
- UL-CUL listed for damp locations**
- Not rated for through branch wiring, but can be daisy chained
 - Complies with Washington State Energy Code (WSEC) requirement for Air Tight
 - Complies with California Title 24 Legislation
 - Complies with Energy Star
 - IC rated



Progress Lighting
 701 Millennium Blvd.
 Greenville, South Carolina
 29607
 www.progresslighting.com

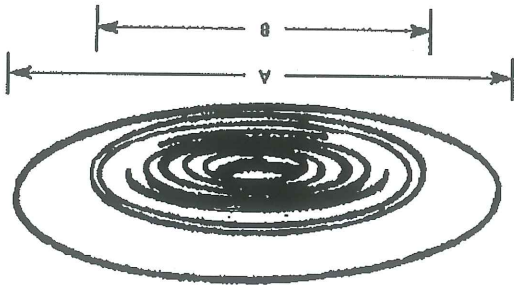


Compact Fluorescent
6" Fresnel Lens Shower Light
with Reflector
IC & Non-IC
Recessed

Type
-28
 P8062

FLORENCE HOUSE
TYPE K
PROGRESS
P83-26ICAT/P8062-28
RXLBL NE PROJCTS GROUP

Dimensions (Inches)	Finish	Catalog No.
A B	White	P8062
7-3/4 5-3/16		-28



Lamp Wattage	Housing	IC	Non-IC
P83-AT	13W 4-pin Triple-tube CF	13W 4-pin Triple-tube CF	13W 4-pin Triple-tube CF
P83-ICAT	13W 4-pin Quad/Triple-tube CF	13W 4-pin Quad/Triple-tube CF	13W 4-pin Quad/Triple-tube CF
P88-ICAT	18W 4-pin Quad/Triple-tube CF	18W 4-pin Quad/Triple-tube CF	18W 4-pin Quad/Triple-tube CF
P183-EB	13W 4-pin Triple-tube CF	13W 4-pin Triple-tube CF	13W 4-pin Triple-tube CF
P83-26ICAT	26W 4-pin Triple-tube CF	26W 4-pin Triple-tube CF	26W 4-pin Triple-tube CF
P62-F8	N/A	N/A	26 or 32W 4-pin Triple-tube CF

Specifications:

- Flange**
- Bright white powdered painted metal flange
 - No light leaks around trim flange
 - Covers irregular ceiling openings
- Trim**
- Steel Construction
 - Built-in bracket to accept Trim-Lok spring
 - Trim-Lok action forces trim to fit snugly against the ceiling
 - Full internal aluminum reflector
 - Socket mounts to trim for optimum performance and consistent lamp position
- Lamps**
- Maximum overall length of lamp cannot exceed 4.8" (4-1/16")
 - Available in Progress 7808-01 (26w)
 - Labels
 - UL-CUL wet location listed

Progress Lighting
Post Office Box 5704
Spartanburg, South Carolina
29304-5704
www.progresslighting.com
Patent# 5,758,977

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: