

64-f-20

190 Valley St.

Florence House

Avesta

 View 284

Aerial view looking West



Permitted



Proposed

Florence House Massing Study

JUL 11

 View 438

Aerial view looking South.



Permitted



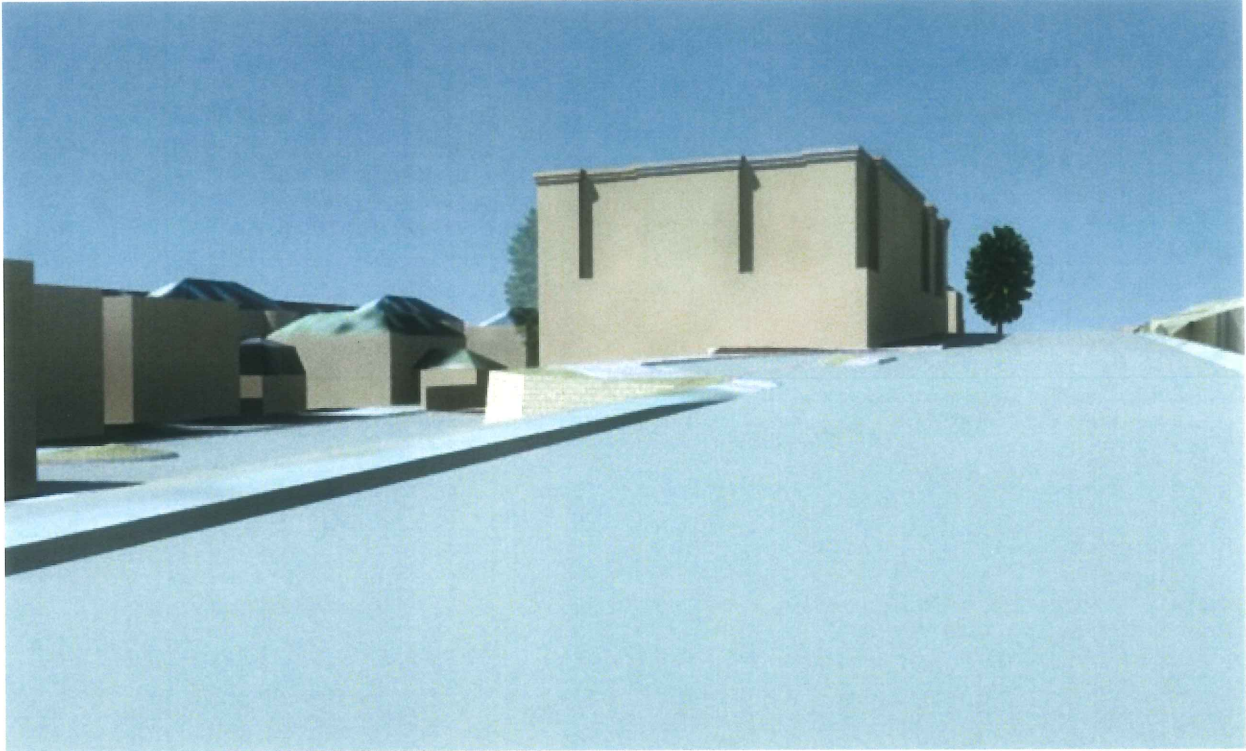
Proposed

Florence House Massing Study

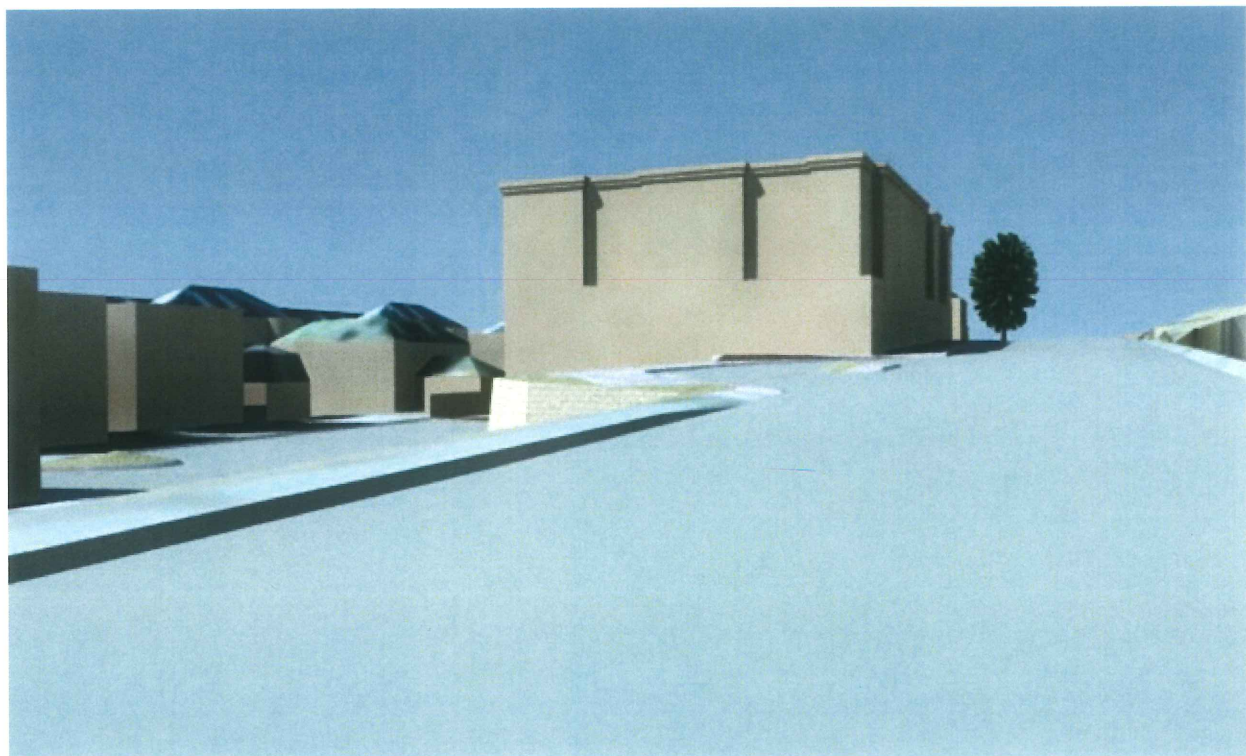
JUL 11 -<

 **View 909**

Street level view looking North on Valley Street.



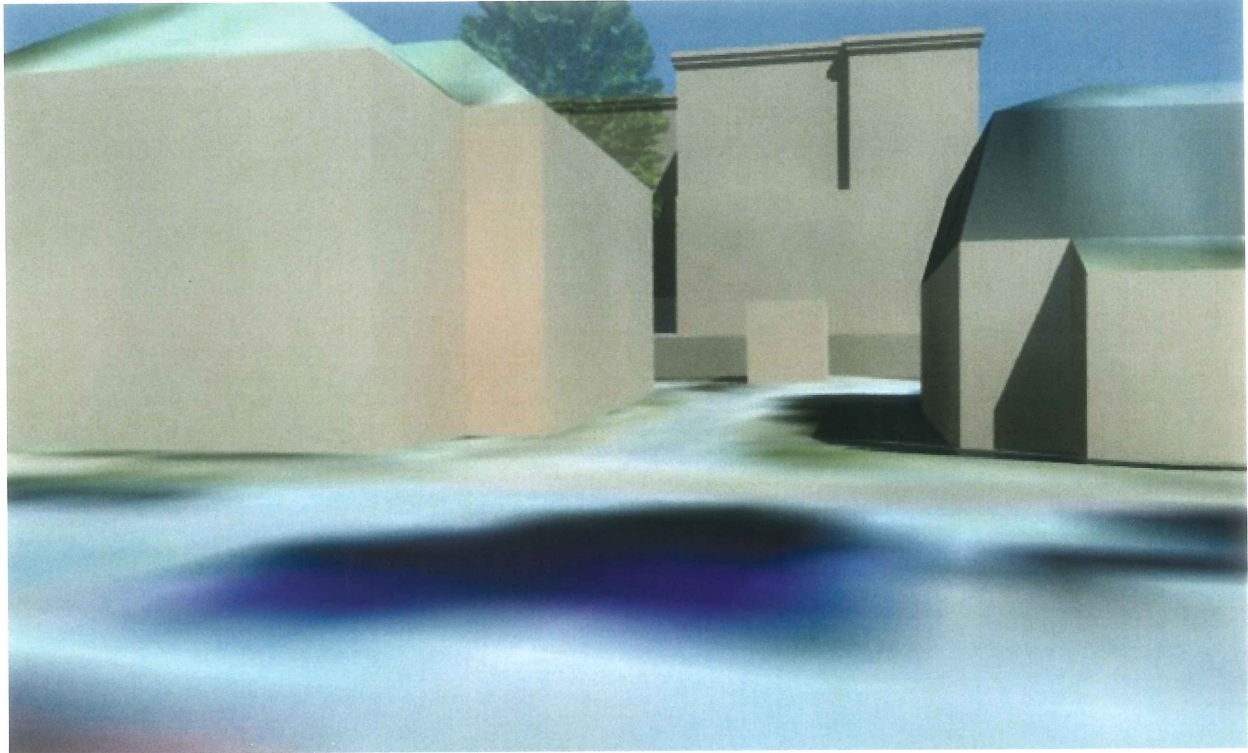
Permitted



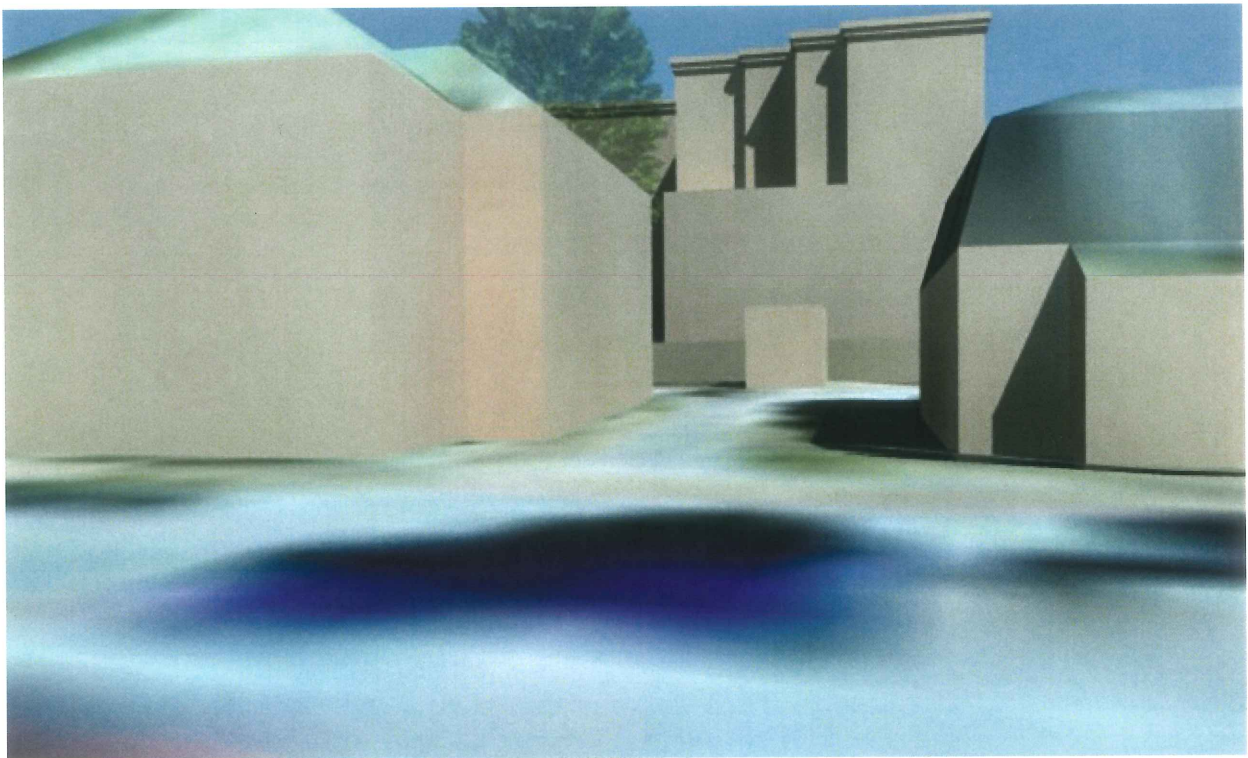
Proposed

View 1363

Street level view looking up driveway West across St John Street.



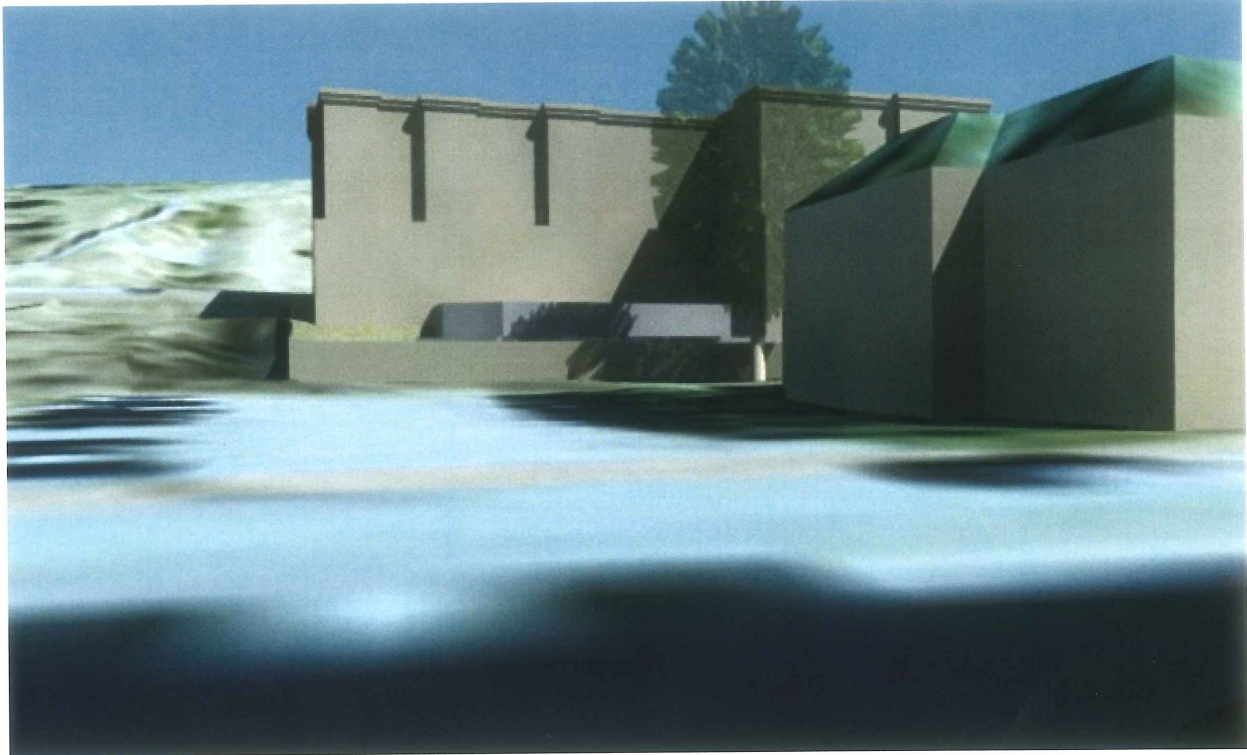
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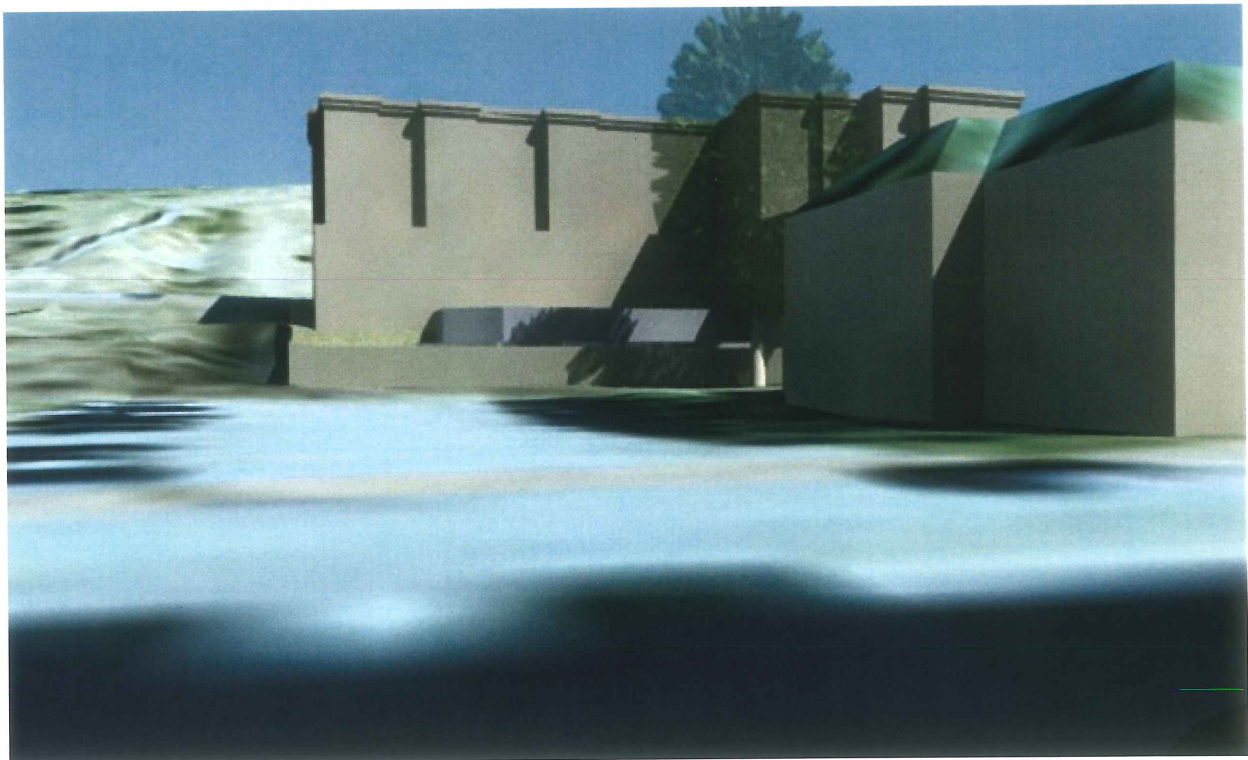
Proposed

 **View 1455**

Street level view looking West across St John Street.



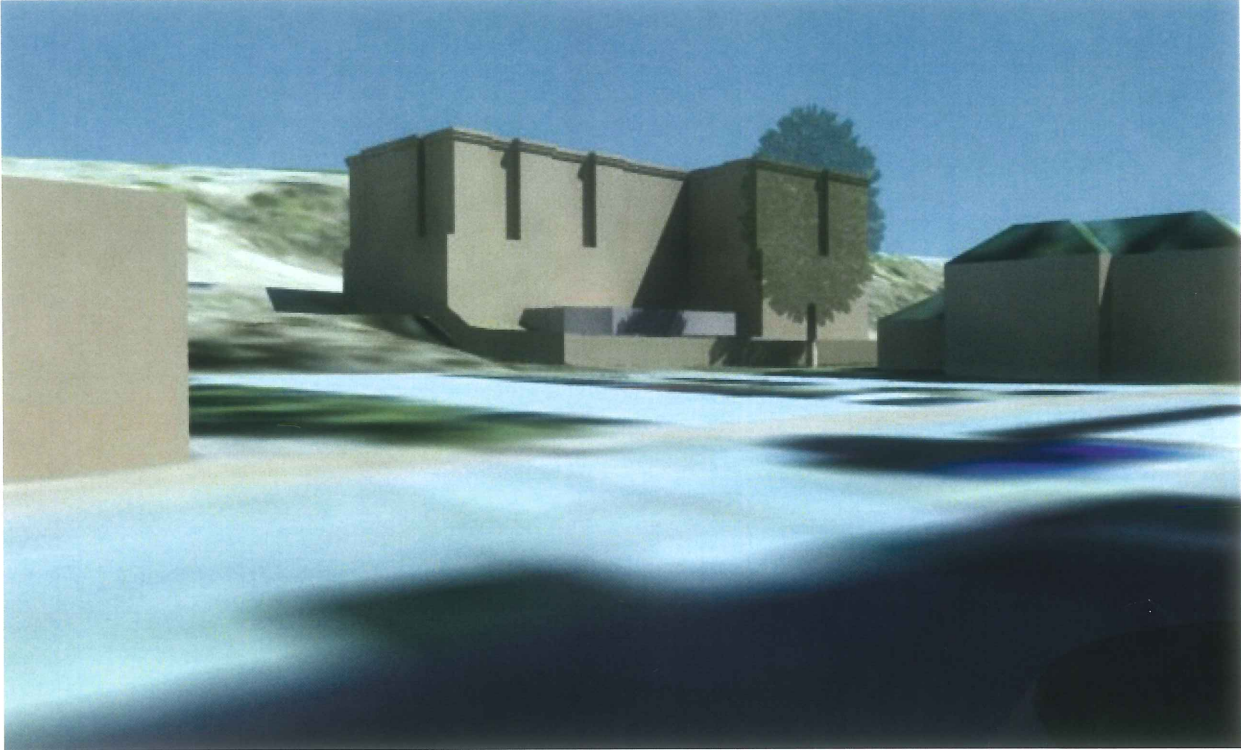
Permitted



Proposed

 **View 1577**

Street level view looking South-West across St John Street.



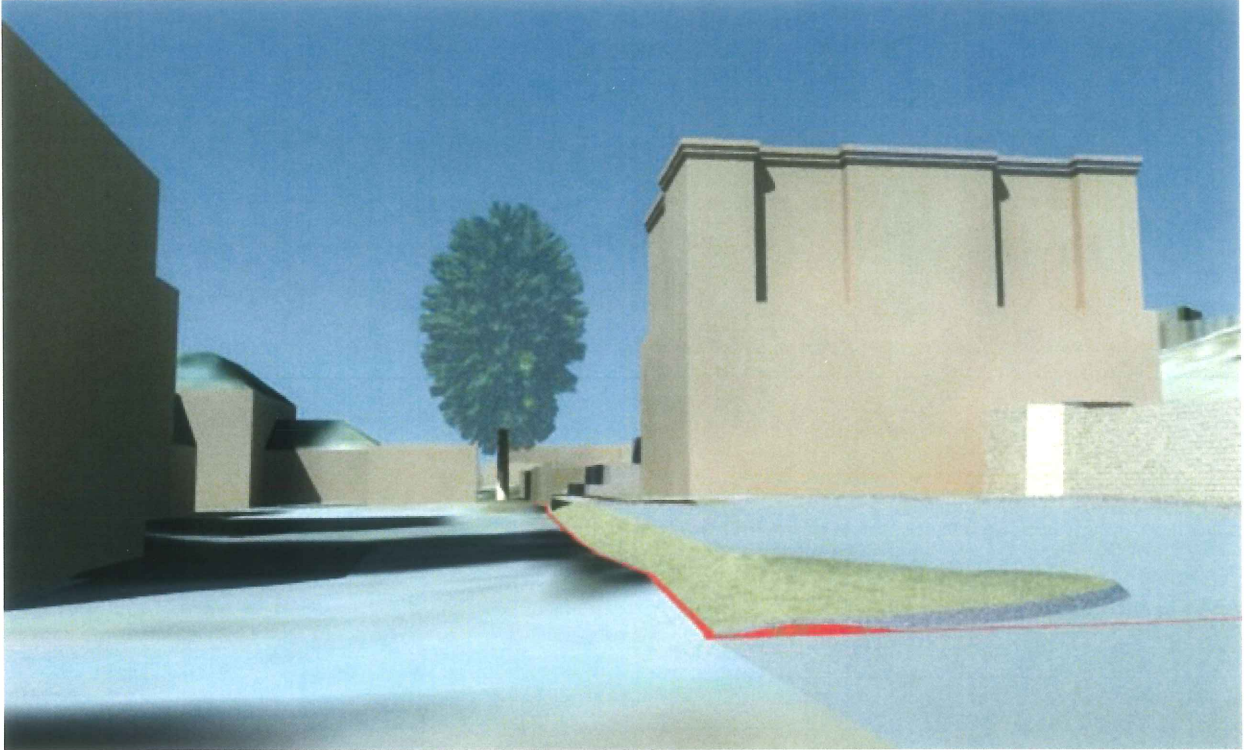
Permitted



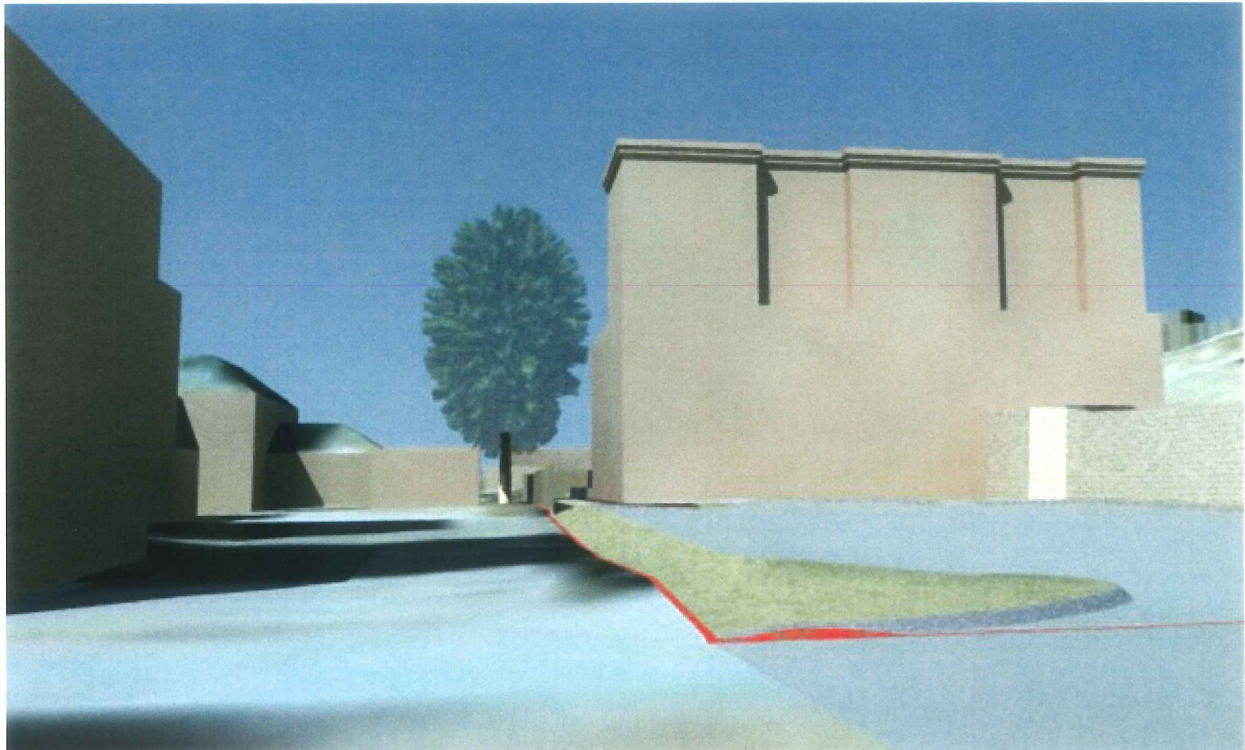
Proposed

 **View 2100**

Street level view looking South on Valley Street.



Permitted



Proposed

Florence House Massing Study

JUL 11

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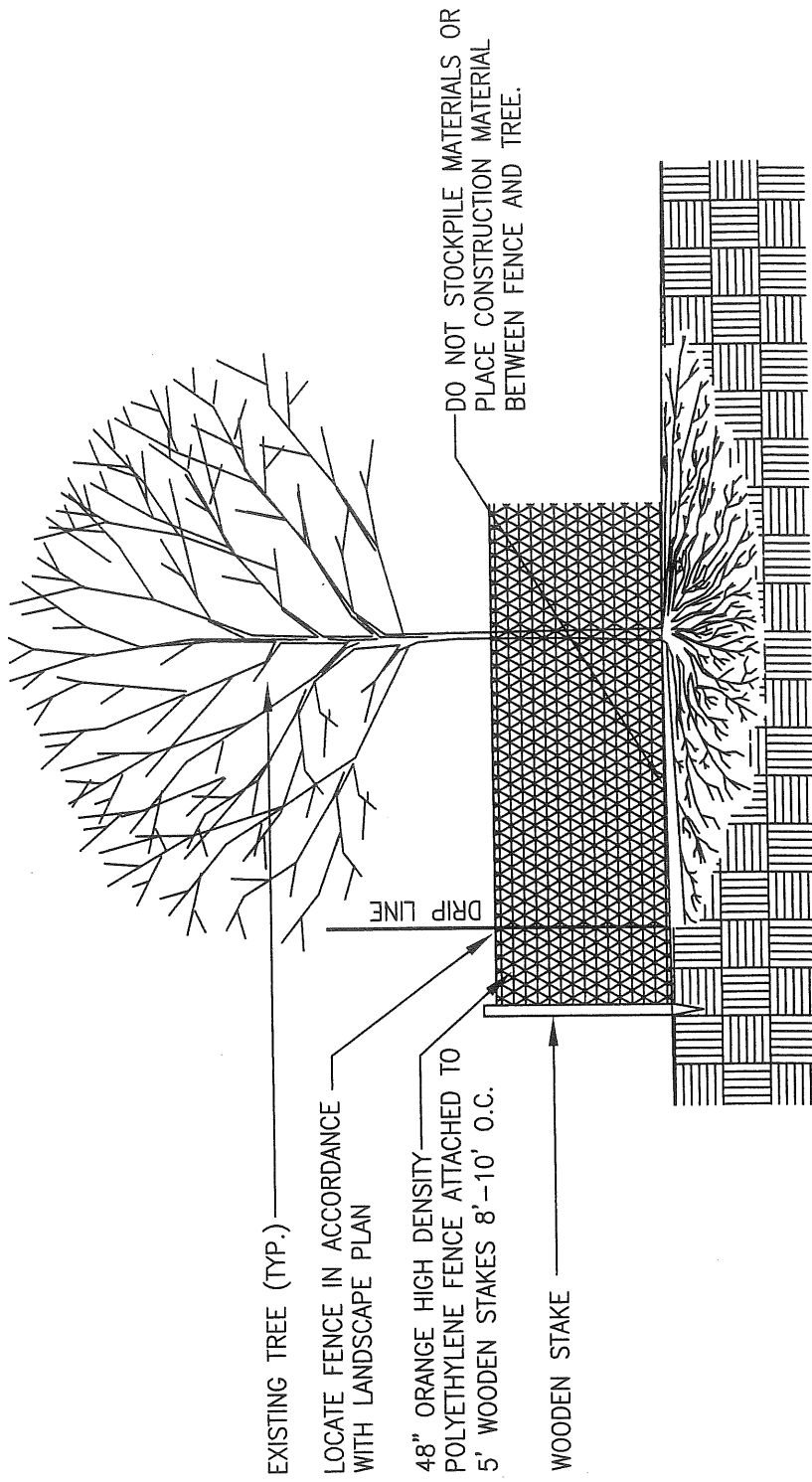
| REVISIONS | |
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| # | DESCRIPTION |
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| DATE: | |
| PROJECT #: | |
| DRAWN BY: | |
| CHECKED BY: | |
| DRAWING SCALE: | |

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|-------------------------|--|
| SHEET TITLE | |
| TREE PROTECTION SECTION | |

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 REPRODUCTION OR USE OF THIS
 DRAWING WITHOUT THE WRITTEN
 PERMISSION OF GAWRON TURGEON
 ARCHITECTS IS PROHIBITED



EXISTING TREE (TYP.)

LOCATE FENCE IN ACCORDANCE WITH LANDSCAPE PLAN

48" ORANGE HIGH DENSITY POLYETHYLENE FENCE ATTACHED TO 5' WOODEN STAKES 8'-10' O.C.

WOODEN STAKE

DRIP LINE

DO NOT STOCKPILE MATERIALS OR PLACE CONSTRUCTION MATERIAL BETWEEN FENCE AND TREE.

Neighborhood Meeting Certification

I, (applicant/consultant) hereby certify that a neighborhood meeting was held on (date) at (location) at (time). 5 PM

6/28/07 WEST SUITE 200

I also certify that on (date at least seven days prior to the neighborhood meeting), JUNE 20, 2007 invitations were mailed to all addresses on the mailing list provided by the Planning Division, including property owners within 500 feet of the proposed development and the residents on the "interested parties" list

Signed,



6/29/2007 (date)

Attached to this certification are

1. Copy of the invitation sent
2. Sign-in sheet
3. Meeting minutes



Neighborhood Meeting Invitation

June 19, 2007

Dear Neighbor:

Please join us for a neighborhood meeting to discuss plans for the development of Florence House to be located at 190 Valley Street, Portland, Maine.

Meeting Location: West School (Portland Adult Education)
Gymnasium
57 Douglass Street, Portland, ME

Meeting Date: Thursday, June 28, 2007

Meeting Time: 5:00 pm
Light refreshments will be served

The City Code requires that property owners within 500 feet of the proposed development and residents on an "interested parties list" be invited to participate in a neighborhood meeting. A sign-in sheet will be circulated and minutes of the meeting will be taken. Both the sign-in sheet and minutes will be submitted to the Planning Board.

If you have any questions, please call Debora Keller at Avesta Housing, 553-7777.

Sincerely,

Avesta Housing

Note: Under Section 14-32C(C) of the City Code of Ordinances, an applicant for a major development, subdivision of over five lots/units, or zone change is required to hold a neighborhood meeting at least seven days prior to the Planning Board public hearing on the proposal.

Quality Affordable Living

307 Cumberland Avenue, Portland, Maine 04101 • P: 1-800-339-6516 • 207-553-7777 • F: 207-553-7778
Equal Housing Opportunity

SIGN-IN SHEET

June 28, 2007 Neighborhood Meeting, 5:00 pm, West School Gymnasium
 Florence House, 190 Valley Street, Portland, ME

| NAME | ADDRESS | PHONE/E-MAIL |
|------------------|------------------------------------|--------------|
| DEBORAH KELER | 307 CUMBERLAND | 553-7777 |
| Betsy Melrose | ^{the} MITCHELL ASSOCIATES | 774-4427 |
| JOHN MITCHELL | MITCHELL & ASSOC. | 774-4427 |
| REBECCA DILLON | GAVRON TURGEON ARCHITECTS | 883-6307 |
| Clayton McArthur | 89 Auburn St Portland 04103 | 797-5049 |
| Deborah Healt | 213 St John St | 773-9632 |
| Paul Peaslee | 213 St John St | 773-9632 |
| Jon Bradley | Preble Street | 775 0026 |
| Dale R Brunell | Tennant Park St. John St. | 772-5872 |

Florence House
Neighborhood Meeting
5pm West School
June 28, 2007

PRESENTATION

Deb Keller-Avesta

- Introduction of Project Team
- Introduction to Project

John Mitchell – Mitchell & Associates

- Project Site

Rebecca Dillon – Gawron Turgeon Architects

- Building Architecture
- Building Program/Functions

John Bradley – Preble Street Resource Center

- Staffing Description
- Staff Responsibilities

PUBLIC COMMENT/QUESTIONS

Q: Light locations?

A: Locations pointed out on plan. Photometrics have been done (John M.)

Q: Maximum capacity 40 people on first floor, there are 25 beds on plan, how is overflow handled?

A: We feel we have a good estimate as to the need for this type of women's housing. If more than 10 emergency beds are needed, there is some room for expansion. It is a goal to keep women out of the main shelter in Portland. (John B.)

A: Building code dictates that a maximum of 40 people can be on first floor (Deb K.)

A: 200 S.F./Person is allowed by code and the first floor has about 8,000 S.F. Guidelines are in place for space between emergency shelter beds and probably can't accommodate more than 25 emergency shelter beds on this floor (Rebecca)

Q: Is the emergency bed number on the first floor predicted to be 25?

A: There is flexibility to accommodate 25 emergency bed users, but it is predicted to be less than 10 most nights. (John B.)

Q: Is 40 people on the first floor a variance requested as part of the Contract Zone?

A: The number of people will be stated in the legal Conditional Zone Agreement (Deb K.)

C: Biggest concern is the "L" portion of the building closest to her Aunt's house and her house. 10 feet from the property line is close. The height difference between permitted and proposed isn't much of a difference. It is hard for her to be in agreement with the setback and height. She is not against the program. It does bring more activity (pedestrian and emergency) and noise to the neighborhood. Appreciates setbacks incorporated into building on upper 2 floors. Massing is still significant.

Q: If this project is approved, how will it affect the future development/additions to her property and her aunt's? Probably need to talk with City staff about this.

A: A Contract Zone could be done for her property if setbacks or height variances are requested (Rebecca)

A: Would have to adhere to B2 standards otherwise (John M.)

C: Picked up packet. References to other buildings neighborhood with similar massing. Half of them have larger footprint, rest are similar footprint. Most are 1-2 story structures. 1st Atlantic is 3 story. Most don't directly abut residential properties. References to other buildings which had approved Contract Zone in area. Shalom House, Valley Street has a 1-1/2 story residential building built at a side setback. Casco Terrace, State Street has area buildings which area taller and have been there for many years. Florence House will appear larger than things around it. YMCA is an entire block with no rear setback to residential property. Walker Terrace has residential buildings to the side. She has issues with the rear setback and size of the building in this neighborhood. Size and closeness of structure have been constant concerns. This will affect her property and her aunt's in a greater way.

Q: Have alternative schemes been looked at?

A: We have looked at and reworked the design for many months. The program for the building has driven the footprint (Deb K.)

A: Delicate relationships programmatically and spatially exist on the first floor. Changing any of these relationships will make it harder for the Preble Street staff to do their job properly and could cause issues in the building and neighborhood. It is hard for neighbors to visualize a new building on most any site. The Planning Board needs look at what the developer can do on this site and what is being proposed to make a determination (Rebecca)

Q: Was massing shown at the [Planning Board Workshop] meeting the proposed massing?

A: Yes (Deb K.)

Q: Additional images have been requested via Jean Fraser for views from the corner of D Street looking north, corner of C Street looking south, and down the driveway between her property and her aunt's. The massing images in the packet have not changed her mind. Could she see requested images before July 10th?

- A: No, the graphic designer is on vacation (John M.)
- C: Seems like design was done and wanted to convince everyone that it is OK. Significant changes have not occurred. It is an old neighborhood. Deb's great grandfather built many of the houses. A neighborhood feeling still exists. It is a good deed to build this structure. The neighborhood isn't considered as much as it could be. A lot could be done with this site. Came into process without real intention of changing the design. Hoped people could grow to like it. Variances will allow project to step on feet of the neighborhood. Hard to believe a more accommodating design can't be done on this site. If neighborhood had been included from the start, design could be mutually agreed upon by everyone.
- R: Many sketches and site solutions have been looked at. Can't cut a floor off the building, because it won't be a successful project. If parts of the program are removed, it won't function correctly. (Rebecca)
- R: This is designing something unique. Have done the best job possible to create an efficient/effective building. Looked for years to find a good site. Can't find a site which will work perfectly in a neighborhood. Very difficult to find the right site. (John M.)
- C: Understands it is hard to find the right site, but feels other stakeholders could have been included. Get City to convince them with a hammer.
- R: Bottom line is everyone in the neighborhood can't be satisfied. Wherever the building is located, impact will occur. It has been located in the best site to minimize impact. (John M.)
- R: City was scoured to find a site that would work. After the site was selected, alternatives were considered and decisions needed to be made. The best alternative was presented to the neighborhood in response to pedestrian and vehicular access concerns. Haven't heard much feedback about particular changes suitable to the site, have only heard general comments like "reduce the height". Hard to work with various constraints. We did not come to you with a final design, only the best solution we could come up with. Input has changed the design. Other solutions presented will be considered. Didn't see this site and instantly decide that this was the building that had to be constructed. We considered alternatives first. (Dana Totman)
- C: Avesta came down in height and added stepbacks but the rear setback hasn't changed. She understands why rear setback can't change is due to stairway. Building is high, over 50 feet at rear view. Here tree is at risk during excavation. A 20 foot setback will reduce the risk a great deal. Her house is 33 feet high. Ours is 20 feet taller. Setback, height and excavation are her biggest issues. Wishes there was a way to accommodate this.
- R: Contract Zone process is not easy for anyone (Rebecca)



PORTLAND MAINE

Strengthening a Remarkable City. Building a Community for Life • www.portlandmaine.gov

Dear Neighbor:

Thank you for attending this evening's neighborhood meeting.

Applicants for major developments, zone changes, and subdivisions of more than five units/lots are required to hold a neighborhood meeting prior to the Planning Board's public hearing on the development proposal.

The purpose of these meetings is to improve communication between neighbors and applicants for development. We have found that neighbors raise questions and offer insight that often improves the design or compatibility of a proposed development.

The City code requires that property owners within 500 feet of the proposed development and residents on an "interested parties list" be invited to participate in a neighborhood meeting. A sign-in sheet will be circulated and minutes of the meeting will be taken. Both the sign-in sheet and minutes will be submitted to the Planning Board.

Should you wish to offer additional comments on this proposed development, you may send correspondence to:

Planning Division
Department of Planning and Development
City Hall
389 Congress Street
Portland, ME 04101;


Or email:

BAB ●@portlandmaine.gov;

Or call 874-8720.

Thank you for taking the time to attend tonight's meeting.

Sincerely,

 *BARBARA BARIMPT*
Development Review Services Manager

QUITCLAIM DEED

58166 KNOW ALL PERSONS BY THESE PRESENTS

That ALAN PROSSER, of 195 Saint John Street, Portland Maine for consideration paid, the receipt whereof is hereby acknowledged, does hereby remise, release, bargain, sell and convey, and forever QUITCLAIM unto C & D ASSOCIATES, a Maine Partnership whose mailing address is 195 Rear Saint John Street, Portland, Maine 04101 and their heirs and assigns forever, all of our right, title and interest in and to the following described real property situated at 195 Saint John Street, Portland, County of Cumberland, State of Maine, as more particularly described as follows:

A right of way over a strip of land nine and seventy-five hundredths feet wide situated on the westerly side of Valley Street in the City of Portland, County of Cumberland, and State of Maine, bounded and described as follows: commencing at an iron pin at the most northwest corner of a concrete building located 101 feet from the east side of Saint John Street (#161) on the land of Alan Prosser, thence along the side of the building in an easterly direction, parallel to the north side line of the Alan Prosser land, a distance of 98.58 feet to an iron pin, the east side line of Alan Prosser and the edge of Valley Street. Thence in a northerly direction along Valley Street a distance of 9.75 feet to an iron pin in the southerly sideline of Grantee's 20 foot wide right of way; thence in a westerly direction parallel with the north property line of Alan Prosser and 20 feet therefrom a distance of 98.58 feet to an iron pin, located 9.75 feet from the northwest corner of the concrete building previously mentioned, thence in a southerly direction a distance of 9.75 feet to the corner of the building, an iron pipe and the point of beginning,

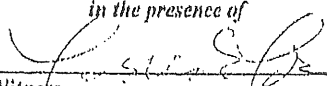
To pass and repass over said strip of land or right of way for all matters and things for which street are customarily used, including the loading and unloading of goods and inventory into and from vehicles.

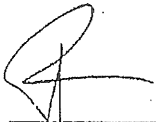
The purpose of this description is to provide a new easement, contiguous with an existing 20 foot easement referred to in Deeds recorded in the Cumberland County Registry of Deeds in Book 6740, Page 330 and Book 4955, Page 273.

Reference is made to land of Alan Prosser's conveyed to him by Deed of Anthony E. Quatrano, Jr., dated May 1982, recorded in the Cumberland County Registry of Deeds at Book 4955, Page 273.

Also conveying to Grantees their heirs and assigns an easement or right to erect and maintain appropriate business signage in compliance with local ordinances on said land of Alan Prosser on the westerly side of Saint John Street and/or along the sides of the above referenced existing twenty foot easement. The cost of erecting and maintaining such signage shall be borne by the Grantees, their heirs and assigns.

In Witness Whereof, Alan Prosser, releasing all rights by descent and all other rights in the above described premises for himself, his heirs and assigns has hereunto set his hand and seal this 13th day of the month of September, 1996.

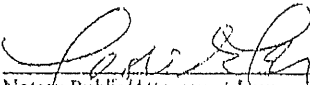
Signal Sealed and Delivered
in the presence of

Witness


ALAN PROSSER

STATE OF MAINE
CUMBERLAND, ss.

DATE: September 23, 1996

Then personally appeared the above named ALAN PROSSER and acknowledged the foregoing instrument to be his free act and deed.

Before me,

Notary Public/Attorney-at-Law
Leslie E. Leary III

RECEIVED
RECORDED REGISTRY OF DEEDS
26 SEP 30 PM 1:12
CUMBERLAND COUNTY
John B. @ B. B. B.

58.167

EASEMENT AGREEMENT

Agreement made this 73 day of September, 1996 between C&D Associates, a Maine partnership with a place of business at 195 Rear St. John Street, Portland, Maine and Alan Prosser with an address of 195 St. John Street, Portland, Maine.

WHEREAS, C&D Associates is the owner of a certain twenty foot right-of-way across the property of Alan Prosser located at 195 St. John Street, Portland, Maine from St. John Street to property of C&D Associates located at 195 Rear St. John Street; and

WHEREAS, certain disputes have arisen between the property owners as to the use and maintenance of said twenty foot easement; and

WHEREAS, the property owners of the servient and dominant estates are desirous of resolving their differences and setting forth by agreement their respective rights and responsibilities;

NOW THEREFORE, for the reasons stated above and in consideration of the covenants and agreements hereinafter stated the parties to this agreement mutually agree as follows:

1. Snowpiling: Snow that falls on the 20 foot right-of-way from St. John Street to the front of C&D Associates' building is to be removed by C&D Associates over onto their property. Snow that falls on the 20 foot right-of-way beyond the front edge of C&D Associates' building is to be pushed back to the end of the right of way. If it becomes necessary to haul away the snow piled at the end of the twenty foot right-of-way, the cost shall be divided equally between the owners of the two adjoining properties. None of the snow that falls on Alan Prosser's property outside of the 20 foot right-of-way is to be put within the 20 foot right-of-way.
2. Outflow pipe under the 20 foot right-of-way: By the end of 1996, Alan Prosser will disconnect the plumbing for the back building toilet so that it is not connected to the sewer pipe under the 20 foot right-of-way. After that is done, C&D Associates will be solely responsible for any maintenance and repairs to that sewer drain, and thereafter Alan Prosser and his successors shall have no right to utilize that existing sewer drain.
3. Obstruction of 20 foot right-of-way: The parties agree that vehicles in the right-of-way should not be left unattended. A sign will be posted at the St. John Street end of the right-of-way on Alan Prosser's fence long the right-of-way and on the corner of the C&D Associates building to prohibit leaving unattended vehicles in the right-of-way. C&D Associates will be responsible for manufacturing the signs. All attended vehicles will be promptly moved upon request. Any unattended vehicle will be removed from the right-of-way as soon as the responsible party becomes aware of it.
4. Enforceability and Notice: The above stipulations shall be enforceable against C&D Associates and/or Alan Prosser and their heirs, assigns, and successors in interest, and appurtenant to their interest in respective adjoining parcels of real estate, and shall be recorded in the Cumberland County Registry of Deeds.
5. References: Reference is made to Deed of Peter Holmes, dated April 23, 1985, recorded in the Cumberland County Registry of Deeds at Book 6740, Page 330 for description and title of C&D Associates to its real property and reference is made to Deed of Anthony E. Quartaing dated May, 1982, recorded in the Cumberland County Registry of Deeds at Book 4955, Page 273 for description and title of Alan Prosser to his real property.
6. Entire Agreement: This agreement shall constitute the entire agreement between the parties and any prior understanding or representation of any kind preceding the date of this agreement shall not be binding upon either party except to the extent incorporated in this agreement. Any modification of this agreement or additional obligations assumed by either party in connection with this agreement shall be binding only if evidence in writing signed by each party or an authorized representative of each party.

IN WITNESS WHEREOF each party to this Agreement has caused it to be executed at Portland, Maine on the dates indicated below.

Date: 9/13/96 By: C & D ASSOCIATES
 Clayton MacArthur, General Partner

Date: 9/13/96 By: Dale R. Brunell
 Dale R. Brunell, General Partner

Date: 9/23/96 By: Alan Prosser
 Alan Prosser

STATE OF MAINE
CUMBERLAND, ss.

DATE: 9/13/96 SEAL

Personally appeared the above named Clayton MacArthur and Dale Brunell, and acknowledged the foregoing instrument to be their free act and deed and the free act and deed of the partnership.

Nancy M. Heath
Notary Public/ Attorney-at-Law

My Commission Expires Sept. 6, 2000

STATE OF MAINE
CUMBERLAND, ss.

DATE: September 23, 1996

Personally appeared the above named Alan Prosser, and acknowledged the foregoing instrument to be their free act and deed.

Leslie E. Leary
Notary Public/ Attorney at Law
Leslie E. Leary, Notary

RECEIVED
RECORDED REGISTRY OF DEEDS

55 SEP 30 PM 1:13
CUMBERLAND COUNTY

John B. O'Brien

59976

QUITCLAIM DEED

Know All Persons By These Presents

THAT C&D ASSOCIATES, a Maine Partnership whose mailing address is 195-Rear St. John Street, Portland, Maine, for consideration, the receipt whereof is hereby acknowledged, does hereby remise, bargain, sell, convey and forever quit claim unto ALAN PROSSER, his heirs and assigns forever, all of its right, title and interest in and to the following described real property situated at 195 St. John Street, Portland, County of Cumberland, and State of Maine, and more particularly described as follows:

A right of way over a strip of land ten (10) feet in width, situated southerly of land of the Grantor and situated westerly of and adjoining the easterly boundary of land of the Grantee and extending from the southerly boundary of land of the Grantor along the easterly boundary of land of Grantee and the westerly sideline of Valley Street to the northerly sideline of D Street, so-called; to pass and repass over said strip of land or right of way on foot, by vehicle or otherwise, and to use said strip of land or right of way for all other matters and things for which streets are customarily used.

Being the second easement described and conveyed by Deed of Peter Holmes dated April 23, 1985 recorded in the Cumberland County Registry of Deeds at Book 6740, Page 330, and meaning and intending to discontinue and extinguish said easement.

Reserving and retaining, however, the first easement described and conveyed in said Deed being a right of way over a strip of land twenty feet in width extending along the northerly sideline of land of Grantee from the easterly sideline of St. John Street to the westerly sideline of Valley Street.

And also reserving easements to pass and repass and for loading and unloading and for placement of signage conveyed to Grantors by Alan Prosser by Deed executed contemporaneously with this Deed.

IN WITNESS WHEREOF, Clayton MacArthur and Dale R. Brunell, the sole partners of C&D Associates, releasing all rights by descent and all other rights in the above described premises for themselves and the partnership have hereunto set our hands and seals this 13 day of September, 1996.

Signed Sealed and Delivered in the presence of

Witness Nancy M. Wintle

Witness Nancy M. Wintle

C & D Associates
By: Clayton MacArthur
Clayton MacArthur

By: Dale R. Brunell
Dale R. Brunell

STATE OF MAINE
CUMBERLAND, ss.

DATE: 9/13/96

Personally appeared the above named Clayton MacArthur and Dale R. Brunell and acknowledged the foregoing instrument to be their free act and deed and the free act and deed of the partnership.

Before me, Nancy M. Wintle
Notary Public / Attorney at Law
Nancy M. Wintle
My Commission Expires Sept. 6, 2000

RECEIVED
RECORDED REGISTRY OF DEEDS
06 OCT -9 11:23 30
CUMBERLAND COUNTY
John B. O'Brien

SEAL

MITCHELL & ASSOCIATES
LANDSCAPE ARCHITECTS

(9 pages)

July 18, 2007

Ms. Jean Fraser, Planner
and Planning Board Members
City of Portland
389 Congress Street, 4th Floor
Portland, Maine 04101

**RE: Florence House
Sun/Shadow Study**

Dear Jean and Board Members:

On behalf of Avesta Housing, we are pleased to submit additional information regarding the proposed contract zone application for Florence House located at 190 Valley Street in Portland. This information accompanies our submission dated July 11, 2007.

The attached images are snapshots from a video simulation. Images have been printed to illustrate proposed and permitted sun/shadow at key moments of the morning. A window highlighting the abutting 213 St. John Street property has been added to illustrate the impact on the property. Snapshots have been selected at times close to 8:00 am and 9:00 am for the longest day of the year (June 21), the equinox (September 23) and the shortest day of the year (December 22). A 10:00 am image has also been selected for September 23rd.

We look forward to the opportunity to meet with the Board for the Workshop on July 24, 2007. Should you have any questions, please do not hesitate to call.

Sincerely,
Mitchell & Associates

A handwritten signature in black ink that reads "Betsy Melrose". The signature is written in a cursive style with a large initial "B" and a long, sweeping underline.

Betsy Melrose

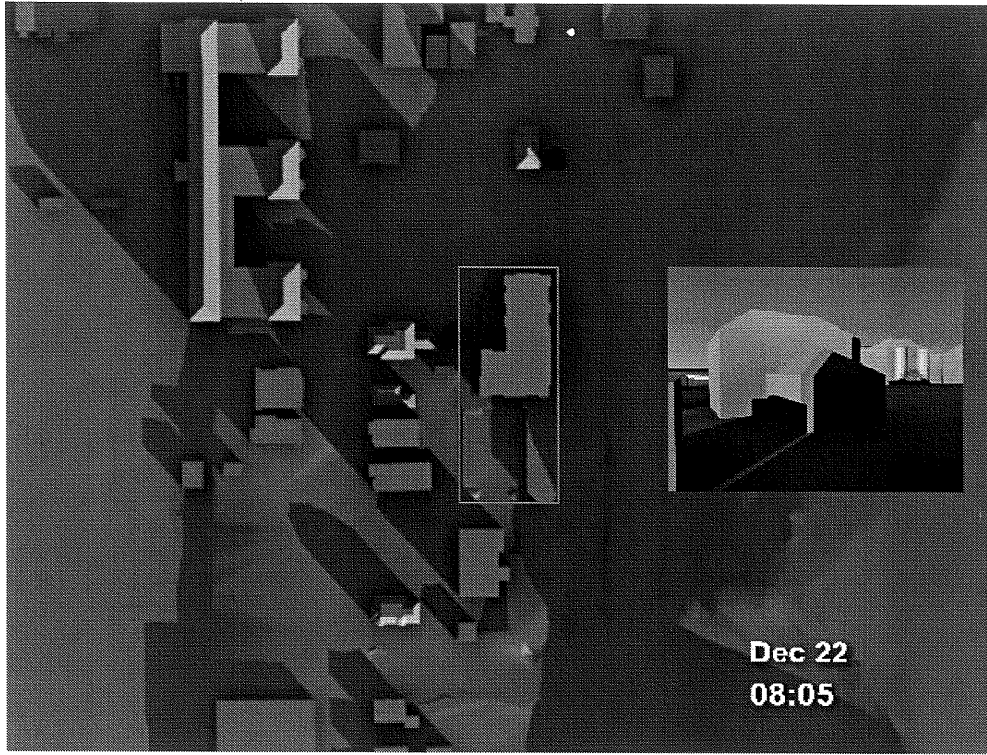
Enclosures

cc. Debora Keller – Avesta Housing
Mark Swan – Preble Street Resource Center
Cito Selinger – Curtis, Thaxter, Stevens, Broder & Micholeau
Rebecca Dillon – Gawron Turgeon Architects

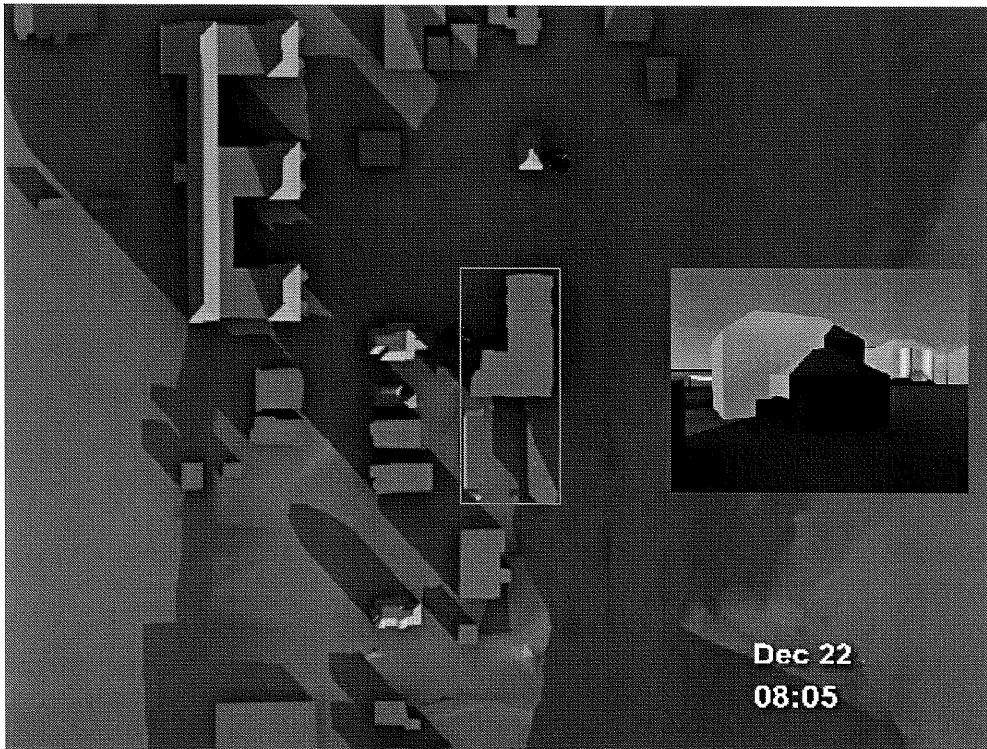
FLORENCE HOUSE

SUN/SHADOW STUDY

July 18, 2007

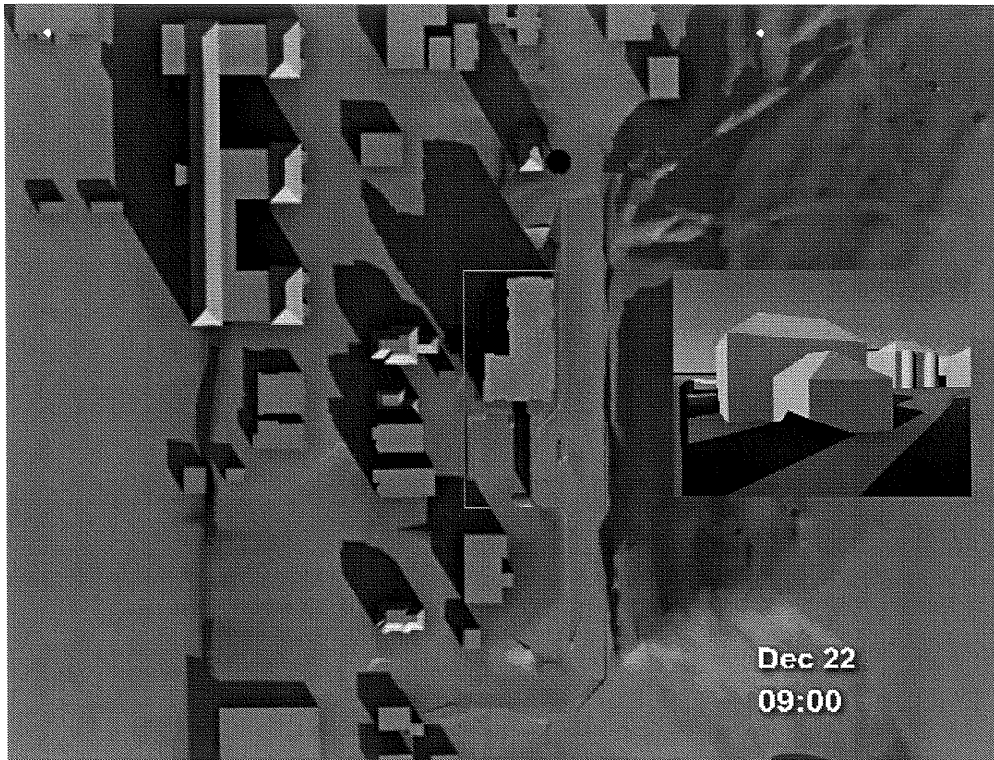


PERMITTED



PROPOSED

FLORENCE HOUSE
SUN/SHADOW STUDY
July 18, 2007

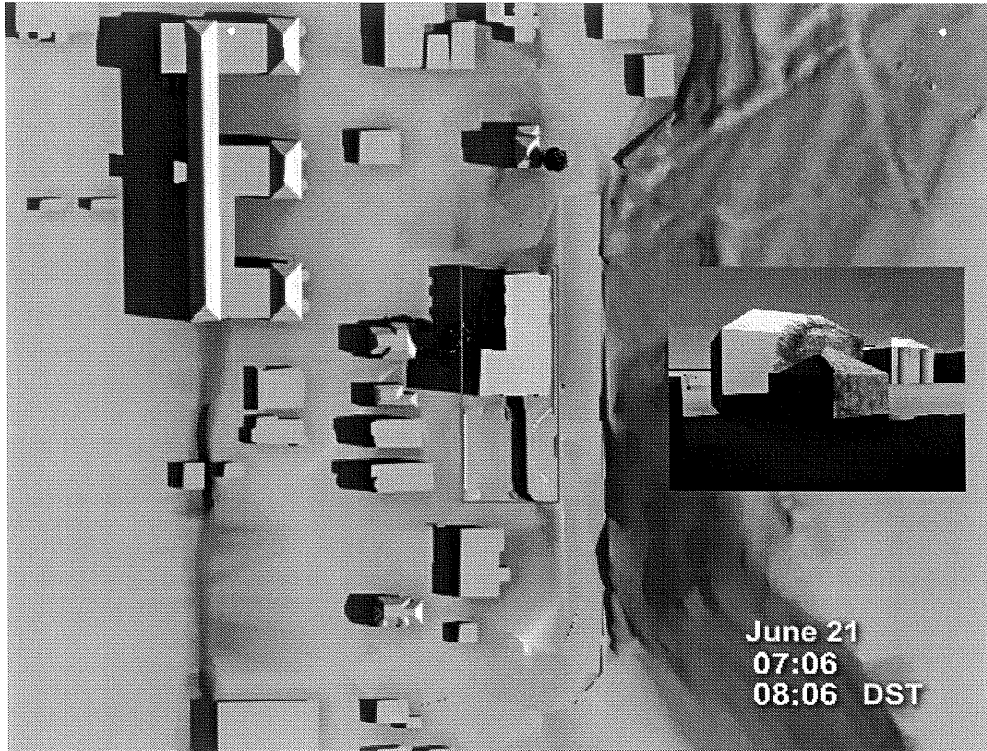


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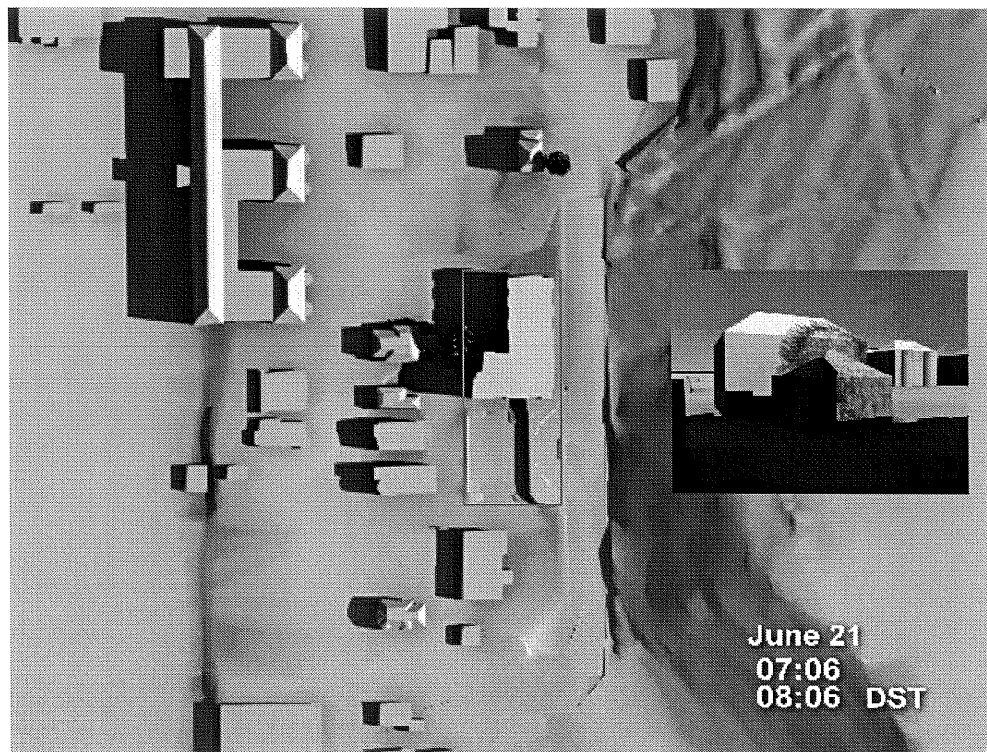


PROPOSED

FLORENCE HOUSE
SUN/SHADOW STUDY
July 18, 2007

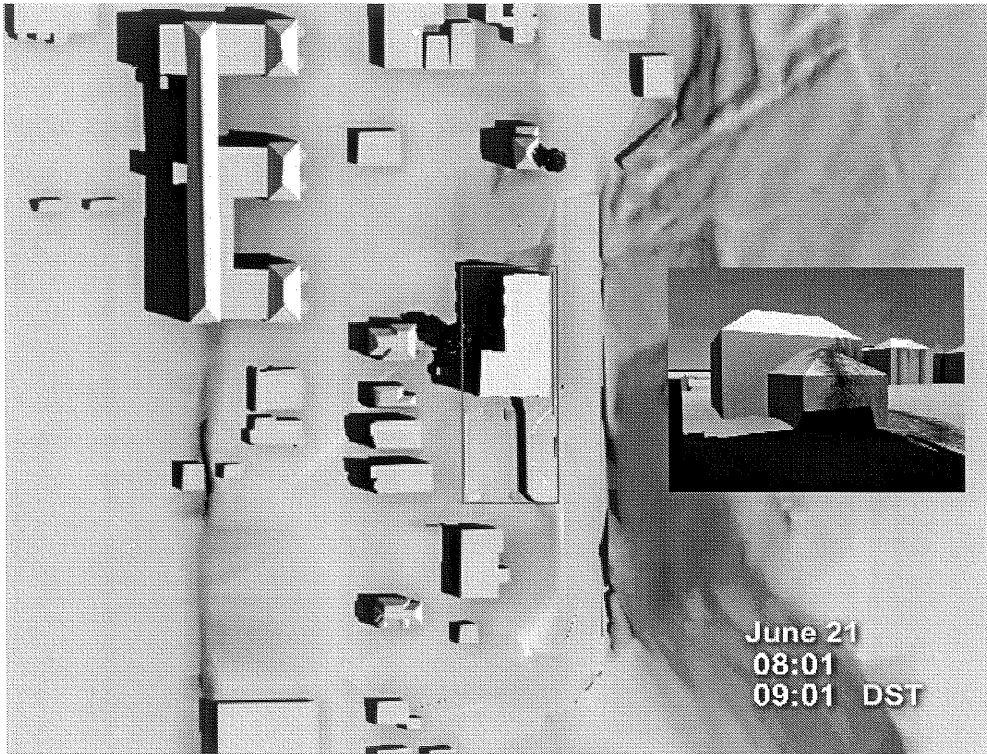


PERMITTED

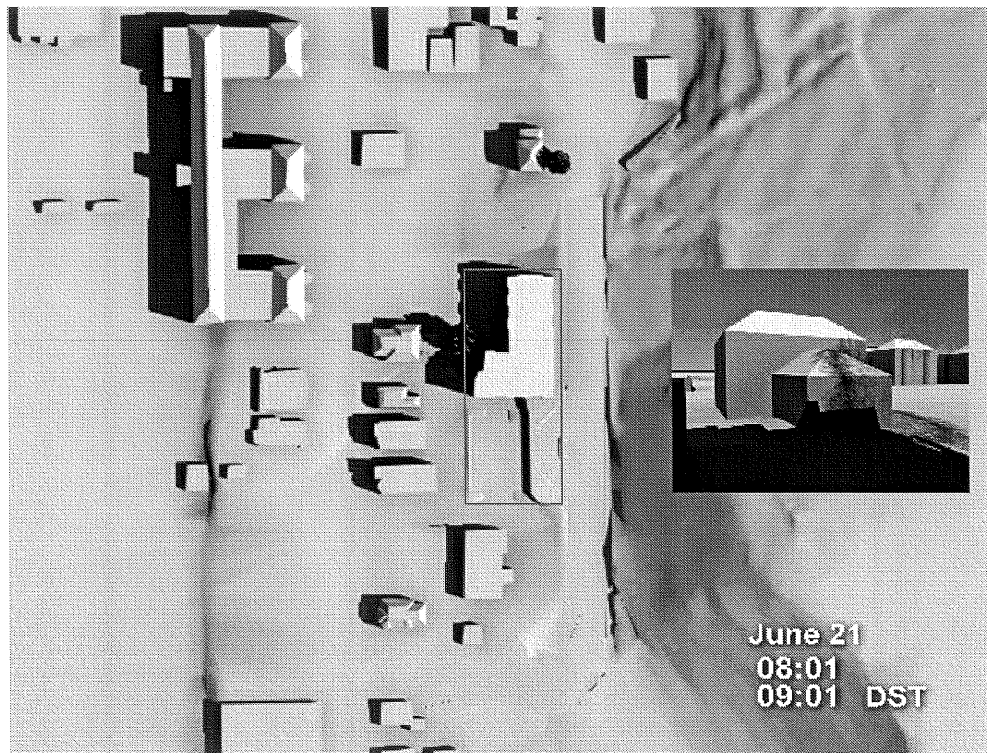


PROPOSED

FLORENCE HOUSE
SUN/SHADOW STUDY
July 18, 2007

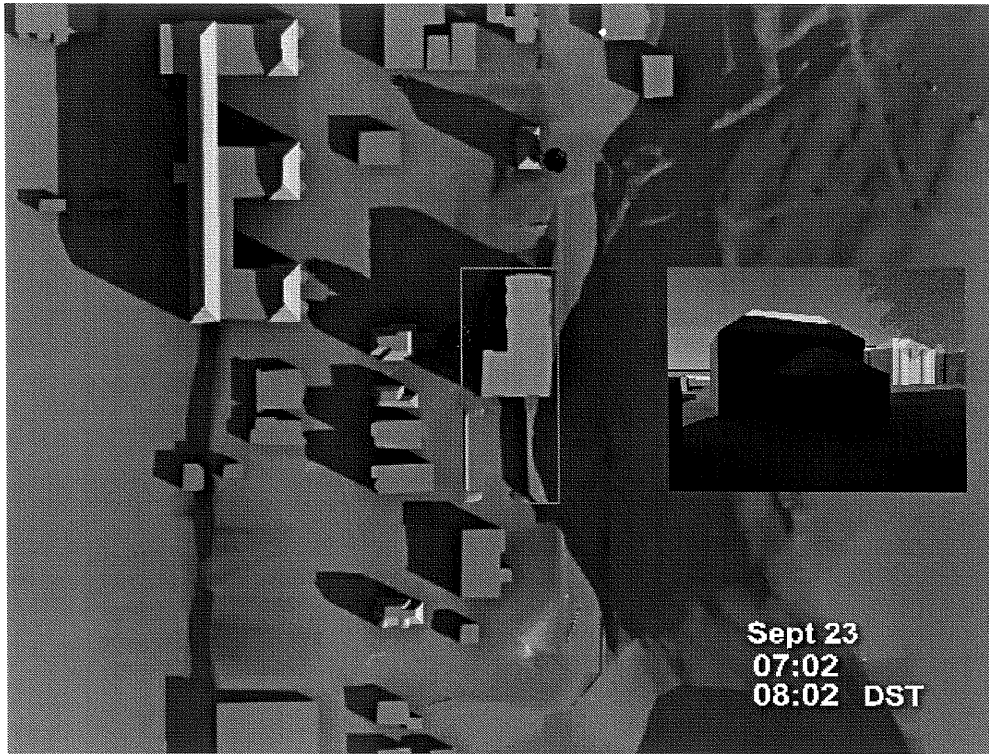


PERMITTED



PROPOSED

FLORENCE HOUSE
SUN/SHADOW STUDY
July 18, 2007



PERMITTED



PROPOSED

FLORENCE HOUSE
SUN/SHADOW STUDY
July 18, 2007

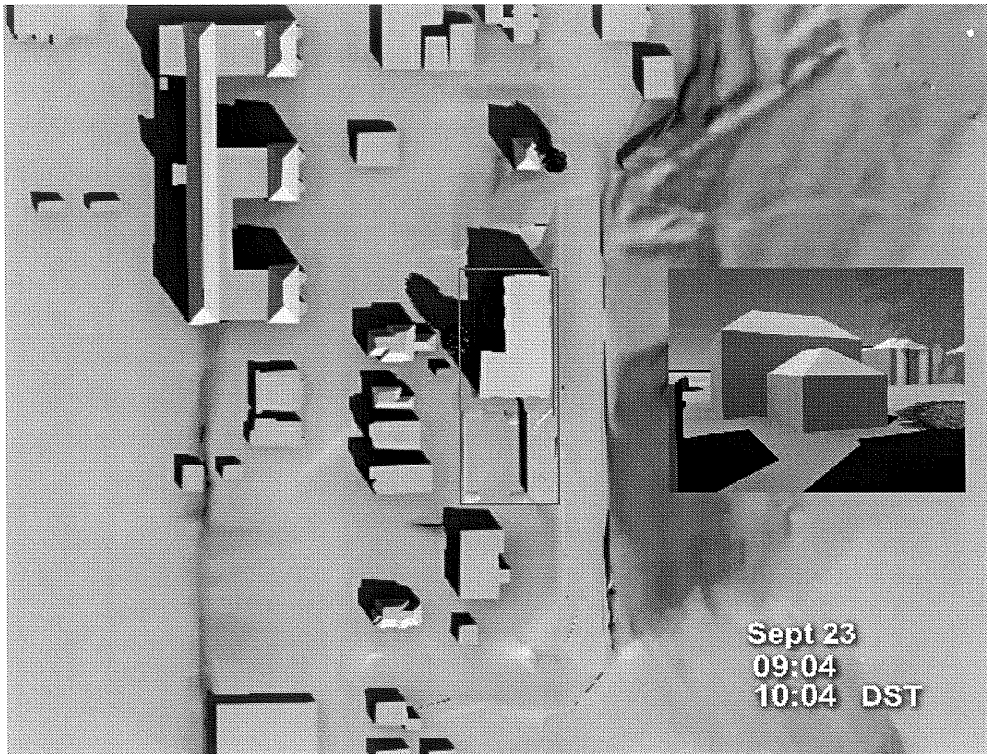


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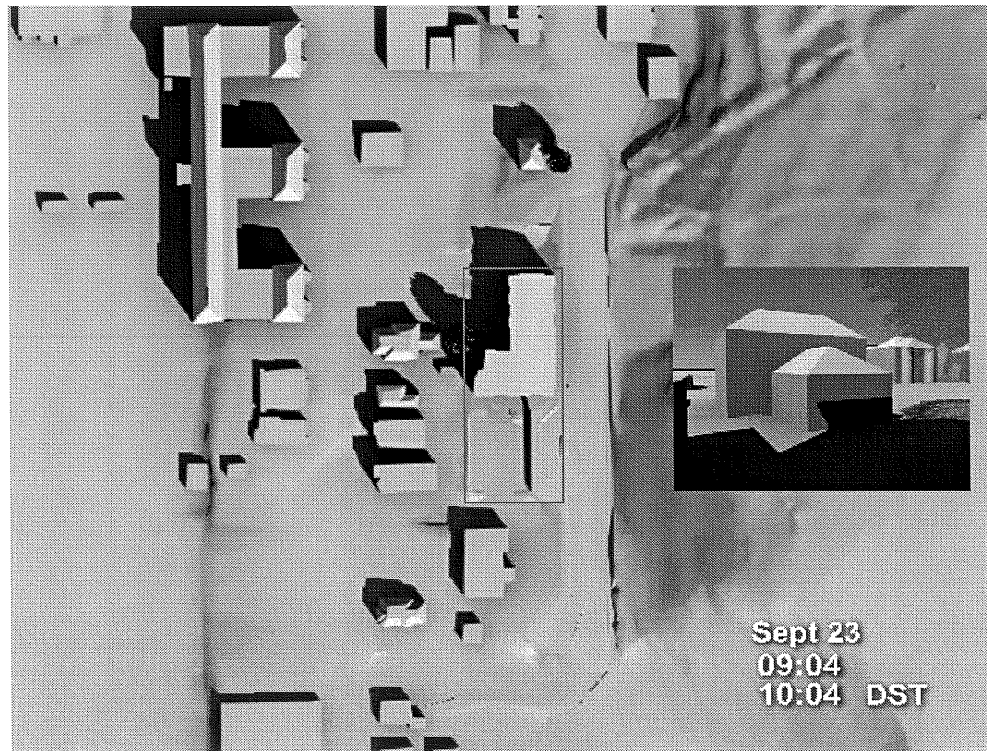


PROPOSED

FLORENCE HOUSE
SUN/SHADOW STUDY
July 18, 2007



PERMITTED



PROPOSED

July 31, 2007

(25 pages)

Ms. Jean Fraser, Planner
and Planning Board Members
City of Portland
389 Congress Street, 4th Floor
Portland, Maine 04101

**RE: Florence House
Planning Board Hearing**

Dear Jean and Board Members:

On behalf of Avesta Housing, we are pleased to submit additional information regarding the proposed contract zone application for Florence House located at 190 Valley Street in Portland. Also included is information in response to comments we received by planning board members, planning staff and/or neighbors during the planning board workshop on July 24, 2007.

In response to the review and feedback we have received, the design team has made minor revisions and/or clarifications to previously submitted material. The primary revisions are as follows:

Excluded -
See Attachment
1 (in A)

1. **Conditional Zone Agreement, Final Draft.** The CZA includes revisions based on comments from the Planning Board and Planning Staff, and also includes associated attachments (site plan, architectural and the setback exhibit).
2. **Logan Place Cost Benefit Analysis.** This data is excerpted from *The Cost of Homelessness in Maine Project*, which is a research project analyzing the cost of homelessness in the State of Maine and establishing the comparable financial and social costs of permanent supportive housing. The project, which began June 1, 2006, is funded by the Corporation for Supportive Housing through MaineHousing and is being conducted by Shalom House, Inc. with University of New England faculty.

3. **Analysis of Logan Place Police Calls – prepared by Mark Swann, Executive Director, Preble Street.** This is a summary of Mark's comments at the Planning Board Workshop on July 24, 2007. While it is not possible to separate out police calls made specifically related to women at Logan Place, the May 22, 2007 submission contains information on police calls made to the Preble Street Women's Shelter and the YWCA when it was in operation.
4. **Sun/Shadow Study.** An animated shadow study comparing the shadow impact of a proposed versus permitted building was presented at the July 24, 2007 workshop. A handout summarizing key shadow moments was distributed at that time. The attached handout also includes the time at which the shadow cast by the Western Promenade leaves the garage of the abutting property if the site was devoid of structures, per the request of Planning Staff.
5. **Additional Information**
 - **Rooftop mechanicals:** The July 11, 2007 submission included Exhibit A105 Roof Plan. This exhibit outlines the area in which any necessary rooftop mechanicals would be contained. As the full mechanical system has not yet been designed, specific dimensions and sizes are still unknown at this time.
 - **Tenant Parking:** As outlined in the Parking Analysis submitted on April 2, 2007, Logan Place staff report "there are always empty spaces in the lot, primarily because (a) only two residents of Logan Place have parked automobiles at the project since it opened two years ago, and (b) their visitors rarely come in automobiles . . .". This report remains unchanged as of July 31, 2007.
 - **Bus Information:** As part of our original submission, dated April 2, 2007, we presented information regarding Metro service to the site. Two bus stops exist on St. John Street at the intersections with C Street and D Street. Discussions with Metro indicate the possibility of adding a stop on the corner of Valley Street and D Street, closer to our site. A metro brochure, map, and bus route #1 were included in the original submission.
6. **Revised Layout and Lighting Plan.** Note added to plan regarding setbacks: "See Conditional Zone Agreement for dimensions."

Ms. Jean Fraser, Planner
and Planning Board Members
Page 3 of 3

- In CZA* 7. **Revised Basement Floor Plans.** The labels on rooms in the basement have been revised to match the Conditional Zone Agreement. Refer to the attached Basement Floor Plan.
- excl.* 8. **Signed/Sealed Existing Conditions Plan.** A signed/sealed ALTA/ACSM Land Title Survey prepared by Northeast Civil Solutions, has been included to meet submission requirements.

Submission

This follow-up submission for Contract Zone Application includes the following information:

1. Conditional Zone Agreement
2. Cost/Benefit Analysis of Logan Place
3. Analysis of Logan Place Police Calls
4. Sun/Shadow Study Video Simulation Handout
- In CZA* 5. Sheet 2 – Layout and Lighting Plan
6. Sheet A 100 – Basement Floor Plan
- excl.* 7. ALTA/ACSM Land Title Survey

We look forward to the opportunity to meet with the Board for the Public Hearing on August 14, 2007. Should you have any questions, please do not hesitate to call.

Sincerely,
Mitchell & Associates



John D. Mitchell

Enclosures

- cc. Debora Keller – Avesta Housing
Cito Selinger – Curtis, Thaxter, Stevens, Broder & Micholeau
Rebecca Dillon – Gawron Turgeon Architects

LOGAN PLACE COST BENEFIT ANALYSIS

Moving homeless people off the street is the right thing to do from a MORAL perspective. The June 2007 update to a study of Logan Place shows dramatically that "Housing First" also makes ECONOMIC sense.

Health Care

Costs plummeted from \$274,000 per year to \$83,000 **70% DECREASE**

Mental Health Care

Costs related to mental health treatment dropped from \$237,000 to \$15,000 while providing more frequent contacts **94% DECREASE**

Ambulance Use

Costs dropped from \$36,790 to \$10,525 **71% DECREASE**

Emergency Room Visits

Costs dropped from \$108,109 to \$27,713 **74% DECREASE**

In addition, preliminary results of the study, reported in February 2007, indicate equally positive results.

Jail Time: The following numbers represent the number of jail days and associated costs for the 12 Logan Place tenants who had contact with the jail during the study time frame.

| | | |
|------------------------|---------------------|---------------------|
| 2 years before housing | 184 days - \$19,130 | |
| 1 year before housing | 176 days - \$18,298 | |
| | | 88% DECREASE |
| 1 year after housing | 21 days - \$2,183 | |
| 2 years after housing | 13 days - \$1,351 | |

Police Contacts: Logan Place tenants saw a sharp decline in the number of police contacts after moving in. Police contacts decreased by 80% during the first year of housing.

| | | |
|------------------------|---|---------------------|
| 2 years before housing | 60 police contacts – cost per contact pending | |
| 1 year before housing | 97 police contacts | |
| | | 81% DECREASE |
| 1 year after housing | 19 police contacts | |
| 2 years after housing | 11 police contacts | |

Detoxification Programs: The following numbers represent the number of detoxification bed nights and associated costs for the five Logan Place tenants who used these services.

| | | |
|------------------------|-------------------------|---------------------|
| 2 years before housing | 71 bednights - \$19,585 | |
| 1 year before housing | 46 bednights - \$12,689 | |
| | | 61% DECREASE |
| 1 year after housing | 18 bednights - \$4,965 | |
| 2 years after housing | 0 bednights - \$ 0 | |

Emergency Shelters: Two shelters were included in this study, the City of Portland's Oxford Street Shelter and Milestone Foundation. All tenants of Logan Place used one or both of these emergency shelters.

| | | |
|------------------------|-----------------------------|---------------------|
| 2 years before housing | 4,595 bednights - \$205,166 | |
| 1 year before housing | 5,127 bednights - \$228,920 | |
| | | 99% DECREASE |
| 1 year after housing | 134 bednights - \$ 5,983 | |
| 2 years after housing | 1 bednight - \$ 44 | |

ANALYSIS OF LOGAN PLACE POLICE CALLS

Mark Swann, Executive Director, Preble Street

COMMENTS TO PLANNING BOARD 7-24-07

The fact is that the calls from Logan Place originated from the social workers who work there around the clock. They were not from neighbors complaining about noise, or violence, or behaviors at Logan Place. They were from staff and were made to keep the neighborhood safe.

Preble Street is not only very concerned about the safety of our tenants and staff but also about the whole neighborhood. We consider ourselves a vigilant set of eyes and ears, often reporting to the police when others aren't comfortable doing so.

25% of the calls attributed to Logan Place were actually to report activities away from our building. To report car theft down the street, suspected drug dealing out of nearby apartments, drinking on the public trails at the end of street, and other suspicious behaviors.

30% of emergency calls for internal issues were related to health concerns. Logan Place tenants tend to be disabled and struggle with health problems. Three original Logan Place tenants have died since we opened.

10% of calls were follow up calls, false fire alarms, administrative issues or subsequently cancelled.

The last 35% of calls were for issues ranging from animal control, theft reports, missing persons, or tenancy issues aimed at convincing tenants to get the help they need.

Neighbors are not even aware of the vast majority of these calls, and the police almost always turn off sirens and flashing lights to mitigate any disruption on the street when they respond.

Our staff works diligently with police as partners in our efforts. Police do trainings at all Preble Street programs, and our staff conducts trainings for the Portland Police Department and other law enforcement agencies.

The only way to end long-term chronic homelessness is in partnership with the community, which includes other nonprofits, the faith community, hospitals, and yes, the local police.

The police have consistently commented on how they'd rather assist us at Logan Place than have people lose their housing and end up back on the streets. It is a good use of the police resources.

Simply looking at the total number of emergency calls tells only a part of the story. It's disconcerting when that number alone, without explanation or analysis, is tossed around as a reason not to support Florence House.

When taking the time to investigate what's behind this number, the opposite conclusion becomes evident.

As far as we know,

there have been **ZERO** calls from neighbors complaining about Logan Place for at least the last 12 months, and

there have been **ZERO** calls from neighbors complaining about our Womens Shelter since we opened the program in January, 2007.

Florence House

Sun/Shadow Study Video Simulation Summary

The video simulation presented at the July 24, 2007 Workshop illustrated sun/shadow impact on the neighborhood. The proposed Florence House has only morning shadow impact to the west of the site, primarily at 213/215 St. John Street. Simulation dates have been selected for the shortest day of the year (December 22), the equinox (September 23) and the longest day of the year (June 21). Below is a list of the times that the shadow cast by a permitted structure and the proposed structure leaves the garage of the abutting site.

The time at which the shadow cast by the Western Promenade leaves the garage of the abutting site has been added to this chart. This shadow is based upon the land massing without existing vegetation which would create a longer shadow impact.

The silver maple on the 213/215 St. John Street property is part of the model and illustrates the impact of this particular tree. When the silver maple tree is in leaf, it cast a significant shadow upon the abutting structure, as illustrated in the study.

December 22nd

Permitted Structure: 8:42am

Proposed Structure: 9:10am

Vacant Site: 7:52am

(Please note: the silver maple tree shadow impact on the 213/215 St. John Street garage has not been noted due to lack of vegetation)

September 23rd

Permitted Structure: 9:52am (Daylight Savings Time)

Proposed Structure: 10:14am (Daylight Savings Time)

Vacant Site: 7:39am (Daylight Savings Time)

(Please note: the silver maple tree casts a shadow on the 213/215 St. John Street garage until roughly 10:00 am.)

June 21st

Permitted Structure: 9:13am (Daylight Savings Time)

Proposed Structure: 9:17am (Daylight Savings Time)

Vacant Site: 6:03am (Daylight Savings Time)

(Please note: the silver maple tree casts a shadow on the 213/215 St. John Street garage until roughly 10:52 am.)

August 2, 2007

FLORENCE HOUSE

CZA

PB Hearing 8.14.07

all docs

some PCs missing

stapled copy w/ legal for appeal

Hearing
Aug 14th

Florence House

Jean's notes

1) xams presentation as edited by Alex, incl. c

2) Dana Trotman.

Trying to deal with situation as find it
Done alot of work + made revisions

3) Mark Swan Exec Dir, PS.

Happy to repeat info prev. given.

Ref. to Logan Place + impact on shelter users

How model developed which combines uses -

better meet needs net ec. as has been suggested.

Meets long overdue need.

we are "good neighbors" + supported various
initiatives eg Bayside, Unity Village + others.

Ref. to police calls for issues other than Logan Place.

Ex. Preble St. 45 women on folding cots.

4) Betsy Melrose, Mitchell + Assoc.

- Site context Plan aerial photo + outlined ex couds.

- Prime concerns - Valley as main access.

- St J. utility / staff apt res.

- slope 21' NE + SW.

- 4 security cameras + lighting.

5) Becky Miller, Architects

"great neigh for FH" - mixed uses + job opps.

- underutilized / add character

- use public trans.

scale 3st. 45' high. "fit into neigh"

described accommodation + basement

worked hard to minimize impact on n' hood eg

access on valley st.

stairs / bathrooms on side nearest neighbors

- took of pitched roofes.
- stepbacks on rear portion
- raised terrace / min massing
- added brick base + plantings.

→ interruption to put 3s to Dep. Chief Loughlin

KB - summarizing exp. w/ Logan Place

- JL - PPD supports FH / will have pos. effects
- re Logan Place - coop. efforts w/ PS
- calls gone down
- calls generated by LP not just re LP.

KB - commensurate } LP - def. 'yes'
dec. in poor beh } still has impact

KB - with housing } JL feels has
fewer issues chem dep. etc. } helped reduce
2 exp. } calls for service
overall

Shalom - gender - JL - our exp. is that
mixed pop. is problematic
uncomfortable + predictable
by sup pop, safer for both + privacy
pos. impact.

Mike Patterson - noticed changes in Bayside
due to PS/LP; Bayside getting
more calls because ppl interested
in area. Now more communication
between Police + PS who ^{make} calls to help

- Exp. of problem-solving etc - is proactive

Board

ASKED Doug Gardner -

KB - asked what impacts advantages of women at PS sep.

DG - PB has reduced group seeking services

KB asked what City does - City does health care at PS
does - City operates OS
? - No formal arr. re Ptt but interested in supporting PC + substance abuse.

MP - ref to Doug's memo: ? training
City offers info for training staff

? single pt of access - ~~angle~~ access
welcomes 4 cameras
re visitors - need to know whos coming + going

members of ESAC? - 40 or so agencies
periodic monitoring of man. plan - ESAC meets monthly
- also Regl + state wide Councils also monthly
- + quarterly processed in Man Plan.

Shalom - temp PS shelter will close when FH opens

Doug Gardner - Oxford St - better as smaller +
reduced dynamics (calmer)
- able to better engage earlier w/
smaller pop.

CZA

Cito Selinger, for Avesta.

- (1) Outlined what cond zoning must address.
 - (2) July 24 workshop said worked hard on CZA
& continued to work on it
 - (3) This one has a lot of detail re operation
ref. to Para 6. Management Plan.
ref to level of coop w/ city on diff levels
& this agreement furthers this
 - (4) urges adoption
-

Qu. of Board to staff + applicant

Shalom to Mark Swan:

what observed re PS Womens Shelter - meets
need for women apart from men; also
mentioned that this is catalyst for devising/offering
add'l services.

Kevin Beal to Mark Swan: ? transgendered persons
1 JNS - previously based on
biological stage

Kevin Beal - asked clar FH re diff from underlying zoning esp setbacks

Michelle Patterson asked MS re training; MS ans. not licensed but explaining areas of training - sw skills

Opened up to Public Comment * preface that request public to address one or more of the issues in ^{PIB} summary (which Stan had stated + repeated) mentioned 3 main units.

Tom Blackburn - support FH
res. of Bay side
Avesta + PS are good neighbors; UP a pos. exp. - good results

Ron Spinella - Read out his letter PC 50.
Chr. Bay side Neigh Assoc

Lois Reckett - have been wonderful neighbors
Exec Dir Shelter for "no crime"
women + children on task force re homelessness
victims of domestic concern that women vulnerable
violence. these women are not criminals
Man. Bids in CZA high
interested in this model
very enthusiastic re this initiative

John Bradley - re Police calls; has received
Asst Dir PS these; recently no calls by
Pine St neighbors

re Logan Place
Jon Bradley - 1/4 calls re activities nearby
used as campgd. before LP built
1/3 re health care / mental health
calls; no screens
10% follow up.
35% onise ^{mil.} beh issues w/in house.
feels helps keep n' hood safe

also re training LP + FH used licensed
mental health program reqs as base line
LP - month of training started.

re PS women's shelter - comm. developed
help each other
targeted intervention re
women's health issues
- currently women have
to leave 8am but this is
not good eq challenge.

Rose Schuep
res of 52 Fred St (LP) - loss of home → no direction
- LP ~~too~~ gives real home
pay for apt - stabilization
various benefits
- LP is positive + want others to
have this too. app

John Sinsch - expressing support
United Way of Portland - City of Portland is leader
on ESAC (Doughs Ref) safe haven idea comm need

- Logan House lead the way
- neighbors concerns appear to be addressed
- PS comm. leader prov. support for people in need well run etc. conscientious neighbors
- neg. approval.

Jessica Ash - support FH as project; supports MS as manager
 99 Silver St

H. Rinbak (sp) - works / facilitates sessions w/ young women at Teen Center
 4 Hill St
 works w/ sex. abuse - incred. vulnerable population.
 - for many life or death issue; rather live on street than go to Oxford St Shelter
 - if focused on sleep/eat etc. gives opp. to heal from trauma

Kero Walker - applaud Avesta + PS for their efforts + to
 Rockland St
 works at Shelton House
 (Q. Valley St)

Patti Clutcher - this area is flourishing + changing + welcomes FH.
 15 Dow St
 Exec. Dir. Deabody Center also - uses Western Prom path + welcomes FH (safer)
 Offices at Valley St.

women - everyone needs a place to live
Jacque
Sorenson
Webb. can't get jobs as volunteers
along with housing need small jobs
& ask Bd to look at this issue too.

David Jones - 14.62 of City's ord.
rep. Alan Prosser - Scale & density of this dev is
Alan Myles main concern for his client -
195 St. J. Street scale results from mix of uses
if single use ^{eg Logan Place} not need contract zone
- heard combination is not ec. but
to provide continuum of care
Kf. to prev. ans that these need to
be together to achieve cut mass for
getting funding
- what in Comp. Plan justifies the com-
bination of these 3 uses in one building?
- ans. question - does dev. relate to
neigh. - noted proposed to "turn its
back" on St John St. (ie not integrated)
- re purposes of B2 zone and not
residential
- Under 14-60 auth. for reasons
unusual nature / unique etc. - ~~if~~
applic. has created this by combining
uses not permitted w/ uses permitted
why ^{permit} Sheltered Care Group Home in B2
" permit Shelter in B2 not B3

Does not think creation of these together is to
achieve cut mass for funding is a good reason.

Dave Walsh

158 St John

used to live

31-33 Fred St.

- thought LP was

- after LP came, neighborhood;
wife threatened, drunks on

front page

- not against F&T but what will
happen to neighborhood esp re
drunks

- everyone moved out + therefore
fewer police calls

- if drinking can be prevented OK
but

Alan Prosser

- [Chari wouldn't let him speak]

Hershon

18 Hanover St

- support const. of F&T

- adds stability is good thing

- ref. C&A re temple - like to
suggest (ref. compliance review
quarterly etc) shikens part
about annually but keep quarterly

- ref teen center - rep's made re behavior
of teens; "all hell broke loose"
people praying on teens/services;
staff not aware

- comm members brought to attn City
+ PS Board members + situation
improved

- also, when women's shelter before you
and stated chyd would be cleared at

7:30 but this not the case - seemed
better than ad. but not communicated

- quarterly renew beds as line staff high turnover

- McArthur - occupies the warehouse (since 1985)
- Denny run - neigh changed over past 4-5 yrs.
- more outside ownership + props
 - high density w/ probs
 - 20' right-of-way diff for commercial access + several competing uses at present
 - this proposal uses site pos. way.

- Drane Carpen^(sp) - has ^{this story} exp. of homelessness
- Homeless Voice's for justice - not currently homeless + learning that it is shameful to be in shelter
- gave personal insight re help given to ^{psych etc.}
 - Pt gives that help + is so needed.
 - 24 hrs healthy + safety - will change lives

- Joanne Rosen - PS is fiduciary - has resp
- Pres Bd of PS. - Prude, resp + safety to understand this issue
- PS not perfect
 - Hope PS applauded + modelled
 - How can anything trump (def various issues as per email)
 - look at processes UP + PS.

- Robert Moldauer - Use + scale of use does fit
189 87 S. Comp Plan in many ways
- using underground site + res.
 - will blend in with n'hood.
 - works out of home + sees activity in n'hood now - no question activity would be absorbed + would serve res.
 - Fit good landlord + imp. safety
 - hope swift + unanimous approval as further delay extends hardship for women

- Lorea Trip - spoke w/ neighbors today ref
Coor PS/LP Brian 44 Fred 87 (next to LP)
ref. another women etc. + others spoke to. /

- Jay Beane - disturbed by cameras. - + asked to
works strike this idea + will work out.
Portland
Aids Project
City of Portland
licensed counselor
+ family therapist.

end of public comments

Kevin Beal - asking re issue of quarterly review

Doug Gardner feels what's stated is OK as so many others looking at this

- Cito offered that City can req. greater freq. of review

KB offered motion as in Report.

Discussion

Shalem:

Thanking efforts

Appeal to comm to give it a chance

Happy that part of this

Paul:

Need is there no doubt

from very start had problems

as big bldg with too many uses concerned at impact on abutters

in wider context its compatible

location good for no. of practical reasons

likes CZA's inclusion Man Plan

disappointed re planning aspects

but ^{compatible} 14-62

KB - shares view that prop. is compatible/
consistent w/ comp plan (ref efforts
of city to inc density etc)
pleased it provides needed services +
dispenses services
use likely a good neighbor.

- don't find prop uses ~~compatible~~
doesn't think over burdens site
ensures adequate staffing
- don't feel B-2 is limited to commercial
quotes purposes
- supports

MP - 3 qu. yes to # 1 re comp plan
this is a unique location which
is good for this use, as is
public trans.

2 - comp. w/ neigh? feels Bd ~~felt~~ paid
close attention to shadow studies
other bldgs in area large so bldg
does fit in

3 CZTA incl. precautions
but does support

MP - thanks to Kewon Beal as tonight
~~as this~~ is his last meeting.

wording as
per the report.

Passed unanimously

Tevaman absent
Suk + Lowry recused.

Florence House -

Please indicate if you would like either or both of these items sent to you

Tick which wanted:

| Name | Address | Submission's | Public Comments |
|----------------|--|---------------------------------------|--|
| Sorenson | 81 Felmouth St Westbrook | from Avesta New ones of 8/14/07 | every person needs housing Heat/food w/ shelter/ess Res |
| Pziedzi | 175 Apt 3 St. John St. Portland, 04102 | new ones 8/14/07 | New ones 8/14/07 |
| Elliot Barton | 23 Walton St. Portland 04103 | | any + all. |
| CHRIS McArthur | 92 Decoy Road Portland Me 04103 | | Project fills City need |
| Lois Redett | PO Box 704 Portland ME 04104 | | Please send - |
| Paul Peaslee | 213 St John St Portland, ME 04102 | | None |
| Deborah Heald | 213 St John St Portland ME 04102 | | new/late ones only |
| Peter Rand | 255 Westbrook St South Portland, ME 04106 | | |

8

JENNIFER-

Could you please add these to the "noticing" list for both the Rezoning and the Site Plan/Subdivision lists re Florence House.

Thanks, Jean

**Ms/Mr Sorenson
81 Falmouth Street
Westbrook, ME.**

**Ms/Mr Dziedyic
175 St John Street, Apt 3
Portland, ME 04102**

**Elliot Barton
23 Walton Street
Portland ME 04103**

**Chris McArthur
92 Deering Road
Portland, ME 04103**

**Lois Reckitt
PO Box 704
Portland, ME 04104**

**Paul Peaslee
213 St John Street
Portland, ME 04102**

**Peter Rand
255 Westbrook Street
South Portland, ME 04106**

Florence House
Aug 14, 2007

Team 7:25 -

Dana Totman 7:40

Barbara's notes

- presentation

can be achieved - CP -

4 meetings - neigh

- meetings w/ staff

3 workshops

- Bldg A's -

- Mark Swann - Services - Praeble St -

- 4th time to talk about Florence

- breadth of services / security cameras -

- working rel. w/ police

- met plan / happy to review a

answer questions

2 1/2 yrs ago - Logan Placed - open -

shelter #1's. 1st time going down

- # has stayed down

Focus on homeless women + vulnerability -

- more than / dramatic critical need

permanent hsg - emergency shelter - safe hse

long overdue need for homeless women -

Praeble St - neighborhood work -

calling police re: other activities - good neighbors

Betsy Melrose - presentation

- Alley: utility access

- parking lot

Blend into natural slope // site lighting

through out - security lighting

Becky - Architectural - 7:55 -

archit chara. + structure

25 off

15 safe haven

10 shelter beds

} main level + central
staffing

Basement - storage → office

Balcony -

security of residents + neigh
torient to valley - to keep away fr
neigh.

- stairs + bathrooms - no windows -

no visual connection -

- min. height - step black

- raised terrace -

- brick face to break up bldg
more plan

Deputy Chief Loughlin

- Logan Place - suggest Florence House

positive effect

- walked closely by Peble St + Logan -

- has good results -

- all the lessons learned -

due to fact - cooperative effort

calls for service gone down -

- less impact / by in large

gen. fr Logan Place - was made
a diff

decrease in issues - problem solve
- coming in + around -
See reduction in calls for
Service -
value of cooperative effort

Issues of addiction + dependency
- Citywide it has an impact
would be a benefit - reduces
overall # of calls for service

502

Flourish House - gender base - in Portland
- mixed populations - problematic +
dangerous - uncomfortable +
unpredictable
- separate - safer enviro + safer
enviro for city as a whole

MP?

Have you seen + noticed a decrease
in Bayside -

more calls for service - pro-actively
trying to prevent crime - Neigh assn - Preble - cooperatively
working to problem solve - partnerships

Doug Gardner

KB - Temporary shelter - makes job easier
smaller group of people -
- staff resources - Oxford St + Preble - health
ctr

primary health care

direct linkage w/ Logan -

- how to help w/ health / mental health + primary care

ME -

Trained staff

- org itself determines that - orientation - some licensure

- specific training - behavioral assis policies + procedures

Access control - 1 access pt -

24 staff -

↳ cameras - surveillance to

limit - one of the

'issues @ Logan - visitors

Emergency ~~Shelter~~ Providers Com

Providers (40 diff agencies)

Periodic monitoring of mgmt plans

- new

meet monthly - seeing any trends - are we

missing something -

regional councils - monthly

Strongly comm avoid for review

Shalom -

Temp Women's Shelter

- what has worked for Sep. ^{gender} & some
of the challenges -

Oxford

1. smaller pop
2. not dealing w/ dynamics - calmer
envir.
3. smaller pop intake - sooner
meet + work - move through shelter

↳ Cito Salinger

Contract Zone Itself

legal underpinning of CU - of
consistent w/ CP - consist w/
original zone - etc

working diligently w/ Benny + Staff
- truly unique

- level of detail - unusual
- section 6 - mgt plan
- compliance review 2 quarterly
- for city to be involved

Pro-activity - level of cooperation -
different levels

Shalom - Mark - you exp some of the
things you have observed.

Segregating sexes - / safe

- do much better in mental health
+ take adv. of opp.

- focus on women

- want to work w/ public

family crisis / sexual assault
public health - concentrate
on women

KB - Florence Hse

- Transgender -

- Biological vs emotional

- biol. - man - men's shelter

Summarize - physical nature of bldg

MR

Ms. Swan

- train staff - do not req licensing

- extensive orientation / manual

on-going trainings

- packet +

Public Comment

use + scale of use - consist w/ CP

" - compatible w/ high - spa + hotel

- adeq access

1. Tom Blackburn -

Bayside - in support of applic -
- have seen effects of homelessness
- good neighbors

Hogem Place - positive - same level of
dignity

2. Ron Spinella - BNA

- read letter #50

3. Lois Reckette - Exec Dir / Shelter for women

City of Portland - crime free zone -
safe place - if don't have a

safe place - preyed upon - this is a
effort to help (so won't be preyed)

women most vulnerable - not criminals

- contract - extraordinary - couldn't
meet them - Preble St - responsible

good people - applaud taking it
on - need

3500 families - 23 yrs.

Beginning of stages of doing a new
shelter

4 John Bradley ^{Preble St} _{assist} - Pine St

Police calls - review calls - broken
them down - calls by us -

no calls fr neighbors in more
than 1 yr - drug use -

outside bldg - path

1/3 - health care calls

10% - follow up calls

animal control - theft - issues inside
think it is working by keeping close
w/ police

base line - licensed mental health
case - Logon Place - 1 mo. training

- 1) Comm develop - take care + support each
other
- 2) target intervention on woman's health
- 3) leave @ 8 am - permanent place
to live - safe place to be
all day

Rose Strup -

52 Frederick - Logon Place -
now have a home - handing up
- not a shelter - but gets -
now have home, feeding
stabilization, licens
edu. sharing + caring -
just a few lucky ones - others
still walking - want them to
have the same

John Chute - Limited Way

Safe haven - identified as need
- create something better -
Florence House - next step

listened to each other
Preble St - partner - excellent work
large to Ac. Dev.

Jessica Fletch
99 Silver

Support Safe place for women +
Support Preble St + staff

Sylvia
4 Hill St

Sexual violence + exploitation
Facilitate - sexually abused,
exploited after - more than
once - incredibly vulnerable
population - vulnerable near
perpetrators - - life + death issue
rather be on st

Rona Walker

Radcliff St - Shalom House
Preble St - support - being on ring

Patty Pouch - Framing Beabody Chr
15 Dow St citizen - Valley St
flourishing + changing - women
who are vulnerable -
Safe at night

Jacqueline → Westbrook →
need heat, health → women + men
are housed in
need a place to live →
no small jobs → Pl. committee
help find jobs → cook for

David Jones → Rep. Alan Brosser
- conditions - scale + density
- caused in a large part 3 diff. uses
opportunities into 1 bldg - 1 use
wouldn't need contract zone - like
Logan Place -
Combining of 3 uses - not
based on economic - continuum care
- B. Hall - needs to be a critical mass
to get funding + get program to
work - Burden of Proof -
must find - meet standards of
zone / C.P. - what in comp
plan combining 3 uses - all in
1 bldg - How does this enhance
migh.
Does the dev. relate to migh.
→ doesn't integrate into
neighborhood
2. Consistent w/ purposes of zone
Comm + business - nothing
resid use

Article 14-60 — Contract zoning
unusual nature a location

applicant has created uniqueness

Why would you combine use — contract
to zone — contract
— emergency shelter (only 3-3)
— Safe Haven

158 St John (31-33 Frederick)
Hogan Place — better for homeless —
neighborhood — went bad —
bottles — theater —
— worried about neighborhood —
— busy street — if going to control
thinking
all rises up for sale — I
moved —
address drinking

Steve Horshen

— Florence House — support —
— cent \$ item \$6

mgt plan, compliance review —
Quarterly 1 yr or annually
— keep at quarterly basis

Teen ctr - behaviors at teen
ctr - all hell broke loose -
trash - not being serviced -
preying on kids -
- wait until community officials
- situation improved dram

C.U. - for Public St -
- Courtyard - cleared at 7 -
7:30 - some people there
- change of policy - not
communicated to community -
A in policy - because of
turnover in social work
prev - Quarterly review

Clayton Arthur

92 Deering Run
- our warehouse - 1995 -
worked well for ~~use~~ nature
of neighborhood has changed
a lot of outside ownership - owner-occup
- fewer - now a rush to occupy
properties as many people
as possible increase density -
Safety issues - trash, fights,
Police calls - access off
Valley

plan will improve neigh in a positive way

Diana Parker - ^{Vorcestor Justice} homeless advocate

Something had a shameful being in homeless

- history like hers - abusive history
- stable - a lot of help -
 - help daily - psych assist
 - o value my life - like me
 - o accept me

Safe place to sleep - Florence
Hse as safe place to rest
healthier safer life
w/ 24 hr staff - seeing their
lives change

Elaine Rosen -

- o suggest for Florence Hse
- 1) Preble St Fiduciary Prude/Respon
- 2) Reasons for it

Robert Maldiver -

- suggestive of Florence Hse
- Scale - use - use + scale fits
- Comp plan - Bldg compatibility
- feel it will blend in
- mixed resid - slight ind. / neigh will be able to absorb

read through rest of comments —
feel good neighbor —
safety — ^{1 sec} comments
exceptionally thorough
Swiftly recommend to City Council.

Marisa Drupp — Breble St - Hogan Place
Ryan - 44 Frederick St —
no complaints — chats w tenants
Woman - 10 yrs — befriended a
woman who camped out —
grateful for a place for women
hosp — addition to neighborhood
Woman - no problem —
1st month or so — responsive
staff

Jay Guane — Buxton?
Aids Project — 7 yrs City consider
strike cameras —
freedom of openness —

S.O

Thank comm o Portland / Avesta / Breble
— looking forward to appeal to give
it a chance —
for our most vulnerable pop
looking forward. good org.

B.H need is there —

uses — positive impact

problems — pushed a lot of uses &

big bldg —

- disappointed in the pl.

- concern w/ shadow & bldg —

— hypothetical —

— look at whole neigh —

large context is compatible

- location good - metro —

- liked mgt plan - mitigate

some of consequences —

KB —

Share consistent w/ CP —

aspirations of committee - not just SF

big of all sorts. inc. unit

disperse homeless pop — fr 1

neigh. — throughout city

stuff - 24 hrs / day imp.

- compare 2 zones — services &

businesses —

- B2 - services — underlying zoning

MP.

Scale of use - addresses adv & diverse

Unusual nature - meets this criteria -

- unique location - numerous employers - 3 large employers - access to public transit

222 St John St

Bldg compatibl - space & bulk

- concern w/ setbacks -
- worked hard to address
- paid close attention to shadow study -

— pretty sign bldgs -

- bldg does fit in - setbacks to mitigate

- Hard outline agreements - ensuring neigh not adversely impacted

Kevin Geal

**FLORENCE HOUSE
VICINITY OF 190 VALLEY STREET
CONDITIONAL REZONING
AVESTA FLORENCE HOUSE LP AND FLORENCE HOUSE HOUSING
CORPORATION, APPLICANT**

Submitted to:

Portland Planning Board
Portland, Maine

August 14, 2007

Submitted by: Jean Fraser, Planner

I. INTRODUCTION

Avesta Housing is seeking a Conditional Zone Agreement (CZA) to enable them to construct a three-story plus basement building for a women’s residence and shelter (31,272 sq ft total floorspace with a footprint of 8,140 sq ft). The proposal will include 25 efficiency apartments plus 15 “safe haven” accommodations, 10 to 25 emergency shelter beds, and support facilities.

Avesta Housing is stated to be the applicant but during discussion of the CZA it was learned that the project is a partnership between Avesta Florence House LP and Florence House Housing Corporation (FHHC). This partnership allows the combination of accommodation and services that would assist homeless women to transition into more permanent housing.

The Conditional Zone Agreement is sought to:

- allow the first floor uses within this zone;
- allow the side, front and rear setbacks, open space ratio and parking to be less than the minimum required by the underlying zone; and
- allow the density to exceed that allowed by the underlying zone.

Three Workshops have been held:

- Workshop 1: Clarified the proposal and the zoning context and considered the physical aspects and impacts of the proposed building;
- Workshop 2: Considered a revised building proposal with upper story setbacks, and identified management issues;
- Workshop 3: Clarified Conditional Rezoning requirements and draft CZA

The Workshops were attended by many members of the public. Some 45 written public comments have been received from 31 different parties and are attached under separate cover and summarized in Section IX of this Report.

Notices were sent to 180 area residents and interested citizens. A notice also appeared in the July 30 and August 6, 2007 editions of the *Portland Press Herald*.

The Planning Board is requested to make a recommendation on the proposed Conditional Rezoning at this stage; Site Plan and Subdivision applications and reviews will follow once the Conditional Rezoning has been agreed upon by the City Council. The Site Plan proposals have been developed in parallel with the Conditional Zone agreement so that the overall layout, dimensions, setbacks, and uses are reflected in the Conditional Zone Agreement.

II. SUMMARY OF FINDINGS

| | |
|----------------------|---|
| Zoning: | B-2 (if residential, then R-6 requirements apply) |
| Parcel Size: | 24,968 sq ft |
| Parking Spaces: | 16 spaces |
| Building Floor Area: | 31,272 sq ft |
| Building Height: | 45 feet based on zoning measurement |
| Uses: | Residential and supported residential |

III. PROPOSED DEVELOPMENT

Avesta Housing is proposing to construct a building with 3 levels of accommodation and a basement, with a main lobby and drop off area facing Valley Street. Access and parking for staff

and apartment residents with cars is at the lower level, accessible only from St John Street via the alley shared with abutter “Alan Autos”. The proposed layout and key features reflect the programmatic requirements of this type of housing, such as creating a single staffed point of access and providing facilities for support staff throughout the building.

Florence House will provide permanent, supported housing with common facilities and 24 hour staffing for approximately 50-65 chronically homeless women. The client groups and associated accommodations are described Submissions 1 and 2) and include:

- a. 25 self-contained efficiency apartments are proposed for the second and third floors. Each unit contains a small kitchen area and a bathroom (also termed SROs - Single Room Occupancy).
- b. Other residential accommodation is located on the first floor, described as “Emergency Shelter and Safe Haven housing” (together comprising 15 safe haven bed spaces and 10 shelter beds, which can be increased to up to 25 shelter beds), supported by a meals service and common facilities. The Conditional Zone Agreement as drafted would limit the total number of beds on this floor to 40.
- c. The lowest (semi basement) level includes, in addition to utilities and storage, 2 separate offices and a large office space to be shared by 16 staff over three shifts. The basement and first floors comprise the second condo unit.
- d. These floors/uses are divided into two condominium units as each is in a different ownership. Unit one is owned by FHHC and comprises the basement and first floor, and unit two is owned by Avesta Florence House LP and comprises the second and third floor. These are described in the CZA (Attachment 1 and Submission 9) in para 2.

The proposal also includes some 16 parking spaces (with potentially 3 more at the upper level in the drop off area), a terraced open space area with patio at first floor level, and site improvements including landscaping and fencing.

At the last workshop, Mark Swann presented a cost benefit analysis for Logan Place. The Planning Board requested a copy of this information, which is included in the latest submission from Mitchell & Associates (Submission 9).

IV LEGAL AUTHORITY for CONDITIONAL REZONING

Consideration of the request for conditional rezoning is guided by State Statute (Title 30-A Section 4352 which has replaced 4503, Attachment 11) which requires that all conditional or contract zoning must:

- Be consistent with the growth management program adopted under this chapter;
- Establish rezoned areas that are consistent with the existing and permitted uses within the original zones; and
- Only include conditions and restrictions that relate to the physical development or operation of the property.

In addition the Conditional Rezoning must accord with the City’s ordinance as quoted below:

Sec. 14-60. Authority and purpose.

Pursuant to 30-A M.R.S.A. Section 4503(9), conditional or contract zoning is hereby authorized for rezoning of property where, for reasons such as the unusual nature or unique location of the development proposed, the city council finds it necessary or

appropriate to impose, by agreement with the property owner or otherwise, certain conditions or restrictions in order to ensure that the rezoning is consistent with the city's comprehensive plan. Conditional or contract zoning shall be limited to where a rezoning is requested by the owner of the property to be rezoned. Nothing in this division shall authorize either an agreement to change or retain a zone or a rezoning which is inconsistent with the city's comprehensive plan.

Sec. 14-62. Conditions and restrictions.

Conditions and restrictions imposed under the authority of this division shall relate only to the physical development and operation of the property and may include, by way of example:

- (a) Limitations on the number and types of uses permitted;*
- (b) Restrictions on the scale and density of development;*
- (c) Specifications for the design and layout of buildings and other improvements;*
- (d) Schedules for commencement and completion of construction;*
- (e) Performance guarantees securing completion and maintenance of improvements, and guarantees against defects;*
- (f) Preservation of open space and buffers, and protection of natural areas and historic sites;*
- (g) Contributions toward the provision of municipal services required by the development; and*
- (h) Provisions for enforcement and remedies for breach of any condition or restriction.*

V. PROPOSED CONDITIONAL ZONE AGREEMENT

The full text of the proposed Conditional Zone Agreement is included at Attachment 1 and Submission 9, and the conditions and restrictions to ensure that the rezoning is consistent with the City's Comprehensive Plan are summarized below. A staff review of the CZA is included in Sections VII and VIII of this Report.

The proposed Conditional Zone Agreement contains, among other things, the following conditions and restrictions:

- To require adequate staffing (specified as not less than three at any one time) to provide security for and supervision of residents in both condo units 24 hours per day, seven days a week (para 2);
- To clarify the uses and limit the numbers of occupants of the first floor to 40 (para 2);
- To specify that all non-accommodation uses on all four floors shall be for providing services to the residents of Units 1 and 2 but not to the general public (para 2);
- To prohibit residential use within the basement of the building (para 2);
- To set out maintenance responsibilities that would be undertaken by an Association established by the owners and set out default mechanisms (paras 4 and 5);
- To require a Management Plan covering responsibilities, staffing, access restrictions, surveillance including cameras, safety measures, control of behaviors, control of noise levels, and monitoring reports, to be prepared for review and approval by the City prior to site plan approval; compliance review to be undertaken by the City on a quarterly basis in the first year and at least annually thereafter (para 6);
- To specify that the development will be substantially in accordance with the submitted plans and will be subject to site plan and subdivision provisions of the City Code (para 7 and 8);

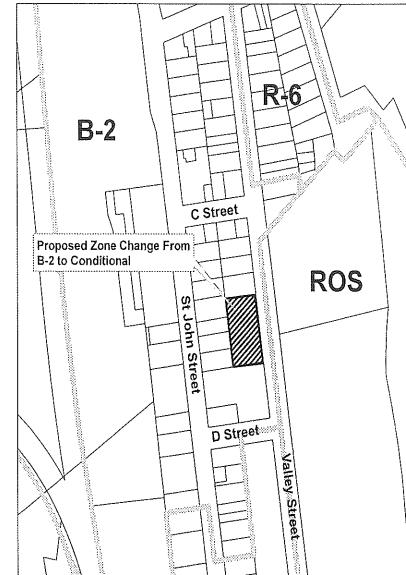
- To specify space and bulk requirements which would replace requirements of the underlying zone. These cover occupancy and density, rear, side and front setbacks, maximum lot coverage, open space ratio and parking requirements (para 9); and
- To include affordability criteria for the SRO dwelling units (para 10).

VI. ZONING ANALYSIS

The existing zoning for this site is B2 Community Business; residential uses within this zone must meet the zoning requirements of the abutting or nearby residential zone; in this case R-6. The site is adjacent to residential properties to the north and west and commercial properties to the south. ROS is located on the opposite side of Valley Street comprising the wooded area below the Western Prom and a path leads up to MMC from Valley Street near the site. Further south of the site is IM zoning between Valley Street and St John Street.

The purpose of the B-2 community business zone is:

- (1) To provide appropriate locations for the development and operation of community centers offering a mixture of commercial uses and services serving the adjoining neighborhoods and the larger community.
- (2) The variety, sites and intensity of the permitted commercial uses in the B-2 zone are intended to be greater than those permitted in the B-1 neighborhood business zone.
- (3) The B-2 zone will provide a broad range of goods and services and general businesses with a mixture of large and small buildings such as grocery stores, shops and services located in major shopping centers and along arterial streets. Such establishments should be readily accessible by automobile and by pedestrians. Development in the B-2 zone should relate to the surrounding neighborhoods by design, orientation, and circulation patterns.



Florence House, 190 Valley Street
Proposed Conditional Rezoning: B-2 to Conditional

The Zoning Administrator has confirmed (Attachment 4) that:

“It is noted that the emergency shelter use is not presently allowed in either the B-2 zone or the R-6 zone. It is a use that is recognized by the Land Use Ordinance and permitted in other zones. The conditional use of "Sheltered Care Group Home" in the R-6 zone limits the population being served at 12 individuals plus staff. This project is proposing more than 12 individuals being served. A sheltered care group home also does not include handicapped individuals (their needs are met elsewhere in the Ordinance). The Florence House Resident Overview states that the "safe haven" population have significant untreated mental illnesses. Therefore the sheltered care group home use is not appropriate to use for this proposal.”

The "safe haven" use as designed is not a use recognized or defined within the Land Use Ordinance. It is not a dwelling unit. It is not a lodging room. It is not a dormitory. It is not a sheltered care group home. It is a hybrid use not defined within our Ordinance. For comparison purposes only, it could be appropriate to use the lodging room zoning standards as outlined in the ordinance. The two top floors are dwelling units by definition.”

The proposed use is residential in nature, which is reasonably consistent with the purpose of the underlying zoning and in accordance with the mixed use and mixed scale of development described in the purpose. It should be noted that the B-2 purpose also states that “Development in the B-2 zone should relate to the surrounding neighborhoods by design, orientation, and circulation patterns” and this is considered in more detail under the Staff Review below.

The proposal from Avesta Housing has been analyzed (see **Table 1** on the next page) in terms of the zoning dimension requirements of the underlying zone to clarify the variation sought via the Conditional Zone Agreement. The proposed rezoning agreement would allow the proposed development to vary from the underlying zone in respect of (applicant's summary included in Submission 7):

- Setbacks (rear, front and side)
- Residential Density
- Open Space Ratio
- Parking

The actual height from existing grade on the side nearest residential abutters is 53.3 feet (see Elevations in Submission 10) but this proposal (the basis of the CZA) technically does not exceed the zoning requirements of the current zone (both B-2 and R-6) which specify an average height of 45 feet. The average (post-development) grade is calculated at 46.81 feet and the height of the top of the roof beam (defined in the Ordinance as the point to which height should be measured for flat roofed buildings) is at 91.81, so the average height based on this method of measuring (used for all City of Portland proposed developments) is 45 feet.

The reduction in the rear setback allowed by the CZA is from 20 feet (required by underlying zone) to 11 feet for 50 feet along the boundary with existing houses. For 21 feet of that length the entire rear wall of the building rises 53.3 feet at the 11 foot setback. Thereafter, the building incorporates stepbacks above 2 stories to help mitigate the height nearest residential neighbors, with the first stepback (ie the first two stories are at 11 foot setback and the upper two stories are at 14 foot setback) continuing for the next 8 feet. The next two stepbacks bring the two upper stories more than 20 feet from the boundary. Please refer to “Perspective of Building Wing” (Submission 7) for a depiction of the rear portion of the building and the related dimensions and to the further discussion of space and bulk issues below.)

The side setback of 5 feet instead of the required 10 feet is along the north side only. The front setback proposed in the CZA is reduced from 10 feet as required by the R-6 zone to none.

The variation of density allowed by the CZA describes the levels of occupancy ie 25 apartments plus up to 40 other residents. The R-6 zoning (for a site of this size) would allow 21 apartments only based on land area per dwelling unit.

The zoning requirement for open space on this site would be 30% of the site be provided as open space. The applicant has determined that the proposals provide 26% open space and the basis for this calculation was submitted and is included in Submission 7. The open area has been designed as a terraced landscaped area accessed directly off of the dining area.

The CZA specifies 16 parking spaces, but if the site was developed as apartments under B-2/R-6 the parking requirement would be 47 spaces, and if developed as shown on the plans and not the subject of conditional rezoning the requirement would be 69 spaces (Attachment 8).

Table 1: Florence House Summary of Zoning Analysis [Toned cells indicate variance from underlying zone; bold italics indicate where CZA differs from Site Plan]

| Standard | B-2 Community Business Zone | R-6 Residential Zone | As Shown on Submitted Site Plans | Proposed Conditional Zone from Applicant |
|---|---|--|--|---|
| Uses | <p><i>Permitted:</i></p> <ul style="list-style-type: none"> - Any residential use permitted in the residential zone nearest to the lot (in this case R-6); Multifamily dwellings over 1st floor commercial uses - Offices - Lodging Houses* - Residential uses shall meet the requirements of such abutting or nearby res. zone (R-6) - Food Service restaurants <p><i>Not permitted:</i></p> <ul style="list-style-type: none"> - Residential Dorms - Emergency Shelters | <p><i>Permitted:</i></p> <ul style="list-style-type: none"> - Lodging House* - Multi-family dwellings, lodging houses; independent living units <p><i>Conditionally permitted:</i></p> <ul style="list-style-type: none"> - Sheltered Core Group homes for up to 12 individuals plus staff - Professional offices (eg doctor) <p><i>Not permitted</i></p> <ul style="list-style-type: none"> - Multi-family use - General offices - Food Service Restaurants - Residential dorms - Emergency Shelters | <p><i>Proposed based on site plans:</i></p> <ul style="list-style-type: none"> - 25 studio apartments (Single Room Occupancy- SRO) (*does not meet Zoning Definition of Lodging House); - 15 Safe Haven Units & 10 Emergency shelter beds (does not meet zoning definition of "Sheltered Care Group Homes") - Commercial kitchen and dining area - ?restaurant - Offices with Conference Rooms & Staff facilities | <p>See text of CZA; as on Site Plan but 15 additional emergency shelter beds allowed on first floor (dual use of dining area)</p> |
| Min. Lot Size | 10,000 SF | 4,500 SF | 24,968 SF | 24,968 SF |
| Min. Street Frontage | 50 SF | 40 Feet | 250 Feet | 250 Feet |
| Min. Lot Width | None required | 50 Feet | 250 Feet | 250 Feet |
| Min. Front Setback | None req'd; are maxs but do not apply | 10 Feet; no maxs | None | None |
| Min. Side Setback | 10 feet (abuts Res. Use) | 10 Feet (3 stories; basement not included) | 5 feet | 5 Feet |
| Min. Rear Setback | 20 feet | 20 Feet | 11' 4" floors 1&B; length of 49' 11' 4" floors 2&3; length 20'5.5" 14' 5" floors 2&3; length 7'6.5" 48" setback for rest of bldg. | 11' floors 1&B; length of 50' 11' floors 2&3; length of 21' 14' floors 2&3; length of 8' 47' setback for rest of bldg. |
| Max. Lot Coverage | None required | 40% (over 20 units) | 33% | 40% |
| Min. (Land) Area/ Dwelling Unit | Refers to R-6 Requirement | 1000SF each first 3 units; Then 1200 SF/unit (ie 21 apartments for this site) | 1000 sq ft for each of the 25 SRO units but does not account for 1 st floor | Text specifies numbers of proposed beds & apartments |
| Max. Building Height (Zoning Definition) | 45 feet | 45 Feet | 45 feet | Not referenced under dimensions |
| Open Space/Ratio | None required | 30% (over 20 units) | 26% | 26% |
| Max. Impervious | 80% | None required | 74% | Not referenced |
| Off-Street Parking | 69 spaces required based on determination of Zoning Administrator in Attachment 6a) | 69 spaces required based on disaggregated uses [See determination of Zoning Administrator in Attachment 6a) | 19 spaces (incl handicap space & 2 other spaces in pull off) based on needs of users | 16 spaces (9 spaces for Unit 1 (Floors B&1) & 7 spaces for Unit 2 (Floors 3 & 4) |

VII COMPREHENSIVE PLAN

The City's ordinance regarding Conditional Rezoning (quoted above) states that any rezoning must be consistent with the City's Comprehensive Plan. In forming its recommendation to the City Council, the Board will need to make a finding on comprehensive Plan consistency.

Under the broad goal “to encourage and promote affordable, decent housing opportunities for all Maine citizens, the relevant policy document is “*Housing: Sustaining Portland's Future*” November 2002. Policies 1 and 3 (Attachment 12) are most directly relevant:

Policy #1: **Ensure an Adequate and Diverse Supply of Housing for All**
Ensure that an adequate supply of housing is available to meet the needs, preferences, and financial capabilities of all Portland households, now and in the future.

Policy #3: **Neighborhood Stability and Integrity**
Maintain and enhance the livability of Portland's neighborhoods as the city grows and evolves through careful land use regulation, design and public participation that respects neighborhood integrity.

The proposed conditional rezoning is consistent with Policy #1, which “*Encourages higher density housing located near services, such as schools, businesses, institutions, employers, and public transportation*” and explicitly promotes this type of development in that it seeks to “*Ensure that a continuum of housing is available for people with special needs and circumstances ranging from emergency shelters and transitional housing to permanent housing (rental and homeownership), which offer appropriate supportive services.*”

The applicant has submitted a statement that the proposal meets the City's Comprehensive Plan (“*Housing: Sustaining Portland's Future*” November 2002) policies and summarized the relevant policies (Attachment 3). A more detailed analysis was provided by the attorney acting for the applicant in his letter of 5.1.2007 (Attachment 4), which emphasizes policies related to the provision of new housing and refers to the Policy #1 quoted above.

Other Comprehensive Plan policies identify the need for “compatibility” with existing neighborhoods: Policy #1 states “Zoning: Encourage all types of high quality and compatible housing to enhance neighborhoods” and Policy #3 (while also encouraging housing along arterials and encouraging increased residential densities and mixed uses along business zones) includes the policy to “*Encourage innovative new housing development, which is designed to be compatible with the scale, character, and traditional development patterns of the City's residential neighborhoods.*”

The Planning Board will need to determine whether the proposed uses and building scale and character are compatible with the existing residential neighborhood immediately surrounding the site.

This site is in a mixed use area and on a transportation corridor, which generally support the proposed uses. Concerns regarding the compatibility of the proposals (both in terms of bulk and in terms of operation) have been addressed by conditions within the Conditional Zone Agreement which constrain the bulk of the building, clearly specify responsibilities, uses and maximum occupation levels, and require a Management Plan (discussed below).

VIII STAFF REVIEW OF CONDITIONS INCLUDED IN THE CONDITONAL ZONE AGREEMENT

The Conditional Zone Agreement is included in Attachment 1 and Submission 9 and is summarized in Section V of this Report. Staff has sought to incorporate language that addresses the following objectives to promote consistency with the Comprehensive Plan:

- To clarify the uses and numbers of occupants in the building, and to ensure that the basement area does not become additional shelter accommodations;
- To include Space and Bulk requirements that limit the dimensional standards for the proposed building to that submitted and reviewed for the conditional zone;
- To include requirements in relation to the management of the property so that external impacts are minimized and that mechanisms are in place to address any future issues
- To ensure that the security and maintenance responsibilities would be maintained regardless of the specific funding arrangements for uses within the building, in view of it being a condominium with a number of legal entities and funders involved;
- To include affordability criteria for the SRO dwelling units;
- To clarify that the services and meals offered in the building are for the benefit of residents only.

Several of these issues have been subject to lengthy discussions and are explained in greater detail below:

A. Levels of occupation

The application references 25 bedspaces on the first floor, 15 in the ‘safe haven’ and 10 shelter beds. The question of any overflow for the shelter was discussed and the Fire Department have determined that 40 is the maximum number of bedspaces allowable on the first floor (using the dining area as overflow sleeping space at night) and this is the basis of the Conditional Zone Agreement para 2. Staff and volunteers on that floor would be in addition and are not limited by the Fire Department.

Staff analysis:

Board members may recall the discussions regarding the use of the upper level of Preble Street for a women’s shelter and the associated discussion of the maximum number of women who could be accommodated should the need arise. A similar issue has arisen for Florence House where it is understood that the applicant seeks some flexibility in order to accommodate peaks in the need for shelter bedspaces.

B. Space and bulk Requirements

In response to concerns raised regarding the bulk and height of the proposed building, the applicant revised the original proposal to step back the upper two stories for a section of the wall of the building nearest one of the residential abutters. These setbacks did not reduce the impact of that part of the building on the loss of sunlight but did increase the setbacks for the upper two stories by 10-12 feet over the 21 foot section where they were nearest to residential windows.

Avesta Housing has explained (Submission 2) that further reduction of the massing is not possible due to the programmatic requirements of the project. Along with their advisors Mitchell & Associates, Avesta Housing have submitted a number of graphics/narratives to clarify the impact of the proposed building:

- Shadow Study comparing a notional “permitted” scheme with the proposed scheme (Submission 8)
- Summary of the Shadow Study including the times at which the shadow cast by the Western Promenade leaves the garage of the abutting property (213 St Johns Street, Ms Heald) if the site was devoid of structures (Submission 9)
- Massing Study (Submission 7)
- Perspective of the Building Wing “B” which is a close-up of massing of the “L” part of the building nearest residential abutters, with all dimensions and setbacks from the boundary shown (staff have summarized these statistically in Submission 7)
- Space and Bulk Chart (Submission 7)
- Letter and schedule of how Florence House compares to the dimensional standards of the underlying zone and to other affordable housing projects where variance from zoning requirements was sought (Submission 7)
- New roof plan showing an “envelope” within which roof ventilation and other plant would be located to avoid adding height to the building (Submission 7 and 10)
- Cross section of the rear terracing and patio area (Submission 7)
- Several new angles of view of the building’s massing (Submission 7)
- Colored sections through the site looking (Submission 7)
- Section through the site looking north (excludes the “L” part of the building) (Submission 10)
- Plans showing additional planting along the “wing” between building and residential abutters to soften views (Submission 10) and proposed protection of the silver maple tree in the yard of 213 St Johns Street (Submission 7)

Staff analysis:

Staff has worked with the applicant to encourage further efforts to reduce the overall massing of the building and its impact on the residential abutters. Previous discussions have focused on repositioning the wing closest to the rear property line to the other side of the building, or repositioning the “L” portion to lengthen the building along Valley Street. A recent suggestion was to depress the building foundation several feet into the ground to reduce the height above grade. The Citys Urban Designer has commented in Attachment 5 (prior to the revised average height and receipt of clearer graphics) and raised no substantive concerns.

The Massing and Shadow Studies clarify that the proposed building does rise substantially above the adjacent 2-3 story houses; the sections in Submission 7 also help to show the comparison. Both of these studies have compared the proposal with the envelope associated with the concept of a “permitted” building. In this case the concept of a “permitted” building has developed to address the fact that something would be allowed that probably would be larger than the existing single story commercial building and could be closer than the existing single story building.

The “permitted” building is essentially the proposed structure with the rear section located within the 20 foot setback taken off. It should be noted that this is “permitted” only in relation to the zoning dimensions and is not the same as “approved”: any approved scheme in the absence of a conditional rezoning would probably require considerably more car parking and would need to provide more open space; this could result in the need for a smaller building to meet all the zone requirements. Any approved scheme would also need to meet the standards of the Site Plan Ordinance and the requirements of the B-2 zone relating to design, orientation and circulation. The applicant asserts (Submission 7) that their building is only “*minimally* different that a building that would be permitted under the current B-2 zone”. Whether the “permitted” envelope that the applicant has defined is realistic needs to be taken into

consideration. At the last Workshop the Board requested further analysis of shadow impacts of the proposal compared to a vacant site (See discussion below).

The applicant has also submitted a chart which compares key statistics (mainly dimensions) of the proposal to other affordable housing proposals (which exclude shelter and “safe haven” uses) eg Logan Place, YMCA (Submission 7). All of the referenced developments would have had a different site context and the impacts of building height and massing would differ from site to site. The Florence House proposals need to be shown to be acceptable for this site within its particular context.

Shadow issues

The abutters have cited the loss of sunlight as a basis of objection to the proposal. Loss of sunlight is mentioned under the Site Plan standards (City Ordinance Section 14-526) and this in turn raises the question of whether this proposal would be approvable at the Site Plan stage.

The Conditional Zone Agreement (CZA) replaces the underlying zone and technically does not constrain the consideration of the Site Plan in terms of the relevant Site Plan Standards. The Contract Zone Agreement should include wording to clarify this position in the context of the City's Ordinance. This issue becomes important in the event that the conditional zoning is ultimately approved by the City Council and the project returns for site plan review, at which time the bulk and massing issue will return as a standard for review.

The intent is to have the conditional rezoning decision be dispositive on the bulk and massing. Because this is a conditional rezoning, it is important to make this decision now in the context of the zoning. It would not be in the interest of the applicant or the neighbors to put forward a plan as the basis of the conditional rezoning, and then have to determine later if that plan is capable of meeting the site plan bulk and massing standard. We recommend that this assessment be made as part of the conditional rezoning and then treat that as a given during site plan review, subject to final design details. The CZA should provide the buildable envelope for purposes of future decision making, to avoid a disagreement over the intent and effect of the CZA when we conduct the site plan and subdivision review.

Section 14-526 (3) is the Site Plan standard that relates to the loss of sunlight:

“The bulk, location or height of proposed buildings and structures and the proposed uses thereof will not cause health or safety problems as to existing uses in the neighborhood, including without limitation health or safety problems resulting from any substantial reduction in light and air, any significant wind impact, and any significant snow loading on any neighboring structure, where setbacks from property lines are not required by article III”

Were this site plan standard to be applied without the prior conditional rezoning, the comparison would be between the existing situation and the proposed. The comparison with the concept of a “permitted” development has evolved in relation to zoning dimensions. The City at present does not have a technical note or other regulations for applying this standard although other methodologies for assessing shadow impacts do exist.

The applicant has undertaken a shadow study and presented the animated version to the Board at two Workshops and included stills in their submission (Submission 8). The last page of Submission 9 includes a summary of the times when the shadow leaves the nearest abutting property (defined as the rear wall of the garage at 213 St John Street (Ms Heald)) based on the “permitted”, the proposal and “Vacant Site”. The latter has been included at the Board’s request to illustrate the impact of the Western

Promenade only (which is not quite as existing because there is a one story building on the site at present).

In the winter the Western Promenade is already causing a loss of morning sunlight to the rear of this property until about 8am and a building of this scale would extend the shadow by about an hour. In the autumn and the spring the impact is an extended shadow of about 2 to 2.5 hours, and in the summer the increase in shadow time is about 3 hours. These figures broadly accord with the submitted information from Ms Heald in Public Comment 20 (photos), which also illustrate the loss of sunlight for Ms Stevens property at 209 St John Street. Whether this scale of impact on the morning light is “substantial” will need to be determined by the Board.

Diminution of utility

As for shadow impacts, it is recommended that prior to any positive recommendation of the CZA that the Board is satisfied that the proposal meets the Site Plan standard relating to the impact of proposal on the value and utility to neighboring structures under different ownership. The wording of this standard (14-526 (4)) is:

The bulk, location or height of proposed buildings and structure minimizes, to the extent feasible, any substantial diminution in the value or utility to neighboring structures under different ownership and not subject to a legal servitude in favor of the site being developed;

Immediately to the west of the site are located two residential apartment buildings of three stories and two smaller residential properties with windows facing the proposed development. The property owner at 213 St John Street has a grassed garden, with the large silver maple tree, and has identified a diminution in the value and utility to her property as follows:

- inadequate sunlight for gardens;
- loss of morning sunlight;
- negative impact on property values [Note: The applicant submitted a report by a professional appraiser (Attachment 5) who has concluded that despite the anticipated intensity of the use the proposal will not negatively impact property values];
- overwhelming impact (“looming”) of the height (suggests equivalent to 6 residential stories at rear of her property);
- shadow which blocks “all” morning light;
- “We use our yards from late spring to late fall for gardening, gathering, cookouts, relaxing, etc. Our yards are an extension to our homes in the summertime. This building, as proposed, will make a permanent change to the **character** and **value** of our properties”.

The proximity of the proposed building to the property boundary, at the 53.3 foot height, is shown on the submitted Perspective of the Building Wing in Submission 7, and staff have summarized the proximity to residential windows in the Staff Technical Note in Attachment 15. The height of 53.3 feet facing Ms Heald’s property represents about 5 average residential stories (excluding roof space).

To address the issues of height, bulk and potential loss of sunlight and utility, staff have recommended that the proposed Conditional Zone Agreement very specifically references the building proposals to specify the story height/setback relationship. The text of the CZA does not specify a maximum height as it refers to “floors” being subject to specified setbacks, but the Exhibits accompanying the CZA do show elevations for the top of the roof.

C. Management

The scale of the use (related to the numbers of residents, their visitors and others coming to the building to access services) will inevitably lead to more activity. The possibility of an increase of antisocial activity has been identified as an issue by neighbors, based on comparisons of “before” and “after” police reports at Logan Place and the YWCA which indicate substantial increases related to those facilities (Public Comment 8).

This question was explored at a meeting between staff from City Planning, Police, Health and Human Services, and Avesta and Preble Street to better understand the police reports and the likely impacts that the proposal might have on the community. A note of this meeting is included in Attachment 13. The police note that calls, in and of themselves, do not imply a neighborhood impact. There is an ongoing relationship between the service operators and the public safety offices, and many of the calls are preventative or medical in nature. The Police Department supports the project (Attachment 10).

Mark Swan of Preble Street (intended managers of Florence House) has analyzed the police callouts for Logan Place (Submission 9 and Attachment 14c) and shows that these are not all related to the facility and also suggests that neighbors would not be aware of a majority of the calls.

The client group may generate more police callouts for incidents within the building, but given the orientation to Valley Street these would not be expected to have a noticeable impact the community.

Staff analysis:

A number of aspects of the proposal and CZA conditions should combine to mitigate the possibility of impacts that potentially could take place such as people congregating outside Florence House and the possible associated antisocial or noisy behaviors. These include:

- Orientation of the building to Valley Street with no ability of residents or visitors to gain access or egress from the parking lot level;
- A new bus stop is proposed at the corner of Valley Street and “D” Street which would minimize any additional pedestrian traffic along St John Street;
- Single access at Valley Street which is locked and staffed 24 hours per day;
- Three trained “awake” staff on site overnight each day;
- All residents (including the shelter residents) may remain on the premises during the day; hence no queuing at particular times as at Preble Street;
- Inclusion of 4 security cameras (with monitoring screens at reception) around the building so that staff can provide surveillance;
- Other design features such as fencing, lighting, and overlooking of windows; and
- Preparation of Management Plan (prior to Site Plan approval) with implementation responsibility clearly set out in the CZA along with monitoring by the City. The Management Plan would set out protocols and procedures that would clarify how people congregating outside the building would be discouraged and would indicate how any antisocial behaviors would be managed, noise levels controlled etc.

The comments of the Director of HSS are attached in Attachment 9 and confirm his understanding and future involvement in respect of the Management Plan, and clarify the oversight context within which the proposal will need to operate.

The CZA does not specifically confirm that Preble Street will be managing the building in terms of the residents and services. The Planning Board may note that many of the supporters of the proposal have referred to the track record of Preble Street and the way they have worked with neighbors and the Police to address any unanticipated issues at Logan Place and Preble Street. Avesta has sought to retain flexibility and the proposed CZA specifies that only through the Management Plan process could the potential issue of poor management/neighbor relations resulting from a change in management organization be addressed. The Board may wish to add language to the CZA requiring Preble Street to be identified as the management entity.

D. Other issues

Neighbors have raised a number of other issues that have not been explicitly addressed in the CZA, such as drainage, traffic issues and access to public transit, parking impacts, noise from the rooftop mechanicals and impact on the silver birch tree near the boundary. The Submissions include plans and other information that relate to these issues, as discussed below. These issues would be considered in greater detail at the Site Plan Review stage, but staff has addressed these issues (amongst others) during recent discussions with the applicant.

Staff analysis:

Traffic/Access

The site has rights for vehicular access over the 20 foot wide “alley” leading to St John Street from the lower (parking) level (evidence of rights included in Submission 7); this access is shared with the automobile garage owned by Alan Prosser which is also at the lower level with 3 garages opening onto the alley.

The proposal includes a pull off area at the upper level as the design of the building and security arrangements require all visitors to enter through the entrance lobby at Valley Street. The main entrance in Valley Street is not accessible from the parking lot due to the change in levels so a pick-up/drop off area is required, especially as most of those accessing the building will not have their own cars. The pull off area has been the subject of discussion and although acceptable in principle staff still have some detailed concerns over the design and layout as set out in Attachment 6.

Servicing of the property is proposed from Valley Street and would require the creation of a commercial loading zone alongside the north part of the proposal. Staff consider this to be acceptable. It is not clear how much additional traffic will be generated on St Johns Street as that access is primarily for staff which has been indicated to about 7 people at any one time, plus a few residents. The main drop-off area on Valley Street will attract more traffic, but Valley Street is an arterial street and already is busy.

The applicant will be requested (as part of the Site Plan Review) to contribute \$5000 to the traffic calming initiative to be implemented by the City in Valley Street (Attachment 7).

Bus Access

The site is well served by the METRO route system and this aspect of the proposals has been comprehensively described in Submission 1 and reiterated in Submission 9. Two bus stops exist on St John Street at the intersections with C Street and D Street. Discussions with METRO indicate the possibility of adding a stop on the corner of Valley Street and D Street, closer to the site. This issue could be pursued during the Site Plan negotiations.

Parking

The applicant has submitted a Parking Analysis in Submission 1 with additional information in Submission 2 which clarifies the low demand for parking related to the proposed use and staff consider the proposed parking provision to be satisfactory (Attachment 6). The commercial loading zone together with the pull off area would result in a loss of existing parking spaces.

Waste disposal

The waste disposal for the building is proposed to be via a dumpster located at the upper level of the site at the rear of the sidewalk along Valley Street. Staff have raised concerns regarding its appearance, attraction of rubbish and possible odors. Submission 2 explains that the applicant has looked at other options for its location and determined this to be the preferred location. Further discussion during the Site Plan Review is needed to ensure this aspect of the proposal can be satisfactorily resolved.

Roof Top Mechanicals

The applicant has submitted a roof plan outlining the area with which any roof top mechanicals would need to be located (Submission 10). In Submission 9 the applicant explains that such plant has not yet been designed so they are not able to confirm its height. However, the setback from the roof edge is likely to avoid its contribution to the overall height as perceived by abutters and this will be reviewed during the Site Plan Review. The noise from the roof top mechanicals as well as any other external ventilation equipment (eg from the kitchens) must meet the B-2 Noise Ordinance Sec. 14-187 (b).

Impact on the silver maple tree near the site boundary

The applicant has included detailed proposals for protecting this tree in Attachment 7; these include a specific detail and a note on the Landscape Plan (Submission 10). These measures will be reviewed in detail during the Site Plan Review to ensure the tree is not adversely impacted during construction and during subsequent use and maintenance of the site.

IX. PUBLIC COMMENTS

Almost 60 parties have commented on the proposals as follows:

- A total of 46 written comments have been received as of the date of this report, representing 31 different parties. These are listed for the record in chronological order in a separately bound attachment with a pink cover;
- In addition to the parties who sent in written comments, 19 other persons completed proformas circulated by neighbors which registered concerns generally related to the anticipated increase in local public safety problems (included in Public Comment 8); and
- Approximately 7 other people (not included in the above statistics) have given comments at the Planning Board Workshops.

Objectors

Those who have objected to the proposed rezoning cite one or more of the following concerns:

- Impacts related to the scale and massing of the building, particularly where it is proposed to extend into the required 20 foot setback of the underlying zone.
- That the proposal is inconsistent with the City's Comprehensive Plan and incompatible with the neighborhood.
- The proposal could potentially create public safety problems.

The most immediate residential abutters, Deborah Heald at 213 St John Street and Virginia Stevens at 209 St John Street, have jointly submitted six sets of comments, most with photographs, to explain their concerns over the scale and proximity of the building to their 3 and 2 ^{1/2} story (respectively) properties and the resulting loss of utility and sunlight. Ms Heald/Ms Stevens have most recently submitted comments received 8.3.2007 (Public Comment 28) to further illustrate the loss of morning sunlight and stating that it appears that their concerns of height and setback have not been addressed.

“Alan’s Auto” is a 2-story commercial premises (owned by Alan Prosser) which abuts the project on the other side of the shared access “alley”. Alan Prosser, together with his attorney David Jones, have raised concerns in eight sets of comments (most recent is 8.8.2007 Public Comment 44) over the shadow impact (see PC 3 & 45) but also outlining how the proposal is inappropriate for this site as it is detrimental to neighbors due to scale, bulk and other impacts and thus not consistent with the existing and permitted uses in the neighborhood nor with the Comprehensive Plan (emphasizing policies (“*Housing: Sustaining Portland’s Future*” November 2002) related to neighborhood stability and integrity).

Daniel Chase, owner, former resident and current business occupier of 210 St Johns Street has submitted comments (Public Comment 13 and 42) and spoken at the Workshops. He questions the basis of the “permitted building” which is compared with the proposal in the submitted shadow/massing studies and questions other comparisons with other buildings and developments (noting that the shelter use is not part of the other developments such as Logan Place); also outlines why the proposed first floor uses appear incompatible with this neighborhood.

Alan Sparks, the owner of 226-228 Valley Street (Public Comment 32) objects on the basis that the proposal will not be compatible with the best interests of the current residents and owners, citing the size of the building and density as issues and his expectation as an investor in the area that the character would not be allowed to change so drastically.

Supporters

Supportive submissions have been received from neighbors: the current owner of the site (Dale Brunell, part owner of Spectrum Auto Body Supply Inc and C& D Associates) and Robert Moldaver at 189 St Johns Street (Public Comments 1, 9 and 20). Both suggest that the proposal would not add to the public safety issues in the area .

Mr Moldaver stresses the benefits the project would bring to the neighborhood and joins some twenty-three (23) other Portland residents and members of the community (including some associated with Preble Street and Logan Place and some professionals in this field) who submitted comments, in urging the Planning Board to support the project in view of the urgent need for this facility (especially since the YWCA closed) and the need to be compassionate towards a vulnerable group in the community.

X SUMMARY

Several key questions will need to be considered by the Planning Board in making a recommendation on the proposed Conditional Zone Agreement:

1. Is the proposed use and scale of use consistent with the Comprehensive plan?
2. Is the building compatible with its neighborhood and adequately address site plan issues of height and bulk?
3. Do the proposed conditions within the Conditional Zone Agreement adequately address any concerns related to the proposal?

XI. MOTIONS FOR THE BOARD TO CONSIDER

On the basis of plans and materials submitted by Avesta Housing, the policies and requirements of the B-2 and R-6 zones, Comprehensive Plan, public comment, the information provided in Planning Board Report #35-07, and/or other findings as follows:

- A. That the Planning Board finds that the proposed Conditional Rezoning for Avesta Housing Florence House (190 Valley Street) as described in this Report [is or is not] consistent with the Comprehensive Plan of the City of Portland;
- B. That the Planning Board finds that the proposed Conditional Zone Agreement proposed for Avesta Housing Florence House (190 Valley Street) [is or is not] in compliance with the standards set out in 14-60-62; and
- C. That the Planning Board therefore [recommends or does not recommend] the Conditional Rezoning and associated Conditional Zone Agreement for Avesta Housing Florence House (190 Valley Street) to the City Council for its approval.

Attachments:

1. Conditional Zone Agreement (also included in Submissions, item 9)

Staff comments

2. Engineering Review comments of April 11, 2007
3. Legal comments on need for co-applicants April 20, 2007
4. Zoning Administrator comments re uses April 11 and 19, 2007
5. Urban Design comments of June 7, 2007
6. Traffic Engineering comments re parking, loading and drop off area of April 20 and June 8, 2007
7. Traffic Engineering comments re \$5000 contribution to traffic calming
8. Zoning Administrator, Marge Schmuckal: comments re measurement of building height for zoning purposes; also on parking requirements for disaggregated uses
9. Douglas Gardner, Director Health and Human Services, Memo dated July 20, 2007
10. Joseph Loughlin, Deputy Chief Portland Police Department, e-mail dated August 9, 2007

Additional Information

11. Extract from State Law regarding Zoning Ordinances (Title 30-A Section 4352)
12. Policies 1, 3 and 4 of the City's Comprehensive Plan re Housing: "Housing: Sustaining Portland's Future" November 2002
13. Note of meeting with Planning, Police, HHS, Avesta and Preble Street of July 5, 2007
14. Police Call out information as previously submitted
 - a. From abutters submitted June 6, 2007 (also in Public Comments, #8)
 - b. From Avesta submitted may 22, 2007 (also in Submissions, #5)
 - c. From Mark Swan submitted July 31, 2007 (also in Submissions, #9)
15. Planning Staff Technical Note summarizing proximity of the proposal to nearest abutters (update of note circulated at June 12 Workshop)

Under separate cover:

Public Comments (bound separately with list of all submissions- pink cover sheet)

Submissions (bound separately with blue cover sheet)
(listed below)

Submissions (bound separately with blue cover sheet)

1. Conditional Rezoning Application (including Site Plan Review submissions) of April 2, 2007 (parts of this were withdrawn by Avesta Housing per letter of July 16, 2007)
2. Avesta Housing letter of April 17, 2007 (parts of this were withdrawn by Avesta Housing per letter of July 16, 2007)
3. Applicants excerpt of relevant Comprehensive Plan Policies as circulated to PB 4.24.2007
4. Letter from Curtis Thaxter Stevens Broder & Micoleau (Cito Selinger) dated May 1, 2007
5. Mitchell & Associates letter of May 22, 2007
6. Avesta Housing letter of July 16, 2007 clarifying status of submissions
7. Mitchell & Associates letter of July 11, 2007 with Massing Study and other graphics (Perspective of Building Wing, section of rear terraced patio, other sections, calculation of open space, plus Neighborhood Meeting Certification)
8. Mitchell & Associates letter of July 18, 2007 Sun/Shadow Study
9. Mitchell and Associates letter of July 31, 2007 including **Conditional Zone Agreement** and summary of sun/shadow impacts
10. Plan Set (includes plans which are also exhibits in CZA)
 - Land Title Survey
 - Existing conditions and Demolition Plan
 - Layout and Lighting Plan
 - Grading and Drainage Plan
 - Utilities Plan
 - Landscape and Planting Plan
 - Erosion and Sedimentation control Plan
 - Basement Floor Plan
 - First Floor Plan
 - Second Floor Plan
 - Third Floor Plan
 - Typical Units Plans
 - Roof Plan
 - Elevations
 - Elevations
 - Cross Section through Site (main building- excludes wing)



July 16, 2007

Jean Fraser
Planner
City of Portland
389 Congress Street, 4th Floor
Portland, ME 04101

RE: Florence House Submissions

Dear Jean,

Since the initial application for conditional rezoning of 190 Valley Street, Avesta Housing or its agents have made six submissions to the City. With the sixth submission on July 11, items in the previous five submissions have been rendered obsolete by the inclusion of updated information. This letter is to request that you please officially withdraw the following items:

April 2, 2007:

- Entire Exhibit 2: Site Plan application
- Exhibit 3: Preliminary ALTA/ACSM Land Title Survey
- Exhibit 4: The Avesta Florence House LP Limited Partnership Agreement
- Entire Exhibit 11: Contract Zone Space and Bulk Requirements

April 17, 2007

- Item 1: Draft Contract Zone Agreement
- Item 4: Exhibit showing revised Valley Street pull-off area and collection truck
- Item 5: Exhibit showing calculation of open space
- Item 6: Basement floor plans

May 1, 2007

- Please withdraw all items except Item 7: May 1, 2007 Letter from Cito Selinger

From May 22, 2007:

- Entire Exhibit 2: Site Plans
- Entire Exhibit 3: Shadow Study
- Entire Exhibit 4: Massing Study
- Entire Exhibit 5: Cross Sections
- Entire Exhibit 6: Building Plans

June 22, 2007

- Entire submission.

Finally, one point of clarification is that previous submissions refer to the proposed building as a four story building. Per the definition in the City Ordinance, the proposed daylight basement is not considered a story and the building should be considered a three story building.

Please contact me if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Debora Keller". The signature is fluid and cursive, with a large initial "D" and "K".

Debora Keller
Development Officer

Submission 7

MITCHELL & ASSOCIATES
LANDSCAPE ARCHITECTS

(33 pages)

July 11, 2007

Ms. Jean Fraser, Planner
and Planning Board Members
City of Portland
389 Congress Street, 4th Floor
Portland, Maine 04101

**RE: Florence House
Public Hearing Submission**

Dear Jean and Board Members:

On behalf of Avesta Housing, we are pleased to submit additional information regarding the proposed contract zone application for Florence House located at 190 Valley Street in Portland. Also included is information in response to comments we received by planning board members, planning staff and/or neighbors during the planning board workshop meeting on June 12, 2007.

In response to the review and feedback we have received, the design team has made revisions and clarifications to previously submitted material. The primary revisions are as follows:

1. **Avesta Memo.** Memo, dated July 11, 2007, provides a summary of changes and architectural narrative.
2. **Space and Bulk Chart.** Revised chart to compare the requirements for the B-2 and R-6 zone, Site Plan and Conditional Zone Agreement Variations from Zoning. See the Final Conditional Zone Agreement for official calculations.
3. **Perspective of Building Wing.** A perspective image has been created to illustrate the vertical and horizontal dimensioning of the building wing in relation to the western property line.

(Note -
order of
attachments
revised for
PB memo)

4. **Rear Terraced Patio Section.** A section has been created illustrating the rear terraced patio with the plantings and the safety railing. Access to the patio is from the first floor.
5. **Open Space Plan.** This plan clearly delineates the open space included in the calculation. Pervious areas less than 200 SF have not been included in the calculation. The open space percentage has increased through reconfiguration and connection of green spaces within the site.
6. **Sections.** Illustrative sections through the site have been revised. The section line extends from the top of Western Promenade through the parking lot behind the 222 St. John Street building.
7. **Massing Study.** These images compare permitted and proposed massing for the site. The average grade baseline for the site has been revised to fully accord with the Zoning Administrator methodology; therefore the massing study has been revised from the May 22nd submission. The average grade was initially miscalculated as existing grade surrounding the proposed building, when in fact it should have been calculated as proposed grade surrounding the proposed building. Existing average grade is 43.70 and the proposed average grade is 46.81. Other revisions include the incorporation of architectural characteristics and rear yard terracing on the proposed and permitted buildings which present a more accurate massing comparison.
8. **Tree Protection Detail.** Detail noting measures to protect trees on property of abutters.
9. **Neighborhood Meeting Documentation.** A neighborhood meeting was held on June 28th at West School. See attached documentation.
10. **Quitclaim Deeds and Easement.** These deeds and easement are for the Right-of-Way connecting St. John Street and Valley Street.
11. **Set of Plans.** Plan revisions include:
 - **Cross Section Analysis.** Two cross sections have been created for the site. One section runs from Valley Street to St. John Street and includes the proposed building, rear yard terracing and the property at 213-215 St. John Street. The other cross section details the rear yard terrace plantings.

- Revised Space and Bulk Calculations
- Location of building-mounted security cameras
- Revised drainage in rear yard to minimize impact to neighboring tree
- Average Grade Calculation and spot elevations added to Grading and Drainage Plan. The average grade calculation has been revised to fully accord with the Zoning Administrator's methodology.
- Additional plantings in rear yard

Submission

This follow-up submission for Contract Zone Application includes the following information:

1. Avesta Memo, dated July 11, 2007
2. Space and Bulk Chart
3. Perspective of Building Wing
4. Rear Terraced Patio Section
5. Open Space Calculation Plan
6. Sections
7. Updated Massing Study
8. Tree Protection Detail
9. Neighborhood Meeting Documentation
10. Quitclaim Deeds for Right-of-Way
11. Sets of Plans (One set of 11x17 and Three full-sized sets)
 - Sheet 1 - Existing Conditions and Demolition Plan
 - Sheet 2 - Layout & Lighting Plan
 - Sheet 3 - Grading and Drainage Plan
 - Sheet 4 - Utilities Plan
 - Sheet 5 - Landscape and Planting Plan

*at back of
Submission Set*

Ms. Jean Fraser & Planning Board Members
Page 4 of 4

- Sheet 6 - Erosion and Sedimentation Control Plan
- Sheet A 100 - Basement Floor Plan
- Sheet A 101 - First Floor Plan
- Sheet A 102 - Second Floor Plan
- Sheet A 103 - Third Floor Plan
- Sheet A 104 - Typical Unit Plans
- Sheet A 105 - Roof Plan
- Sheet A 401 - Elevations
- Sheet A 402 - Elevations
- Sheet A - Cross Section Through Site

Future submissions, later this week, will include revised sun/shadow study comparisons and the final draft of the Conditional Zone Agreement.

We look forward to the opportunity to meet with the Board for the Public Hearing on July 24, 2007. Should you have any questions, please do not hesitate to call.

Sincerely,
Mitchell & Associates



John D. Mitchell

Enclosures

cc. Debora Keller - Avesta Housing
Mark Swan - Preble Street Resource Center
Cito Selinger - Curtis, Thaxter, Stevens, Broder & Micholeau
Rebecca Dillon - Gawron Turgeon Architects



To: Chair Patterson and Members of the Portland Planning Board
From: Avesta Housing
Date: July 11, 2007
RE: Florence House Massing

In response to board member's questions about the massing of the proposed Florence House project, we have prepared the following summary information.

Avesta Housing is seeking a conditional rezone for the site due to the unique and unusual nature of the project and because the project will provide needed housing in Portland for low income individuals consistent with the Comprehensive Plan. Through the conditional rezoning process, Avesta is seeking relief from the dimensional standards of the underlying B-2 and R-6 zones in the following ways:

- 1) A reduction in the front setback from 10 feet (R-6) to 2 feet;
- 2) A reduction in the rear setback from 20 feet (R-6 and B-2) to 11 feet;
- 3) A reduction in the side setback from 10 feet (R-6) to 5 feet; and
- 4) A reduction in the open space ratio from 30% (R-6) to 26%.

These requests for zoning relief are driven by the need to focus the primary entry on Valley Street and minimize uses in the basement level so as to avoid impact on adjacent St. John Street properties.

The proposed building and the related conditional rezoning request are consistent with the Comprehensive Plan, consistent with the neighborhood – and City – context, and consistent with other recently conditionally rezoned housing projects on the Portland peninsula.

Building Mass

Drawing on its experience with Logan Place, the YMCA Apartments, and the Preble Street Women's Shelter, Avesta's design team has worked tirelessly to develop an efficient design which meets programmatic needs of the project while blending with the existing urban fabric, respecting abutting properties, and enhancing the neighborhood. See the attached overview of design considerations for more information on the building program.

In response to feedback received through the public review process, the design team has made significant changes to the original site plan and building to mitigate the impacts on abutting properties, including:

1. Incorporating a flat roof to dramatically reduce the building height,
2. Stepping back the rear wing to break up massing and to limit the amount of building that exceeds the 20' setback, and
3. Creating a terraced rear patio area to soften the 12' transition in grade from Valley Street to St. John Street.

The end result is a building that is only *minimally* different than a building that would be permitted under the current B-2 zone.

Site/Neighborhood Context

Within very close vicinity of the subject site there are five buildings of similar or greater massing to the proposed Florence House building, including:

| | | |
|----------------------------------|--------------------------|---------------------|
| Barber Foods | 50 – 122 St. John Street | 145,233 square feet |
| First Atlantic Building | 222 St. John Street | 105,008 square feet |
| Greater Portland Transit (METRO) | 89 St. John Street | 63,280 square feet |
| Goulet Supply | 151 St. John Street | 31,718 square feet |
| Cozy Harbor | 75 – 87 St. John Street | 30,287 square feet |
| Florence House | 190 Valley Street | 31,272 square feet |

Many of these building are one or two story warehouse-style buildings with large footprints that have a distinct impact on the character of the neighborhood.

Recently Approved Conditional Zones

To visualize and understand the massing of the proposed Florence House, it is useful to consider completed affordable housing projects on the Portland peninsula. The attached table compares and contrasts Florence House to six such developments recently approved and constructed on the Portland peninsula.

The six projects presented in the table each required a measure of zoning relief at the time they were proposed. Five of the six required conditional rezoning. As evidenced in the table, the level of relief requested was, in all cases, comparable or in excess of what is required to accommodate Florence House. Today each of these projects is widely celebrated as a valuable asset to the community and as a quality enhancement to the neighborhood in which it is located.

Proposed Florence House compared to recent Portland Developments

| | Proposed Florence House | Shalom House | Casco Terrace | Walker Terrace | YMCA SRO | Logan Place | Fore River Apts |
|------------------------------|----------------------------|-------------------|-----------------------------|-----------------------------|-----------------------|--------------------|------------------------------------|
| | 190 Valley Street | 315 Valley Street | 41 State Street | 730 Congress Street | Forest & High Streets | 52 Frederic Street | 63 Frederic Street |
| Underlying Zone | B-2/R-6 | R-6 | R-6 | R-6 | R-6 | R-6 | R-6 |
| Re-zone | Conditional | R-7 Overlay | Conditional | Conditional | Conditional | Conditional | Conditional |
| Units | 25 eff br units + 25 other | 21 1-br & 3-2 br | 27 units: 11 1-br & 16 2-br | 40 units: 20 1-br & 20 2-br | 32 eff units | 30 eff units | 20 units: 8 1-br and 12 2-br units |
| Building Size (sq feet) | 31,272 | 31,752 | 37,264 | 51,126 | 18,279 | 18,407 | 21,162 |
| Height | 45' | 42' | 54' | 55' | 55' | 45' | 45' |
| Front Setback | 0' | 0' | 0' | 0' | 0' | 0' | 0' |
| Side Setback | 5' | 0' | 0' | 10' | 5' | 10' | 10' |
| Rear Setback | 11' | 0' | 0' | 0' | 5' | 10' | 10' |
| Lot Size (sq feet) | 24,968 | 17,410 | 10,149 | 17,598 | 14,396 | 21,997 | 34,630 |
| Building Footprint (sq feet) | 8,140 | 7,938 | 8,000 | 10,000 | 4,280 | 6,050 | 6,992 |
| Lot Coverage Ratio | 33% | 46% | 79% | 57% | 30% | 28% | 20% |
| Open Space Ratio | 26% | 0% | 0% | 0% | 0% | 20% | 20% |
| Total residents served*: | 50 | 40.5 | 64.5 | 90 | 32 | 25 | 48 |
| Land Area/Person | 499 | 430 | 157 | 196 | 450 | 880 | 721 |
| Bldg Area/person | 625 | 588 | 454 | 479 | 571 | 736 | 441 |

Bold Face indicates conditional rezoning waiver

*Assumes 1.5 resident/bedroom (and 1 person per efficiency)

Prepared by Avesta Housing: All data gathered from conditional rezoning documents, city tax assessor, or architect.

Florence House: Overview of Design Considerations

First Floor – Safe Haven and Emergency Shelter

Residents of the Safe Haven and Emergency Shelter will be limited to the use of the First Floor for security and efficiency of staff operations. The footprint of the building is dictated by these requirements. Again, for efficiency purposes, these residents will share a lobby, communal bathroom, dining area, gathering space and laundry facilities. Utility spaces necessary for – and shared by - the two programs are the commercial kitchen, trash room, pantry, and public restroom. The minimum required staff spaces located on the First Floor include a reception/staff area, two offices and two intake areas. A small separate and secure lobby for the apartments - with elevator, mail slots, and stairs to the upper two levels - is located adjacent to the entry lobby.

The design concept for the First Floor Plan hinges on the ability for staff at the reception area to have direct visual access to the drop-off plaza, main lobby, apartment lobby, Safe Haven space and Emergency Shelter space. The concept of an open floor plan with a lobby “connected” to the outdoors, minimal full height walls, and a large and prominent reception desk creates a low-barrier and well-managed facility that is safe and secure to a homeless woman who is used to, and wants, an open and public space. The roomy entry lobby will also mitigate large gatherings of people at the drop-off plaza. The two small, private offices allow staff a secure work area while still being immediately accessible to the residents. The two intake areas provide an intimate space to meet one-on-one with residents. The balance of open/public spaces and intimate/private spaces allow Florence House to adequately serve the varied population of the Safe Haven and Emergency Shelter.

Second and Third Floors – Efficiency Apartments

The Second and Third Floors are dedicated to the 25 Efficiency Apartments. It is critical that these residents feel separate from the other program components of the building so that they can focus on their goal of becoming as independent as possible. The separate lobby space off the reception area allows these residents to enter Florence House and immediately enter secured access to the Apartments. Each apartment is 350 SF, meets ADA requirements, and contains a small kitchen area, living area, sleeping area, closet space and bathroom. Apartments have been designed in an efficient and dignified way to allow a woman to have a private sleeping area that is not directly visible from the apartment door. Corridors are short to allow staff quick, visual access down each corridor as they do regular walk-through of the building. Shared space includes a common kitchen, gathering room and laundry – with the goal of encouraging a sense of community. One office per floor allows a staff presence and private space for one-on-one meetings. For comparison purposes, the total space dedicated to the Apartment component of Florence House is 16,148 square feet. This includes the entire upper two floors as well as the first floor secure lobby area. This compares to the 18,407 square feet that comprises Logan Place.

Basement

As previously noted, the driving design factor for Florence House was the Valley Street entrance area. *Because of this, even if we opted to minimize the built-out basement space, the height of the building and the footprint of the building would not change.* Ultimately, the size of the basement is dictated by the footprint of the First Floor and the fact that the existing grade of the site is such that the cost of construction will be *less* if a full basement is provided than if the First Floor were to be slab-on-grade. The resulting basement space allows sufficient space for required mechanical, electrical, janitorial, telephone, and data spaces. There is **no** residential space at the basement level.

Other staff spaces provided at this level include two private offices, open office area, employee lounge, storage, and a conference room. Since it will be extremely difficult for staff to supervise residents on the First Floor and Basement at the same time, it is not feasible to relocate any First Floor program space to the Basement. This would result in less security for the residents – and the neighborhood.

Office Space

An analysis of the approximately 2,000 square feet of office space indicates this is not by any means an excessive amount of space given the staffing needs and programmatic requirements of the building. The staffing needs include a limited amount of private office space, shared office space, intake/service provision office space, file storage, reference room space, and other staff space such as bathrooms, lounge, conference room, etc.

CONTRACT ZONE

SPACE AND BULK REQUIREMENTS JULY 10, 2007

| | Required B-2 | Required R-6 | Site Plan | Conditional Zone Agreement Variations from Zoning ** |
|----------------------------|---------------|---------------------|--------------------------------------|--|
| Maximum Lot Size | None | None | 24,968 SF | - |
| Maximum Density | See Ordinance | See Ordinance | See final Conditional Zone Agreement | See final Conditional Zone Agreement |
| Minimum Front Setback | None | 10 Feet | None | None |
| Minimum Rear Setback | 20 Feet | 20 Feet | 11 Feet | 11 Feet |
| Minimum Side Setback | None | 10 Feet (3 Stories) | 5 Feet | 5 Feet |
| Maximum Lot Coverage | N/A | 40% (Over 20 Units) | 33% | - |
| Maximum Building Height | 45 Feet | 45 Feet | 45 Feet | - |
| Open Space Ratio | N/A | 30% (Over 20 Units) | 26% | 26% |
| Parking Requirements | See Ordinance | See Ordinance | 19 (16 Parking Lot and 3 Drop-Off) | 9 - Unit 1 7 - Unit 2 |
| Minimum Lot Size | 10,000 SF | 4,500 SF | 24,968 SF | - |
| Minimum Street Frontage | 50 Feet | 40 Feet | 250 Feet | - |
| Minimum Lot Width | None | 50 Feet | 250 Feet | - |
| Maximum Impervious Surface | 80% | N/A | 74% | - |

** See final Conditional Zone Agreement for official calculations.

 View 284

Aerial view looking West



Permitted



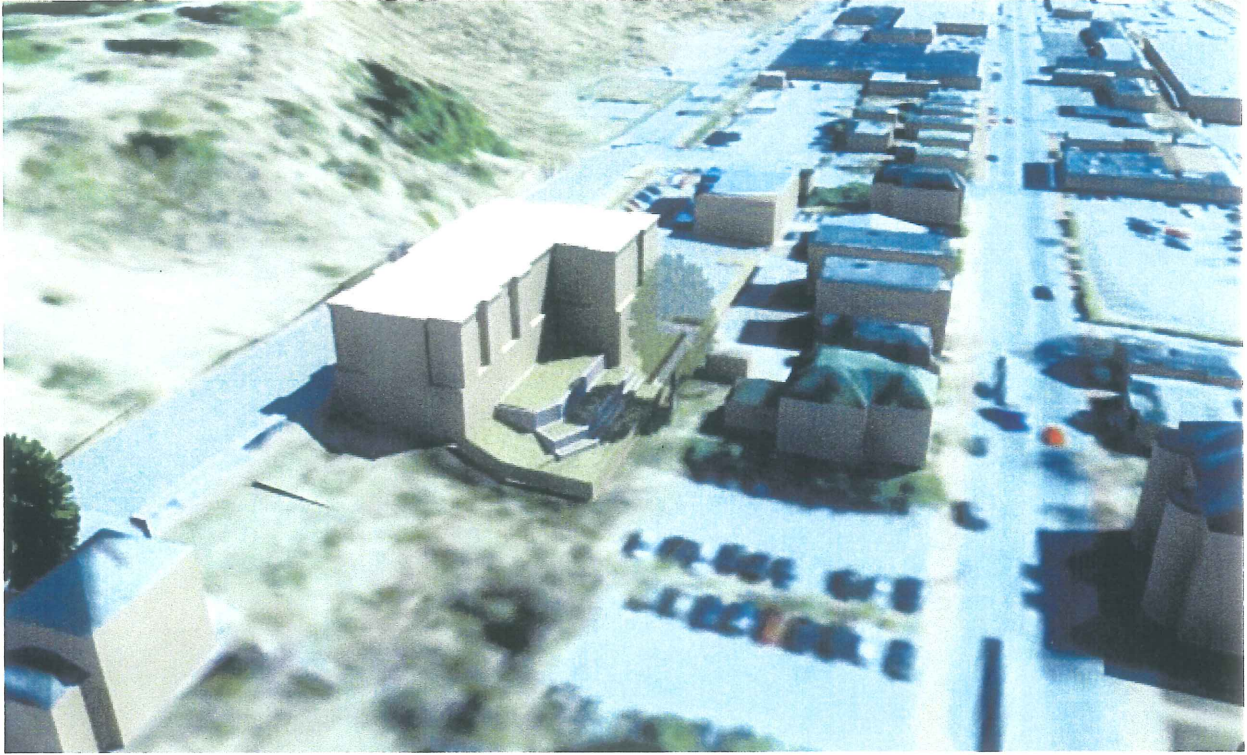
Proposed

Florence House Massing Study

JUL 11

 **View 438**

Aerial view looking South.



Permitted



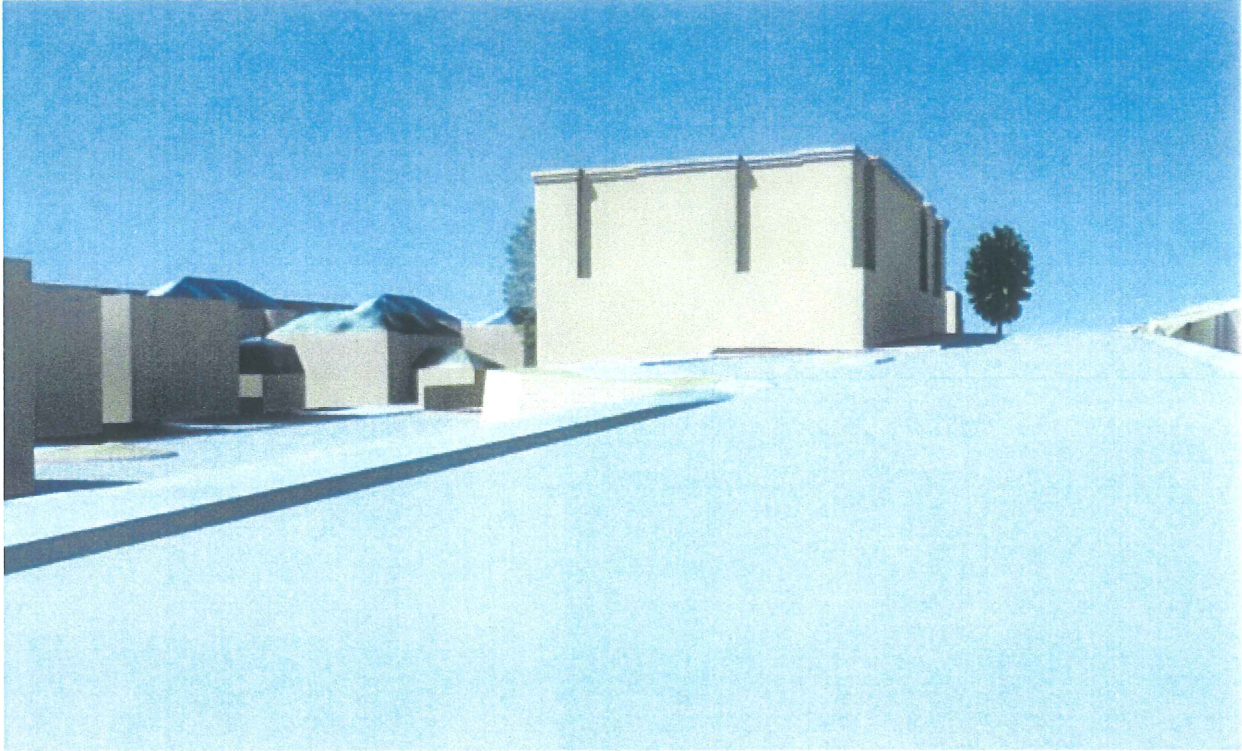
Proposed

Florence House Massing Study

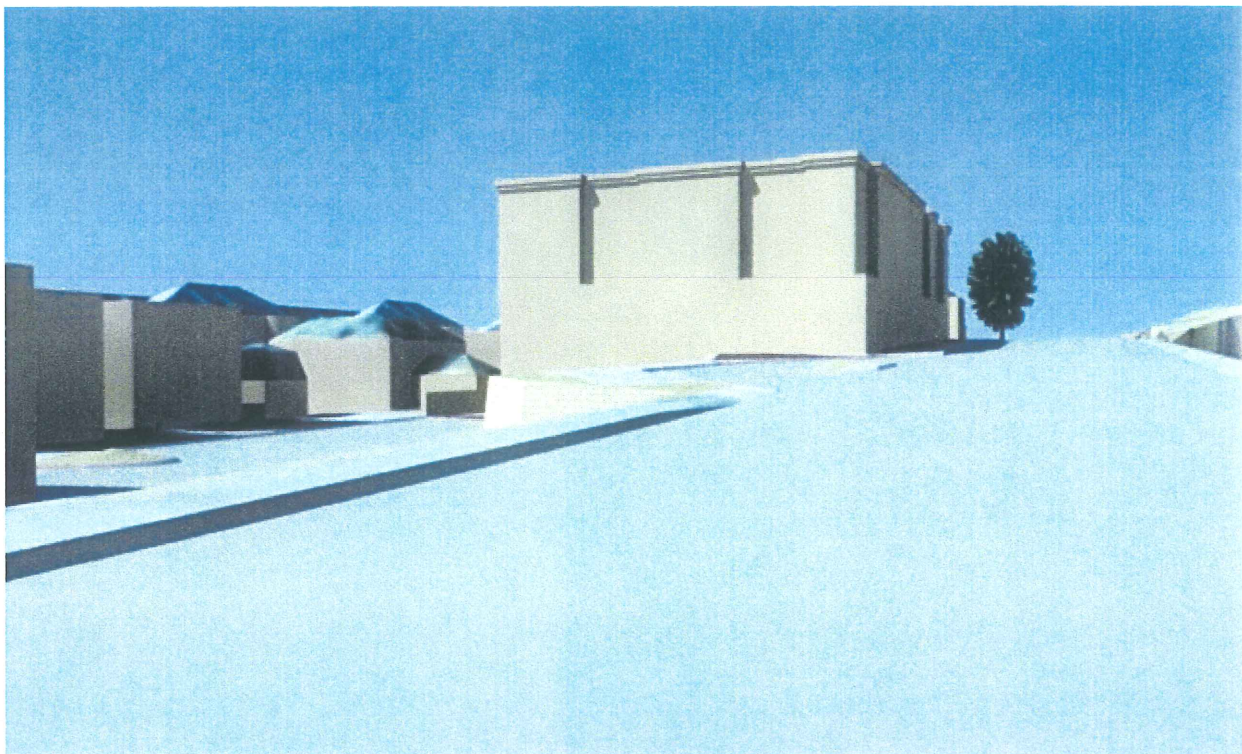
JUL 11 ->

 **View 909**

Street level view looking North on Valley Street.



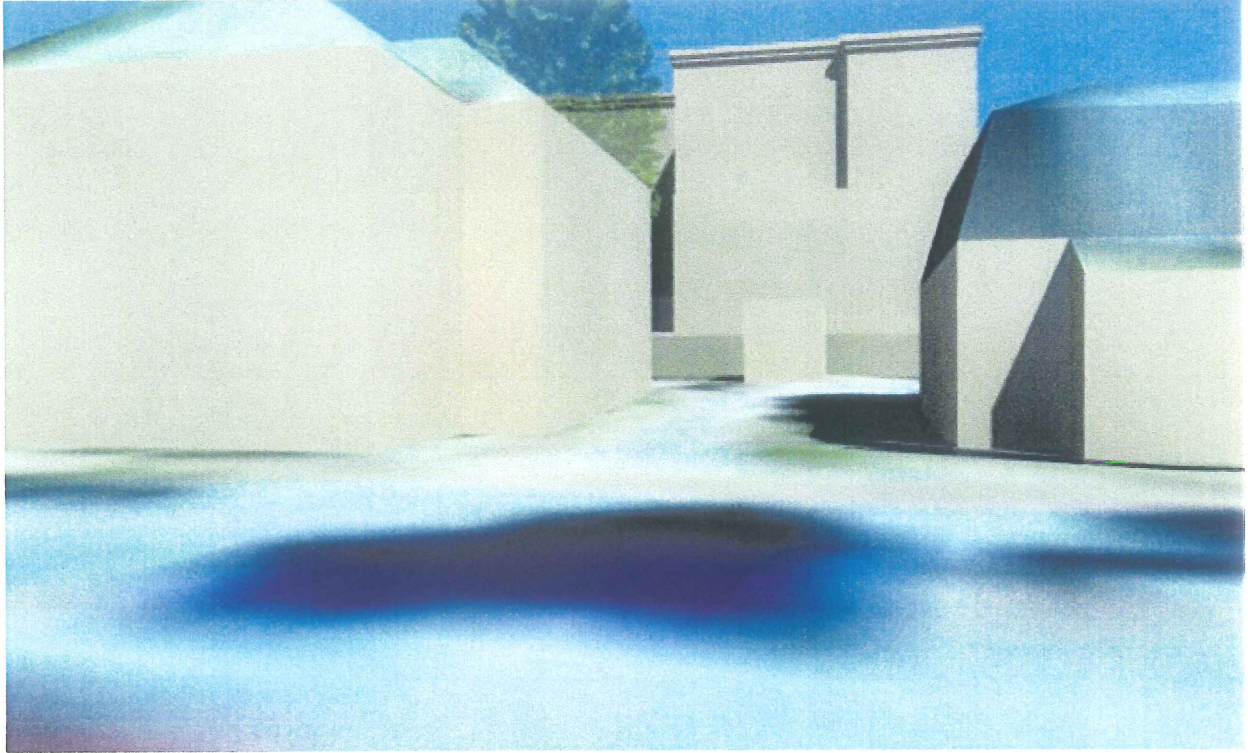
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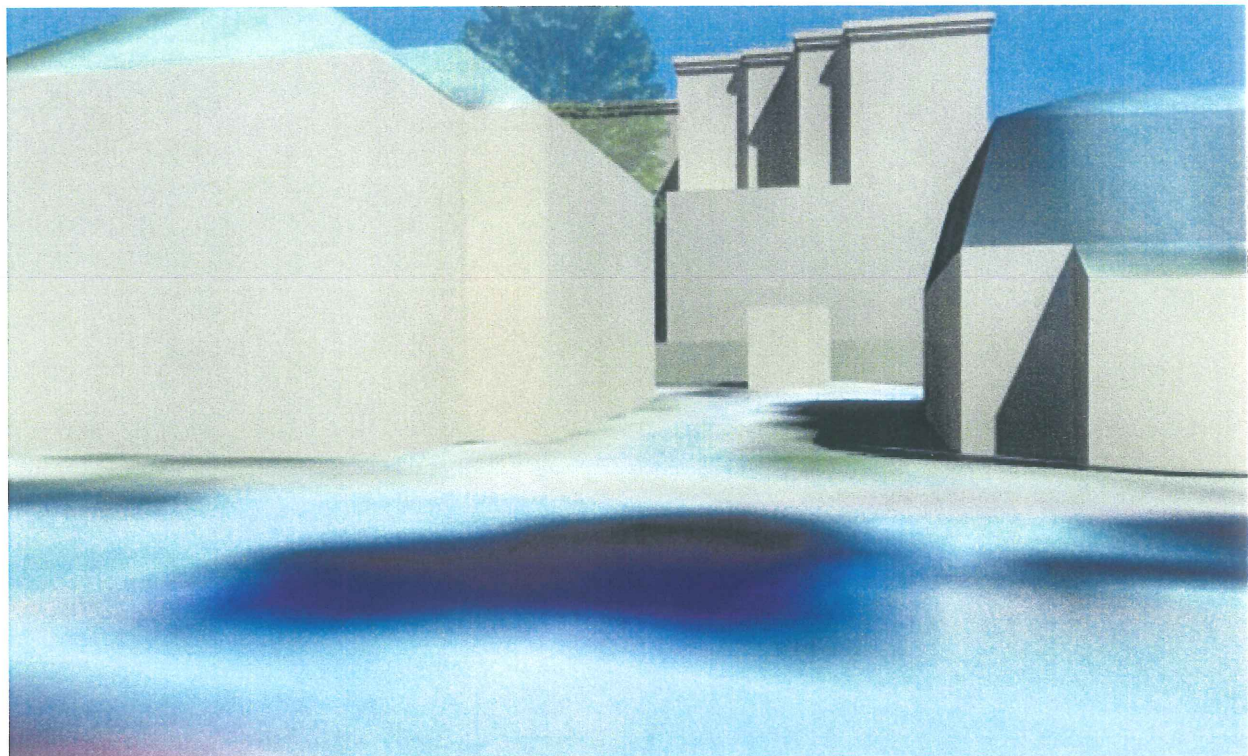
Proposed

 **View 1363**

Street level view looking up driveway West across St John Street.



Permitted



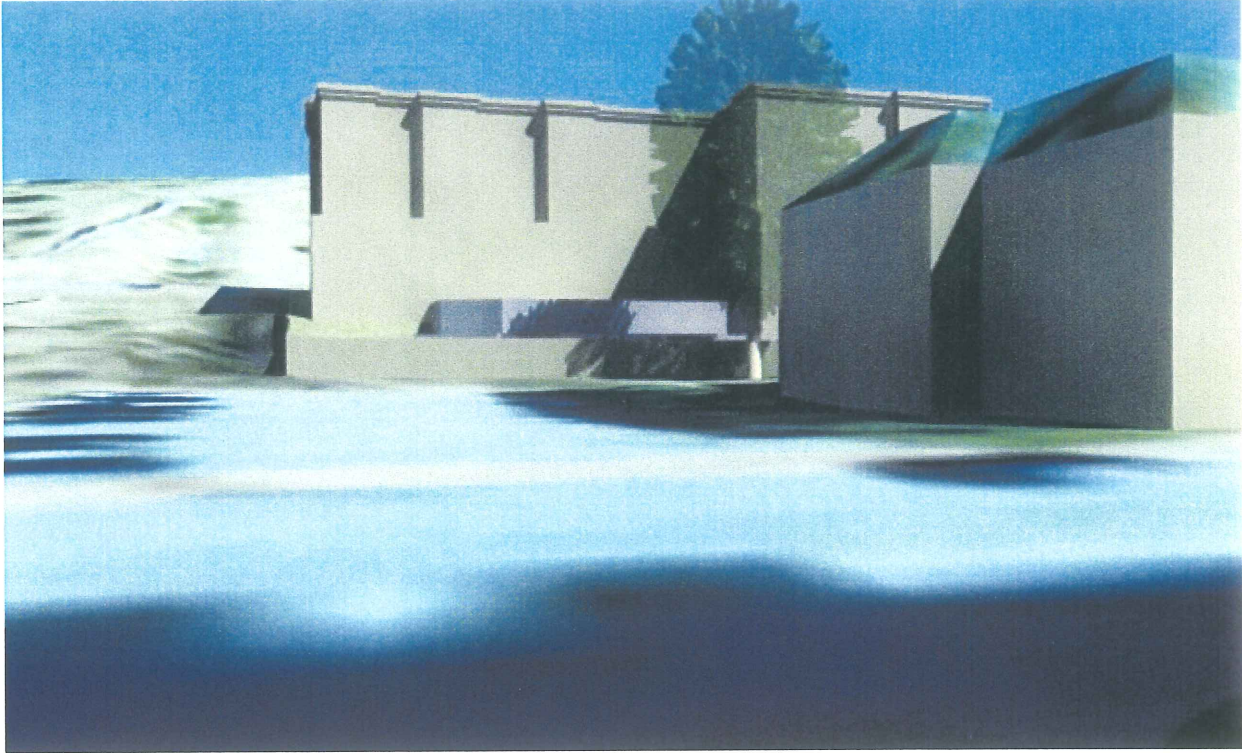
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Florence House Massing Study

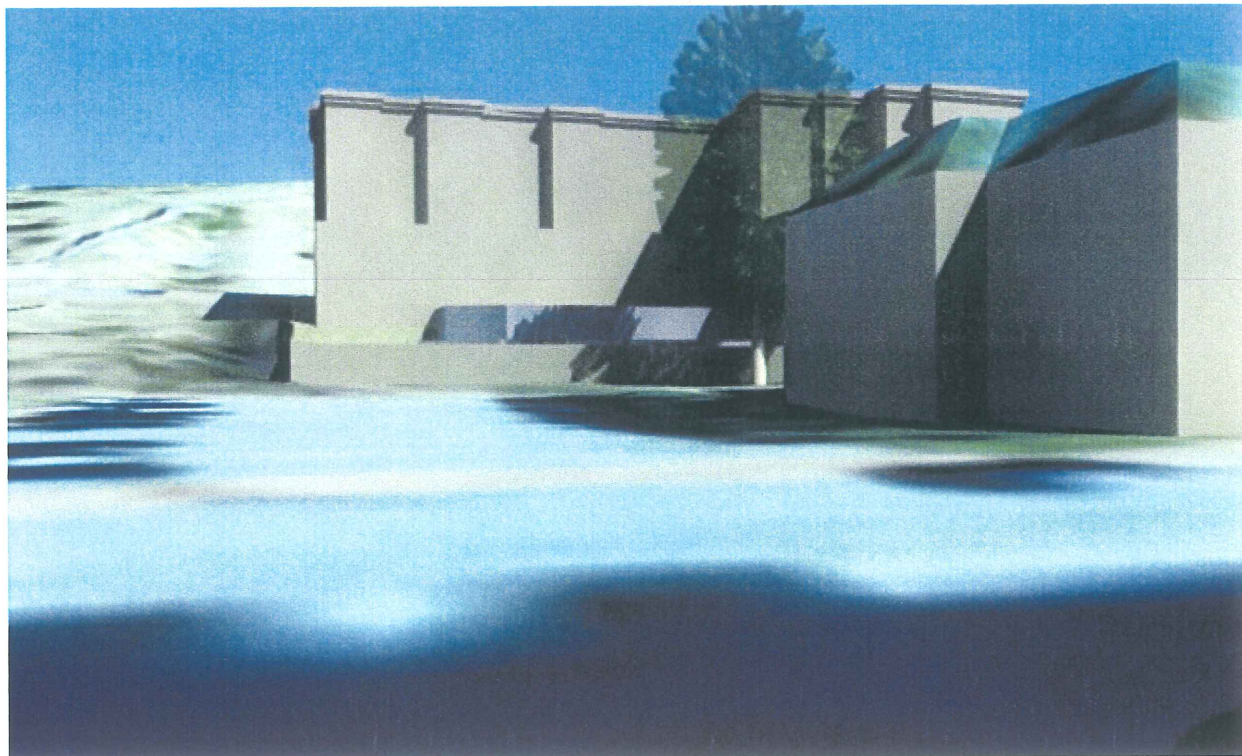
JUL 11 --

 **View 1455**

Street level view looking West across St John Street.



Permitted



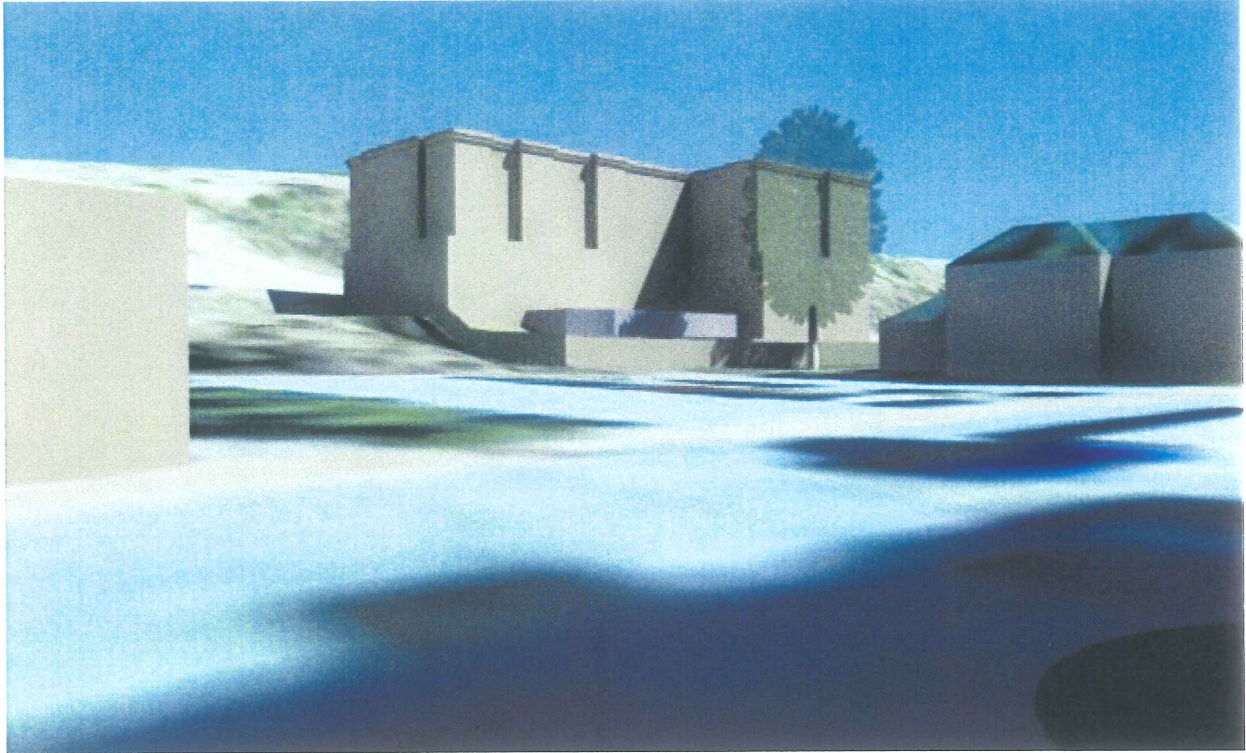
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Florence House Massing Study

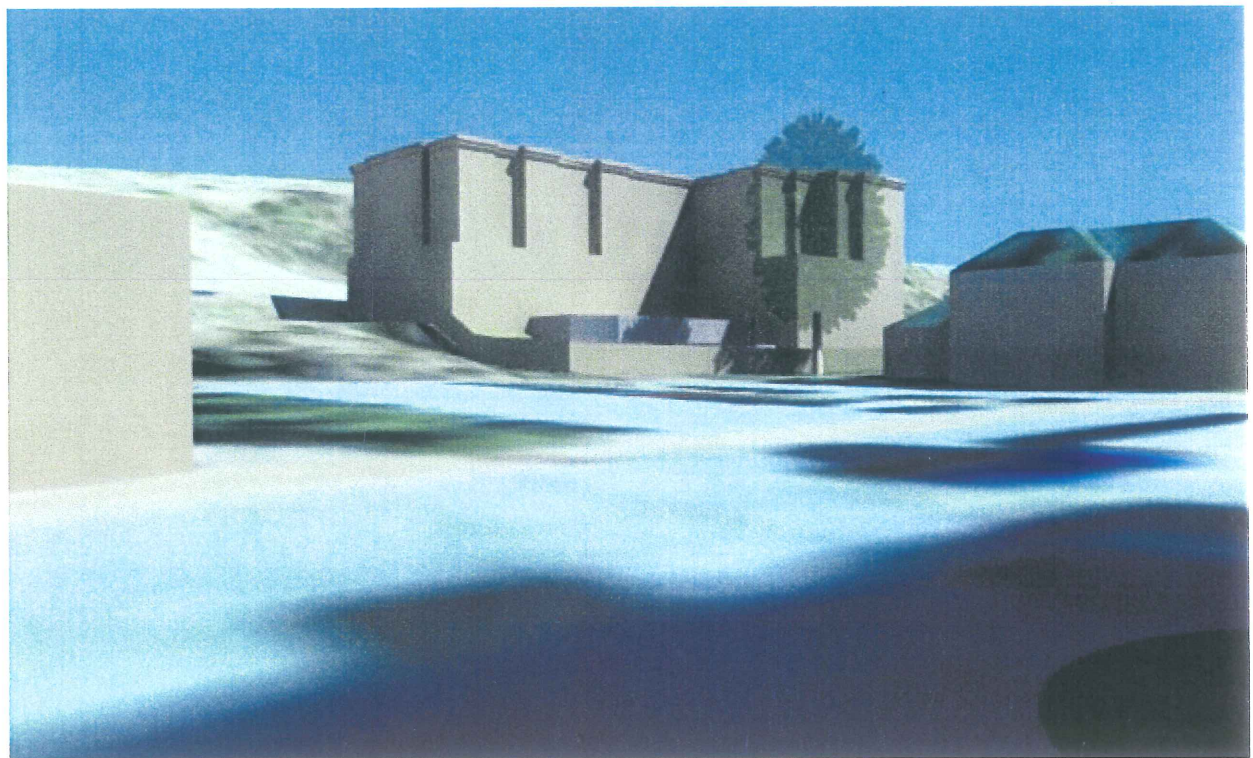
JUL 11

 **View 1577**

Street level view looking South-West across St John Street.



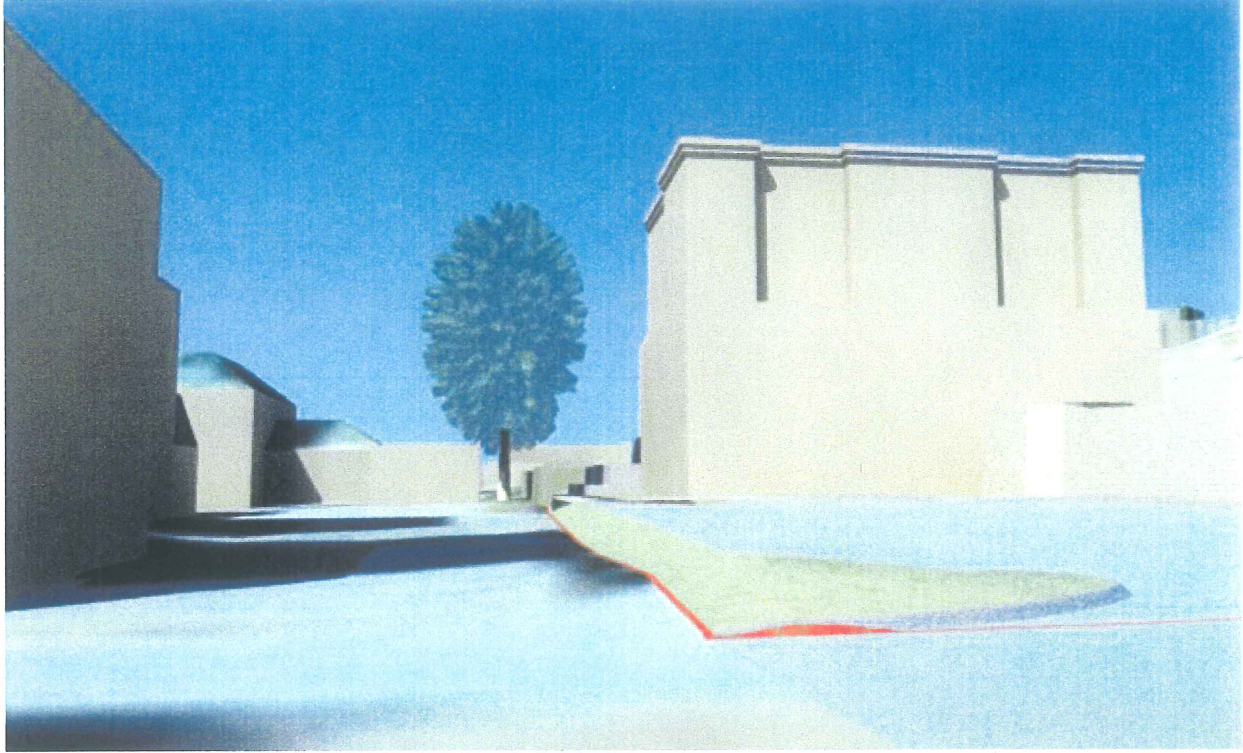
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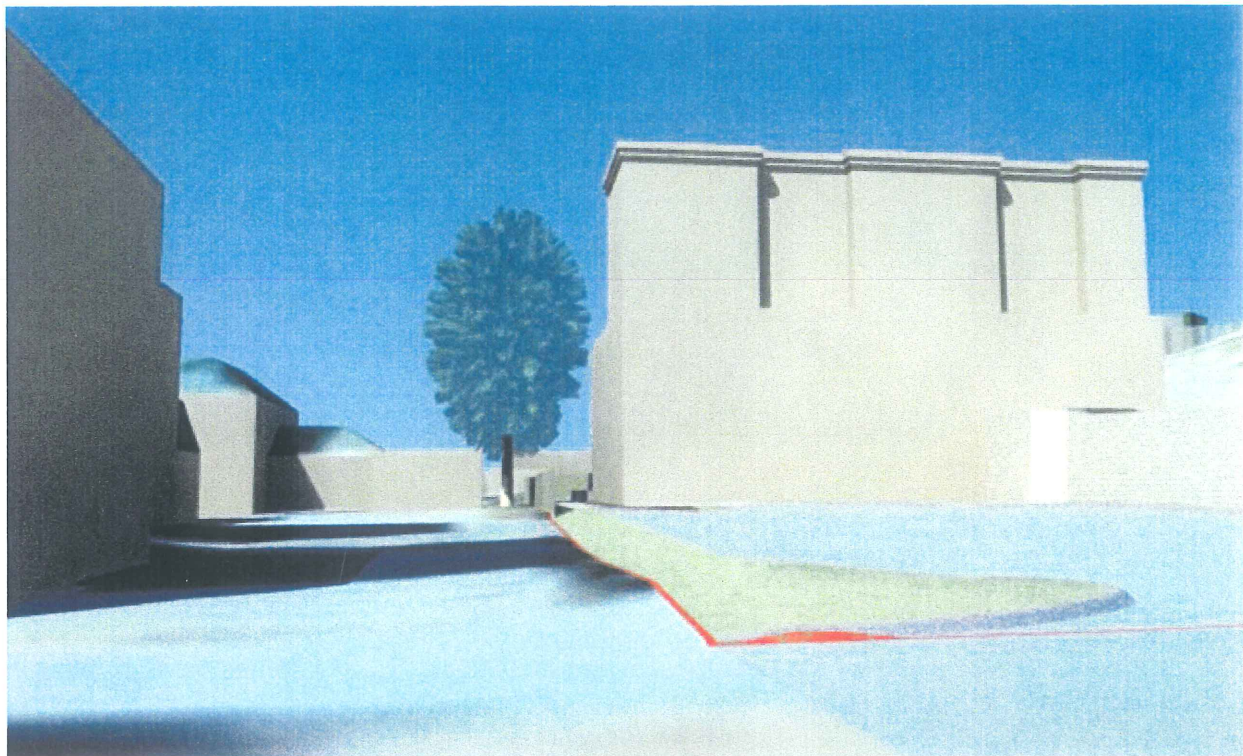
Proposed

 **View 2100**

Street level view looking South on Valley Street.



Permitted



Proposed



**GAWRON
TURGEON
ARCHITECTS**
29 Black Point Road
Scarborough, ME 04074
www.gawronturgeson.com
Tel. 207.883.6307
Fax. 207.883.0361

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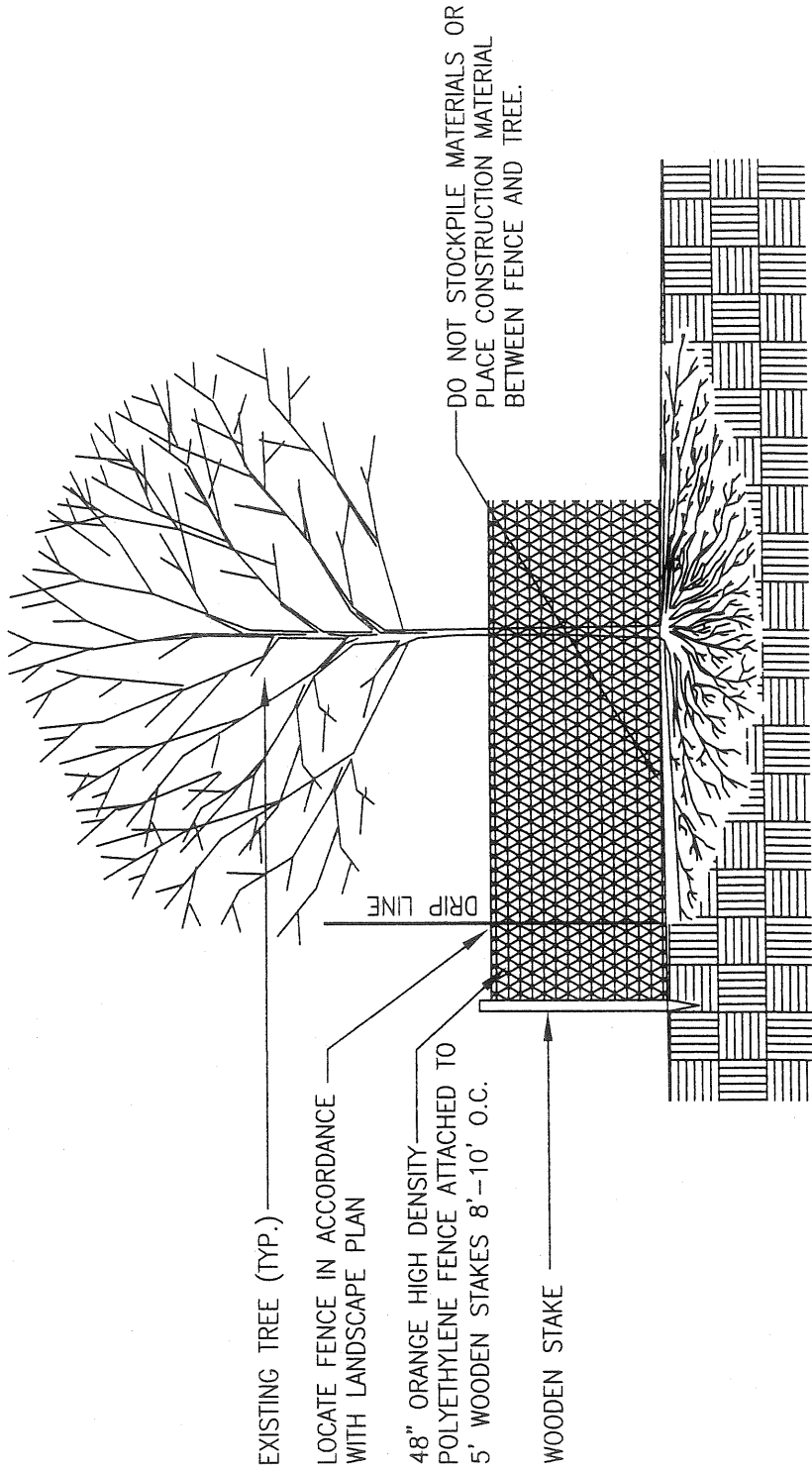
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| SHEET TITLE | |
| TREE PROTECTION SECTION | |

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GAWRON TURGEON
ARCHITECTS & ASSOCIATES



EXISTING TREE (TYP.)

LOCATE FENCE IN ACCORDANCE WITH LANDSCAPE PLAN

48" ORANGE HIGH DENSITY POLYETHYLENE FENCE ATTACHED TO 5' WOODEN STAKES 8'-10' O.C.

WOODEN STAKE

DRIP LINE

DO NOT STOCKPILE MATERIALS OR PLACE CONSTRUCTION MATERIAL BETWEEN FENCE AND TREE.

Neighborhood Meeting Certification

I (applicant/consultant) hereby certify that a neighborhood meeting was held on (date) 6/28/07 at (location) WEST SUITE 202 at (time) 5 PM.

I also certify that on (date at least seven days prior to the neighborhood meeting), JUNE 20, 2007 invitations were mailed to all addresses on the mailing list provided by the Planning Division, including property owners within 500 feet of the proposed development and the residents on the "interested parties" list.

Signed,



6/29/2007 (date)

Attached to this certification are

1. Copy of the invitation sent
2. Sign-in sheet
3. Meeting minutes



Neighborhood Meeting Invitation

June 19, 2007

Dear Neighbor:

Please join us for a neighborhood meeting to discuss plans for the development of Florence House to be located at 190 Valley Street, Portland, Maine.

Meeting Location: West School (Portland Adult Education)
Gymnasium
57 Douglass Street, Portland, ME

Meeting Date: Thursday, June 28, 2007

Meeting Time: 5:00 pm
Light refreshments will be served

The City Code requires that property owners within 500 feet of the proposed development and residents on an "interested parties list" be invited to participate in a neighborhood meeting. A sign-in sheet will be circulated and minutes of the meeting will be taken. Both the sign-in sheet and minutes will be submitted to the Planning Board.

If you have any questions, please call Debora Keller at Avesta Housing, 553-7777.

Sincerely,

Avesta Housing

Note: Under Section 14-32C(C) of the City Code of Ordinances, an applicant for a major development, subdivision of over five lots/units, or zone change is required to hold a neighborhood meeting at least seven days prior to the Planning Board public hearing on the proposal.

Quality Affordable Living

307 Cumberland Avenue, Portland, Maine 04101 • P: 1-800-339-6516 • 207-553-7777 • F: 207-553-7778
Equal Housing Opportunity

SIGN-IN SHEET

June 28, 2007 Neighborhood Meeting, 5:00 pm, West School Gymnasium
 Florence House, 190 Valley Street, Portland, ME

| NAME | ADDRESS | PHONE/E-MAIL |
|------------------|------------------------------------|--------------|
| DEBORAH KELLER | 307 CUMBERLAND | 553-7777 |
| Betsy Melrose | Mitchell ^{THE} ASSOCIATES | 774-4427 |
| JOHN MITCHELL | MITCHELL ASSOC. | 774-4427 |
| REBECCA DILLON | GAWRON TURGEON ARCHITECTS | 883-6307 |
| Clayton McArthur | 89 Auburn St Portland 0403 | 797-5049 |
| Deborah Heald | 213 St John St | 773-9632 |
| Paul Peaslee | 213 St John St | 773-9632 |
| Jon Bradley | Preble Street | 775 0026 |
| Dahr Brunell | Tennant ASS St. John St. | 772-5872 |

Florence House
Neighborhood Meeting
5pm West School
June 28, 2007

PRESENTATION

Deb Keller-Avesta

- Introduction of Project Team
- Introduction to Project

John Mitchell – Mitchell & Associates

- Project Site

Rebecca Dillon – Gawron Turgeon Architects

- Building Architecture
- Building Program/Functions

John Bradley – Preble Street Resource Center

- Staffing Description
- Staff Responsibilities

PUBLIC COMMENT/QUESTIONS

Q: Light locations?

A: Locations pointed out on plan. Photometrics have been done (John M.)

Q: Maximum capacity 40 people on first floor, there are 25 beds on plan, how is overflow handled?

A: We feel we have a good estimate as to the need for this type of women's housing. If more than 10 emergency beds are needed, there is some room for expansion. It is a goal to keep women out of the main shelter in Portland. (John B.)

A: Building code dictates that a maximum of 40 people can be on first floor (Deb K.)

A: 200 S.F./Person is allowed by code and the first floor has about 8,000 S.F. Guidelines are in place for space between emergency shelter beds and probably can't accommodate more than 25 emergency shelter beds on this floor (Rebecca)

Q: Is the emergency bed number on the first floor predicted to be 25?

A: There is flexibility to accommodate 25 emergency bed users, but it is predicted to be less than 10 most nights. (John B.)

Q: Is 40 people on the first floor a variance requested as part of the Contract Zone?

A: The number of people will be stated in the legal Conditional Zone Agreement (Deb K.)

C: Biggest concern is the "L" portion of the building closest to her Aunt's house and her house. 10 feet from the property line is close. The height difference between permitted and proposed isn't much of a difference. It is hard for her to be in agreement with the setback and height. She is not against the program. It does bring more activity (pedestrian and emergency) and noise to the neighborhood. Appreciates stepbacks incorporated into building on upper 2 floors. Massing is still significant.

Q: If this project is approved, how will it affect the future development/additions to her property and her aunt's? Probably need to talk with City staff about this.

A: A Contract Zone could be done for her property if setbacks or height variances are requested (Rebecca)

A: Would have to adhere to B2 standards otherwise (John M.)

C: Picked up packet. References to other buildings neighborhood with similar massing. Half of them have larger footprint, rest are similar footprint. Most are 1-2 story structures. 1st Atlantic is 3 story. Most don't directly abut residential properties. References to other buildings which had approved Contract Zone in area. Shalom House, Valley Street has a 1-1/2 story residential building built at a side setback. Casco Terrace, State Street has area buildings which are taller and have been there for many years. Florence House will appear larger than things around it. YMCA is an entire block with no rear setback to residential property. Walker Terrace has residential buildings to the side. She has issues with the rear setback and size of the building in this neighborhood. Size and closeness of structure have been constant concerns. This will affect her property and her aunt's in a greater way.

Q: Have alternative schemes been looked at?

A: We have looked at and reworked the design for many months. The program for the building has driven the footprint (Deb K.)

A: Delicate relationships programmatically and spatially exist on the first floor. Changing any of these relationships will make it harder for the Preble Street staff to do their job properly and could cause issues in the building and neighborhood. It is hard for neighbors to visualize a new building on most any site. The Planning Board needs look at what the developer can do on this site and what is being proposed to make a determination (Rebecca)

Q: Was massing shown at the [Planning Board Workshop] meeting the proposed massing?

A: Yes (Deb K.)

Q: Additional images have been requested via Jean Fraser for views from the corner of D Street looking north, corner of C Street looking south, and down the driveway between her property and her aunt's. The massing images in the packet have not changed her mind. Could she see requested images before July 10th?

- A: No, the graphic designer is on vacation (John M.)
- C: Seems like design was done and wanted to convince everyone that it is OK. Significant changes have not occurred. It is an old neighborhood. Deb's great grandfather built many of the houses. A neighborhood feeling still exists. It is a good deed to build this structure. The neighborhood isn't considered as much as it could be. A lot could be done with this site. Came into process without real intention of changing the design. Hoped people could grow to like it. Variances will allow project to step on feet of the neighborhood. Hard to believe a more accommodating design can't be done on this site. If neighborhood had been included from the start, design could be mutually agreed upon by everyone.
- R: Many sketches and site solutions have been looked at. Can't cut a floor off the building, because it won't be a successful project. If parts of the program are removed, it won't function correctly. (Rebecca)
- R: This is designing something unique. Have done the best job possible to create an efficient/effective building. Looked for years to find a good site. Can't find a site which will work perfectly in a neighborhood. Very difficult to find the right site. (John M.)
- C: Understands it is hard to find the right site, but feels other stakeholders could have been included. Get City to convince them with a hammer.
- R: Bottom line is everyone in the neighborhood can't be satisfied. Wherever the building is located, impact will occur. It has been located in the best site to minimize impact. (John M.)
- R: City was scoured to find a site that would work. After the site was selected, alternatives were considered and decisions needed to be made. The best alternative was presented to the neighborhood in response to pedestrian and vehicular access concerns. Haven't heard much feedback about particular changes suitable to the site, have only heard general comments like "reduce the height". Hard to work with various constraints. We did not come to you with a final design, only the best solution we could come up with. Input has changed the design. Other solutions presented will be considered. Didn't see this site and instantly decide that this was the building that had to be constructed. We considered alternatives first. (Dana Totman)
- C: Avesta came down in height and added setbacks but the rear setback hasn't changed. She understands why rear setback can't change is due to stairway. Building is high, over 50 feet at rear view. Here tree is at risk during excavation. A 20 foot setback will reduce the risk a great deal. Her house is 33 feet high. Ours is 20 feet taller. Setback, height and excavation are her biggest issues. Wishes there was a way to accommodate this.
- R: Contract Zone process is not easy for anyone (Rebecca)



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Dear Neighbor:

Thank you for attending this evening's neighborhood meeting.

Applicants for major developments, zone changes, and subdivisions of more than five units/lots are required to hold a neighborhood meeting prior to the Planning Board's public hearing on the development proposal.

The purpose of these meetings is to improve communication between neighbors and applicants for development. We have found that neighbors raise questions and offer insight that often improves the design or compatibility of a proposed development.

The City code requires that property owners within 500 feet of the proposed development and residents on an "interested parties list" be invited to participate in a neighborhood meeting. A sign-in sheet will be circulated and minutes of the meeting will be taken. Both the sign-in sheet and minutes will be submitted to the Planning Board.

Should you wish to offer additional comments on this proposed development, you may send correspondence to:

Planning Division
Department of Planning and Development
City Hall
389 Congress Street
Portland, ME 04101;


Or email:

BAE ●@portlandmaine.gov;

Or call 874-8720.

Thank you for taking the time to attend tonight's meeting.

Sincerely,

 BARBARA BARIMPT
Development Review Services Manager

QUITCLAIM DEED

58166 KNOW ALL PERSONS BY THESE PRESENTS

That ALAN PROSSER, of 195 Saint John Street, Portland Maine for consideration paid, the receipt whereof is hereby acknowledged, does hereby remise, release, bargain, sell and convey, and forever QUITCLAIM unto C & D ASSOCIATES, a Maine Partnership whose mailing address is 195 Rear Saint John Street, Portland, Maine 04101 and their heirs and assigns forever, all of our right, title and interest in and to the following described real property situated at 195 Saint John Street, Portland, County of Cumberland, State of Maine, as more particularly described as follows:

A right of way over a strip of land nine and seventy-five hundredths feet wide situated on the westerly side of Valley Street in the City of Portland, County of Cumberland, and State of Maine, bounded and described as follows: commencing at an iron pin at the most northwest corner of a concrete building located 101 feet from the east side of Saint John Street (#161) on the land of Alan Prosser, thence along the side of the building in an easterly direction, parallel to the north side line of the Alan Prosser land, a distance of 98.58 feet to an iron pin, the east side line of Alan Prosser and the edge of Valley Street. Thence in a northerly direction along Valley Street a distance of 9.75 feet to an iron pin in the southerly sideline of Grantee's 20 foot wide right of way; thence in a westerly direction parallel with the north property line of Alan Prosser and 20 feet therefrom a distance of 98.58 feet to an iron pin, located 9.75 feet from the northwest corner of the concrete building previously mentioned, thence in a southerly direction a distance of 9.75 feet to the corner of the building, an iron pipe and the point of beginning,

To pass and repass over said strip of land or right of way for all matters and things for which street are customarily used, including the loading and unloading of goods and inventory into and from vehicles.

The purpose of this description is to provide a new easement, contiguous with an existing 20 foot easement referred to in Deeds recorded in the Cumberland County Registry of Deeds in Book 6740, Page 330 and Book 4955, Page 273.

Reference is made to land of Alan Prosser's conveyed to him by Deed of Anthony E. Quirano, Jr., dated May 1982, recorded in the Cumberland County Registry of Deeds at Book 4955, Page 273.

Also conveying to Grantees their heirs and assigns an easement or right to erect and maintain appropriate business signage in compliance with local ordinances on said land of Alan Prosser on the westerly side of Saint John Street and/or along the sides of the above referenced existing twenty foot easement. The cost of erecting and maintaining such signage shall be borne by the Grantees, their heirs and assigns.

In Witness Whereof, Alan Prosser, releasing all rights by descent and all other rights in the above described premises for himself, his heirs and assigns has hereunto set his hand and seal this 13th day of the month of September, 1996.

Signal Sealed and Delivered in the presence of

Witness [Signature]

[Signature] ALAN PROSSER

STATE OF MAINE CUMBERLAND, ss.

DATE: September 23, 1996

Then personally appeared the above named ALAN PROSSER and acknowledged the foregoing instrument to be his free act and deed.

Before me,

[Signature] Notary Public/Attorney-at-Law Leslie E. Lowry III

RECEIVED RECORDED REGISTRY OF DEEDS 29 SEP 30 PM 1:12 CUMBERLAND COUNTY [Signature]

58167

EASEMENT AGREEMENT

Agreement made this 73 day of September, 1996 between C&D Associates, a Maine partnership with a place of business at 195 Rear St. John Street, Portland, Maine and Alan Prosser with an address of 195 St. John Street, Portland, Maine.

WHEREAS, C&D Associates is the owner of a certain twenty foot right-of-way across the property of Alan Prosser located at 195 St. John Street, Portland, Maine from St. John Street to property of C&D Associates located at 195 Rear St. John Street; and

WHEREAS, certain disputes have arisen between the property owners as to the use and maintenance of said twenty foot easement; and

WHEREAS, the property owners of the servient and dominant estates are desirous of resolving their differences and setting forth by agreement their respective rights and responsibilities;

NOW THEREFORE, for the reasons stated above and in consideration of the covenants and agreements hereinafter stated the parties to this agreement mutually agree as follows:

1. Snowpiling: Snow that falls on the 20 foot right-of-way from St. John Street to the front of C&D Associates' building is to be removed by C&D Associates over onto their property. Snow that falls on the 20 foot right-of-way beyond the front edge of C&D Associates' building is to be pushed back to the end of the right of way. If it becomes necessary to haul away the snow piled at the end of the twenty foot right-of-way, the cost shall be divided equally between the owners of the two adjoining properties. None of the snow that falls on Alan Prosser's property outside of the 20 foot right-of-way is to be put within the 20 foot right-of-way.
2. Outflow pipe under the 20 foot right-of-way: By the end of 1996, Alan Prosser will disconnect the plumbing for the back building toilet so that it is not connected to the sewer pipe under the 20 foot right-of-way. After that is done, C&D Associates will be solely responsible for any maintenance and repairs to that sewer drain, and thereafter Alan Prosser and his successors shall have no right to utilize that existing sewer drain.
3. Obstruction of 20 foot right-of-way: The parties agree that vehicles in the right-of-way should not be left unattended. A sign will be posted at the St. John Street end of the right-of-way on Alan Prosser's fence long the right-of-way and on the corner of the C&D Associates building to prohibit leaving unattended vehicles in the right-of-way. C&D Associates will be responsible for manufacturing the signs. All attended vehicles will be promptly moved upon request. Any unattended vehicle will be removed from the right-of-way as soon as the responsible party becomes aware of it.
4. Enforceability and Notice: The above stipulations shall be enforceable against C&D Associates and/or Alan Prosser and their heirs, assigns, and successors in interest, and appurtenant to their interest in respective adjoining parcels of real estate, and shall be recorded in the Cumberland County Registry of Deeds.
5. References: Reference is made to Deed of Peter Holmes, dated April 23, 1985, recorded in the Cumberland County Registry of Deeds at Book 6740, Page 330 for description and title of C&D Associates to its real property and reference is made to Deed of Anthony E. Quartaing dated May, 1982, recorded in the Cumberland County Registry of Deeds at Book 4955, Page 273 for description and title of Alan Prosser to his real property.
6. Entire Agreement: This agreement shall constitute the entire agreement between the parties and any prior understanding or representation of any kind preceding the date of this agreement shall not be binding upon either party except to the extent incorporated in this agreement. Any modification of this agreement or additional obligations assumed by either party in connection with this agreement shall be binding only if evidence in writing signed by each party or an authorized representative of each party.

IN WITNESS WHEREOF each party to this Agreement has caused it to be executed at Portland, Maine on the dates indicated below.

Date: 9/13/96

C & D ASSOCIATES
By: [Signature]
Clayton MacArthur, General Partner

Date: 9/13/96

By: [Signature]
Dale R. Brunell, General Partner

Date: 9/23/96

[Signature]
Alan Prosser

STATE OF MAINE
CUMBERLAND, ss.

DATE: 9/13/96 SEAL

Personally appeared the above named Clayton MacArthur and Dale Brunell, and acknowledged the foregoing instrument to be their free act and deed and the free act and deed of the partnership.

[Signature]
Notary Public/ Attorney-at-Law

My Commission Expires Sept. 6, 2000

STATE OF MAINE
CUMBERLAND, ss.

DATE: September 23, 1996

Personally appeared the above named Alan Prosser, and acknowledged the foregoing instrument to be their free act and deed.

[Signature]
Notary Public/ Attorney at Law
Lustie E. Leary, III

RECEIVED
RECORDED REGISTRY OF DEEDS
55 SEP 30 PM 1:13
CUMBERLAND COUNTY
[Signature]

Submission 8

MITCHELL & ASSOCIATES
LANDSCAPE ARCHITECTS

(9 pages)

July 18, 2007

Ms. Jean Fraser, Planner
and Planning Board Members
City of Portland
389 Congress Street, 4th Floor
Portland, Maine 04101

**RE: Florence House
Sun/Shadow Study**

Dear Jean and Board Members:

On behalf of Avesta Housing, we are pleased to submit additional information regarding the proposed contract zone application for Florence House located at 190 Valley Street in Portland. This information accompanies our submission dated July 11, 2007.

The attached images are snapshots from a video simulation. Images have been printed to illustrate proposed and permitted sun/shadow at key moments of the morning. A window highlighting the abutting 213 St. John Street property has been added to illustrate the impact on the property. Snapshots have been selected at times close to 8:00 am and 9:00 am for the longest day of the year (June 21), the equinox (September 23) and the shortest day of the year (December 22). A 10:00 am image has also been selected for September 23rd.

We look forward to the opportunity to meet with the Board for the Workshop on July 24, 2007. Should you have any questions, please do not hesitate to call.

Sincerely,
Mitchell & Associates

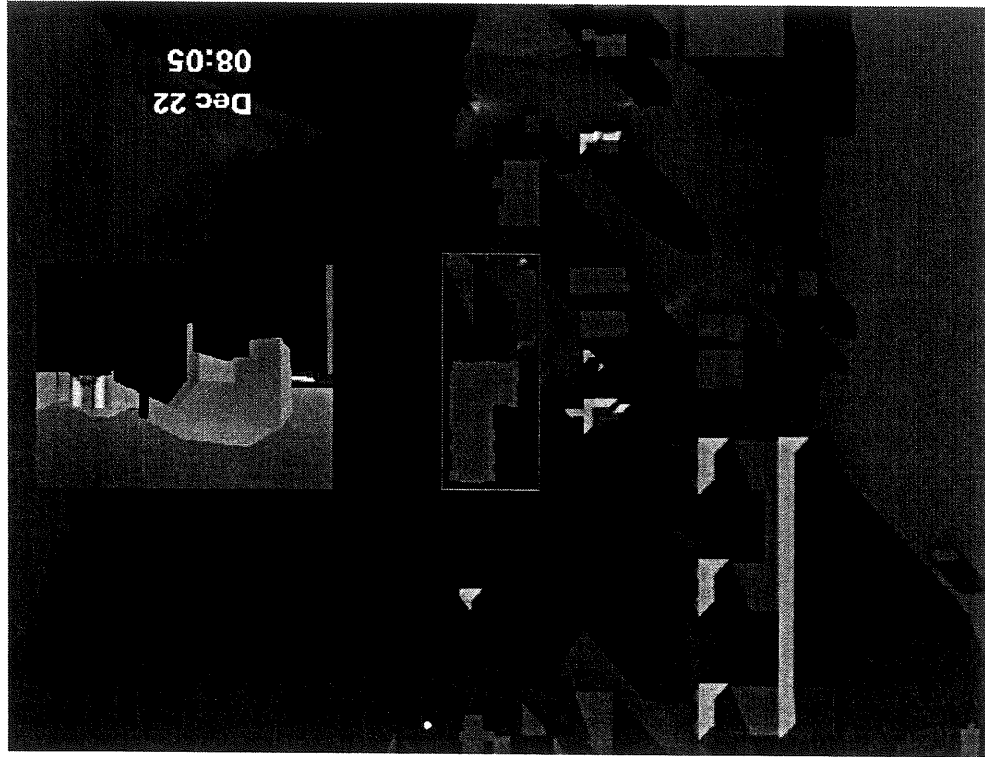
A handwritten signature in black ink that reads "Betsy Melrose". The signature is written in a cursive style with a large, looped initial "B".

Betsy Melrose

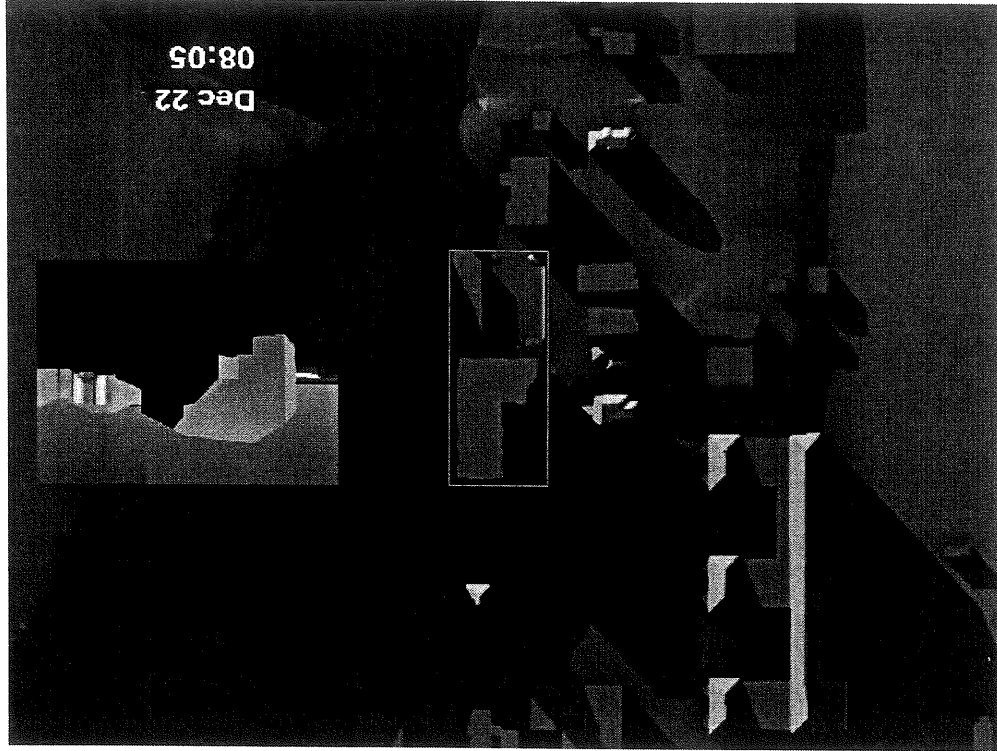
Enclosures

cc. Debora Keller – Avesta Housing
Mark Swan – Preble Street Resource Center
Cito Selinger – Curtis, Thaxter, Stevens, Broder & Micholeau
Rebecca Dillon – Gawron Turgeon Architects

FLORENCE HOUSE
SUN/SHADOW STUDY
July 18, 2007

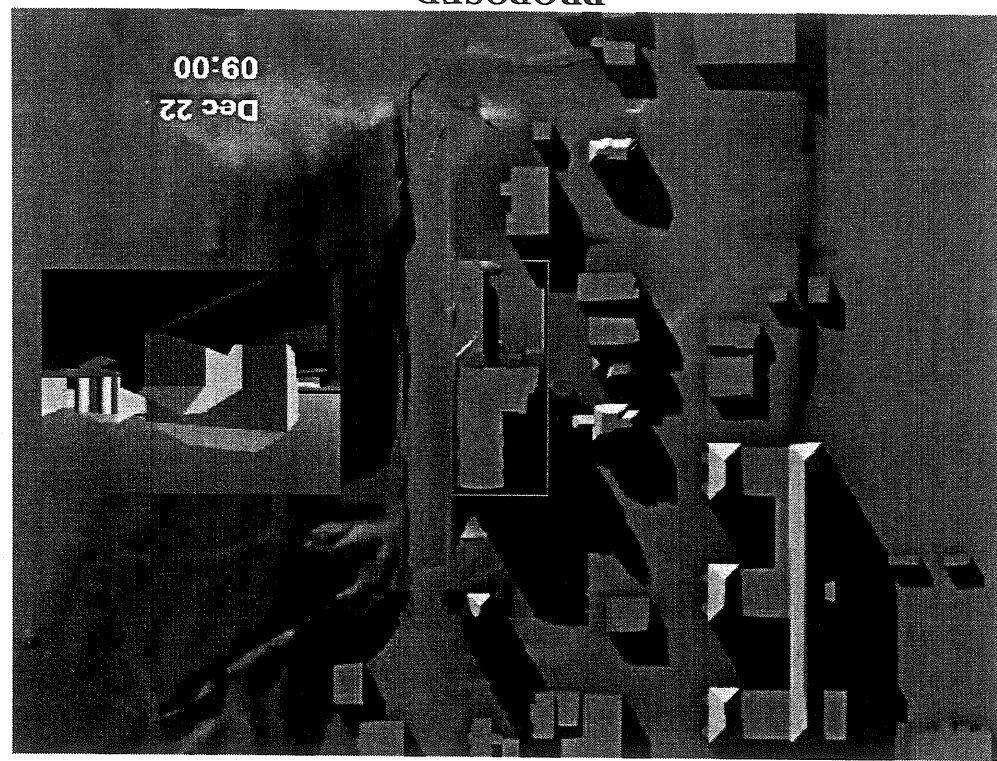
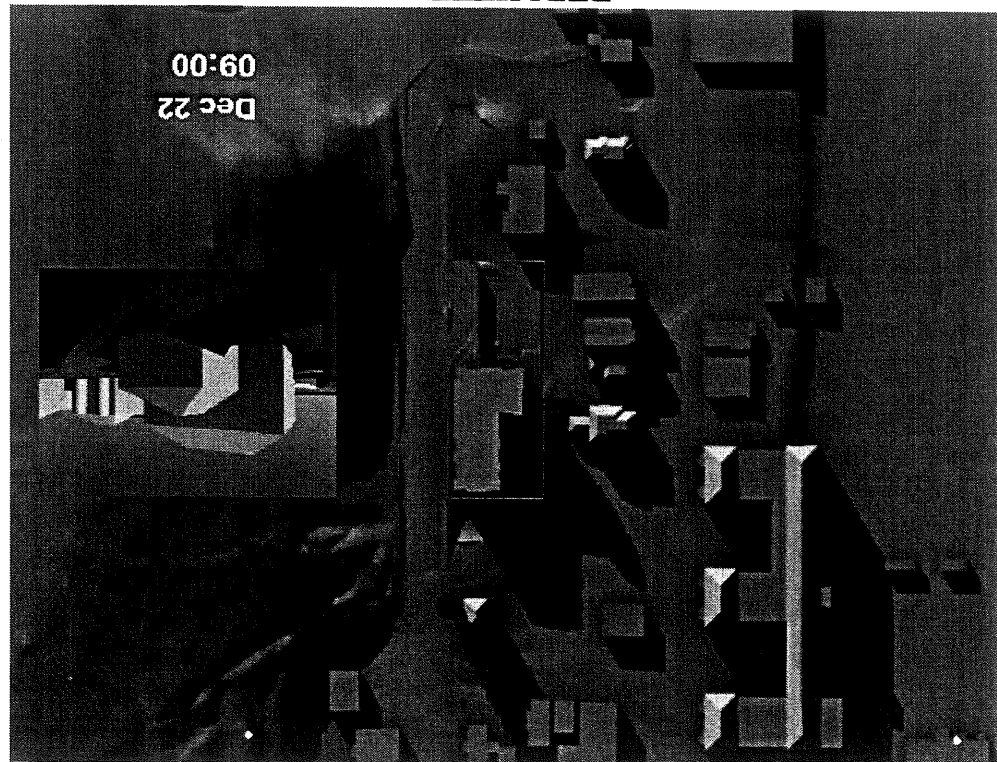


PERMITTED

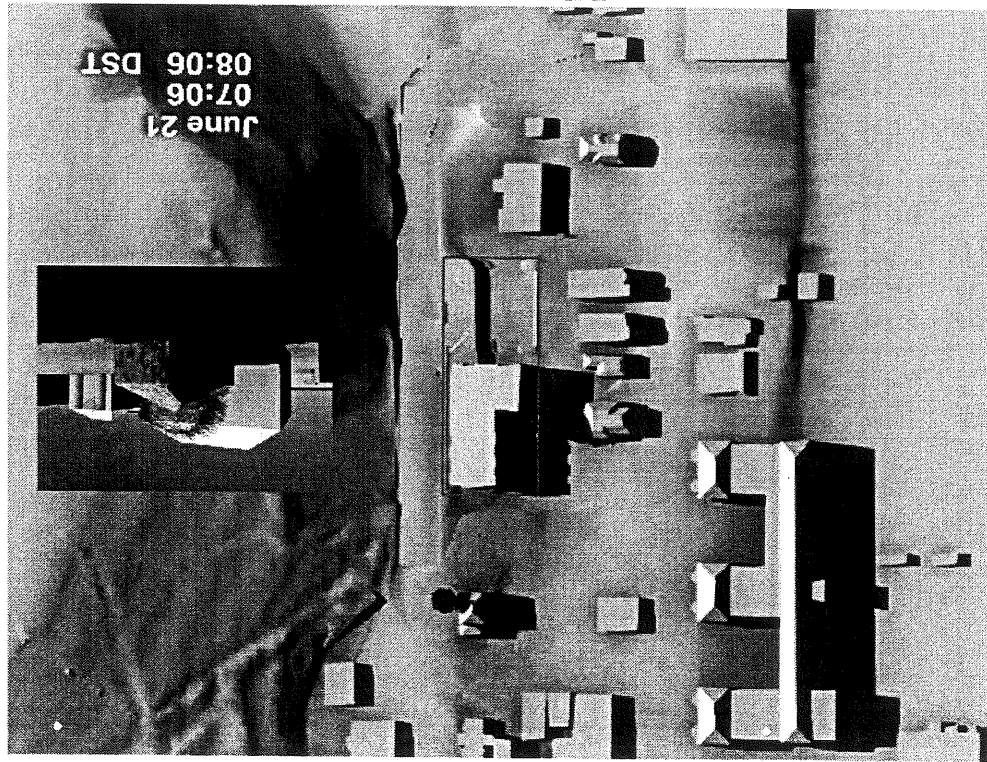


PROPOSED

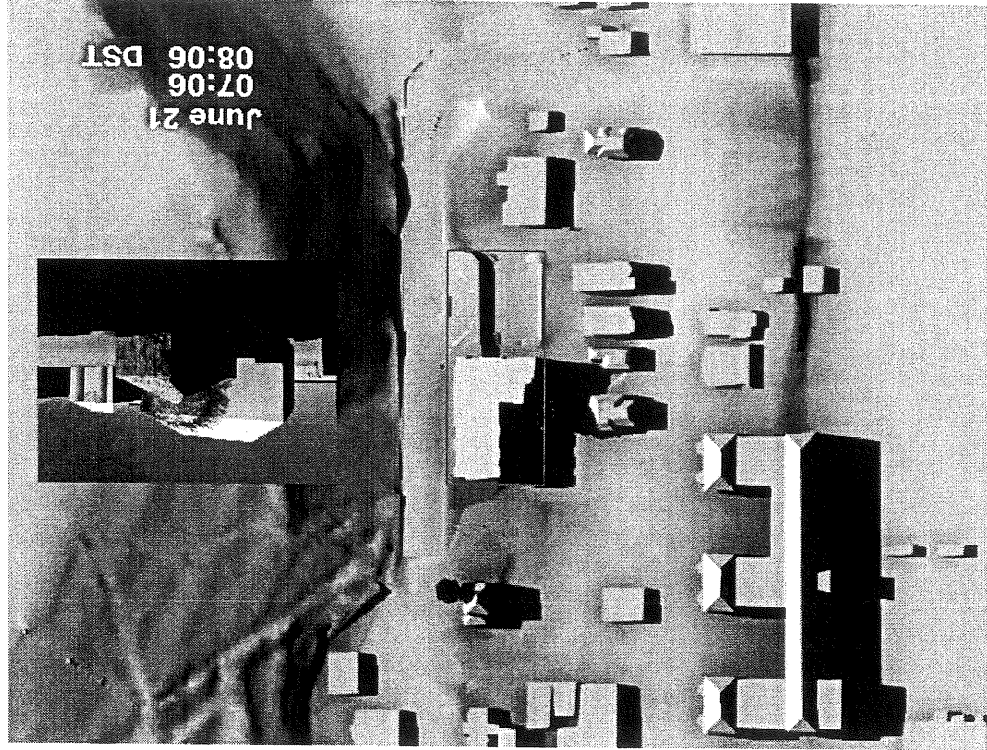
FLORENCE HOUSE
SUN/SHADOW STUDY
July 18, 2007



FLORENCE HOUSE
SUN/SHADOW STUDY
July 18, 2007

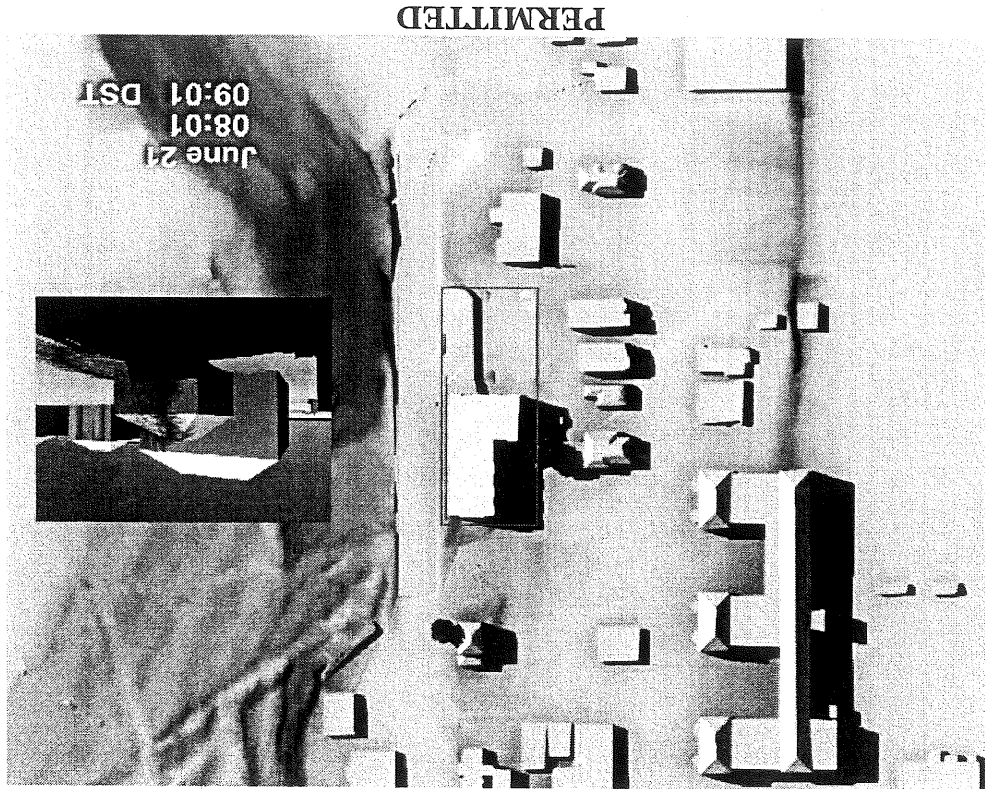


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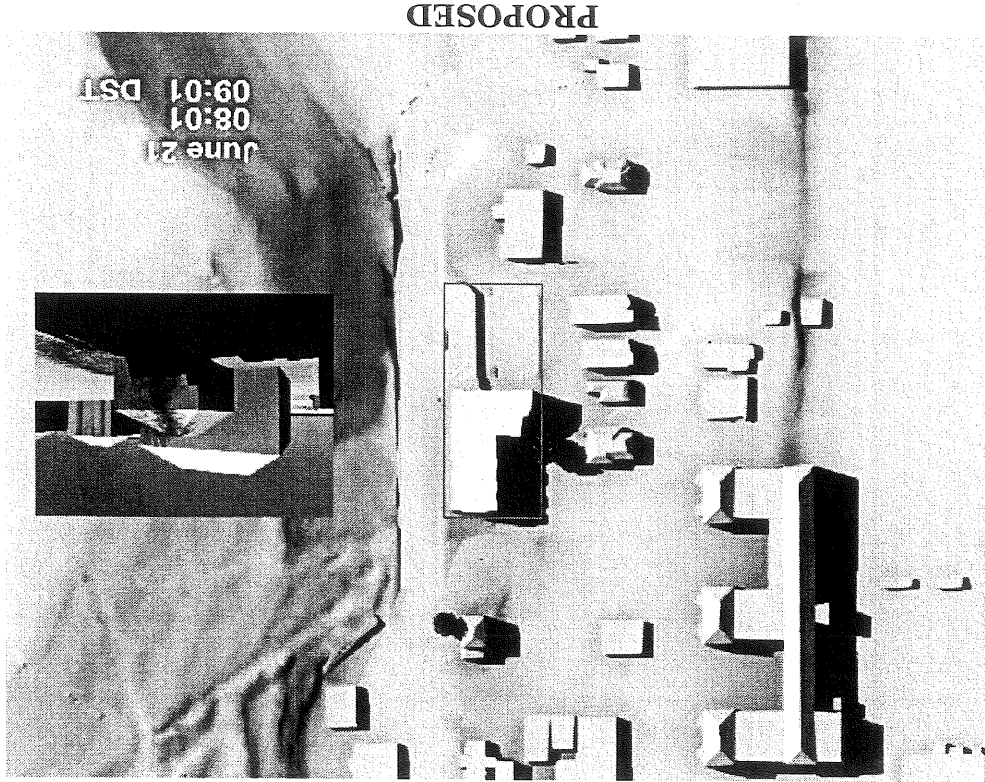


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FLORENCE HOUSE
SUN/SHADOW STUDY
July 18, 2007

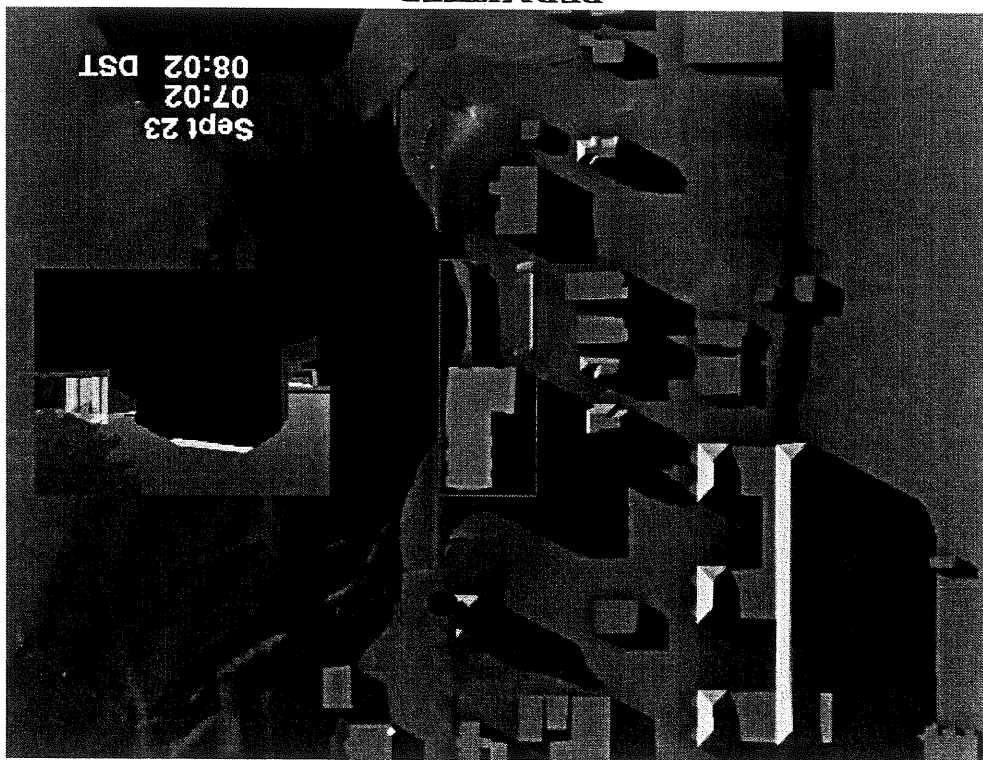


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PROPOSED

FLORENCE HOUSE
SUN/SHADOW STUDY
July 18, 2007

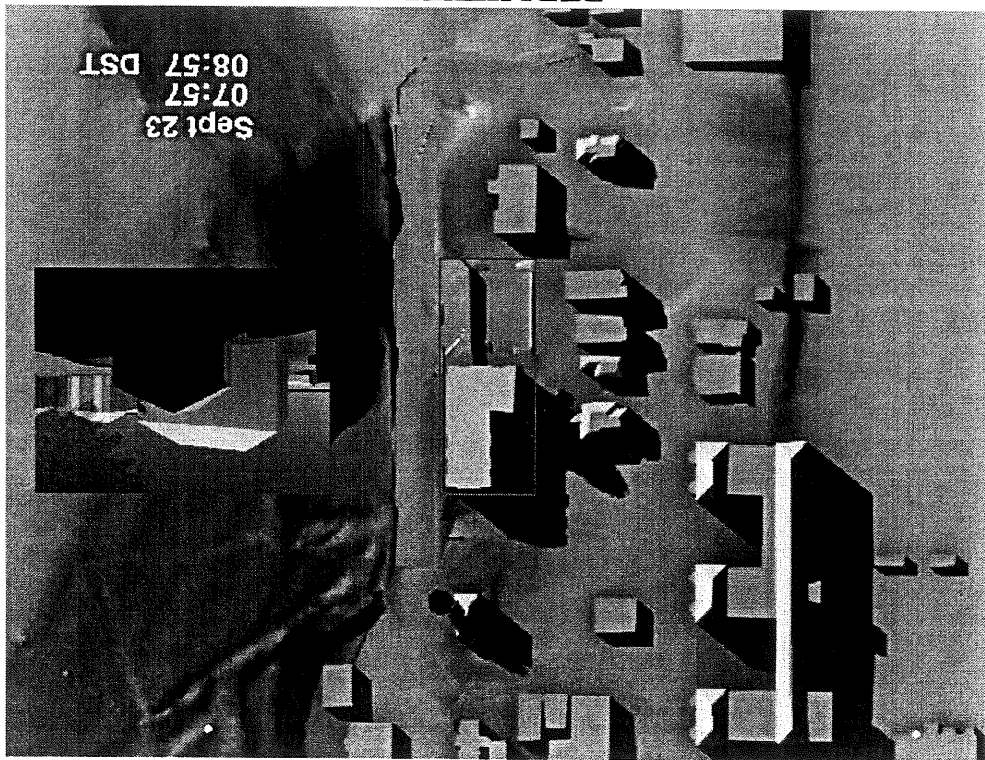


PERMITTED

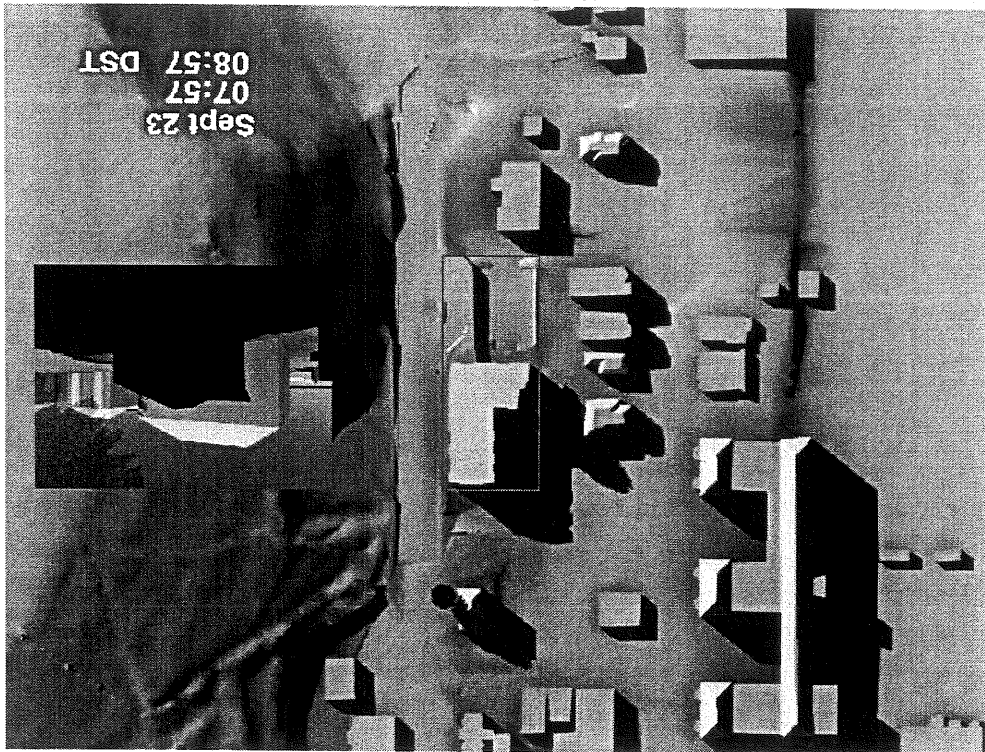


PROPOSED

FLORENCE HOUSE
SUN/SHADOW STUDY
July 18, 2007

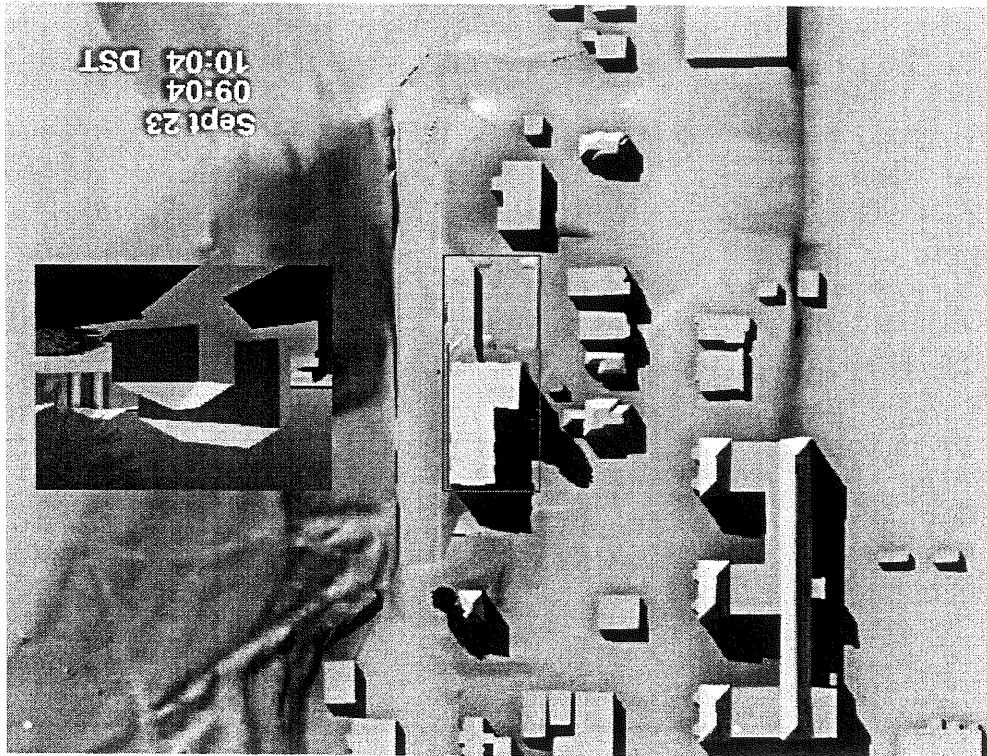


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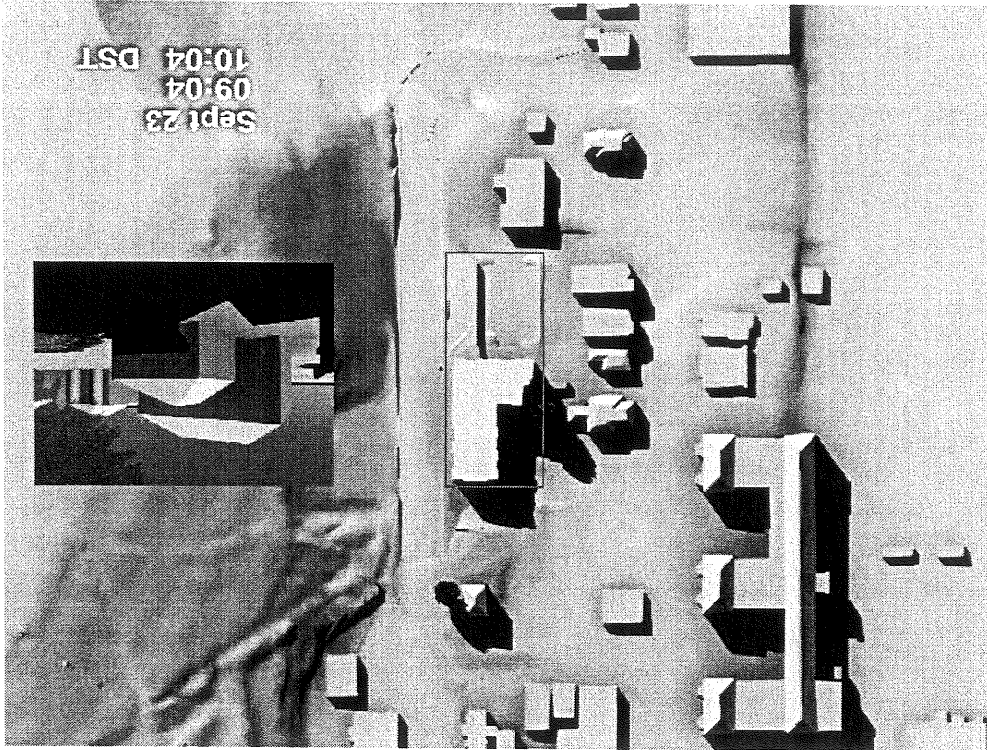


PROPOSED

FLORENCE HOUSE
SUN/SHADOW STUDY
July 18, 2007



PERMITTED



PROPOSED

Submitted 9

July 31, 2007

(25 pages)

Ms. Jean Fraser, Planner
and Planning Board Members
City of Portland
389 Congress Street, 4th Floor
Portland, Maine 04101

RE: Florence House
Planning Board Hearing

Dear Jean and Board Members:

On behalf of Avesta Housing, we are pleased to submit additional information regarding the proposed contract zone application for Florence House located at 190 Valley Street in Portland. Also included is information in response to comments we received by planning board members, planning staff and/or neighbors during the planning board workshop on July 24, 2007.

In response to the review and feedback we have received, the design team has made minor revisions and/or clarifications to previously submitted material. The primary revisions are as follows:

1. **Conditional Zone Agreement, Final Draft.** The CZA includes revisions based on comments from the Planning Board and Planning Staff, and also includes associated attachments (site plan, architectural and the setback exhibit).

2. **Logan Place Cost Benefit Analysis.** This data is excerpted from *The Cost of Homelessness in Maine Project*, which is a research project analyzing the cost of homelessness in the State of Maine and establishing the comparable financial and social costs of permanent supportive housing. The project, which began June 1, 2006, is funded by the Corporation for Supportive Housing through MaineHousing and is being conducted by Shalom House, Inc. with University of New England faculty.

(Excluded Page)
Attachment 1 (in A)

3. **Analysis of Logan Place Police Calls – prepared by Mark Swann, Executive Director, Preble Street.** This is a summary of Mark's comments at the Planning Board Workshop on July 24, 2007. While it is not possible to separate out police calls made specifically related to women at Logan Place, the May 22, 2007 submission contains information on police calls made to the Preble Street Women's Shelter and the WCA when it was in operation.
4. **Sun/Shadow Study.** An animated shadow study comparing the shadow impact of a proposed versus permitted building was presented at the July 24, 2007 workshop. A handout summarizing key shadow moments was distributed at that time. The attached handout also includes the time at which the shadow cast by the Western Promenade leaves the garage of the abutting property if the site was devoid of structures, per the request of Planning Staff.
5. **Additional Information**
 - **Roof top mechanicals:** The July 11, 2007 submission included Exhibit A105 Roof Plan. This exhibit outlines the area in which any necessary rooftop mechanicals would be contained. As the full mechanical system has not yet been designed, specific dimensions and sizes are still unknown at this time.
 - **Tenant Parking:** As outlined in the Parking Analysis submitted on April 2, 2007, Logan Place staff report "there are always empty spaces in the lot, primarily because (a) only two residents of Logan Place have parked automobiles at the project since it opened two years ago, and (b) their visitors rarely come in automobiles . . .". This report remains unchanged as of July 31, 2007.
 - **Bus Information:** As part of our original submission, dated April 2, 2007, we presented information regarding Metro service to the site. Two bus stops exist on St. John Street at the intersections with C Street and D Street. Discussions with Metro indicate the possibility of adding a stop on the corner of Valley Street and D Street, closer to our site. A metro brochure, map, and bus route #1 were included in the original submission.
6. **Revised Layout and Lighting Plan.** Note added to plan regarding setbacks: "See Conditional Zone Agreement for dimensions."

Ms. Jean Fraser, Planner
and Planning Board Members
Page 3 of 3

7. **Revised Basement Floor Plans.** The labels on rooms in the basement have been revised to match the Conditional Zone Agreement. Refer to the attached Basement Floor Plan.

8. **Signed/Sealed Existing Conditions Plan.** A signed/sealed ALTA/ACSM Land Title Survey prepared by Northeast Civil Solutions, has been included to meet submission requirements.

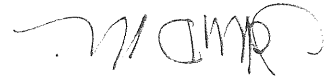
Submission

This follow-up submission for Contract Zone Application includes the following information:

1. Conditional Zone Agreement
2. Cost/Benefit Analysis of Logan Place
3. Analysis of Logan Place Police Calls
4. Sun/Shadow Study Video Simulation Handout
5. Sheet 2 – Layout and Lighting Plan
6. Sheet A 100 – Basement Floor Plan
7. ALTA/ACSM Land Title Survey

We look forward to the opportunity to meet with the Board for the Public Hearing on August 14, 2007. Should you have any questions, please do not hesitate to call.

Sincerely,
Mitchell & Associates



John D. Mitchell

Enclosures

cc. Debora Keller – Avesta Housing
Cito Selinger – Curtis, Thaxter, Stevens, Broder & Michollean
Rebecca Dillon – Gawron Turgeon Architects

LOGAN PLACE COST BENEFIT ANALYSIS

Moving homeless people off the street is the right thing to do from a MORAL perspective. The June 2007 update to a study of Logan Place shows dramatically that "Housing First" also makes ECONOMIC sense.

Health Care
 Costs plummeted from \$274,000 per year to \$83,000
70% DECREASE

Mental Health Care
 Costs related to mental health treatment dropped from \$237,000 to \$15,000 while providing more frequent contacts
94% DECREASE

Ambulance Use
 Costs dropped from \$36,790 to \$10,525
71% DECREASE

Emergency Room Visits
 Costs dropped from \$108,109 to \$27,713
74% DECREASE

In addition, preliminary results of the study, reported in February 2007, indicate equally positive results:

Jail Time: The following numbers represent the number of jail days and associated costs for the 12 Logan Place tenants who had contact with the jail during the study time frame.

2 years before housing 184 days - \$19,130
 1 year before housing 176 days - \$18,298

1 year after housing 21 days - \$2,183
 2 years after housing 13 days - \$1,351
88% DECREASE

Police Contacts: Logan Place tenants saw a sharp decline in the number of police contacts after moving in. Police contacts decreased by 80% during the first year of housing.

2 years before housing 60 police contacts – cost per contact pending
 1 year before housing 97 police contacts

1 year after housing 19 police contacts
 2 years after housing 11 police contacts
81% DECREASE

Detoxification Programs: The following numbers represent the number of detoxification bed nights and associated costs for the five Logan Place tenants who used these services.

2 years before housing 71 bednights - \$19,585
 1 year before housing 46 bednights - \$12,689

1 year after housing 18 bednights - \$4,965
 2 years after housing 0 bednights - \$ 0
61% DECREASE

Emergency Shelters: Two shelters were included in this study, the City of Portland's Oxford Street Shelter and Milestone Foundation. All tenants of Logan Place used one or both of these emergency shelters.

2 years before housing 4,595 bednights - \$205,166
 1 year before housing 5,127 bednights - \$228,920

1 year after housing 134 bednights - \$ 5,983
 2 years after housing 1 bednights - \$ 44
99% DECREASE

CONDITIONAL ZONE AGREEMENT

**AVESTA FLORENCE HOUSE LP, FLORENCE HOUSE HOUSING CORPORATION
AND FLORENCE HOUSE CONDOMINIUM ASSOCIATION**

AGREEMENT made this _____ day of _____, 2007 by AVESTA FLORENCE HOUSE LP, a Maine limited partnership with a place of business in Portland, Maine ("Florence House"), FLORENCE HOUSE HOUSING CORPORATION, a Maine nonprofit corporation with a place of business in Portland, Maine, and each of their successors and assigns ("FHHC") and FLORENCE HOUSE CONDOMINIUM ASSOCIATION, a Maine nonprofit corporation (the "Association," the Association, FHHC and Florence House are sometimes collectively called "Owner")

W I T N E S S E T H

WHEREAS, Owner has acquired land and buildings located at 190 Valley Street in Portland, consisting of parcels shown on City of Portland Tax Map 64, Block F, Lot 20 and Tax Map 68, Block A, Lot 11, and more particularly described in a deed from C & D Associates dated _____, 2007 and recorded in the Cumberland County Registry of Deeds in Book _____, Page _____ (collectively the "Property"); and

WHEREAS, Owner intends to create a condominium within the proposed building to be built on the Property, which will consist of two units, as more particularly described in this Agreement, and the Association will be responsible for certain maintenance obligations as set forth in this Agreement; and

WHEREAS, Owner has requested a rezoning of the Property in order to permit the development of the project described in this Agreement within each unit of the condominium to be created by Owner; and

WHEREAS, Owner's funding sources require that each of the two condominium units be held in separate ownership; and

WHEREAS, the Portland City Council has determined the rezoning and proposed development would provide needed housing in the City for low income individuals as is consistent with the housing component of the Comprehensive Plan, and would not negatively impact the surrounding business and residential community; and

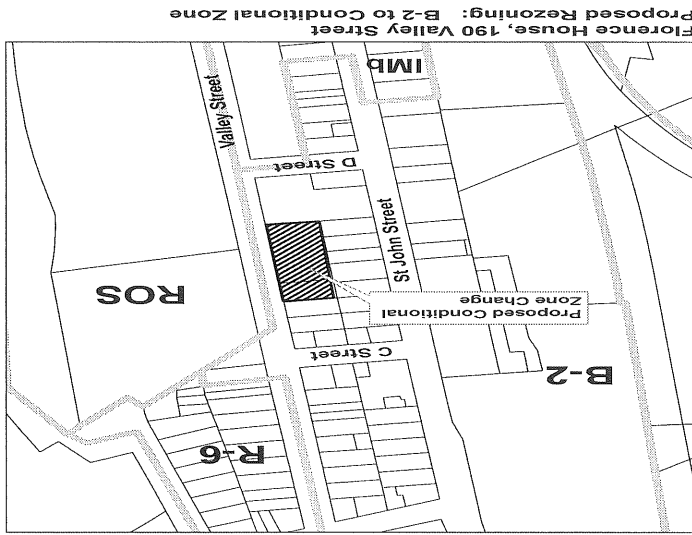
WHEREAS, the Portland City Council, pursuant to 30-A M.R.S.A. § 4352(8) and Portland City Land Use Code (the "Code") §§ 14-60 to 14-62, and after notice and hearing and due deliberation thereon, recommended the rezoning of the Property as aforesaid, subject, however, to the conditions set forth in this Agreement; and

WHEREAS, the City Council (the "City") has determined that because of the unusual nature and unique location of the proposed development it is necessary and appropriate to impose by agreement the following conditions and restrictions in order to ensure that the rezoning is consistent with the City's comprehensive land use plan; and

WHEREAS, the City Council has on _____, 2007 approved this Agreement in its entirety, by City Council Order No. _____, a true copy of which is attached hereto as Attachment 1 (the "Order");

NOW, THEREFORE, in consideration of the rezoning, Owner covenants and agrees as follows:

1. Pursuant to the Order, the City shall amend the Zoning Map of the City of Portland, dated _____, 200____ (as amended from time to time and on file in the Department of Planning and Urban Development, and incorporated by reference into the Zoning Ordinance by § 14-49 of the Code) by adopting the map change amendment shown below. If this Agreement is not recorded within sixty days after the date of the approval of the Order, then the conditional rezoning shall become null and void and the zoning of the Property shall revert to the pre-existing B-2 zone.



2. The building to be built on the Property is being developed as a two-unit condominium, to be called Florence House Condominium (the "Condominium").

a. Unit 1 of the Condominium shall consist of the following uses which are permitted under and subject to this Agreement:

i. On the first floor of the building:

1. maximum capacity of 40 beds (up to 25 emergency shelter beds and 15 safe haven beds) for women only. For purposes of this Agreement, the term "emergency shelter" has the meaning given

Unit 1 shall be owned by FHHC or an entity wholly owned by or affiliated with Avesta Housing Development Corporation, a Maine nonprofit corporation ("Avesta"), and Unit 2 shall be owned by Avesta Florence House LP. The Association shall have and fulfill the responsibilities set forth in the Maine Condominium Act, 33, M.R.S.A. Section 1601-101 et seq. Each of FHHC and Florence House shall retain sole discretion as to what level of social services to provide to the residents of Units 1 and 2, respectively. At minimum, however, there shall be adequate, on-site, awake staff, consisting of not less than three persons, providing security for and supervision of residents of both Units 1 and 2 twenty four hours a day, seven days a week. The number of awake staff may be reduced pursuant to the Management Plan referred to in Section 6 below,

iii. One office, a laundry and a storage area on the third floor, all as shown on the floor plans attached hereto as Attachment 5. All uses described in this subsection (iii) shall be for providing services to the residents of Units 1 and 2 but not to the general public.

ii. One office, a community room and a community kitchen on the second floor, all as shown on the floor plans attached hereto as Attachment 4. All uses described in this subsection (ii) shall be for providing services to the residents of Units 1 and 2 but not to the general public.

i. Up to twenty-five affordable rental efficiency apartments (twelve on floor 2 and thirteen on floor 3) for women only on the second and third floors of the building ("Unit 2") as shown on the floor plans attached hereto as Attachments 4 and 5.

b. Unit 2 of the Condominium shall consist of the following uses which are permitted under and subject to this Agreement:

ii. On the basement level of the building, two offices, a conference room, an employee lounge, an open office area, three storage and three mechanical/maintenance rooms and a bicycle storage closet, all as shown on the floor plans attached hereto as Attachment 2. The facilities in the basement of the building shall be used for providing services to the residents of Units 1 and 2 but not to the general public. Any residential use within the basement of the building is strictly prohibited.

all as shown on the floor plans attached hereto as Attachment 3.

- 3. three offices
 - 2. laundry, kitchen and pantry as labeled; and
- the residents of the safe haven.;
- limited to individuals who are or were formerly homeless and/or are suffering from mental illness, substance abuse or other (disability), with appropriate levels of social services provided to provided, for individuals with special needs (such as but not means a facility or space providing semi-private accommodations with shared washroom facilities, with meals to it in Section 14-47 of the Code, and the term "safe haven"

based on operational history of the facility, and subject to approval by the Director of the City's Department of Health and Human Services.

3. Except as limited in Section 12 of this Agreement, execution of this Agreement binds FHHHC, Florence House and the Association and their respective successors and assigns to the terms of this Agreement.

4. Any change in ownership of either Unit 1 or Unit 2 shall be brought to the Planning Board for its review and approval, but this requirement shall not apply (i) with respect to Unit 1 so long as the transfer is to an entity that is either affiliated with or wholly owned by Avesta, provided notice of any such change is provided to the Planning Department in advance of such change, or (ii) to the granting of mortgages or other security interest by Owner or to the enforcement by the mortgagees of their rights under such mortgages.

5. The Association shall be responsible for ongoing maintenance of the Property, including snowplowing, salting, sanding, sweeping, lighting, trash pickup (at least weekly) by a private contractor, mowing, etc. If the Association fails to satisfy its obligations under this Section, after written notice and a reasonable opportunity to cure, then FHHHC and Florence House and their respective successors and assigns shall be jointly and severally liable for performance of the obligations set forth in this Section.

6. A Management Plan, containing, at minimum the following specific categories of control (Responsibilities, Staffing, Access Restrictions, Surveillance including functional surveillance cameras, Safety measures, Control of behaviors, Control of noise levels, and Monitoring reports) shall be submitted to the City for review and approval prior to site plan approval. Thereafter the Management Plan shall be implemented and enforced by the Association. Compliance review with respect to the Management Plan shall be performed by the City on a quarterly basis during the first year after issuance of a certificate of occupancy and at least annually thereafter, or as otherwise requested by the City, to ensure the effectiveness of such plan to protect the health, safety and welfare of the residents and the City as a whole. This Management Plan is subject to periodic updating, upon demand by the City, should it be determined by the City that the Management Plan in place is ineffective or as otherwise reasonably necessary to achieve its purposes. By virtue of this Agreement, the Association agrees to and shall be bound to amend, fund and implement the Management Plan. Should the Association fail to fulfill this obligation, FHHHC and Florence House and their respective successors and assigns shall be responsible for the amendment, funding and implementing of such plan; provided, however, that if FHHHC is unable to secure sufficient funding for the continued implementation of such plan, Florence House shall have the option of seeking an amendment to this Agreement terminating this Agreement as to Unit 1 only, and in the event Florence House seeks such an amendment, any obligation of Florence House to operate Unit 1 in the manner provided in this Agreement shall immediately terminate, and Unit 1 thereafter may not be operated in the manner set forth in Section 2(a) of this Agreement.

7. The Property will be developed substantially in accordance with the Site Plan, including but not limited to elevations, floor plans, roof plans and height depictions, shown on Attachments 2 through 9, submitted by Mitchell and Associates dated _____, 2007.

b. Minimum rear yard:

a. Density: Maximum density shall be no more than 40 beds for women only on the first floor including up to 25 emergency shelter beds and 15 safe haven beds; and up to twenty five affordable rental efficiency apartments for women only on the second and third floors, with associated ancillary service space as detailed in paragraph 2. above.

R-6:

Unit 1: 9 parking spaces.
Unit 2: 7 parking spaces.

e. Parking requirements:

c. Minimum side yard on northerly property line: 5 feet
d. Maximum lot coverage: 40%

- i. 11 foot setback for basement and first floor for a distance of 50 feet as shown on Attachment 10:
- ii. 11 foot setback for second and third floors for a distance of 21 feet as shown on Attachment 10:
- iii. 14 foot setback for second and third floors for a distance of 8 feet as shown on Attachment 10:
- iv. 47 foot setback for remaining portion of the building as shown on Attachment 10.

b. Minimum rear yard: 11 feet as follows:

a. Occupancy and Density: Maximum occupancy (not including staff) and density shall be no more than 40 beds for women only on the first floor including up to 25 emergency shelter beds and 15 safe haven beds; and up to twenty five affordable rental efficiency apartments on the second and third floors, with associated ancillary service space as detailed in paragraph 2. above.

B-2:

9. Space and Bulk Requirements. The following space and bulk requirements shall apply to the Property:

8. The Planning Board shall review and approve the development of the building according to the site plan and subdivision provisions of the Code.

12. In the event of a breach by Owner or its successors or assigns of the zoning provisions contained herein (whether the Zoning Administrator, the Zoning Board of Appeals or a court determines such breach), the Planning Board, after notice and hearing, may recommend to the City Council that the Conditional Zone and this Agreement be amended, or be rescinded, such rescission to result in the termination of this Agreement and a reversion of the Property to the B-2 zone in place before the execution of this Agreement.

11. The provisions of this Agreement, including the permitted uses listed in paragraph 2, are intended to supersede the uses and requirements of the underlying B-2 zone. To the extent not otherwise altered herein, the limitations and requirements for the underlying B-2 (and the R-6 by reference therein) zone shall apply to this site.

40% of units at 60% of Area Median Income

60% of units at 50% of Area Median Income

10. Florence House agrees to maintain, for a term of 90 years, the rent levels and income requirements for the efficiency affordable rental apartments in Unit 2 as follows:

To the extent not otherwise altered herein, the zoning requirements for the underlying B-2 zone (and the R-6 by reference therein) shall apply to this site.

The measurement of building height per code is the vertical measurement from grade to the highest point on the roof beams in a flat roof. The average grade of the site, post construction, is 46.81 feet. The building height proposed here, taking into account the average grade, complies in all respects with the building height permitted in the B-2 (45 feet) and R-6 (45 feet) zones and need not be altered herein.

Unit 1: 9 parking spaces.
Unit 2: 7 parking spaces.

- c. Minimum side yard on northerly property line: 5 feet
- d. Maximum lot coverage: 40%
- e. Minimum front yard: none required
- f. Open space ratio: 26 %.
- g. Parking requirements:

- i. 11 foot setback for basement and first floor for a distance of 50 feet as shown on Attachment 10:
- ii. 11 foot setback for second and third floors for a distance of 21 feet as shown on Attachment 10:
- iii. 14 foot setback for second and third floors for a distance of 8 feet as shown on Attachment 10:
- iv. 47 foot setback for remaining portion of the building as shown on Attachment 10.

In the event that either Florence House or FHHC, or their approved successors and assigns, defaults in its respective obligations hereunder and fails to remedy said default within a reasonable period of time after written notice from the City, this Amended and Restated Conditional Zone Agreement shall remain in full force and effect with respect to the portion of the Property occupied by the non-defaulting party. Neither Florence House nor FHHC shall have any obligation to operate an emergency shelter or a safe haven or associated social services otherwise permitted in this Agreement, but FHHC and Florence House shall have the obligation to fulfill the requirements of Section 5 and 6 above as and to the extent detailed therein. Each party shall have the right (but not the obligation) to cure any default or violation of the defaulting party under this Agreement.

13. The above stated restrictions, provisions, and conditions are an essential part of this Conditional Rezoning Agreement, shall run with the Property, shall bind and benefit Owner, any entity affiliated with Owner that takes title to the Property, their successors and assigns, and any party in possession or occupancy of said Property or any part thereof, and shall inure to the benefit of and be enforceable by the City, by and through its duly authorized representatives. Owner shall file a counterpart original of this Agreement in the Cumberland County Registry of Deeds.

14. If any of the restrictions, provisions, conditions, or portions thereof set forth herein is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed as a separate, distinct, and independent provision and such determination shall not affect the validity of the remaining portions hereof.

15. Except as expressly modified herein, the development, use, and occupancy of the subject premises shall be governed by and comply with the provisions of the Portland City Code and any applicable amendments thereto or replacement thereof.

WITNESS:

AVESTA FLORENCE HOUSE LP
 BY: Pinetree Housing Development LLC,
 its General Partner
 BY: Avesta Housing Development
 Corporation, its Sole Member

 By Dana Totman, its President

FLORENCE HOUSE HOUSING
 CORPORATION

 By Dana Totman, its President

FLORENCE HOUSE CONDOMINIUM
ASSOCIATION

By: _____
Dana Totman, its President

STATE OF MAINE
CUMBERLAND, ss. _____

_____, 2007

Personally appeared before me the above-named Dana Totman, in his capacity as President of Avesta Housing Development Corporation, Sole Member of Pinetree Housing Development LLC, General Partner of Avesta Florence House LP, as President of Florence House Housing Corporation, and as President of Florence House Condominium Association, as aforesaid, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporations, limited liability company and limited partnership.

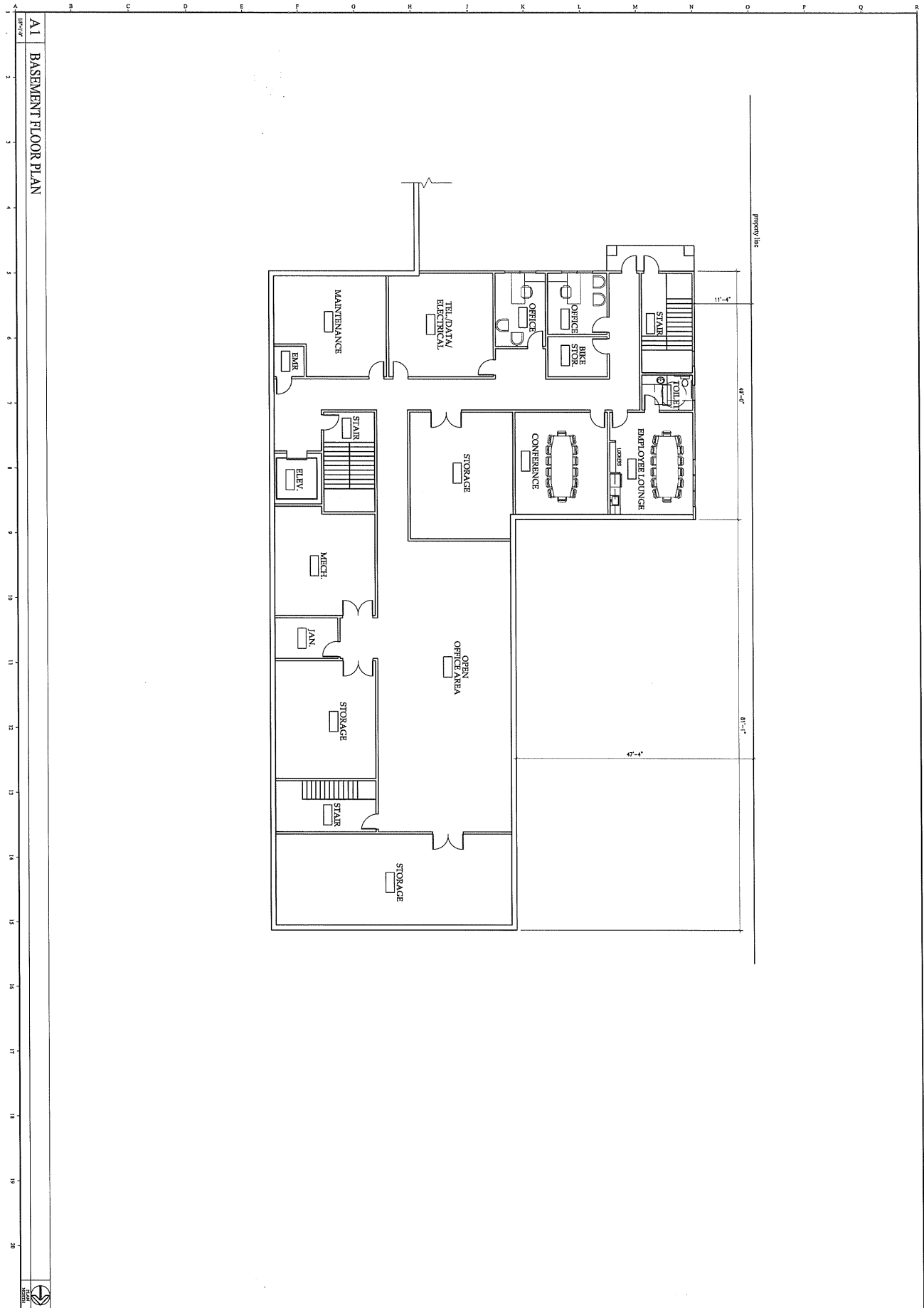
Before me,

Notary Public/Attorney at Law

LIST OF ATTACHMENTS

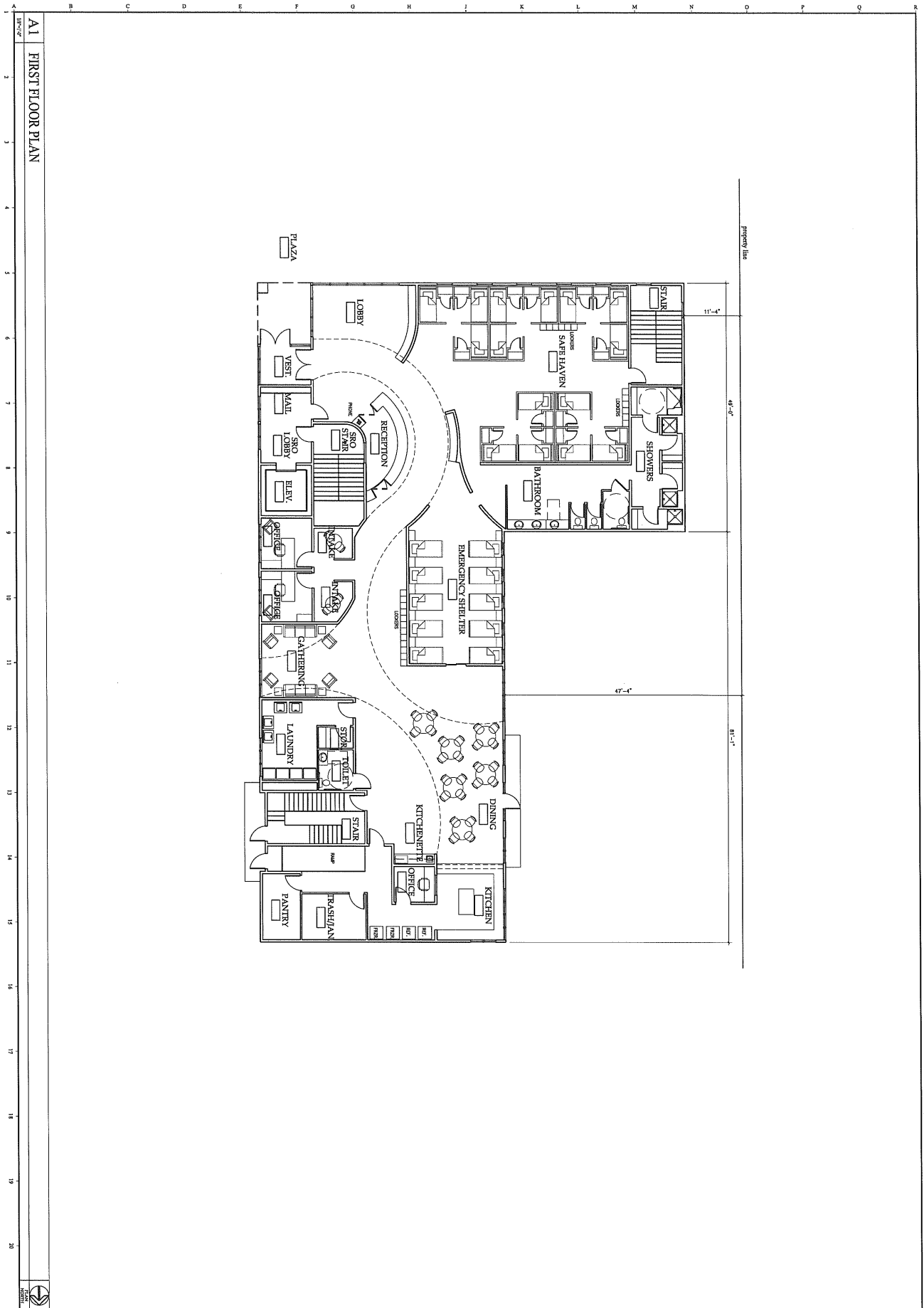
| <u>Attachment no:</u> | <u>Description:</u> |
|-----------------------|------------------------|
| 1. | City Council Order |
| 2. | A100 Basement Plan |
| 3. | A101 First Floor Plan |
| 4. | A102 Second Floor Plan |
| 5. | A103 Third Floor Plan |
| 6. | A106 Roof Plans |
| 7. | A401 Elevations |
| 8. | A402 Elevations |
| 9. | Site Plan |
| 10. | Building setback plan |

O:\MAS\99475 Avesta\Florence House\Land use\Florence House CZA 8_2_07_Final.doc



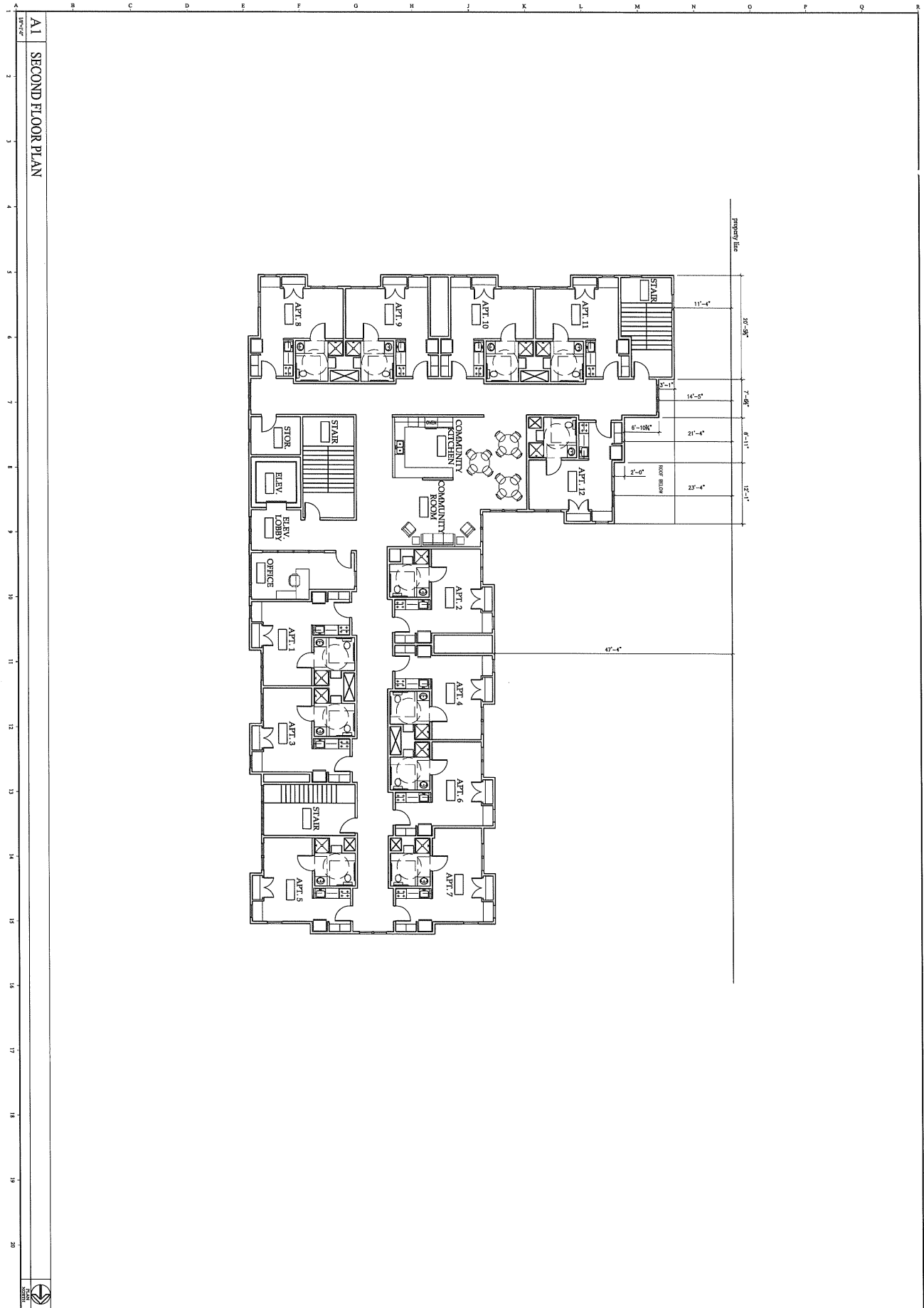
A1 BASEMENT FLOOR PLAN

| <p>GAWRON TURCHON ARCHITECTS 29 Shick Point Road Scarborough, ME 04075 Tel. 207.883.6587 Fax. 207.883.0361</p> | <p>AVESTA HOUSING</p> | <p>FLORENCE HOUSE PORTLAND, MAINE</p> | <p>Prestige Steel</p> | <p>REVISIONS</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>11/01/10</td> <td>ISSUED FOR PERMITS</td> </tr> <tr> <td>2</td> <td>11/01/10</td> <td>REVISIONS TO PERMITS</td> </tr> <tr> <td>3</td> <td>11/01/10</td> <td>REVISIONS TO PERMITS</td> </tr> <tr> <td>4</td> <td>11/01/10</td> <td>REVISIONS TO PERMITS</td> </tr> </table> | NO. | DATE | DESCRIPTION | 1 | 11/01/10 | ISSUED FOR PERMITS | 2 | 11/01/10 | REVISIONS TO PERMITS | 3 | 11/01/10 | REVISIONS TO PERMITS | 4 | 11/01/10 | REVISIONS TO PERMITS | <p>DATE: 11/01/10 PROJECT: 10904 DRAWN BY: ATD CHECKED BY: ENB PERMANENT SCALE: 1/8" = 1'-0"</p> |
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| 3 | 11/01/10 | REVISIONS TO PERMITS | | | | | | | | | | | | | | | | | | |
| 4 | 11/01/10 | REVISIONS TO PERMITS | | | | | | | | | | | | | | | | | | |
| <p>SHEET TITLE: BASEMENT FLOOR PLAN</p> <p>A 100</p> | | | | | | | | | | | | | | | | | | | | |



A1 FIRST FLOOR PLAN

|  <p>GAWRON TURGEON ARCHITECTS 29 Shick Point Road Scarborough, ME 04074 Tel: 207.883.6587 Fax: 207.883.6581</p> |  <p>AVESTA HOUSING</p> | <p>FLORENCE HOUSE PORTLAND, MAINE</p> | <p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>10/15/10</td> <td>CONCEPTUAL DESIGN</td> </tr> <tr> <td>2</td> <td>10/15/10</td> <td>CONCEPTUAL DESIGN</td> </tr> <tr> <td>3</td> <td>11/15/10</td> <td>CONCEPTUAL DESIGN</td> </tr> </tbody> </table> | NO. | DATE | DESCRIPTION | 1 | 10/15/10 | CONCEPTUAL DESIGN | 2 | 10/15/10 | CONCEPTUAL DESIGN | 3 | 11/15/10 | CONCEPTUAL DESIGN | <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>DATE:</td> <td>11/08/10</td> </tr> <tr> <td>PROJECT:</td> <td>10609</td> </tr> <tr> <td>DRAWN BY:</td> <td>SLD</td> </tr> <tr> <td>CHECKED BY:</td> <td>SWG</td> </tr> <tr> <td>DATE:</td> <td>11/15/10</td> </tr> </table> <p>SHEET TITLE FIRST FLOOR PLAN</p> <p style="text-align: center; font-size: 24pt; font-weight: bold;">A 101</p> | DATE: | 11/08/10 | PROJECT: | 10609 | DRAWN BY: | SLD | CHECKED BY: | SWG | DATE: | 11/15/10 |
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| PROJECT: | 10609 | | | | | | | | | | | | | | | | | | | | | | | | | |
| DRAWN BY: | SLD | | | | | | | | | | | | | | | | | | | | | | | | | |
| CHECKED BY: | SWG | | | | | | | | | | | | | | | | | | | | | | | | | |
| DATE: | 11/15/10 | | | | | | | | | | | | | | | | | | | | | | | | | |



A1 SECOND FLOOR PLAN

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20



A 102

SECOND FLOOR PLAN

SHEET TITLE

| | |
|-------------|---------|
| DATE | 7/18/07 |
| PROJECT | 10000 |
| DRAWN BY | SD |
| CHECKED BY | EM |
| EXAMINED BY | EM-107 |

| REVISIONS | |
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| DATE | REVISIONS |
| 7/18/07 | ISSUED FOR PERMIT |
| 7/18/07 | REVISIONS PERMIT |
| 7/18/07 | REVISIONS PERMIT |

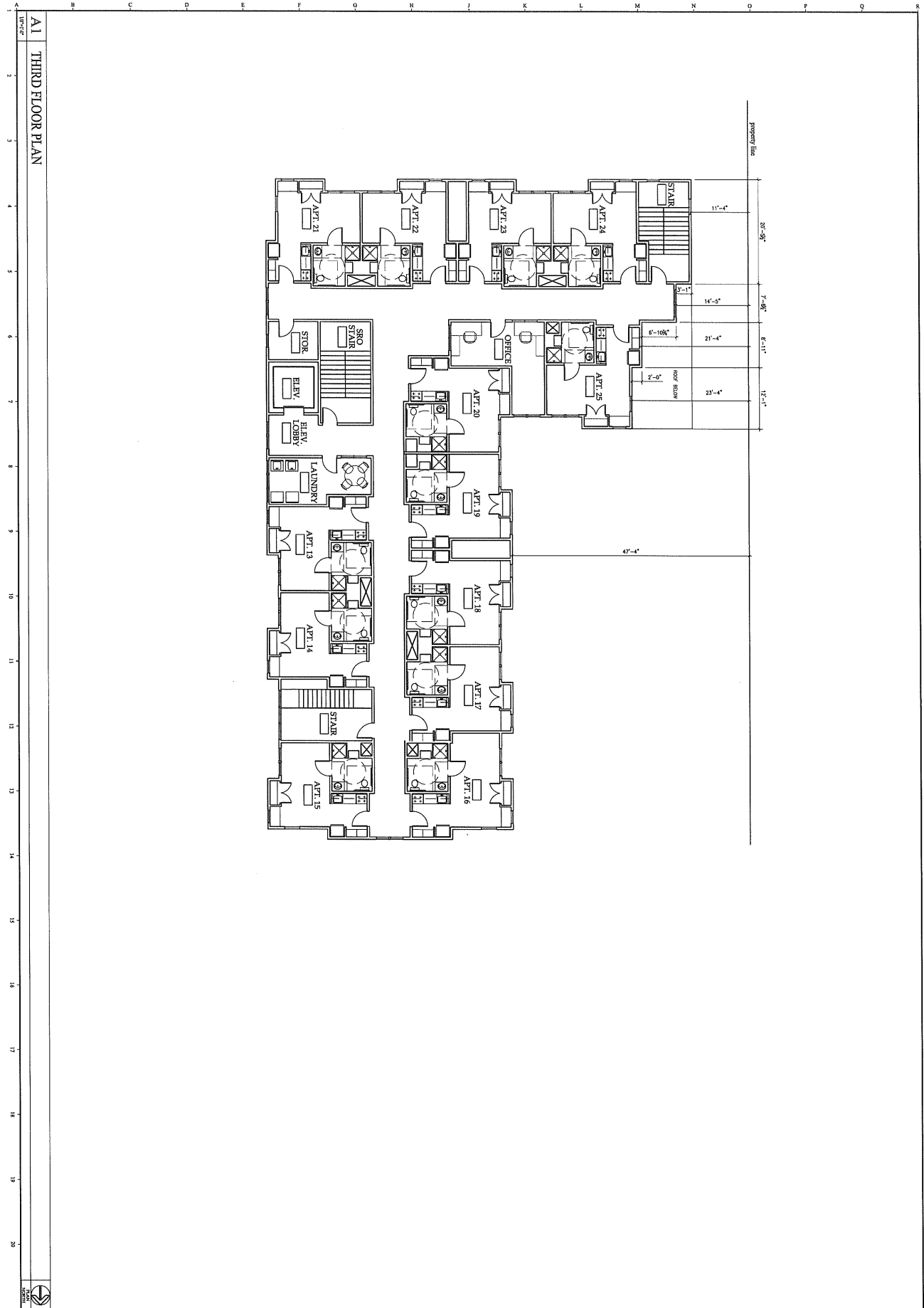


FLORENCE HOUSE
PORTLAND, MAINE



GAWRON TURCHEON ARCHITECTS
29 Black Point Road
Portland, ME 04106
Tel: 207 883 6587
www.gawronturcheon.com
Tel: 207 883 6581





A1 THIRD FLOOR PLAN



A 103

THIRD FLOOR PLAN

SHEET TITLE

| | |
|---------------|------------|
| DATE | 1/10/07 |
| PROJECT | 10002 |
| DRAWN BY | MD |
| CHECKED BY | SWG |
| DRAWING SCALE | 1/8"=1'-0" |

| REVISIONS | |
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| 2 | REVISED PER PERMIT |
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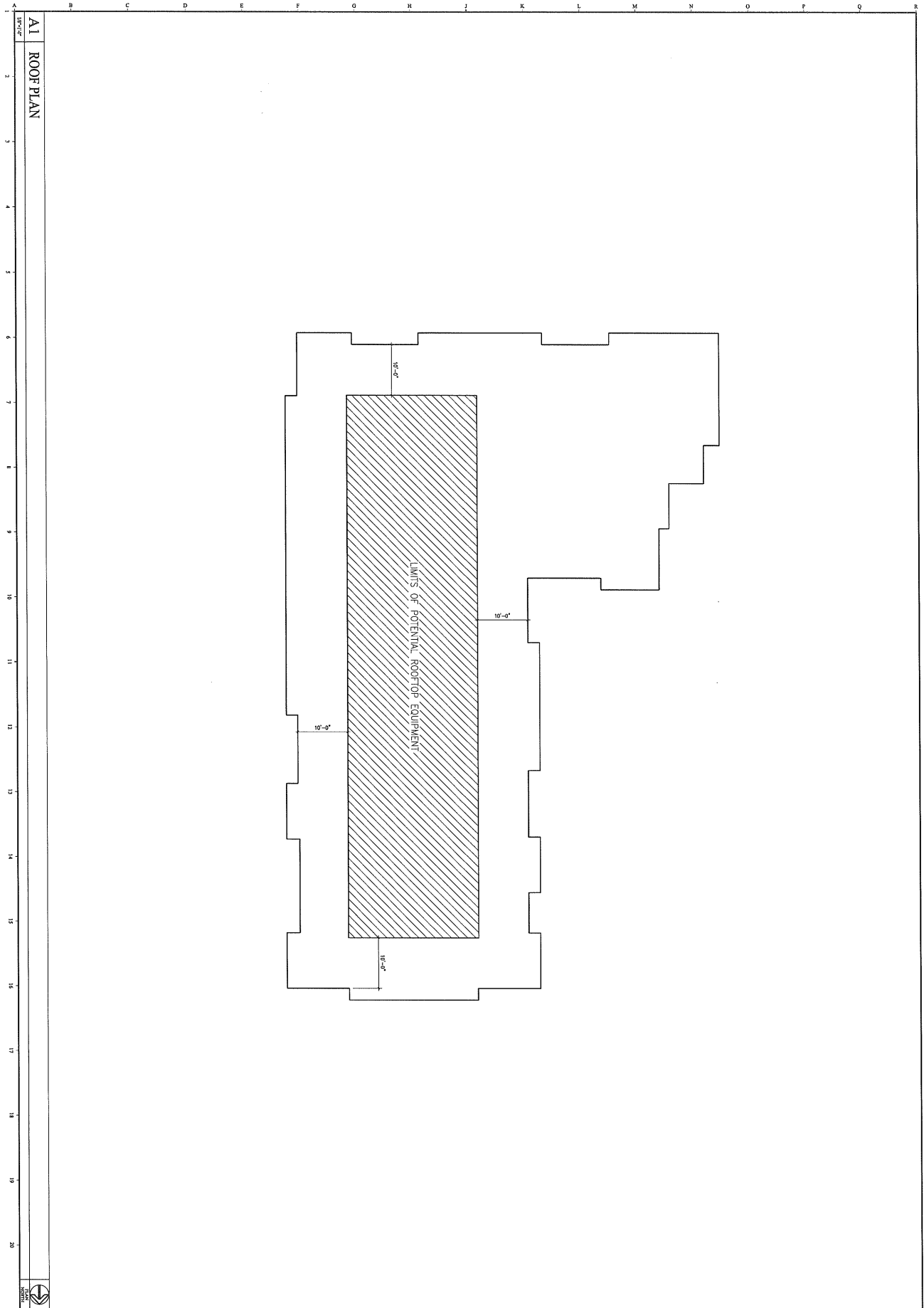


FLORENCE HOUSE
PORTLAND, MAINE



GAWRON TURCHON ARCHITECTS
29 Black Point Road
Portland, ME 04106
Tel: 207 883 0327
www.gawronturchon.com
Tel: 207 883 0331





A1 ROOF PLAN

A B C D E F G H I J K L M N O P Q R
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20

GAVRON
TURCHON
ARCHITECTS
29 Black Point Road
Scarborough, ME 04074
Tel: 207 883 6587
Fax: 207 883 0381

AMESTA
HOUSING

FLORENCE HOUSE
PORTLAND, MAINE

Prestige
Steel

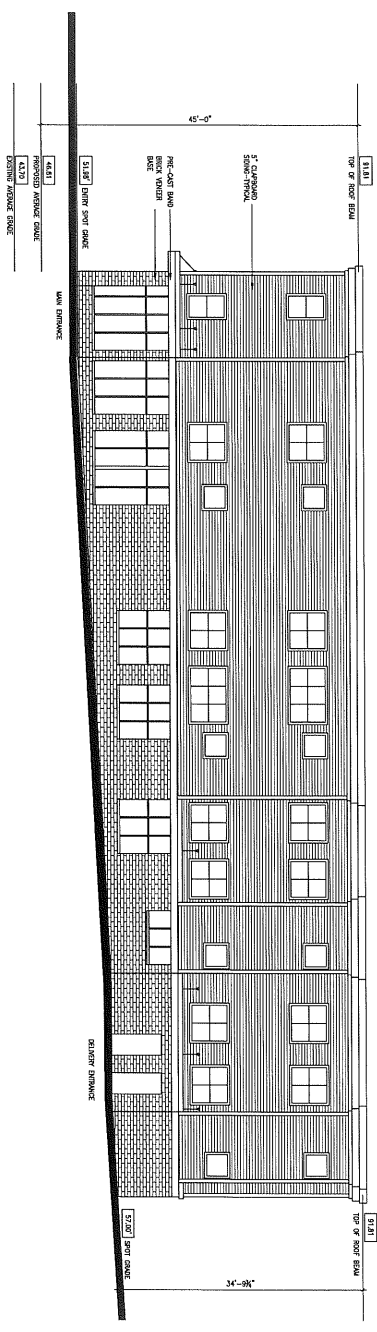
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|---|-------|---------------|
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| 2 | 11/09 | REVISION FROM |
| 3 | 11/09 | REVISION FROM |

| | |
|---------------|--------------|
| DATE | 11/09 |
| PROJECT | 10002 |
| DRAWN BY | STB |
| CHECKED BY | EMG |
| DRAWING SCALE | 1/8" = 1'-0" |

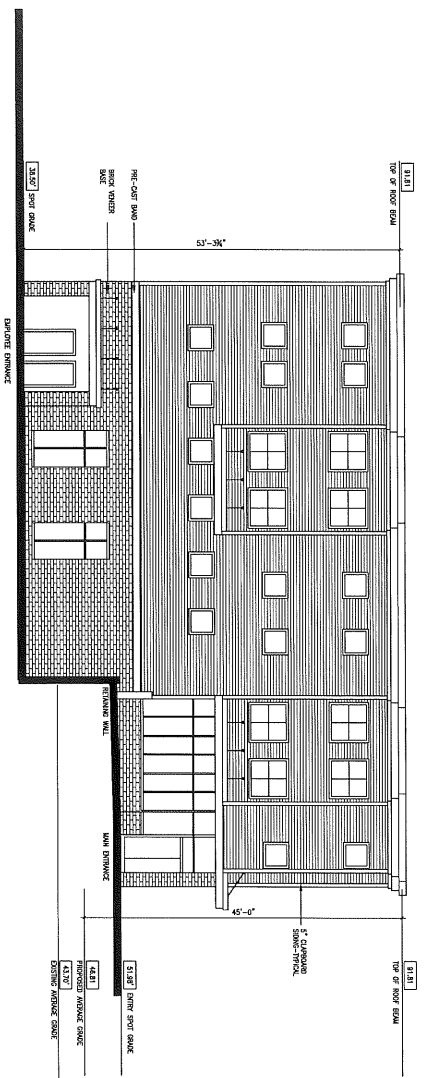
SHEET TITLE
ROOF
PLAN

A 105

ATTACHMENT 7



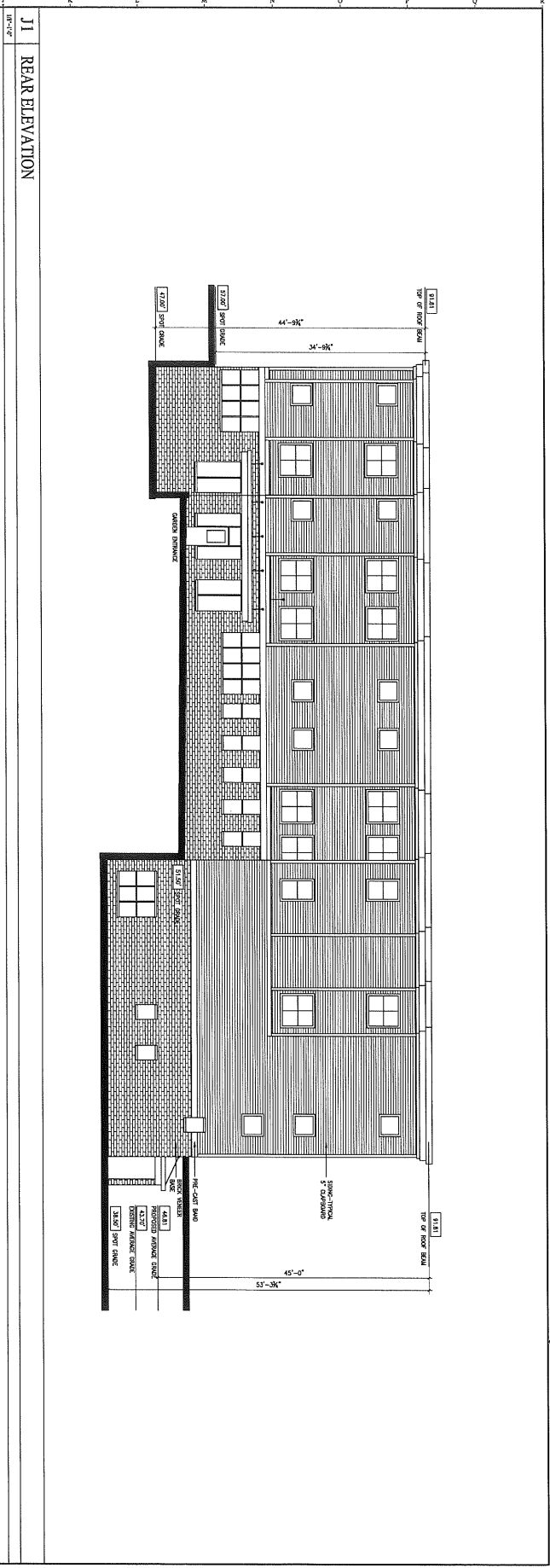
J1 VALLEY STREET ELEVATION



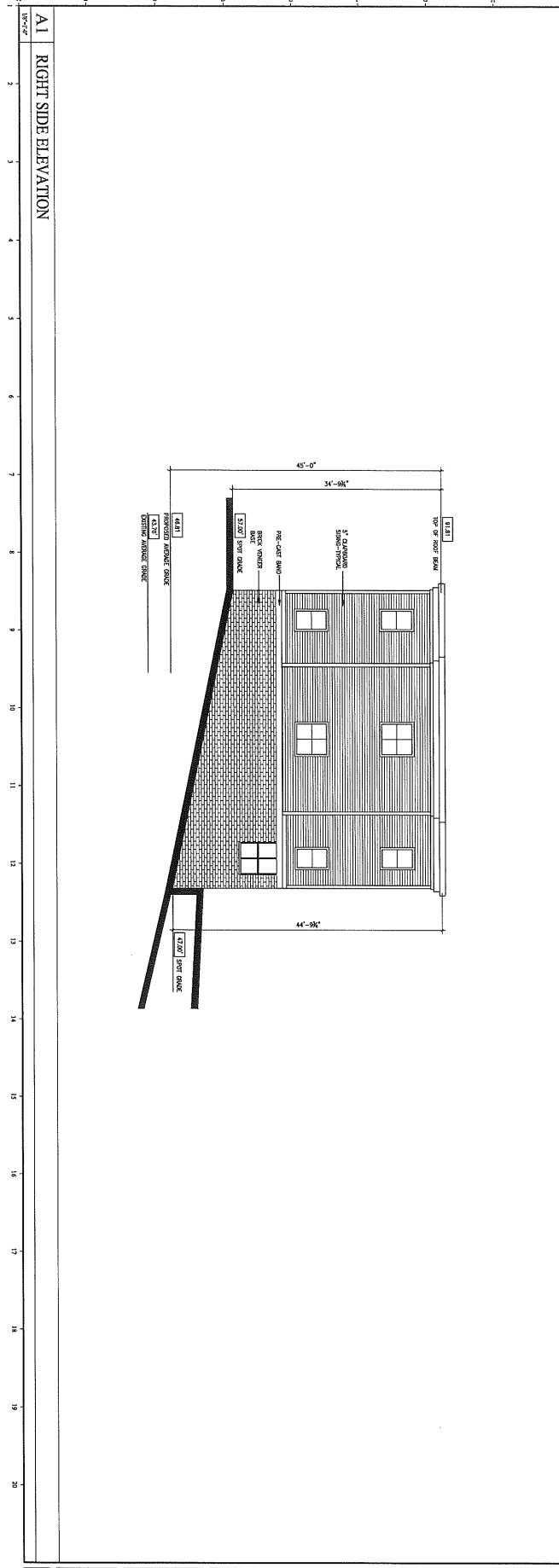
A1 LEFT SIDE ELEVATION

2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20

| <p>GAWRON TURCHON ARCHITECTS 29 Shick Park Road Portland, ME 04106 Tel: 207.883.6587 www.gawronturchon.com</p> | <p>AVESTA HOLDINGS</p> | <p>Prestige Street</p> | <p>FLORENCE HOUSE PORTLAND, MAINE</p> | | | | | | | | | | |
|--|-------------------------------|--|--|--|---|------|-------------|---|----------|--------------------|---|----------|--------------------|
| | | | <p>REVISIONS</p> <table border="1"> <thead> <tr> <th>1</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>10/20/15</td> <td>ISSUED FOR PERMITS</td> </tr> <tr> <td>2</td> <td>11/10/15</td> <td>ISSUED FOR PERMITS</td> </tr> <tr> <td>3</td> <td>11/10/15</td> <td>ISSUED FOR PERMITS</td> </tr> </tbody> </table> | | 1 | DATE | DESCRIPTION | 1 | 10/20/15 | ISSUED FOR PERMITS | 2 | 11/10/15 | ISSUED FOR PERMITS |
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| 3 | 11/10/15 | ISSUED FOR PERMITS | | | | | | | | | | | |
| <p>DATE: 11/10/15</p> <p>PROJECT: 150605</p> <p>DRAWN BY: EJD</p> <p>CHECKED BY: EWD</p> <p>DRAWING SCALE: 1/8" = 1'-0"</p> | | <p>SHEET TITLE:</p> <p>ELEVATIONS</p> | | | | | | | | | | | |
| <p>A401</p> | | <p>© COPYRIGHT 2015 BY GAWRON TURCHON ARCHITECTS. ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF GAWRON TURCHON ARCHITECTS AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF GAWRON TURCHON ARCHITECTS.</p> | | | | | | | | | | | |

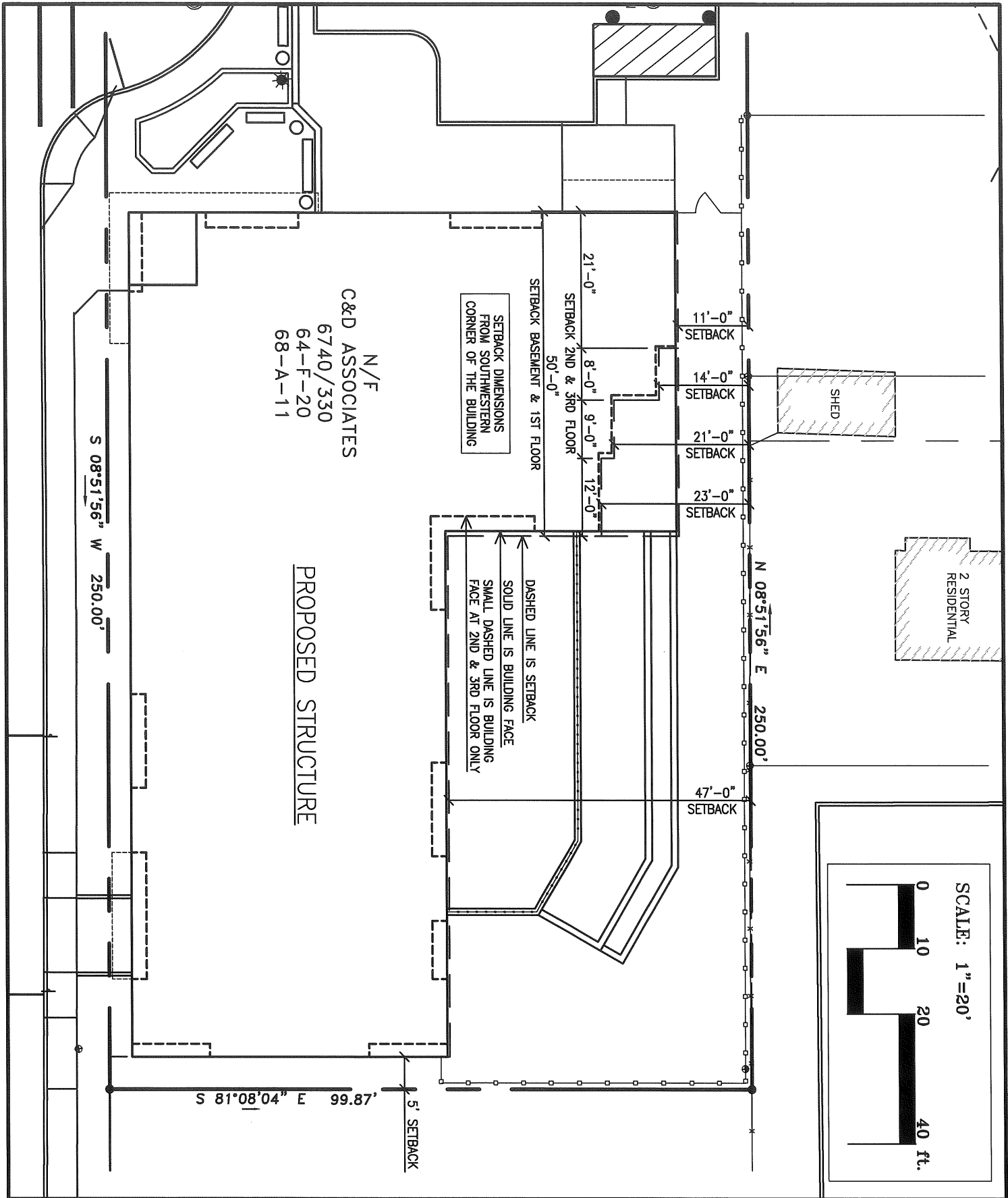


J1 REAR ELEVATION



A1 RIGHT SIDE ELEVATION

|  <p>CAMRON TURCHON ARCHITECTS 29 Shick Point Road Newport, ME 04857 Tel: 207.853.6377 Fax: 207.853.6381</p> |  <p>AVESTA HOUSING</p> | <p>FLORENCE HOUSE PORTLAND, MAINE</p> |  <p>Purdie Street</p> | <p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>10/10/2018</td> <td>CONCEPTUAL DESIGN</td> </tr> <tr> <td>2</td> <td>1/14/19</td> <td>PERMISSIONS PROCESSING</td> </tr> <tr> <td>3</td> <td>7/24/19</td> <td>CONSTRUCTION PERMITS</td> </tr> </tbody> </table> | NO. | DATE | DESCRIPTION | 1 | 10/10/2018 | CONCEPTUAL DESIGN | 2 | 1/14/19 | PERMISSIONS PROCESSING | 3 | 7/24/19 | CONSTRUCTION PERMITS |
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| NO. | DATE | DESCRIPTION | | | | | | | | | | | | | | |
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| 2 | 1/14/19 | PERMISSIONS PROCESSING | | | | | | | | | | | | | | |
| 3 | 7/24/19 | CONSTRUCTION PERMITS | | | | | | | | | | | | | | |
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| <p>A402</p> | | <p><small>© CAMRON TURCHON ARCHITECTS. ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF CAMRON TURCHON ARCHITECTS AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF CAMRON TURCHON ARCHITECTS.</small></p> | | | | | | | | | | | | | | |

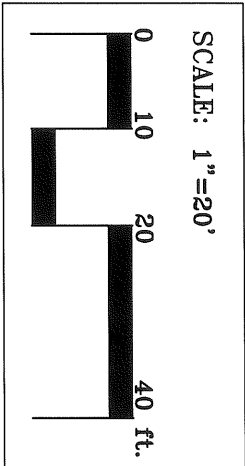


N/F
 C&D ASSOCIATES
 6740/330
 64-F-20
 68-A-11

SETBACK DIMENSIONS
 FROM SOUTHWESTERN
 CORNER OF THE BUILDING

PROPOSED STRUCTURE

DASHED LINE IS SETBACK
 SOLID DASHED LINE IS BUILDING FACE
 SMALL DASHED LINE IS BUILDING
 FACE AT 2ND & 3RD FLOOR ONLY



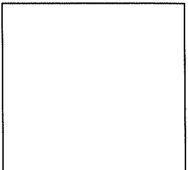
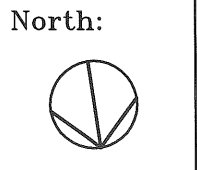
ATTACHMENT 10

Mitchell & Associates
 Landscape Architects
 70 Center Street
 Portland, Maine 04101
 (207) 774-4427

Title: SETBACK EXHIBIT

Date: JULY 31, 2007 Scale: 1"=20'

Project: FLORENCE HOUSE



ANALYSIS OF LOGAN PLACE POLICE CALLS

Mark Swann, Executive Director, Preble Street

COMMENTS TO PLANNING BOARD 7-24-07

The fact is that the calls from Logan Place originated from the social workers who work there around the clock. They were not from neighbors complaining about noise, or violence, or behaviors at Logan Place. They were from staff and were made to keep the neighborhood safe.

Preble Street is not only very concerned about the safety of our tenants and staff but also about the whole neighborhood. We consider ourselves a vigilant set of eyes and ears, often reporting to the police when others aren't comfortable doing so.

25% of the calls attributed to Logan Place were actually to report activities away from our building. To report car theft down the street, suspected drug dealing out of nearby apartments, drinking on the public trails at the end of street, and other suspicious behaviors.

30% of emergency calls for internal issues were related to health concerns. Logan Place tenants tend to be disabled and struggle with health problems. Three original Logan Place tenants have died since we opened.

10% of calls were follow up calls, false fire alarms, administrative issues or subsequently cancelled.

The last 35% of calls were for issues ranging from animal control, theft reports, missing persons, or tenancy issues aimed at convincing tenants to get the help they need.

Neighbors are not even aware of the vast majority of these calls, and the police almost always turn off sirens and flashing lights to mitigate any disruption on the street when they respond.

Our staff works diligently with police as partners in our efforts. Police do trainings at all Preble Street programs, and our staff conducts trainings for the Portland Police Department and other law enforcement agencies.

The only way to end long-term chronic homelessness is in partnership with the community, which includes other nonprofits, the faith community, hospitals, and yes, the local police.

The police have consistently commented on how they'd rather assist us at Logan Place than have people lose their housing and end up back on the streets. It is a good use of the police resources.

Simply looking at the total number of emergency calls tells only a part of the story. It's disconcerting when that number alone, without explanation or analysis, is tossed around as a reason not to support Florence House.

When taking the time to investigate what's behind this number, the opposite conclusion becomes evident.

As far as we know,

there have been **ZERO** calls from neighbors complaining about Logan Place for at least the last 12 months, and

there have been **ZERO** calls from neighbors complaining about our Womens Shelter since we opened the program in January, 2007.

Florence House

Sun/Shadow Study Video Simulation Summary

The video simulation presented at the July 24, 2007 Workshop illustrated sun/shadow impact on the neighborhood. The proposed Florence House has only morning shadow impact to the west of the site, primarily at 213/215 St. John Street. Simulation dates have been selected for the shortest day of the year (December 22), the equinox (September 23) and the longest day of the year (June 21). Below is a list of the times that the shadow cast by a permitted structure and the proposed structure leaves the garage of the abutting site.

The time at which the shadow cast by the Western Promenade leaves the garage of the abutting site has been added to this chart. This shadow is based upon the land massing without existing vegetation which would create a longer shadow impact.

The silver maple on the 213/215 St. John Street property is part of the model and illustrates the impact of this particular tree. When the silver maple tree is in leaf, it cast a significant shadow upon the abutting structure, as illustrated in the study.

December 22nd

Permitted Structure: 8:42am

Proposed Structure: 9:10am

Vacant Site: 7:52am

(Please note: the silver maple tree shadow impact on the 213/215 St. John Street garage has not been noted due to lack of vegetation)

September 23rd

Permitted Structure: 9:52am (Daylight Savings Time)

Proposed Structure: 10:14am (Daylight Savings Time)

Vacant Site: 7:39am (Daylight Savings Time)

(Please note: the silver maple tree casts a shadow on the 213/215 St. John Street garage until roughly 10:00 am.)

June 21st

Permitted Structure: 9:13am (Daylight Savings Time)

Proposed Structure: 9:17am (Daylight Savings Time)

Vacant Site: 6:03am (Daylight Savings Time)

(Please note: the silver maple tree casts a shadow on the 213/215 St. John Street garage until roughly 10:52 am.)

August 2, 2007

1. The **Conditional Rezoning** relates to:
 - Proposals from Avesta Florence House LP and Florence House Housing Corporation to provide a continuum of accommodation and support services within one building that would assist chronically homeless women to transition to more permanent housing.
 - It is proposed (though not specified in the Conditional Zone Agreement) that Prebble Street Resource will be the managers of the uses.
2. **Proposal (details in Tab C):**
 - Located within the B2 Community Business Zone (housing within the B-2 zone must meet the requirements of the nearby residential zone which in the case is R-6)
 - Near residential, commercial and industrial uses
 - Located on a 24,968 sq ft site currently occupied by a single story commercial building
 - 32,272 sq ft in total floor area (footprint of 8140 sq ft)
 - 3 stories high plus a partial daylight basement
 - An average of 45 feet in height based on zoning measuring methods
 - Is set into the substantial slope just below Valley Street, so the building is actually 53 feet high nearest the abutting houses facing St John Street and 35-45 feet high along Valley Street.
 - Accommodates
 - 25 efficiency apartments on floors 2 and 3
 - 15 "safe haven" accommodations on first floor
 - 10-25 emergency shelter beds on first floor
 - Basement is offices, conference room, employee lounge, storage and mechanical/maintenance
 - Provides support facilities including meals and trained staffing
3. **Need for Conditional Zone Agreement:** A Conditional Zone Agreement (first document in **Tab A**, and includes 9 plans of the proposal) is needed in order to:
 - Allow the building to include shelter and "safe haven" uses which are not permitted by the existing zone;
 - Allow this scale of building as it varies from the dimensional requirements (see **Table 1** in report):
 - higher density development than would be allowed under the existing zoning (details below)
 - side, front and rear setbacks, open space ratio and parking to be less than the minimum required by the underlying zone (details below)
4. **Proposed Conditional Zone Agreement:** the CZA includes:
 - **Provisions to describe and clarify the proposal:**
 - including that it is women only
 - that non-accommodation uses are for the provision of services to the residents prohibiting residential uses within the basement
 - **Provisions and exhibits to limit the building height and bulk** to what has been proposed and shown on the attached plans.
 - Elevations (Atts 7 & 8) show height dimensions
 - "Setback Exhibit" (Att 10 to CZA) shows relationship to abutters
 - The wing of the building is 11 feet from the property line of abutters at 209/213 St John Street where its wall is over 53 ft high for a length of 21 ft;

- the applicant has mitigated this to some extent by introducing setbacks for the two top stories for part of the length [though these setbacks do not affect the impact of the building on the loss of sunlight to one abutter, which is about 3 hours in the summer]

- **Operational requirements:**
 - To ensure the property is staffed, maintained and managed
 - To require a Management Plan to be submitted reviewed and approved prior to any grant of Site Plan Approval.
 - The Management Plan would address detailed issues that have been the subject of discussion with Preble Street, the Director of HHS and the Police and would be implemented by the Management Association established by the owners.

5. **Comprehensive Plan:** Several Comprehensive Plan policies apply:
 - ie those that aim to ensure an adequate and diverse supply of housing for all and encourage higher density housing located near services, such as schools, businesses, institutions, employers, and public transportation.
 - Objectors to the rezoning consider that the proposed scale and uses are not consistent with the underlying zone nor with the Comprehensive Plan policies regarding compatibility with the scale, character and traditional development patterns of the City's residential neighborhoods.

6. **Planning Board Recommendation:** On August 14, 2007 the Planning Board found (vote of 4-0, Chair Patterson, Beal, Odokawa and Hall in favor; Lowry and Silk recused, Tevian absent) the proposed Conditional Rezoning for Avesta Housing Florence House (190 Valley Street) to be:
 - consistent with the Comprehensive Plan of the City of Portland; and
 - in compliance with the conditional rezoning standards set out in Section 14-60 to 14-62.

In reaching this recommendation the Board considered the Conditional Zone Agreement and associated proposals in terms of

- whether they are consistent with the Comprehensive Plan;
- whether they are compatible with the neighborhood; and
- whether the proposed conditions adequately address issues that have been raised, such as bulk and impact on the neighborhood.

7. **Public Comments:** During the Planning Board review almost 100 parties commented, which included 69 written comments which are included in **Tab B**.
 - The proposal is abtuted by several residential properties and many neighbors raised concerns about the proximity, bulk and height of the building and the possible impacts resulting from the scale and nature of the proposals.
 - Many supporters have sent in comments referring to the urgent need for such a facility (particularly with the closure of the YWCA) and the need to be compassionate towards this vulnerable group in the community
 - Since the Council Report was written there has been one further public comment which has been circulated to the Council. It is undated and unsigned but we understand it is from Alan Prosser, whose business abuts the site of the proposed rezoning.

Background Details re variation from underlying zone (see Table 1 in the Report)
[not talking points but if questions arise]

1. Proposal varies from the underlying zone in terms of:

- **Uses:** The proposal is residential in nature but the proposed shelter and “safe haven” uses are technically not allowed in the B-2 zone.
- **Density:** The proposal includes 25 small apartments and up to 40 other people in accommodation on the first floor plus staff - a density of 21 apartments could be developed on this site without a CZA from a zoning viewpoint (subject to site plan issues being satisfactory).
- **Setbacks:** As seen in Table 1 on page 7 the proposed CZA would allow the building to be 5 feet nearer to the properties to the north and south, 10 feet nearer the sidewalk on Valley Street, and 9 feet nearer to the residences along St Johns Street than would be the case under the existing zoning.
The reduction of the rear setback nearest the residential properties has become an issue because the actual height of the building along that side of the site is over 53 feet for a length of 21 feet. The applicant has limited the number of windows overlooking adjoining residential properties for privacy and introduced building step backs for the upper two stories to reduce other impacts on neighbors (eg visual massing, loss of light).
- **Parking:** Sixteen parking spaces are proposed compared to 69 spaces for the same uses and 46 if the building were apartments only.
- **Open Space:** The proposal provides 26% of the site as open space as compared with the underlying zone requirement of 30%

Background Details re Public Comments [not talking points but if questions arise]

Objectors

- Those who have objected to the proposed rezoning cite one or more of the following concerns:
- Impacts related to the scale and massing of the building, particularly where it is proposed to extend into the required 20 foot setback of the underlying zone.
 - That the proposal is inconsistent with the City's Comprehensive Plan and incompatible with the neighborhood.
 - The proposal could potentially create public safety problems.

The most immediate residential abutters, Deborah Heald at 213 St John Street and Virginia Stevens at 209 St John Street, have jointly submitted 6 sets of comments, most with photographs, to explain their concerns over the scale and proximity of the building to their 3 and 2 1/2 story (respectively) properties and the resulting loss of utility and sunlight. Ms Heald/Ms Stevens have most recently submitted comments received 8.3.2007 (Public Comment 28) to further illustrate the loss of morning sunlight and stating that it appears that their concerns of height and setback have not been addressed.

"Alan's Auto" is a 2-story commercial premises (owned by Alan Prosser) which abuts the project on the other side of the shared access "alley". Alan Prosser (& his attorney David Jones, have raised concerns in 8 sets of comments over the shadow impact (see PC 3 & 45), how the proposal is inappropriate for this site as it is detrimental to neighbors due to scale, bulk and other impacts and thus not consistent with the existing and permitted uses in the neighborhood nor with the Comprehensive Plan (emphasizing policies ("Housing: Sustaining Portland's Future" November 2002) related to neighborhood stability and integrity).

Alan Prosser's September submission to the City Council includes:

- Comments from 7 residents of Frederick Street which suggest Logan Place still has a negative impact on that neighborhood
- Statement and reasons why Planning Board should re-evaluate its decision to recommend approval of the CZA for Florence house, citing inappropriate scale, increase of shadow for abutter, impact on neighborhood, and need for more frequent police intervention
- Concludes this is an abuse of contract zoning ("the process of singling out a small parcel of land for a use classification totally different from that of the surrounding area, for the benefit of the owner of such property and to the detriment of other owners.")

Daniel Chase, owner, former resident and current business occupier of 210 St Johns Street has submitted comments (PC 13 and 42) and spoken at the Workshops. He questions the basis of the "permitted building" which is compared with the proposed in the submitted shadow/massing studies and questions other comparisons with other buildings and developments (noting that the shelter use is not part of the other developments such as Logan Place); also outlines why the proposed first floor uses appear incompatible with this neighborhood. Alan Sparks, the owner of 226-228 Valley Street (PC 32) objects on the basis that the proposal will not be compatible with the best interests of the current residents and owners, citing the size of the building and density as issues and his expectation as an investor in the area that the character would not be allowed to change so drastically.

Supporters

Supportive submissions have been received from neighbors: the current owner of the site (Dale Brunell, part owner of Spectrum Auto Body Supply Inc and C&D Associates) and Robert Moldaver at 189 St Johns Street (PC 1, 9, 20 and 57). Both suggest that the proposal would not add to the public safety issues in the area.

Mr Moldaver stresses the benefits the project would bring to the neighborhood and joins some forty six (46) other Portland residents and members of the community (including some associated with Preble Street and Logan Place and some professionals in this field) who submitted comments, in urging the Planning Board to support the project in view of the urgent need for this facility (especially since the YWCA closed) and the need to be compassionate towards a vulnerable group in the community.

Since testimony before the Portland Planning Board by employees of Avesta, other paid professionals, and Portland Police seemed at odds with our own research, telephone interviews, and the number of calls for help from PPD dispatch records I felt I needed to get a first hand, person-to-person sense of how residents on Frederick Street feel about the impact Logan Place has had on their neighborhood. I have taken my cue from an unfortunately yet-to-be-implemented element of Portland's Comprehensive Plan called Neighborhood Based Planning. It solicits feedback directly from neighbors concerning developments which may impact them. In the two hours I spent interviewing residents of Frederick Street I learned first hand that they felt much differently about the presence there of Logan Place than the impression left by those who spoke at the Planning Board meetings. This is the story from the hearts of the people who have had to live with the presence of an institution which has changed the social structure ("won't let my children go outside unless supervised by an adult") of their neighborhood. This is the story of an old man from Bulgaria whose only livelihood is the rental property he owns on Frederick Street all but one unit of which is now vacant because "no one wants to rent here anymore." I submit these written testimonials in the interest of guiding the City Council to make a decision which does not "single out a small parcel of land for a use classification totally different from that of the surrounding area, for the benefit of such property and to the detriment of other owners."

Executive Department
City Manager's Office
Room 208 - City Hall
389 Congress Street
Portland, Maine 04101

G. Council

SEP 1 2 2007

My name is George M. M... ..

I live at 22 Frederic St

I believe that the building of Logan Place has / has not benefited the Frederic St neighborhood.

Its creation here has impacted the neighborhood in the following ways: While

some of the parks at Logan houses have been very neighborly & decent, others are not - I am frustrated by them dropping their liquor bottles in anyone's yard or right on the sidewalk - They stagger up & down the street constantly (right in the middle of the street because there's more room than on the sidewalk).

They continue to sit & rest, smoke & drink on our doorsteps, under the tree on the street etc - Ask them to move - yelling all the time on the street etc - The presence of Logan Place has : decreased / increased / had no impact on my sense of safety and well being here.

The Portland Police do a : great / o.k. / inadequate job of controlling what I perceive of as crime in this neighborhood.

I would say this neighborhood is a : better / worse place in which to live since the building of Logan Place.

Perceived property values: have / have not been positively impacted by the presence of Logan Place.

I would like to : continue to live in this neighborhood / move from this neighborhood as a result of the presence of Logan Place here.

My name is

BR

23

I live at

Frederic St. Portland, Me

I believe that the building of Logan Place has / has not benefited the Frederick St. neighborhood.

Its creation here has impacted the neighborhood in the following ways:

I do not allow my kids to go outside unless supervised by an adult.

Residence of Logan Place are always drunk walking up the street.

The presence of Logan Place has: decreased / increased / had no impact on my sense of safety and well being here.

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I would like to: continue to live in this neighborhood / move from this neighborhood as a result of the presence of Logan Place here.

My name is Ben Ellis
I live at 5 Frederick St

I believe that the building of Logan Place has / has not benefited the Frederick St neighborhood.

Its creation here has impacted the neighborhood in the following ways:

People sleeping in my basement, causing trouble in many

Watts, Fishers, Annika, Senechal

The presence of Logan Place has: decreased / increased / had no impact on my sense of safety and well being here.

The Portland Police do a: great / o.k. / inadequate job of controlling what I perceive of as crime in this neighborhood.

I would say this neighborhood is a: better / worse place in which to live since the building of Logan Place.

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My name is ALBERT C. NICHOLAS
I live at 26 FREDERICK ST. PORTLAND, ME. 04102

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I would like to : continue to live in this neighborhood / move from this neighborhood as a result of the presence of Logan Place here.

Sept 1 2002

I would like to: continue to live in this neighborhood / move from this neighborhood as a result of the presence of Logan Place here, but don't see a way to do it.

Perceived property values: have ~~not~~ been positively impacted by the presence of Logan Place.

I would say this neighborhood is a: ~~better~~ / worse place in which to live since the building of Logan Place.

The Portland Police do a: ~~great~~ / o.k. / ~~inadequate~~ job of controlling what I perceive of as crime in this neighborhood.

The presence of Logan Place has: ~~decreased~~ / ~~increased~~ / ~~had no impact~~ on my sense of safety and well being here.

Its creation here has impacted the neighborhood in the following ways: Property value ~~decreased~~ and a lot of people ~~sold~~ and moved out.

I believe that the building of Logan Place ~~has~~ / has not benefited the Frederick St. neighborhood.

*My name is ALEXANDER GORNOV
I live at 29A FREDERIC ST Portland ME*

The presence of Logan Place has : decreased / increased / had no impact on my sense of safety and well being here.
 The Portland Police do a : great / o.k. / inadequate job of controlling what I perceive of as crime in this neighborhood.
 I would say this neighborhood is a : better / worse place in which to live since the building of Logan Place.
 Perceived property values have / have not been positively impacted by the presence of Logan Place.
 I would like to : continue to live in this neighborhood / move from this neighborhood as a result of the presence of Logan Place here. *It's expensive.*

There are drunk dirty men and women
 up and down the street ~~at~~ all the time.
 You don't really know if you can trust them.
 I want people to have smaller who are
~~innocent~~ however a lot of them are just
 drunk all the time. The property value
 will decrease.

Its creation here has impacted the neighborhood in the following ways:

I believe that the building of Logan Place has / has not benefited the Frederick St. neighborhood.

My name is Jacki Williams
 I live at 27 Fredone Street #3

My name is Bryan
I live at Seward St

I believe that the building of Logan Place has / has not benefited the Frederick St. neighborhood.

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Made Police/EMS VISITS

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I would say this neighborhood is a : better / worse place in which to live since the building of Logan Place. SAME NOW THAT THEY (ARE) IS BEING PROACTIVE

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Record:

SEP 12 2007

I believe the City of Portland Planning Board needs to carefully reevaluate its decision to recommend approval of the Avesta Florence House for the following reasons:

Section 14-46 "made in accordance with a comprehensive plan" The Comprehensive Plan of the City of Portland charges that "New housing development (is) designed to be compatible with the scale, character, and traditional development patterns of each individual neighborhood." By any measure, height (twice that of abutting structures), population (triple that of the existing entire block), mass (dwarfing surrounding buildings) as depicted by the architects' demonstration, this proposal flies in the face of this aspect of the Plan, in spite of the fact that written submissions have frequently mentioned it. The times my company has applied for building permits in the same block as that of the proposal my building was made to always conform to the Code. The applicant has made reference to other "similar" structures to the proposed development in the neighborhood. These structures are all located in the industrial zones which allows for such buildings. One instance is a nineteenth century structure a considerable distance from the sole residential property it abuts. It was build long before zoning was an issue. The Comprehensive Plan states further that its purpose (and the corollary purpose of the Zoning Ordinance which it is derived from) is to "protect the stability of Portland residential neighborhoods from excessive encroachment by inappropriately scaled and obtrusive . . . uses." Closing comments by Board member Beal regarding his concerns of the proposal's scale and the dramatic impression from the architects animated visualization make it clear that this proposal is certainly "inappropriately scaled". This issue which is of great concern to abutters (there are twenty-three written submissions from neighborhood residents detailing their concerns and opposition to this project; nearly all focus on large size and close proximity of the proposal) has largely ignored by the Board and mentioned as a concern in only one closing comment.

14-181 a3 "Development in the B-2 zone should relate to the surrounding neighborhoods by design orientation. . . . mandates the opinion of the Comprehensive Plan in the Zoning Ordinance. The applicant says that its design "meets programmatic needs while blending with the existing urban fabric, respecting abutting properties, and enhancing the neighborhood." What could it be about a building which is 31,272 square feet and rectangular in design which might blend with 2000 to 5000 square foot buildings half of which are Victorian design? The applicant attempts to justify this by comparison with other structures within a quarter mile radius which were permitted in the industrial zone when they are. This neighborhood is not an industrial zone. The Planning Board has failed to take note of this discrepancy in reasoning. The Planning Department does note that "Staff has worked with the applicant to encourage further efforts to reduce the overall massing of the building and its impact on the residential abutters." To no avail as in the same memorandum it is noted that "The applicant has indicated that they are unable to make any further revisions and still meet programmatic requirements."

14-135 Purpose of R-6 a (10) "Conserve existing housing stock and residential character of neighborhoods by controlling the scale and external impacts of . . . uses" The proposed uses of the project MUST be consistent with the existing and permitted uses in the neighborhood and underlying zones. The Code of Ordinances is clear about

juxtaposition of "out of scale" development in both the B2 and R6. The applicant states, "To visualize and understand the massing of the proposed Florence House, it is useful to consider completed affordable housing projects on the Portland peninsula." A visit to this locations shows however that in no instance is there the impact that the current proposal has on the immediate neighboring residents.

Section 14-46 "providing adequate light and air" which is defined more clearly in Section 14-526 (3) "The bulk, location or height of proposed buildings and structures and the proposed uses thereof will not cause health or safety problems as to the existing uses in the neighborhood, including without limitation health or safety problems resulting from any substantial reduction in light or air. . ."

Throughout the workshop process the developer showed only the shadow impact on abutting properties between allowed and proposed models of the proposed structure. Although finally mentioned briefly in the last iteration of the proposal the three hour and fourteen minute increase in shadow inflicted upon an abutter has never been discussed by the applicant or the Board even though written commentary was submitted regarding this subject. The applicant has simply ignored its burden of proof that this seemingly significant impact will have no adverse affect on the property owner. Also submitted was a small sampling of the many case studies of the great positive impact on mental and physical health exposure to early morning sunlight has on humans. No mention was made of this as a factor pertinent to this proposal.

Section 14-526 (4) "The bulk, location or height of proposed buildings and structures minimizes, to the extent feasible, any substantial diminution in the value or utility to neighboring structures. Logan Place is another Avesta project located on Frederick St." Testimony was presented from Jeff Davis, past president of Portland Realtors Association and from David Waltz a previous property manager on Frederick St. regarding the dramatic change in the social climate there and its contribution (in the words of those affected) to lowered market prices of property and time properties spent on the market. Interviews of residents of Frederick St indicated a general dissatisfaction with life there since the appearance of Logan Place and a desire by many to leave the area. Although the developer has expended much time before the board explaining the nature of police calls from the address of Logan Place the fact remains that there were six calls in a 2 year period before the opening of Logan Place and 191 in the two year period after its opening. The Portland Police have made much of their enhanced relationship with Logan Place staff, yet the need for police intervention continues to remain extremely high at that address. In fact statistics show that it is increasing beyond the approximately 100 calls per year average. The fact that people simply don't like to live in circumstances where police intervention is necessary and or customary should not be ignored. And as a direct consequence of the need for police presence property becomes less desirable, tenant turnover is greater, tenants and or owners who take a lessened interest in maintaining the property move in. The introduction of a building with a dramatically different social make-up from that of an existing neighborhood, when it threatens the value of the one greatest component of most people's personal wealth, their homes, should be considered.

This aspect of the potential impact of this proposal has not been considered by the Planning Board.

Of considerable impact to the neighborhood judging from the Logan Place experience is the impact of tenants and their associates moving to and from the location of the proposal. The police claim they have "learned much from the Logan Place experience" and may be able to "have an increased level of rapport with staff and residents." By accounts from neighbors on Frederick St. those coming and going from the building have created a level of concern as great as the increased necessity for police at the Logan Place address. Reports of public urination, vomiting, and other antisocial behavior never experienced before the opening of Logan Place are common from residents there. The architect, in their presentation before the Board (Aug 14), suggests that the main entrance is located away from the neighboring residents and faces Valley Street to "minimize the impact of that type of activity." Other aspects of their plan to control what they must anticipate as unwanted activity are cameras outside the building and 24 hour staffing. None of this addresses or even considers or even anticipates what has been a given on Frederick St., the unpleasantness inflicted on the neighbors by those on their way to or from the facility. These are real concerns which require real consideration.

14-136 b (7) "special needs independent living units, provided that a building housing special care living units shall not house other types of residential or other permitted types of uses." A diligent analysis (as has as yet not been done by the Planning Board at any public forum) of the nature of the SRQ apartments should identify them as "special needs independent living units." The residents are encouraged to "become as independent as possible" yet are monitored by staff on "regular walk-through(s) of the building." The use of this major (2nd and 3rd floors) portion of the building must be clearly defined by the Board as other uses existing in the same building seem to be precluded by this Section.

The Comprehensive Plan and the Code of Ordinances both strive to prevent inconsistency with existing and permitted uses in the neighborhood and underlying zone even in contract zoning. This is for the protection of those businesses and residents extant within the zone. The Maine Superior Court has recognized that abuse of contract zoning can result when an unfair advantage is given the needs of the developer over those already in the zone. This is described as "the process of singling out a small parcel of land for a use classification totally different from that of the surrounding area, for the benefit of the owner of such property and to the detriment of other owners." Not just one, but many aspects of this proposal fit that definition. The applicant has diligently presented its many paid professionals and members of affiliated organizations to show what a great need there is for this project. The need is undeniable. It has claimed, but not demonstrated that the design can not be feasibly build if it is made smaller to fit with Planning Staff suggestions to "reduce the overall massing and its impact on the residential abutters." The Zoning Ordinance is for a reason: to appropriately site new development. It must be respected.

Since testimony before the Portland Planning Board by employees of Avesta, other paid professionals, and Portland Police seemed at odds with our own research, telephone interviews, and the number of calls for help from PPD dispatch records I felt I needed to get a first hand, person-to-person sense of how residents on Frederick Street feel about the impact Logan Place has had on their neighborhood. I have taken my cue from an unfortunately yet-to-be-implemented element of Portland's Comprehensive Plan called Neighborhood Based Planning. It solicits feedback directly from neighbors concerning developments which may impact them. In the two hours I spent interviewing residents of Frederick Street I learned first hand that they felt much differently about the presence there of Logan Place than the impression left by those who spoke at the Planning Board meetings. This is the story from the hearts of the people who have had to live with the presence of an institution which has changed the social structure ("won't let my children go outside unless supervised by an adult") of their neighborhood. This is the story of an old man from Bulgaria whose only livelihood is the rental property he owns on Frederick Street all but one unit of which is now vacant because "no one wants to rent here anymore." I submit these written testimonials in the interest of guiding the City Council to make a decision which does not "single out a small parcel of land for a use classification totally different from that of the surrounding area, for the benefit of such property and to the detriment of other owners."

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Chandler

SEP 12 2007

My name is James Mackinnon

I live at 22 Frederic St

I believe that the building of Logan Place has / has not benefited the Frederic St neighborhood.

Its creation here has impacted the neighborhood in the following ways: While

some of the parks at Logan House have been very neighbourly & decent, others are not - I am frustrated by them dropping their liquor bottles in anyone's yard or right on the sidewalk - They stagger up & down the street constantly (right in the middle of the street because there's more room than on the sidewalk).

They continue to sit & rest, smoke & drink on our doorstep, under the oak tree to more - yelling all the time on the street etc -

The presence of Logan Place has : decreased / increased / had no impact on my sense of safety and well being here.

The Portland Police do a : great / o.k. / inadequate job of controlling what I perceive of as crime in this neighborhood.

I would say this neighborhood is a : better / worse place in which to live since the building of Logan Place.

Perceived property values: have / have not been positively impacted by the presence of Logan Place.

I would like to : continue to live in this neighborhood / move from this neighborhood as a result of the presence of Logan Place here.

My name is BL

I live at 23 Frederic St. Portland, Me

I believe that the building of Logan Place has // has not benefited the Frederick St. neighborhood.

Its creation here has impacted the neighborhood in the following ways:

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Residence of Logan Place are always drunk walking up the street.

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My name is Ben Ellis

I live at 5 Frederick St

I believe that the building of Logan Place has / has not benefited the Frederick St neighborhood.

Its creation here has impacted the neighborhood in the following ways:

People sleeping in my basement, causing trouble in many

Watts, fights, Drunk, street

The presence of Logan Place has: decreased / increased / had no impact on my sense of safety and well being here.

The Portland Police do a: great / o.k. / inadequate job of controlling what I perceive of as crime in this neighborhood.

I would say this neighborhood is a: better / worse place in which to live since the building of Logan Place.

Perceived property values: have / have not been positively impacted by the presence of Logan Place.

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My name is ALBERT C. NICHOLS
I live at 26 FREDERICK ST. PORTLAND, ME. 04102

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Sept 1 2007

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Its creation here has impacted the neighborhood in the following ways:
Property value decreased and a lot of people sold and moved out.

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My name is *ALEXANDER GOBAND*
I live at *29A FREDERIC ST Portland ME*

My name is John Williams

I live at 27 Frederic Street #3

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There are drunk dirty men and women up and down the street ~~at~~ all the time. You don't really know if you can trust them. ~~I~~ want people to have smaller who are winners; however a lot of them are just drunk all the time, the property value will decrease.

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I would like to : continue to live in this neighborhood / move from this neighborhood as a result of the presence of Logan Place here. It's expensive.

My name is Bryan
I live at Seward St

I believe that the building of Logan Place has / has not benefited the Frederick St. neighborhood.

Its creation here has impacted the neighborhood in the following ways:

More Police/EMS VISITS

The presence of Logan Place has : decreased / increased / had no impact on my sense of safety and well being here.

The Portland Police do a : great / o.k. / inadequate job of controlling what I perceive of as crime in this neighborhood. good jobs

I would say this neighborhood is a : better / worse place in which to live since the building of Logan Place. SAME NOW THAT THEY (AGENTS) IS BEING PROTECTIVE

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Revised:

SEP 12 2007

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Section 14-46 "made in accordance with a comprehensive plan" The Comprehensive Plan of the City of Portland charges that "New housing development (is) designed to be compatible with the scale, character, and traditional development patterns of each individual neighborhood." By any measure, height (twice that of abutting structures), population (triple that of the existing entire block), mass (dwarfing surrounding buildings) as depicted by the architects' demonstration, this proposal flies in the face of this aspect of the Plan, in spite of the fact that written submissions have frequently mentioned it. The times my company has applied for building permits in the same block as that of the proposal was made to always conform to the Code. The applicant has made reference to other "similar" structures to the proposed development in the neighborhood. These structures are all located in the industrial zones which allows for such buildings. One instance is a nineteenth century structure a considerable distance from the sole residential property it abuts. It was build long before zoning was an issue. The Comprehensive Plan states further that its purpose (and the corollary purpose of the Zoning Ordinance which it is derived from) is to "protect the stability of Portland residential neighborhoods from excessive encroachment by inappropriately scaled and obtrusive . . . uses." Closing comments by Board member Beal regarding his concerns of visualization make it clear that this proposal is certainly "inappropriately scaled". This issue which is of great concern to abutters (there are twenty-three written submissions from neighborhood residents detailing their concerns and opposition to this project; nearly all focus on large size and close proximity of the proposal) has largely ignored by the Board and mentioned as a concern in only one closing comment.

14-181 a3 "Development in the B-2 zone should relate to the surrounding neighborhoods by design orientation. . . . mandates the opinion of the Comprehensive Plan in the Zoning Ordinance. The applicant says that its design "meets programmatic needs while blending with the existing urban fabric, respecting abutting properties, and enhancing the neighborhood." What could it be about a building which is 31,272 square feet and rectangular in design which might blend with 2000 to 5000 square foot buildings half of which are Victorian design? The applicant attempts to justify this by comparison with other structures within a quarter mile radius which were permitted in the industrial zone when they are. This neighborhood is not an industrial zone. The Planning Board has failed to take note of this discrepancy in reasoning. The Planning Department does note that "Staff has worked with the applicant to encourage further efforts to reduce the overall massing of the building and its impact on the residential abutters." To no avail as in the same memorandum it is noted that "The applicant has indicated that they are unable to make any further revisions and still meet programmatic requirements."

14-135 Purpose of R-6 a (to) "Conserve existing housing stock and residential character of neighborhoods by controlling the scale and external impacts of . . . uses" The proposed uses of the project MUST be consistent with the existing and permitted uses in the neighborhood and underlying zones. The Code of Ordinances is clear about

juxtaposition of "out of scale" development in both the B2 and R6. The applicant states, "To visualize and understand the massing of the proposed Florence House, it is useful to consider completed affordable housing projects on the Portland peninsula." A visit to this locations shows however that in no instance is there the impact that the current proposal has on the immediate neighboring residents.

Section 14-46 "providing adequate light and air" which is defined more clearly in Section 14-526 (3) "The bulk, location or height of proposed buildings and structures and the proposed uses thereof will not cause health or safety problems as to the existing uses in the neighborhood, including without limitation health or safety problems resulting from any substantial reduction in light or air. "

Throughout the workshop process the developer showed only the shadow impact on abutting properties between allowed and proposed models of the proposed structure. Although finally mentioned briefly in the last iteration of the proposal the three hour and fourteen minute increase in shadow inflicted upon an abutter has never been discussed by the applicant or the Board even though written commentary was submitted regarding this subject. The applicant has simply ignored its burden of proof that this seemingly significant impact will have no adverse affect on the property owner. Also submitted was a small sampling of the many case studies of the great positive impact on mental and physical health exposure to early morning sunlight has on humans. No mention was made of this as a factor pertinent to this proposal.

Section 14-526 (4) "The bulk, location or height of proposed buildings and structures minimizes, to the extent feasible, any substantial diminution in the value or utility to neighboring structures. Logan Place is another Avesta project located on Frederick St." Testimony was presented from Jeff Davis, past president of Portland Realtors Association and from David Waltz a previous property manager on Frederick St. regarding the dramatic change in the social climate there and its contribution (in the words of those affected) to lowered market prices of property and time properties spent on the market. Interviews of residents of Frederic St indicated a general dissatisfaction with life there since the appearance of Logan Place and a desire by many to leave the area. Although the developer has expended much time before the board explaining the nature of police calls from the address of Logan Place the fact remains that there were six calls in a 2 year period before the opening of Logan Place and 191 in the two year period after its opening. The Portland Police have made much of their enhanced relationship with Logan Place staff; yet the need for police intervention continues to remain extremely high at that address. In fact statistics show that it is increasing beyond the approximately 100 calls per year average. The fact that people simply don't like to live in circumstances where police intervention is necessary and or customary should not be ignored. And as a direct consequence of the need for police presence property becomes less desirable, tenant turnover is greater, tenants and or owners who take a lessened interest in maintaining the property move in. The introduction of a building with a dramatically different social make-up from that of an existing neighborhood, when it threatens the value of the one greatest component of most people's personal wealth, their homes, should be considered.

This aspect of the potential impact of this proposal has not been considered by the Planning Board.

Of considerable impact to the neighborhood judging from the Logan Place experience is the impact of tenants and their associates moving to and from the location of the proposal. The police claim they have "learned much from the Logan Place experience" and may be able to "have an increased level of rapport with staff and residents." By accounts from neighbors on Frederick St. those coming and going from the building have created a level of concern as great as the increased necessity for police at the Logan Place address. Reports of public urination, vomiting, and other antisocial behavior never experienced before the opening of Logan Place are common from residents there. The architect, in their presentation before the Board (Aug 14), suggests that the main entrance is located away from the neighboring residents and faces Valley Street to "minimize the impact of that type of activity." Other aspects of their plan to control what they must anticipate as unwanted activity are cameras outside the building and 24 hour staffing. None of this addresses or even considers or even anticipates what has been a given on Frederick St., the unpleasantness inflicted on the neighbors by those on their way to or from the facility. These are real concerns which require real consideration.

14-136 b (7) "special needs independent living units, provided that a building housing special care living units shall not house other types of residential or other permitted types of uses."

A diligent analysis (as has as yet not been done by the Planning Board at any public forum) of the nature of the SR0 apartments should identify them as "special needs independent living units." The residents are encouraged to "become as independent as possible" yet are monitored by staff on "regular walk-through(s) of the building." The use of this major (2nd and 3rd floors) portion of the building must be clearly defined by the Board as other uses existing in the same building seem to be precluded by this Section.

The Comprehensive Plan and the Code of Ordinances both strive to prevent inconsistency with existing and permitted uses in the neighborhood and underlying zone even in contract zoning. This is for the protection of those businesses and residents extant within the zone. The Maine Superior Court has recognized that abuse of contract zoning can result when an unfair advantage is given the needs of the developer over those already in the zone. This is described as "the process of singling out a small parcel of land for a use classification totally different from that of the surrounding area, for the benefit of the owner of such property and to the detriment of other owners." Not just one, but many aspects of this proposal fit that definition. The applicant has diligently presented its many paid professionals and members of affiliated organizations to show what a great need there is for this project. The need is undeniable. It has claimed, but not demonstrated that the design can not be feasibly build if it is made smaller to fit with Planning Staff suggestions to "reduce the overall massing and its impact on the residential abutters." The Zoning Ordinance is for a reason: to appropriately site new development. It must be respected.

Attachment 1
[Pl. Bd + Council]
(18 pages)

**AVESTA FLORENCE HOUSE LP, FLORENCE HOUSE HOUSING CORPORATION
AND FLORENCE HOUSE CONDOMINIUM ASSOCIATION**

AGREEMENT made this _____ day of _____, 2007 by AVESTA FLORENCE HOUSE LP, a Maine limited partnership with a place of business in Portland, Maine ("Florence House"), FLORENCE HOUSE HOUSING CORPORATION, a Maine nonprofit corporation with a place of business in Portland, Maine, and each of their successors and assigns ("FHHC") and FLORENCE HOUSE CONDOMINIUM ASSOCIATION, a Maine nonprofit corporation (the "Association," the Association, FHHC and Florence House are sometimes collectively called "Owner")

W I T N E S S E T H

WHEREAS, Owner has acquired land and buildings located at 190 Valley Street in Portland, consisting of parcels shown on City of Portland Tax Map 64, Block F, Lot 20 and Tax Map 68, Block A, Lot 11, and more particularly described in a deed from C & D Associates dated _____, 2007 and recorded in the Cumberland County Registry of Deeds in Book _____, Page _____ (collectively the "Property"); and

WHEREAS, Owner intends to create a condominium within the proposed building to be built on the Property, which will consist of two units, as more particularly described in this Agreement, and the Association will be responsible for certain maintenance obligations as set forth in this Agreement; and

WHEREAS, Owner has requested a rezoning of the Property in order to permit the development of the project described in this Agreement within each unit of the condominium to be created by Owner; and

WHEREAS, Owner's funding sources require that each of the two condominium units be held in separate ownership; and

WHEREAS, the Portland City Council has determined the rezoning and proposed development would provide needed housing in the City for low income individuals as is consistent with the housing component of the Comprehensive Plan, and would not negatively impact the surrounding business and residential community; and

WHEREAS, the Portland City Council, pursuant to 30-A M.R.S.A. § 4352(8) and Portland City Land Use Code (the "Code") §§ 14-60 to 14-62, and after notice and hearing and due deliberation thereon, recommended the rezoning of the Property as aforesaid, subject, however, to the conditions set forth in this Agreement; and

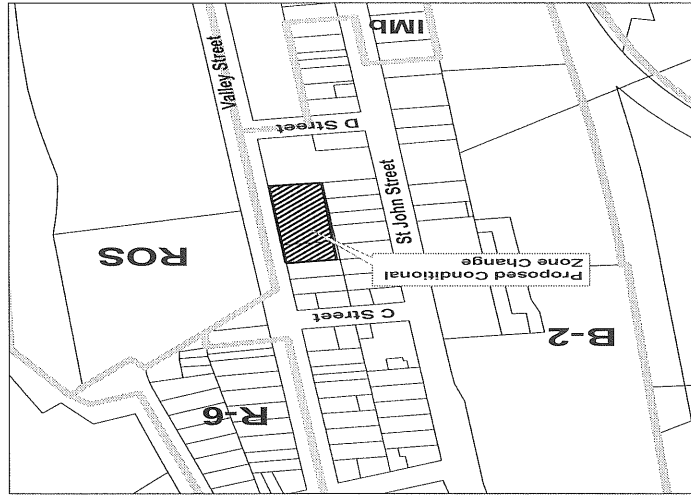
as submitted w/ Nuttall + Assoc letter of July 31, 2007.

WHEREAS, the City Council (the "City") has determined that because of the unusual nature and unique location of the proposed development it is necessary and appropriate to impose by agreement the following conditions and restrictions in order to ensure that the rezoning is consistent with the City's comprehensive land use plan; and

WHEREAS, the City Council has on _____, 2007 approved this Agreement in its entirety, by City Council Order No. _____, a true copy of which is attached hereto as Attachment I (the "Order");

NOW, THEREFORE, in consideration of the rezoning, Owner covenants and agrees as follows:

1. Pursuant to the Order, the City shall amend the Zoning Map of the City of Portland, dated _____, 2007 (as amended from time to time and on file in the Department of Planning and Urban Development, and incorporated by reference into the Zoning Ordinance by § 14-49 of the Code) by adopting the map change amendment shown below. If this Agreement is not recorded within sixty days after the date of the approval of the Order, then the conditional rezoning shall become null and void and the zoning of the Property shall revert to the pre-existing B-2 zone.



2. The building to be built on the Property is being developed as a two-unit condominium, to be called Florence House Condominium (the "Condominium").

a. Unit 1 of the Condominium shall consist of the following uses which are permitted under and subject to this Agreement:

i. On the first floor of the building:

1. maximum capacity of 40 beds (up to 25 emergency shelter beds and 15 safe haven beds) for women only. For purposes of this Agreement, the term "emergency shelter" has the meaning given

Unit 1 shall be owned by FHHC or an entity wholly owned by or affiliated with Avesta Housing Development Corporation, a Maine nonprofit corporation (“Avesta”), and Unit 2 shall be owned by Avesta Florence House LP. The Association shall have and fulfill the responsibilities set forth in the Maine Condominium Act, 33, M.R.S.A. Section 1601-101 et seq. Each of FHHC and Florence House shall retain sole discretion as to what level of social services to provide to the residents of Units 1 and 2, respectively. At minimum, however, there shall be adequate, on-site, awake staff, consisting of not less than three persons, providing security for and supervision of residents of both Units 1 and 2 twenty four hours a day, seven days a week. The number of awake staff may be reduced pursuant to the Management Plan referred to in Section 6 below,

public.

the floor plans attached hereto as Attachment 5. All uses described in this subsection (iii) shall be for providing services to the residents of Units 1 and 2 but not to the general public.

One office, a laundry and a storage area on the third floor, all as shown on floor, all as shown on the floor plans attached hereto as Attachment 4. All uses described in this subsection (ii) shall be for providing services to the residents of Units 1 and 2 but not to the general public.

One office, a community room and a community kitchen on the second floor, all as shown on the floor plans attached hereto as Attachments 4 and 5. Up to twenty-five affordable rental efficiency apartments (twelve on floor 2 and thirteen on floor 3) for women only on the second and third floors of the building (“Unit 2”) as shown on the floor plans attached hereto as Attachments 4 and 5.

permitted under and subject to this Agreement:

b. Unit 2 of the Condominium shall consist of the following uses which are

ii. On the basement level of the building, two offices, a conference room, an employee lounge, an open office area, three storage and three mechanical/maintenance rooms and a bicycle storage closet, all as shown on the floor plans attached hereto as Attachment 2. The facilities in the basement of the building shall be used for providing services to the residents of Units 1 and 2 but not to the general public. Any residential use within the basement of the building is strictly prohibited.

all as shown on the floor plans attached hereto as Attachment 3.

- 3. three offices
 - 2. laundry, kitchen and pantry as labeled; and
 - the residents of the safe haven;
- limited to individuals who are or were formerly homeless and/or are suffering from mental illness, substance abuse or other disability), with appropriate levels of social services provided to accommodations with shared washroom facilities, with meals provided, for individuals with special needs (such as but not means a facility or space providing semi-private to it in Section 14-47 of the Code, and the term “safe haven”

based on operational history of the facility, and subject to approval by the Director of the City's Department of Health and Human Services.

3. Except as limited in Section 12 of this Agreement, execution of this Agreement binds FHHC, Florence House and the Association and their respective successors and assigns to the terms of this Agreement.

4. Any change in ownership of either Unit 1 or Unit 2 shall be brought to the Planning Board for its review and approval, but this requirement shall not apply (i) with respect to Unit 1 so long as the transfer is to an entity that is either affiliated with or wholly owned by Avesta, provided notice of any such change is provided to the Planning Department in advance of such change, or (ii) to the granting of mortgages or other security interest by Owner or to the enforcement by the mortgagees of their rights under such mortgages.

5. The Association shall be responsible for ongoing maintenance of the Property, including snowplowing, salting, sanding, sweeping, lighting, trash pickup (at least weekly) by a private contractor, mowing, etc. If the Association fails to satisfy its obligations under this Section, after written notice and a reasonable opportunity to cure, then FHHC and Florence House and their respective successors and assigns shall be jointly and severally liable for performance of the obligations set forth in this Section.

6. A Management Plan, containing, at minimum the following specific categories of control (Responsibilities, Staffing, Access Restrictions, Surveillance including functional surveillance cameras, Safety measures, Control of behaviors, Control of noise levels, and Monitoring reports) shall be submitted to the City for review and approval prior to site plan approval. Thereafter the Management Plan shall be implemented and enforced by the Association. Compliance review with respect to the Management Plan shall be performed by the City on a quarterly basis during the first year after issuance of a certificate of occupancy and at least annually thereafter, or as otherwise requested by the City, to ensure the effectiveness of such plan to protect the health, safety and welfare of the residents and the City as a whole. This Management Plan is subject to periodic updating, upon demand by the City, should it be determined by the City that the Management Plan in place is ineffective or as otherwise reasonably necessary to achieve its purposes. By virtue of this Agreement, the Association agrees to and shall be bound to amend, fund and implement the Management Plan. Should the Association fail to fulfill this obligation, FHHC and Florence House and their respective successors and assigns shall be responsible for the amendment, funding and implementing of such plan; provided, however, that if FHHC is unable to secure sufficient funding for the continued implementation of such plan, Florence House shall have the option of seeking an amendment to this Agreement terminating this Agreement as to Unit 1 only, and in the event Florence House seeks such an amendment, any obligation of Florence House to operate Unit 1 in the manner provided in this Agreement shall immediately terminate, and Unit 1 thereafter may not be operated in the manner set forth in Section 2(a) of this Agreement.

7. The Property will be developed substantially in accordance with the Site Plan, including but not limited to elevations, floor plans, roof plans and height depictions, shown on Attachments 2 through 9, submitted by Mitchell and Associates dated _____, 2007.

- a. Density: Maximum density shall be no more than 40 beds for women only on the first floor including up to 25 emergency shelter beds and 15 safe haven beds; and up to twenty five affordable rental efficiency apartments for women only on the second and third floors, with associated ancillary service space as detailed in paragraph 2. above.
- b. Minimum rear yard:

R-6:

- e. Parking requirements:
 - Unit 1: 9 parking spaces.
 - Unit 2: 7 parking spaces.
- d. Maximum lot coverage: 40%
- c. Minimum side yard on northerly property line: 5 feet

- i. 11 foot setback for basement and first floor for a distance of 50 feet as shown on Attachment 10:
 - ii. 11 foot setback for second and third floors for a distance of 21 feet as shown on Attachment 10:
 - iii. 14 foot setback for second and third floors for a distance of 8 feet as shown on Attachment 10:
 - iv. 47 foot setback for remaining portion of the building as shown on Attachment 10.
- b. Minimum rear yard: 11 feet as follows:

- a. Occupancy and Density: Maximum occupancy (not including staff) and density shall be no more than 40 beds for women only on the first floor including up to 25 emergency shelter beds and 15 safe haven beds; and up to twenty five affordable rental efficiency apartments on the second and third floors, with associated ancillary service space as detailed in paragraph 2. above.

B-2:

9. Space and Bulk Requirements. The following space and bulk requirements shall apply to the Property:

8. The Planning Board shall review and approve the development of the building according to the site plan and subdivision provisions of the Code.

12. In the event of a breach by Owner or its successors or assigns of the zoning provisions contained herein (whether the Zoning Administrator, the Zoning Board of Appeals or a court determines such breach), the Planning Board, after notice and hearing, may recommend to the City Council that the Conditional Zone and this Agreement be amended, or be rescinded, such rescission to result in the termination of this Agreement and a reversion of the Property to the B-2 zone in place before the execution of this Agreement.

11. The provisions of this Agreement, including the permitted uses listed in paragraph 2, are intended to supersede the uses and requirements of the underlying B-2 zone. To the extent not otherwise altered herein, the limitations and requirements for the underlying B-2 (and the R-6 by reference therein) zone shall apply to this site.

40% of units at 60% of Area Median Income

60% of units at 50% of Area Median Income

10. Florence House agrees to maintain, for a term of 90 years, the rent levels and income requirements for the efficiency affordable rental apartments in Unit 2 as follows:

To the extent not otherwise altered herein, the zoning requirements for the underlying B-2 zone (and the R-6 by reference therein) shall apply to this site.

The measurement of building height per code is the vertical measurement from grade to the highest point on the roof beams in a flat roof. The average grade of the site, post construction, is 46.81 feet. The building height proposed here, taking into account the average grade, complies in all respects with the building height permitted in the B-2 (45 feet) and R-6 (45 feet) zones and need not be altered herein.

| | | | | | | |
|---------|---|---|---------|-------------------|---------|-------------------|
| c. | Minimum side yard on northerly property line: | 5 feet | | | | |
| d. | Maximum lot coverage: | 40% | | | | |
| e. | Minimum front yard: | none required | | | | |
| f. | Open space ratio: | 26 %. | | | | |
| g. | Parking requirements: | <table border="0"> <tr> <td>Unit 1:</td> <td>9 parking spaces.</td> </tr> <tr> <td>Unit 2:</td> <td>7 parking spaces.</td> </tr> </table> | Unit 1: | 9 parking spaces. | Unit 2: | 7 parking spaces. |
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- iii. 14 foot setback for second and third floors for a distance of 8 feet as shown on Attachment 10:
- iv. 47 foot setback for remaining portion of the building as shown on Attachment 10.

In the event that either Florence House or FHHC, or their approved successors and assigns, defaults in its respective obligations hereunder and fails to remedy said default within a reasonable period of time after written notice from the City, this Amended and Restated Conditional Zone Agreement shall remain in full force and effect with respect to the portion of the Property occupied by the non-defaulting party. Neither Florence House nor FHHC shall have any obligation to operate an emergency shelter or a safe haven or associated social services otherwise permitted in this Agreement, but FHHC and Florence House shall have the obligation to fulfill the requirements of Section 5 and 6 above as and to the extent detailed therein. Each party shall have the right (but not the obligation) to cure any default or violation of the defaulting party under this Agreement.

13. The above stated restrictions, provisions, and conditions are an essential part of this Conditional Rezoning Agreement, shall bind and benefit Owner, and any entity affiliated with Owner that takes title to the Property, their successors and assigns, and any party in possession or occupancy of said Property or any part thereof, and shall inure to the benefit of and be enforceable by the City, by and through its duly authorized representatives. Owner shall file a counterpart original of this Agreement in the Cumberland County Registry of Deeds.

14. If any of the restrictions, provisions, conditions, or portions thereof set forth herein is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed as a separate, distinct, and independent provision and such determination shall not affect the validity of the remaining portions hereof.

15. Except as expressly modified herein, the development, use, and occupancy of the subject premises shall be governed by and comply with the provisions of the Portland City Code and any applicable amendments thereto or replacement thereof.

WITNESS:

AVESTA FLORENCE HOUSE LP
BY: Pinetree Housing Development LLC,
its General Partner
BY: Avesta Housing Development
Corporation, its Sole Member

By: Dana Totman, its President
FLORENCE HOUSE HOUSING
CORPORATION

By: Dana Totman, its President

FLORENCE HOUSE CONDOMINIUM
ASSOCIATION

By: _____
Dana Totman, its President

STATE OF MAINE
CUMBERLAND, ss.

_____, 2007

Personally appeared before me the above-named Dana Totman, in his capacity as President of Avesta Housing Development Corporation, Sole Member of Pinetree Housing Development LLC, General Partner of Avesta Florence House LP, as President of Florence House Housing Corporation, and as President of Florence House Condominium Association, as aforesaid, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporations, limited liability company and limited partnership.

Before me,

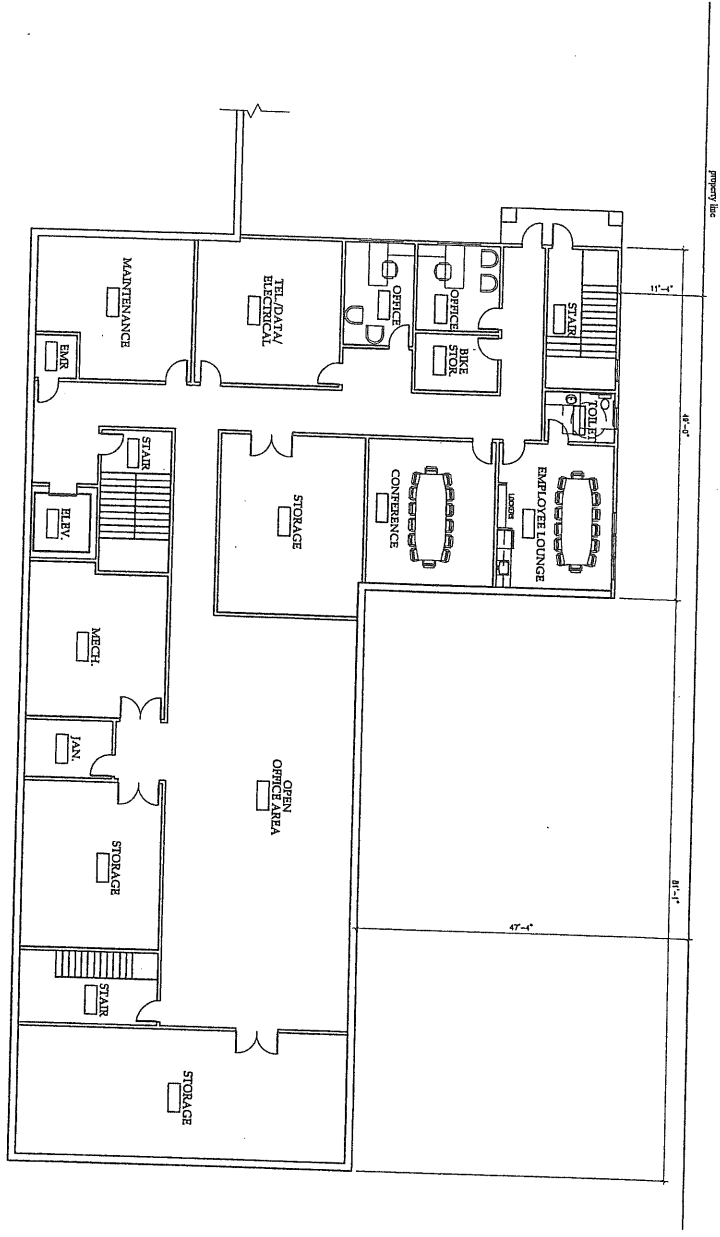
Notary Public/Attorney at Law

LIST OF ATTACHMENTS

| <u>Attachment no:</u> | <u>Description:</u> |
|-----------------------|------------------------|
| 1. | City Council Order |
| 2. | A100 Basement Plan |
| 3. | A101 First Floor Plan |
| 4. | A102 Second Floor Plan |
| 5. | A103 Third Floor Plan |
| 6. | A106 Roof Plans |
| 7. | A401 Elevations |
| 8. | A402 Elevations |
| 9. | Site Plan |
| 10. | Building setback plan |

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A1 BASEMENT FLOOR PLAN



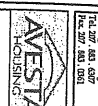
A 100

BASEMENT FLOOR PLAN

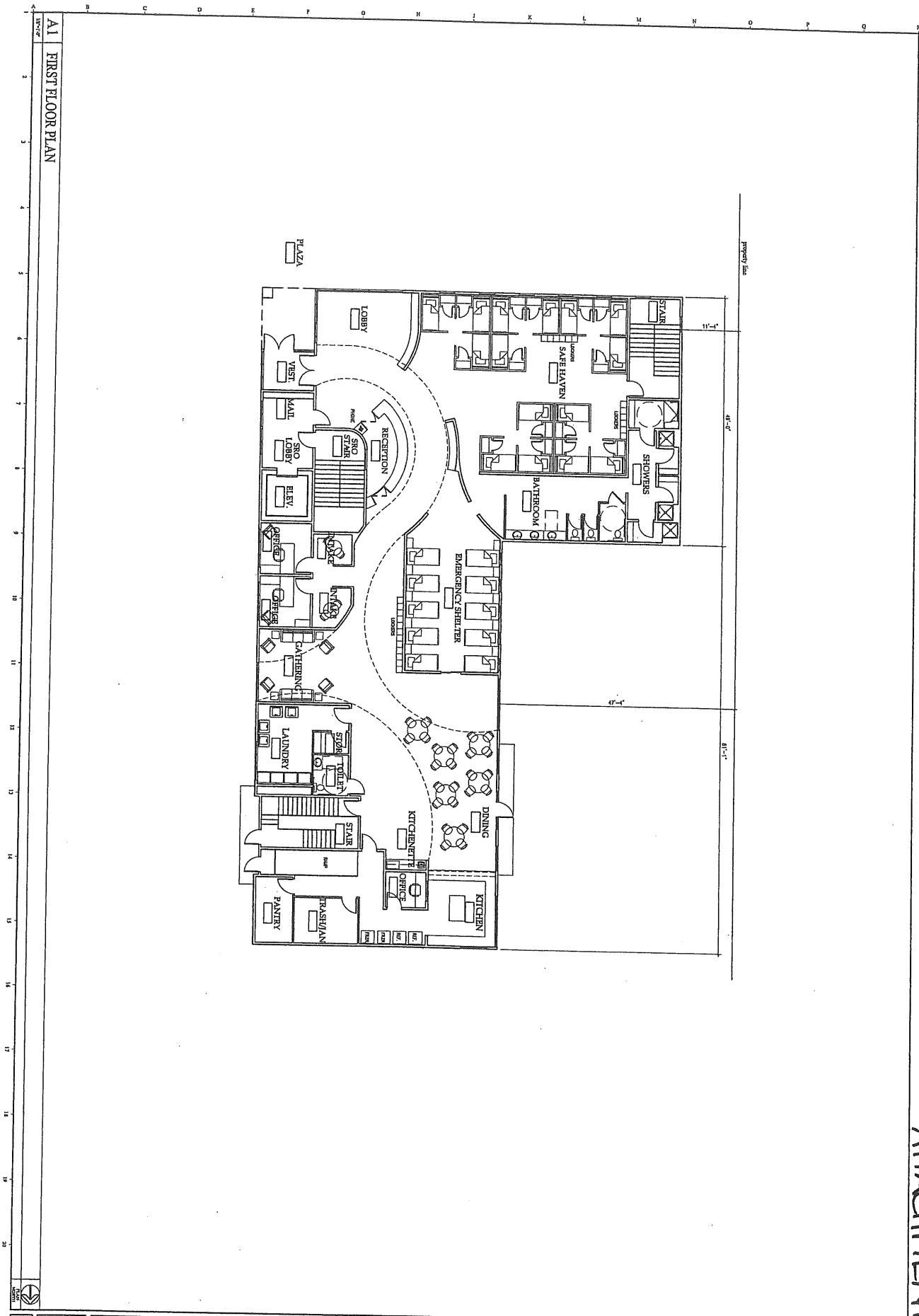
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|-------------|--------------|
| DATE: | 3/18/17 |
| PROJECT: | 10405 |
| DRAWN BY: | SD |
| CHECKED BY: | EM |
| SCALE: | 1/8" = 1'-0" |

| REVISIONS | |
|-----------|------------------------|
| NO. | DESCRIPTION |
| 1 | ISSUE FOR PERMITTING |
| 2 | ISSUE FOR CONSTRUCTION |
| 3 | ISSUE FOR CONSTRUCTION |

FLORENCE HOUSE
 PORTLAND, MAINE



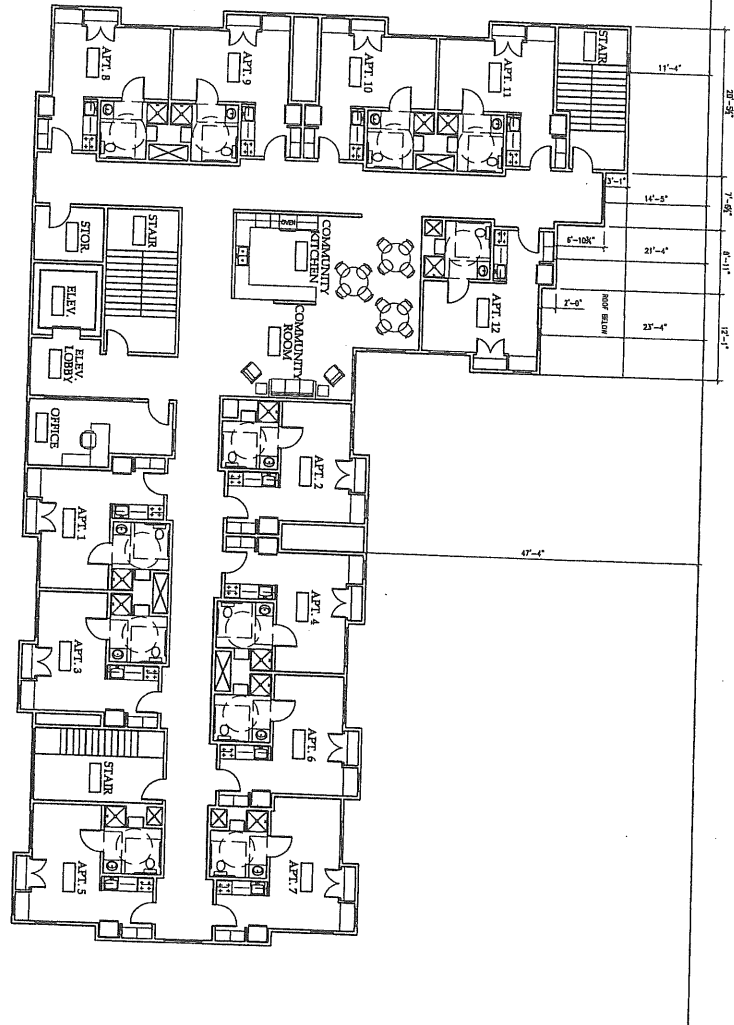
CAMRON TURGEON ARCHITECTS
 29 Black Point Road
 Scarborough, ME 04074
 TEL: 207.463.4207
 FAX: 207.883.0283



A1 FIRST FLOOR PLAN

|  <p>GAWRON TURCHON ARCHITECTS 22 State Street Southport, ME 04097 Tel: 207 483 4307 Fax: 207 483 0241</p> |  <p>AESTIA HOUSING</p> | <p>FLORENCE HOUSE PORTLAND, MAINE</p> | <p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>10/24/17</td> <td>ISSUE FOR PERMITTING</td> </tr> <tr> <td>2</td> <td>11/14/17</td> <td>ISSUE FOR CONSTRUCTION</td> </tr> <tr> <td>3</td> <td>12/14/17</td> <td>CONSTRUCTION</td> </tr> </table> | NO. | DATE | DESCRIPTION | 1 | 10/24/17 | ISSUE FOR PERMITTING | 2 | 11/14/17 | ISSUE FOR CONSTRUCTION | 3 | 12/14/17 | CONSTRUCTION | <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>OWNER</td> <td>THIRD</td> </tr> <tr> <td>PROJECT</td> <td>1004</td> </tr> <tr> <td>DRAWN BY</td> <td>ALB</td> </tr> <tr> <td>CHECKED BY</td> <td>STB</td> </tr> <tr> <td>DATE</td> <td>10/24/17</td> </tr> </table> <p>SHEET TITLE</p> <p>FIRST FLOOR PLAN</p> <p style="font-size: 24pt; font-weight: bold;">A 101</p> | OWNER | THIRD | PROJECT | 1004 | DRAWN BY | ALB | CHECKED BY | STB | DATE | 10/24/17 |
|---|--|--|--|-----|------|-------------|---|----------|----------------------|---|----------|------------------------|---|----------|--------------|---|-------|-------|---------|------|----------|-----|------------|-----|------|----------|
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| 3 | 12/14/17 | CONSTRUCTION | | | | | | | | | | | | | | | | | | | | | | | | |
| OWNER | THIRD | | | | | | | | | | | | | | | | | | | | | | | | | |
| PROJECT | 1004 | | | | | | | | | | | | | | | | | | | | | | | | | |
| DRAWN BY | ALB | | | | | | | | | | | | | | | | | | | | | | | | | |
| CHECKED BY | STB | | | | | | | | | | | | | | | | | | | | | | | | | |
| DATE | 10/24/17 | | | | | | | | | | | | | | | | | | | | | | | | | |

A1 SECOND FLOOR PLAN



A 102

SECOND FLOOR PLAN

| | |
|-------------------|----------|
| DATE | 1/18/07 |
| PROJECT | HOUSING |
| DRAWN BY | BLD |
| CHECKED BY | SMG |
| DATE PLOTTED | 12-11-07 |
| SHEET TITLE | |
| SECOND FLOOR PLAN | |

| REVISIONS | |
|-----------|------------------------|
| 1 | ISSUE FOR PERMITTING |
| 2 | ISSUE FOR CONSTRUCTION |
| 3 | ISSUE FOR CONSTRUCTION |



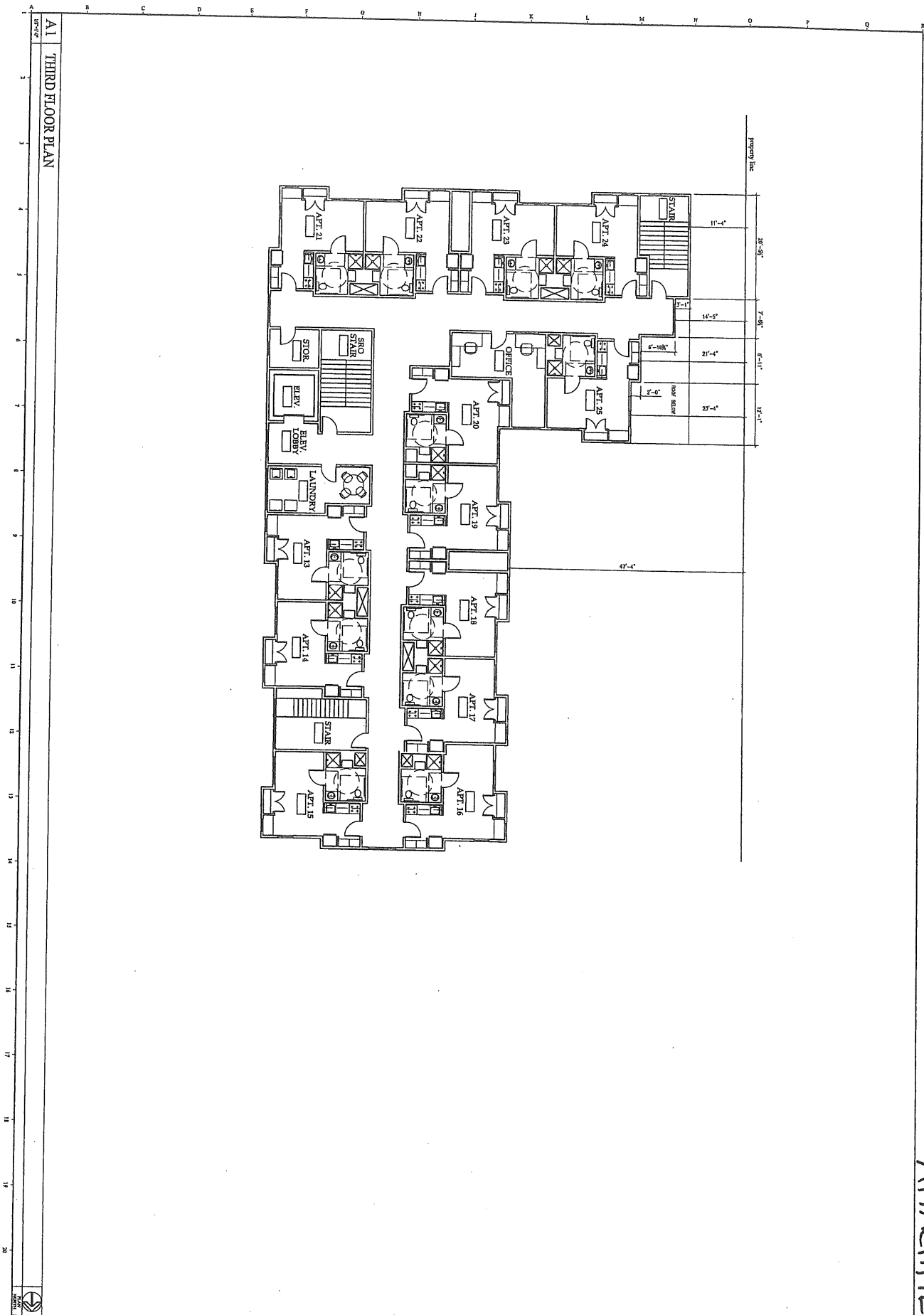
FLORENCE HOUSE
PORTLAND, MAINE



VESTA HOUSING
27 Blake Road
Portland, ME 04107
Tel: 207.483.4000
Fax: 207.483.0041

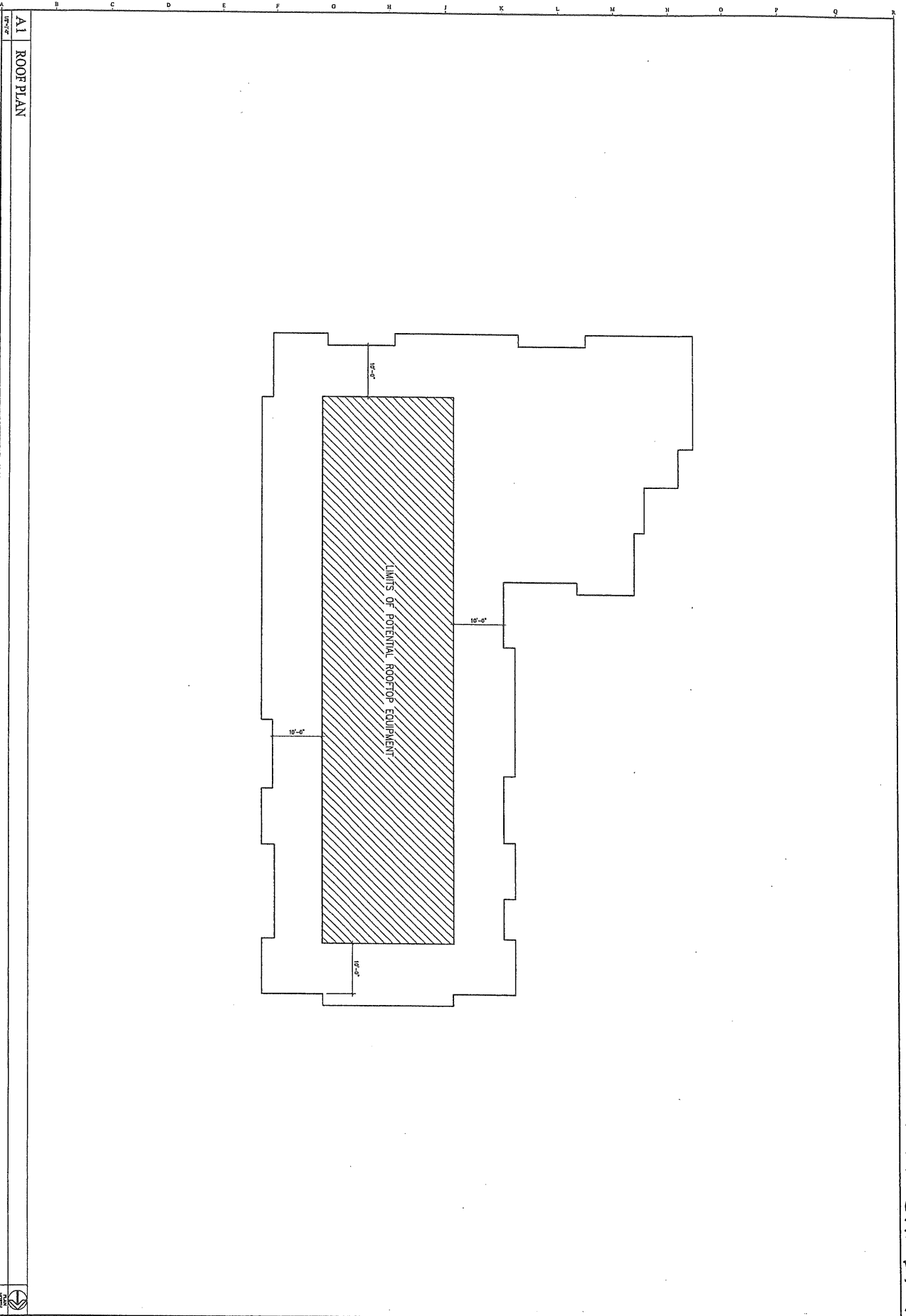


GAWRON TURCOTTE ARCHITECTS
27 Blake Road
Portland, ME 04107
Tel: 207.483.4000
Fax: 207.483.0041



A1 THIRD FLOOR PLAN

|  <p>GAWRON TURGEON ARCHITECTS 270 State Street Portland, ME 04103 Tel: 207.463.4000 Fax: 207.463.4001</p> |  <p>MESTA HOUSING</p> | <p>FLORENCE HOUSE PORTLAND, MAINE</p> | <p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>11/15/11</td> <td>ISSUE FOR PERMIT</td> </tr> <tr> <td>2</td> <td>11/15/11</td> <td>REVISIONS TO PERMIT</td> </tr> <tr> <td>3</td> <td>11/15/11</td> <td>REVISIONS TO PERMIT</td> </tr> </table> | NO. | DATE | DESCRIPTION | 1 | 11/15/11 | ISSUE FOR PERMIT | 2 | 11/15/11 | REVISIONS TO PERMIT | 3 | 11/15/11 | REVISIONS TO PERMIT | <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>DATE:</td> <td>11/15/11</td> </tr> <tr> <td>PROJECT:</td> <td>10000</td> </tr> <tr> <td>DRAWN BY:</td> <td>AD</td> </tr> <tr> <td>CHECKED BY:</td> <td>EM</td> </tr> <tr> <td>DESIGNED BY:</td> <td>EM</td> </tr> <tr> <td>DATE:</td> <td>11/15/11</td> </tr> </table> <p>SHEET TITLE THIRD FLOOR PLAN</p> | DATE: | 11/15/11 | PROJECT: | 10000 | DRAWN BY: | AD | CHECKED BY: | EM | DESIGNED BY: | EM | DATE: | 11/15/11 |
|---|---|--|--|-----|------|-------------|---|----------|------------------|---|----------|---------------------|---|----------|---------------------|--|-------|----------|----------|-------|-----------|----|-------------|----|--------------|----|-------|----------|
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| 2 | 11/15/11 | REVISIONS TO PERMIT | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 3 | 11/15/11 | REVISIONS TO PERMIT | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| DRAWN BY: | AD | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CHECKED BY: | EM | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| DESIGNED BY: | EM | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| DATE: | 11/15/11 | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>A 103</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | |



A1 ROOF PLAN



1/8" = 1'-0"

A 105

ROOF PLAN

SHEET TITLE

| | |
|---------------|--------------|
| DATE | 1/18/17 |
| PROJECT | 10000 |
| DRAWN BY | MLD |
| CHECKED BY | SRD |
| DRAWING SCALE | 1/8" = 1'-0" |

| NO. | DATE | DESCRIPTION |
|-----|---------|--------------------|
| 1 | 1/18/17 | ISSUED FOR PERMITS |
| 2 | 1/18/17 | REVISION |
| 3 | 1/18/17 | REVISION |

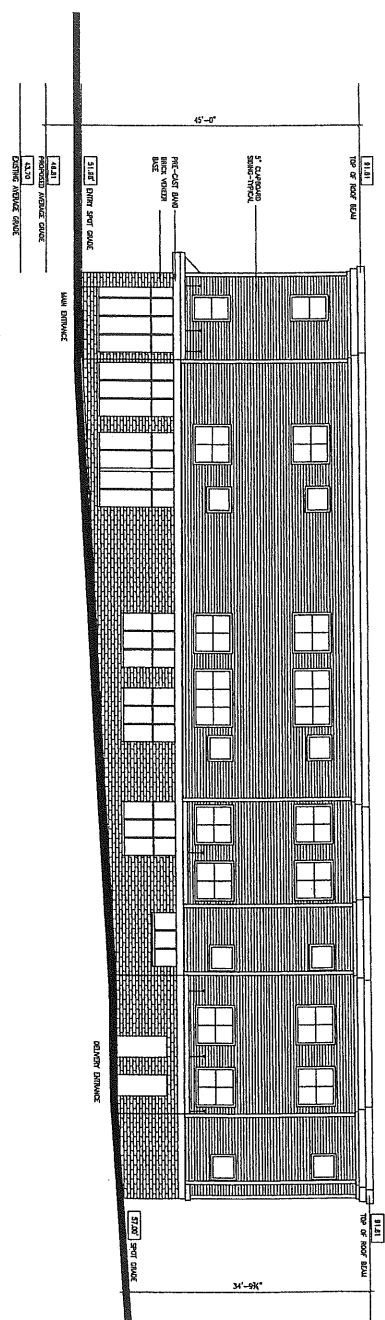


FLORENCE HOUSE
PORTLAND, MAINE

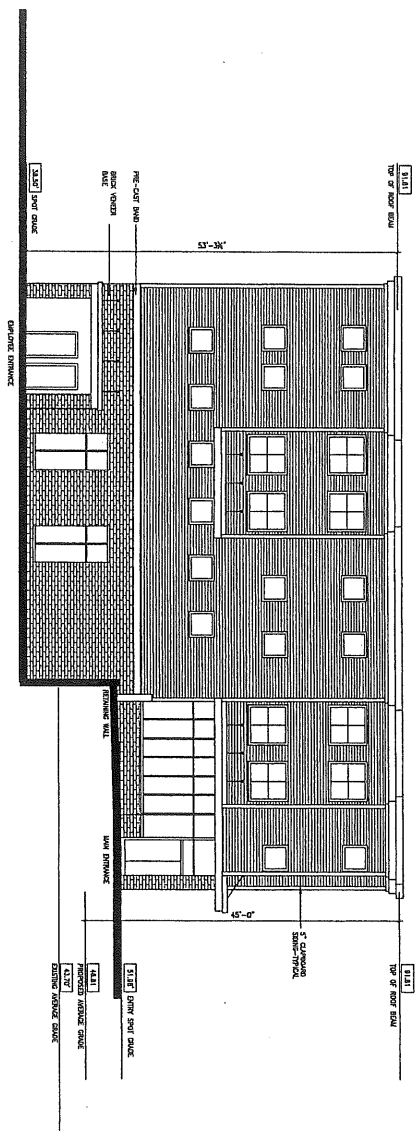


GAYRON TORCHON ARCHITECTS
Portland, ME 04101
www.gayrontorchon.com
Tel: 207.881.0211





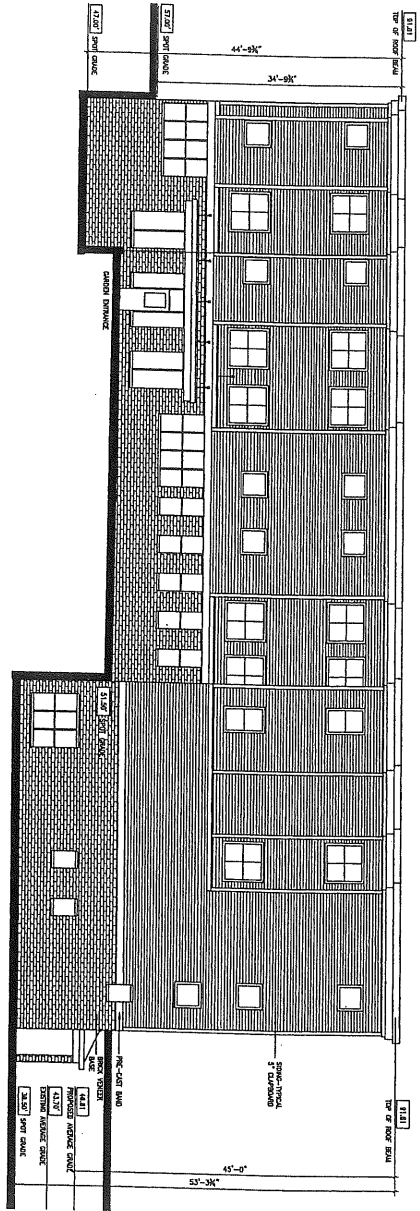
J1 VALLEY STREET ELEVATION



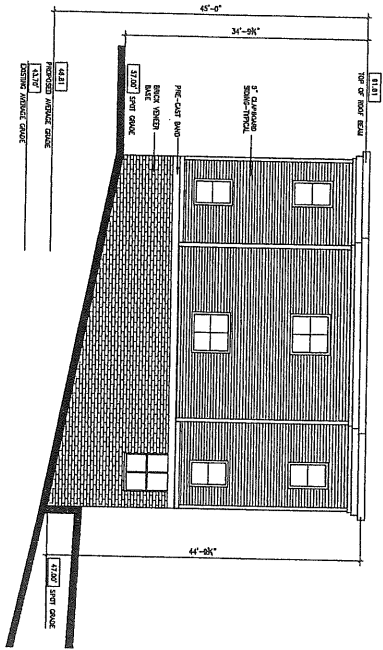
A1 LEFT SIDE ELEVATION

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20

| | | | | | |
|--|------|--|----|------|------|
| | | CARON TURGEON ARCHITECTS 22 Back Street, Portland, ME 04101 Tel: 207.883.8207 www.g7architects.com | | | |
| FLORENCE HOUSE PORTLAND, MAINE | | | | | |
| REVISIONS | | | | | |
| 1 | DATE | DESCRIPTION | BY | CHKD | DATE |
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| SHEET TITLE ELEVATIONS | | | | | |
| A401 | | | | | |



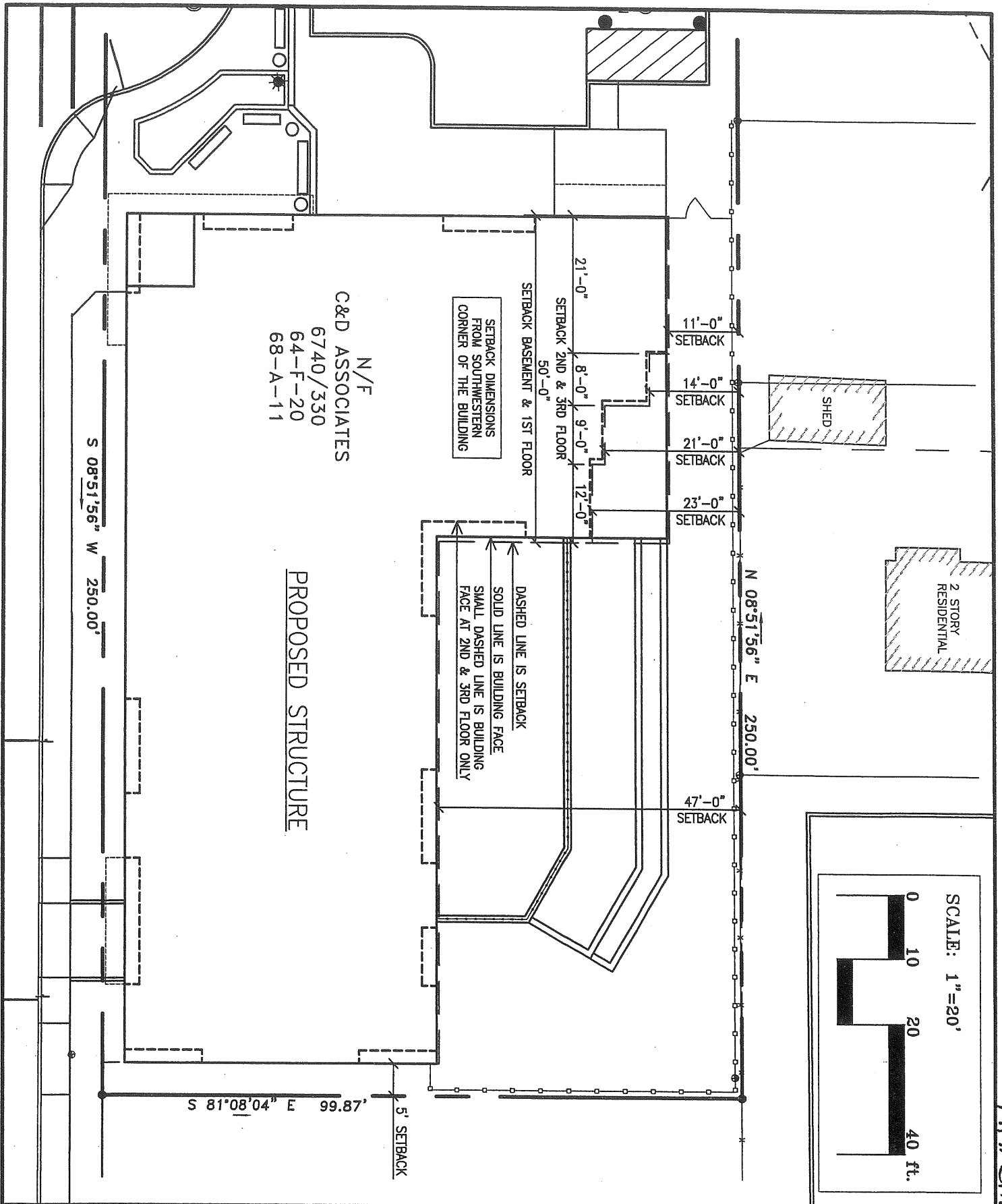
J1 REAR ELEVATION



A1 RIGHT SIDE ELEVATION

Grid lines A1 through J1 and 1 through 20 are marked along the top and left edges of the drawing area.

| <p>CAMRON TUNBERG ARCHITECTS 1000 S. GARDEN STREET PORTLAND, ME 04104 TEL: 207.851.0811</p> | | <p>MESTA HOUSING</p> | | | | | | | | | | | | | |
|---|----------|-----------------------------|--|-----|------|-------------|---|----------|-------------------|---|----------|-------------------|---|----------|-------------------|
| <p>FLORENCE HOUSE PORTLAND, MAINE</p> | | | | | | | | | | | | | | | |
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| 3 | 11/18/11 | ISSUED FOR PERMIT | | | | | | | | | | | | | |
| <p>SHEET TITLE</p> <p>ELEVATIONS</p> | | | | | | | | | | | | | | | |
| <p>A402</p> | | | | | | | | | | | | | | | |



N/F
 C&D ASSOCIATES
 6740/330
 64-F-20
 68-A-11

SETBACK DIMENSIONS
 FROM SOUTHWESTERN
 CORNER OF THE BUILDING

DASHED LINE IS SETBACK
 SOLID LINE IS BUILDING FACE
 SMALL DASHED LINE IS BUILDING
 FACE AT 2ND & 3RD FLOOR ONLY

PROPOSED STRUCTURE

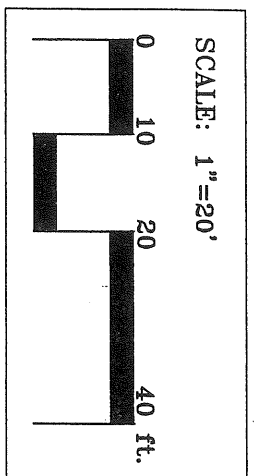
S 08°51'56" W 250.00'

N 08°51'56" E 250.00'

47'-0" SETBACK

S 81°08'04" E 99.87'

1' SETBACK



ATTACHMENT 10

Mitchell & Associates
 Landscape Architects
 70 Center Street
 Portland, Maine 04101
 (207) 774-4427

Title: SETBACK EXHIBIT

Date: JULY 31, 2007

Scale: 1"=20'

Project: FLORENCE HOUSE

North:



From: Jean Fraser
To: Elizabeth Boynton; Littell, Penny
Date: 9/4/2007 2:29:26 PM
Subject: Council Order re Florence House CZA

Elizabeth and Penny,

I was just reviewing the material on this rezoning project on the city's web site and noticed that the CZA legal document does not include the CZA exhibits (the list of the Attachments is included but not the actual attachments which are all plans).

It was my understanding that these attachments were a legal and integral part of the CZA as they are referenced within the CZA and help clarify the dimensional requirements.

Could you let me know if this Order is legally complete as it stands or whether the attachments will be added prior to the first reading at Council tomorrow.

If they remain excluded then I need to ensure that the Councilors who do not have a hard copy know where to find the attachments that are referenced in the CZA.
 [As it stands the Councilors using the web site for accessing the report would not be able to find the plans/attachments referenced within the CZA as, although included elsewhere in the packet, they are buried in the website version of the report.]

Thanks
Jean

CC: Alex Jaegerman ; Barhydt, Barbara; Bean, Sonia; Jennifer Dorr

Hi Sonia,

From: Jean Fraser
To: Bean, Sonia
Date: 9/4/2007 3:55:11 PM
Subject: Council Report for tomorrow - Florence House

You will see from my earlier e-mail that the plans that go with the Conditional Zone Agreement are very difficult to find on the website version of tomorrow's Council meeting material (partly because the Order excluded the plans and partly because the tabs A and C somehow got reversed when it was scanned into the website).

Barbara Barhydt has suggested that it would be helpful to advise those Councilors who did not get a paper copy of the report (which is tabbed and has the plans in Tab A with the CZA) as to where to find these plans on the website (as they are the only plans of the project and are essential to understanding the CZA text).

Therefore, would it be possible for you to urgently contact those 5 Councilors who use the website for all their material, and let them know that the Attachments (Plans) that are referenced in the Florence House Conditional Zone Agreement (Order 50-07/08 which starts on page 284 of the website) can be found on page 773 of the website's Council meeting material pdf.

Thanks very much...let me know if this is a problem.
Jean

CC: Barhydt, Barbara; Jennifer Dorr

31 August 2007

First Revision

Ms. Betsy Melrose,
Mitchell & Associates,
70 Center Street,
Portland, Maine 04101

**RE: The Capacity to Handle Wastewater Flows, from the "Florence House,"
a Proposed Housing for Homeless Women, at 190 Valley Street.**

Dear Ms. Melrose:

This revised letter replaces a previous letter issued on March 26, 2007. The existing twenty-four inch diameter reinforced concrete sewer pipe located in St. John Street has adequate capacity to transport, while The Portland Water District sewage treatment facilities, located off Marginal Way, have adequate capacity to treat the total anticipated wastewater flows of 1,496 GPD, from the proposed housing project.

| | |
|--|---------------|
| Anticipated Wastewater Flows from the Proposed Housing Project: | |
| 1 Proposed Housing for Homeless Women @ 225 GPD/Housing Unit | = 225 GPD |
| 25 Proposed Studio Apartments @ 50 GPD/Studio Apartment | = 1,250 GPD |
| 15 Proposed Safe Haven Units @ 40 GPD/Safe Haven Unit | = 600 GPD |
| 25 Proposed Emergency Overnight Beds @ 30 GPD/Bed | = 750 GPD |
| 7 Proposed Staff @ 15 GPD/Staff Member | = 105 GPD |
| Less Existing Wastewater Flows of | = (1,434 GPD) |
| Total Proposed Increase in Wastewater Flows for this Project | = 1,496 GPD |

The City combined sewer overflow (C.S.O.) abatement consent agreement (with the U.S.E.P.A., and with the Maine D.E.P.) requires C.S.O. abatement, as well as storm water mitigation, in order to offset any increase in sanitary flows, from all projects. If the City can be of further assistance, please call 874-8832.

CITY OF PORTLAND

Sincerely,

Frank J Branceley, B.A., M.A.
Senior Engineering Technician

FJB
cc:

- Alexander Q. Jaegerman, Director, Planning Division, Department of Planning, and Urban Development, City of Portland
- Barbara Barhydt, Development Review Services Manager, Department of Planning, and Urban Development, City of Portland
- Jean Fraser, Planner, Department of Planning, and Urban Development, City of Portland
- Michael Farmer, P.E., Project Engineer, City of Portland
- Bradley A. Roland, P.E., Environmental Projects Engineer, City of Portland
- Stephen K. Harris, Assistant Engineer, City of Portland
- Jane Ward, Administrative Assistant, City of Portland

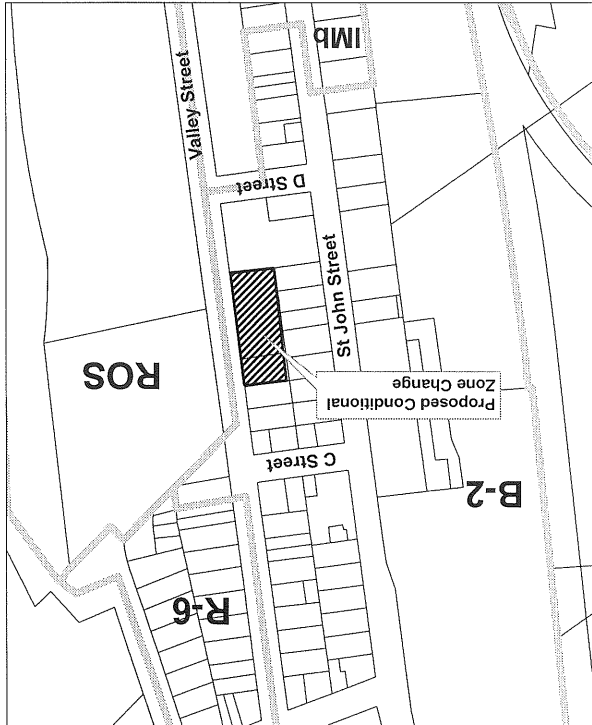
AN IMPORTANT NOTICE FROM THE CITY OF PORTLAND PLANNING DIVISION

DRAFT

WHAT: The Portland City Council will hold a public hearing to consider a request by Avesta Housing for a Conditional Zone Agreement to allow for the development of a 3-story plus basement residential building (Florence House) in the vicinity of 190 Valley Street.

Florence House will provide a permanent, supported women's residence and shelter for up to 65 women, including 25 efficiency apartments plus other accommodation and support facilities. The proposal includes demolition of an existing 1 story commercial building and will be accessed from Valley Street and St. John Street.

Current zoning for the site is B2 Community Business Zone. The proposed Conditional Zone Agreement includes management provisions and variations in density, front, side and rear setbacks, parking, and open space as compared to the existing B2 zoning requirements.



WHEN:

Monday, September 17, 2007

7pm
XXX p.m.

Council Chambers, 2nd Floor, City Hall

FOR MORE INFORMATION:

A copy of the proposed Conditional Zone Agreement is available for review at the City Clerk's Office (2nd floor) or the Planning Division (4th floor), at 389 Congress Street, Portland Maine 04101. If you wish to submit written comments, address them to Jean Fraser, Planner, Planning Division, City Hall, 4th Floor, 389 Congress Street, Portland, Maine 04101; contact by phone at 874-8728 or e-mail at jf@portlandmaine.gov.

OK with Barbara
8/29/07

From: "Alan Auto" <alanauto@maine.rr.com>
To: "Jean Fraser" <JF@portlandmaine.gov>
Date: 8/28/2007 5:22:30 PM
Subject: council meeting

Dear Jean,
I'd like a few details regarding the upcoming City Council meeting. You have been such a fabulous help. Are you now out of the loop since this is no longer a Planning Board matter; or can you still be our NBP of one? If you can still help I need a couple of answers:
Since there is no public comment at the 5th meeting can I assume that the developer will not be present? If the developer will be present who will be present to advocate for any opposed to the project? Can I assume that this is public information and rules regarding public information will apply? I gotta say I was dismayed that there was no transcript from Planning Board meetings. I'm sure that will change. Is it recommended that any new written comment be sent to individual Councilors or does it work like heretofore?
Thanks,
Alan

From: Jean Fraser
To: Alan/Beth
Date: 8/28/2007 1:28:29 PM
Subject: Re: Avesta meeting

Hello Alan,

The First Reading (neither staff nor applicant attends this and public comments are not taken) is **Wed Sept 5th at 7pm Council Chambers**

The Second Reading (where a decision is taken) is on **Mon Sept 17th, 7pm Council Chambers**. Public Comments are taken at this Second Reading and there is a 3 minute limit although you can request an extension.

Jean (Fraser)
Planner
874 8728

<<>>"Alan/Beth"<aauto1@maine.rr.com> 8/28/2007 7:26:00 AM >>>
Jean,

When are the next meetings for the City Council re the Avesta proposal (date, time, room #)?
Also, what are the stipulations on speaking - still 3 minutes?
Thanks very much Jean.
Alan Prosser

CC: Barhydt, Barbara

Record of Public Comments

**FLORENCE HOUSE
Conditional Rezoning**

| Ref # | Date <i>(all 2007)</i> | Dates to PB | Name of submitter | Address of submitter | Format |
|-------|---------------------------|--|--|---|---|
| 1. | April 23 | Circ to 4/24 PB Workshop & incl in 7/24 PB Memo; 8/14 PB Hearing | Robert Moldaver | 189 St John Street & member of Preble St Board of Directors | Letter |
| 2. | April 24 | Circ to 4/24 PB Workshop; 8/14 PB Hearing | Deborah Heald and Virginia Stevens | 213 and 209 St Johns Street, respectively | Letter and photographs |
| 3. | April 24 | Circ to 4/24 PB Workshop; 8/14 PB Hearing | Alan Prosser | Alans Auto 195 St John Street | E-mail and photographs and internet research |
| 4. | April 24 | Circ to 4/24 PB Workshop & in 6/12 PB Memo; 8/14 PB Hearing | David Jones, Attorney (Jensen Baird Gardner Henry) | Attorney for Alan Prosser | Extract from State Planning and Land Use Regulations 30-A Sec 4352 |
| 5. | May 7 | In 6/12 PB memo; 8/14 PB Hearing | Deborah Heald | 213 St John Street | Letter with photographs |
| 6. | May 14 | In 6/12 PB memo; 8/14 PB Hearing | David Jones, Attorney (Jensen Baird Gardner Henry) | Attorney for Alan Prosser | Letter |
| 7. | June 5 | In 6/12 PB memo; 8/14 PB Hearing | Deborah Heald | 215 St John Street | Comments on submissions & photos |
| 8. | June 6 | In 6/12 PB memo; 8/14 PB Hearing | Alan Prosser | Alans Autos 195 St John Street | 1. Letter 2. 21 completed forms from neighbors (most are abutters) objecting to proposal 3. Photos |
| 9. | June 11 | Circ to 6/12 PB Workshop & in 7/24 PB Memo; 8/14 PB Hearing | Robert Moldaver | 189 St John Street & member of Preble St Board of Directors | Letter |
| 10. | June 12 | Comments made at 6/12 PB Workshop; text also in 7/24 PB memo; 8/14 PB Hearing | Deborah Heald and Virginia Stevens | 213 St John Street and 209 St Johns Street respectively | Text of comments made at June 12 PB workshop (submitted after the meeting) |
| 11. | June 12 | Comments made at 6/12 PB Workshop; text also in 7/24 PB memo; 8/14 PB Hearing | Alan Prosser | Alans Autos 195 St John Street | Text of comments made at June 12 PB workshop (submitted after the meeting) |
| 12. | July 14 | In 7/24 PB Memo; 8/14 PB Hearing | Alan Prosser | Alans Autos 195 St John Street | E-mail and statement |
| 13. | July 17 | In 7/24 PB Memo; 8/14 PB Hearing | Daniel Chase | 210 St John Street | E-mail, chart and letter |
| 14. | July 19 | In 7/24 PB Memo; 8/14 PB Hearing | Dale Brunell, Spectrum Supply | Owner of 190 Valley Street | E-mail and letter |
| 15. | July 20 | In 7/24 PB Memo; 8/14 PB Hearing | Deborah Heald and Virginia Stevens | 213 St John Street and 209 St Johns Street respectively | Statement of concerns |
| 16. | July 20 | In 7/24 PB Memo; 8/14 PB Hearing | Peter Darwin | 29 Exeter Street | E-mail |
| 17. | July 20 | In 7/24 PB Memo; 8/14 PB Hearing | Rob Ravenelle | Resident of Portland since 1984 | E-mail |
| 18. | July 20 | In 7/24 PB Memo; 8/14 PB Hearing | David Jones, Attorney (Jensen Baird Gardner Henry) | Attorney for Alan Prosser | Letter |

| Ref # | Date <i>(all 2007)</i> | Dates to PB | Name of submitter | Address of submitter | Format |
|-------|---------------------------|--|------------------------------------|---|---|
| 19. | July 24 | 8/14 PB Hearing; Circ to 7/24. Workshop; | David Waltz | Former resident of 31-33 Frederick Street (near Logan Place) | E-mail via Alan Auto |
| 20. | July 24 | 8/14 PB Hearing | Robert Moldaver | 189 St Johns Street | Letter amplifying on comments made at the 7/24 Workshop |
| 21. | August 2 | 8/14 PB Hearing | Ann Houser | Not supplied | E-mail |
| 22. | August 2 | 8/14 PB Hearing | David W. Meuse, M.S., CRC | Mental Health Professional 100 Commercial Street | E-mail |
| 23. | August 2 | 8/14 PB Hearing | John and Martha Heald | Volunteers at Logan Place | E-mail |
| 24. | August 2 | 8/14 PB Hearing | Jan Wilkinson | Volunteer at Preble Street 58 Federal Street | E-mail |
| 25. | August 3 | 8/14 PB Hearing | Elaine Rosen | President of the Board of Preble Street | E-mail |
| 26. | August 3 | 8/14 PB Hearing | Nancy M. Breneman | Portland resident Chief Underwriter (UNUM), Individual Disability Policy change Unit | E-mail |
| 27. | August 3 | 8/14 PB Hearing | Jodi Freedman | Resident of Portland Manager of Volunteer Resources and Special Events, The Cedars | E-mail |
| 28. | August 3 | 8/14 PB Hearing | Deborah Heald and Virginia Stevens | 213 and 209 St Johns Street, respectively | Letter and photographs |
| 29. | August 3 | 8/14 PB Hearing | Gary D McNeill | Nurse & social worker in area | E-mail |
| 30. | August 3 | 8/14 PB Hearing | Shirley Rosen | Resident of Portland Worked with Homeless women for 30 years | E-mail |
| 31. | August 3 | 8/14 PB Hearing | Stephanie Brunelle | Munjoy Hill 226 Valley, LLC, 1480 Judson Dr., Boulder CO | E-mail |
| 32. | August 9 | 8/14 PB Hearing | Alan E. Sparks | 42 Haywood Street | Letter |
| 33. | August 6 | 8/14 PB Hearing | Rachelle Mack | 160 Marlborough Road | E-mail |
| 34. | August 6 | 8/14 PB Hearing | Gordon & Barbara Thomson | | E-mail |
| 35. | August 8 | 8/14 PB Hearing | Alex Thorn | | E-mail |
| 36. | August 8 | 8/14 PB Hearing | Lynn Goldfarb | 106 Longwood Drive | E-mail |
| 37. | August 8 | 8/14 PB Hearing | Rev. Dr. Benjamin Shambaugh | Rev. of the Cathedral Church of St. Luke 143 State Street | E-mail |
| 38. | August 8 | 8/14 PB Hearing | Linda Monkman | Preble St. Resource Center Volunteer | E-mail |
| 39. | August 8 | 8/14 PB Hearing | Robert Ravenelle | 79 Highland Street | E-mail |
| 40. | August 9 | 8/14 PB Hearing | Cyndi Amato | Exec. Dir. of Sexual Assault Response Services of So. Maine | E-mail |

| Ref # | Date (all 2007) | Dates to PB | Name of submitter | Address of submitter | Format |
|-------|--------------------|-----------------|-------------------------|--|-------------------------|
| 41 | August 9 | 8/14 PB Hearing | Carol Wishcamper | 35 Little River Lane Freeport | E-mail |
| 42 | August 9 | 8/14 PB Hearing | Dan Chase | 210 St. John Street | E-mail |
| 43 | August 9 | 8/14 PB Hearing | Renee Schwalberg | Resident of West End | E-mail |
| 44 | August 8 | 8/14 PB Hearing | Alan Prosser | Alans Autos 195 St John Street | E-mail |
| 45 | August | 8/14 PB Hearing | Alan Prosser | Alans Autos 195 St John Street | Shadow Impact Standards |
| 46 | August 10 | 8/14 PB Hearing | Joe Brannigan | Shalom House 106 Gilman Street | E-mail |
| 47 | August 10 | 8/14 PB Hearing | Dan Murphy | 75 Woodmont Street | E-mail |
| 48 | August 10 | 8/14 PB Hearing | Cullen Ryan | Exec Dir Community Housing of Maine | E-mail |
| 49 | August 10 | 8/14 PB Hearing | Robin Cooper | Char, Bayside Neighborhood Assoc. | E-mail |
| 50 | August 13 | 8/14 PB Hearing | Ron Spinella | 83 Kent Street | Letter |
| 51 | August 12 | 8/14 PB Hearing | Elizabeth Szatkowski | 99 Atlantic Street | E-mail |
| 52 | August 12 | 8/14 PB Hearing | Elena Schmidt | Pres., Common good Ventures | E-mail |
| 53 | August 13 | 8/14 PB Hearing | Kristin Majeska | Thomas A Harnett Attorney-at-Law | E-mail |
| 54 | August 13 | 8/14 PB Hearing | Joanna Bulger | Portland native | E-mail |
| 55 | August 13 | 8/14 PB Hearing | Robert A Levine | 395 Spring Street | E-mail |
| 56 | August 13 | 8/14 PB Hearing | Robert Moldaver, Jeanne | 189 St John Street | E-mail |
| 57 | August 13 | 8/14 PB Hearing | Handy and son Halim | 135 Broadway, Portland | Letter |
| 58 | August 13 | 8/14 PB Hearing | Nancy Nickerson | 39 Sheffield Street | E-mail |
| 59 | August 14 | 8/14 PB Hearing | Peggy Bensinger | Standish | E-mail |
| 60 | August 14 | 8/14 PB Hearing | Jerry Melville | Dir., McAuley Residence, 91 State St. | E-mail |
| 61 | August 14 | 8/14 PB Hearing | Sister Miriam Callan | Dir., Y.A.N.A. Inc Homeless shelter for substance abuse men. | E-mail |
| 62 | August 14 | 8/14 PB Hearing | Kym Tobin | 57 Exchange Street | E-mail |
| 63 | August 14 | 8/14 PB Hearing | Lannie Welch | Commodity Marketing Concepts, 205 Chandlers Wharf | E-mail |
| 64 | August 14 | 8/14 PB Hearing | Bary D. Pfouts | Pres., Renewal Housing Assoc. LLC | E-mail |
| 65 | August 14 | 8/14 PB Hearing | David Lakari | Former Frederick Street resident | E-mail |
| 66 | August 14 | 8/14 PB Hearing | Lauren Mindermann | Portland resident | E-mail |
| 67 | August 14 | pm | Linda Hogan | Portland resident | E-mail |
| 68 | August 14 | pm | David Kreisler | member of Preble St Board of Directors | E-mail |
| 69 | August 14 | pm | Deirdre O'Callagan | Portland resident, Sec. Avesta Bd of Directors & Regional General Counsel CentexHomes | E-mail |

PC - add 3 to parent pink sheet
+ stapled bit but keep separate
w/ other.

Submissions

- Reference - beam of subdiv ?
- Alan Hansen
- Attachments for report
- Note
- Report.

✓ 25 units.

From: Barbara Barhydt
To: Fraser, Jean; Littell, Penny; M, Betsy
Date: 8/27/2007 2:35:28 PM
Subject: Re: Florence House - Next Steps

Hello:

The public hearing for the Florence House is tentatively scheduled for a public hearing On October 23, so that would be more than 30 days after the Council action. The Planning Board workshop is tentatively scheduled for September 25th, so we will know the Council's decision, but the Board won't be taking any action on the proposal. I believe this tentative schedule complies with Penny's advice. If my interpretation is incorrect, Penny can correct me when she returns from vacation on September 4th.

Thanks.

Barbara

Barbara Barhydt
 Development Review Services Manager
 Planning Division
 389 Congress Street 4th Floor
 Portland, ME 04101
 (207) 874-8699
 Fax: (207) 756-8256
 bab@portlandmaine.gov

>>> Penny Littell Wednesday, August 22, 2007 6:31 PM >>>

Some slight clarification. The Rezoning will not become effective for 30 days following Council action. As a result, I would advise not scheduling this before the PB until that 30 period has expired. Otherwise, you are proceeding under a zone that legally is not yet in existence.

There is no set appeal period to appeal from a rezoning action of the City Council. In my experience any appeals taken from a rezoning are done pretty quickly thereafter to avoid one acquiring some sort of vested rights in a site plan or other application before the City.

>>> Jean Fraser 8/22/2007 4:52:51 PM >>>
 Hello Betsy,

I have some of the answers but not all:

1. You can submit the applications anytime (before or after the Council decision).

2. I am awaiting Penny Littell's comment on this- I am out of the office tomorrow so you could try to contact her direct (874-8480) but I will try again to catch her on Friday.

3./4. We have scheduled this project for a Planning Board Workshop on Sept 25th.

5. The City Council makes the appointment to the Planning Board and the process is handled by the City Managers office. So we do not know the timetable for a replacement.

Hope that helps re your timetable and I will get back to you on #2 asap.

Thanks
 Jean (Fraser)

Planner
874 8728

>>> "Betsy M" <BMelrose@mitcheillassociates.biz> 8/16/2007 12:21:29 PM >>>
Hello Jean-

I left a message on your voicemail, but here is our list of questions.

1. If Council approves the conditional zone agreement on September 17th, can we submit the Site Plan/Subdivision Plan as soon as possible?
2. Is there an appeal period for the Council decision? What is the time period and how does this affect our submission?
3. What is the Planning Board schedule for the next meeting for Site Plan/Subdivision review?
4. Is it possible to move directly to a hearing, or is a workshop mandatory?
5. Is there a Board member replacement for Kevin Beal yet?

Thank you.

Betsy Melrose
Mitchell & Associates
70 Center Street
Portland, Maine 04101
Phone: 207.774.4427
Fax: 207.874.2460

CC: Keller, Debora

From: Barbara Barhydt
To: M, Betsy
Date: 8/27/2007 2:44:00 PM
Subject: Re: Florence House - Next Steps

Hi Betsy:
1. The next application must be for site plan and subdivision review. I believe the other project your referenced was considered lodging under single ownership.
2. If the September 25th workshop holds then you need to submit everything by Sept 4th. I just responded to your other e-mail that included Penny's advice. If my interpretation of her advice is incorrect then we will need to rethink the schedule.
3. You need to have a workshop and then a public hearing.
4. I have tentatively scheduled the public hearing for October 23rd on the assumption that the workshop would be held on the 25th and this is 30 days after the potential Council action.

Thanks.

Barbara

Barbara Barhydt
Development Review Services Manager
Planning Division
389 Congress Street 4th Floor
Portland, ME 04101
(207) 874-8699
Fax: (207) 756-8256
bab@portlandmaine.gov

>>> "Betsy M" <BMelrose@mitchellassociates.biz> Monday, August 27, 2007 11:39 AM >>>
Hello Barbara-

I had a conversation with Jean today regarding the next steps for the Florence House project. She directed me to you with these questions.

1. Does the next application include Subdivision with Site Plan? If so, would Subdivision occur because there are 2 condominium units in the building, or due to the residential apartments? I know that Bayside Village student housing had apartments, but did not go through subdivision, so I assume this is a similar situation.
 2. When is the Site Plan application due? It would be due September 4th if we are still on the September 25th Planning Board agenda for workshop. I'm not sure if we are still on the September 25th agenda based on Penny's e-mail re: rezoning is not official until 30 days after Council action.
 3. Do we need to go through a Workshop, or can we go straight to Public Hearing?
 4. Can a Workshop occur before the rezoning is official?
 5. Would Public Hearing be scheduled for October 23rd, which would be the next meeting after the Council action plus 30 days.
- Thank you for your assistance. If we are applying September 4th, I would like to know as soon as possible.

Betsy Melrose
Mitchell & Associates
70 Center Street

Portland, Maine 04101
Phone: 207.774.4427
Fax: 207.874.2460

CC: Fraser, Jean; Jaegerman, Alex; Keller, Debora; Littell, Penny

From: Penny Littell

Jean Fraser

Date: 8/22/2007 6:27:54 PM

Subject: Re: Florence House Council Report

The only attachments legally necessary are the attachments to the Conditional Rezoning Agreement itself. You may simply want to reference that substantial public comment was received during the PB process.

>>> Jean Fraser 8/22/2007 4:44:17 PM >>>

Penny,

We are trying to decide what attachments to include with this report - we need to slim it down substantially.

The Submissions comprised a very thick section - what is the legal requirement for including the applicants' submissions in the report to City Council and on what basis could we omit any?

thanks

Jean

PS We have already decided that all the public comments will need to be included as attachments.

CC: Barbara Barhydt

**CITY OF PORTLAND, MAINE
CITY COUNCIL AGENDA REQUEST FORM**

TO: Sonia Bean, Senior Administrative Assistant

FROM: Alexander Jaegerman, Planning Division Director

DATE: August 22, 2007

SUBJECT: Agenda Request Re: Conditional Rezoning for Florence House (Avesta Housing)
 Vicinity of 190 Valley Street
 Sponsored by: Portland Planning Board

1) Council Meeting at which action is requested:

1st Reading: September 5, 2007
 Final Action: September 17, 2007

Submission Deadlines:

- 1 electronic copy of packet due 2 weeks prior to Council meeting date for the agenda meeting
 - 5 hard copies due the Thursday before the Council meeting

2) Can action be taken at a later date? YES NO

I. SUMMARY OF ISSUE

The applicant, Avesta Housing (Avesta Florence House LP and Florence House Housing Corporation), has requested conditional rezoning of a 24,968 sq ft site at 190 Valley Street. The conditional rezoning would allow them to construct a three story plus basement building for a women's residence and shelter comprising 25 efficiency apartments, 15 "safe haven" accommodations, 10-25 emergency shelter beds and support facilities including meals and trained staffing. The proposal is a partnership between Avesta Housing and others (including Preble Street Resources) to provide a continuum of accommodation and support services within one building that would assist chronically homeless women to transition to more permanent housing.

The site is currently occupied by a single story commercial building and is located in a B-2 zone between Valley Street and St John Street, with residential, commercial and industrial uses nearby. Residential uses within the B-2 zone must meet the requirements of the nearby residential zone which in the case is R-6.

The proposed uses on the first floor (shelter and "safe haven") are not allowed within the existing B-2 zone nor within the R-6 zone, and the proposed density, setbacks, parking and open space ratio do not comply with the existing zoning of the site. Therefore the applicant seeks approval to the conditional rezoning and associated Conditional Zone Agreement (CZA) in order to proceed with this project.

The Planning Board voted on August 14, 2007 to recommend the conditional rezoning and associated Conditional Zone Agreement to the City Council for its approval.

II. REASON FOR SUBMISSION (What issue/problem will this address?)

The applicants seek conditional rezoning to allow for inclusion of the shelter and "safe haven" uses, to allow a higher density development than would be allowed under the existing zoning, and to allow the side, front and rear setbacks, open space ratio and parking to be less than the minimum required by the underlying zone.

The proposal is abuted by several residential properties and many neighbors raised concerns about the proximity, bulk and height of the building and the possible impacts resulting from the scale and nature of the proposals. Therefore the applicant's submission includes detailed site plans and supporting graphics for the building, and the proposed CZA refers to the specific site

/building proposals and includes detailed operational requirements (eg requirement for Management Plan).

III. INTENDED RESULT (How does it resolve the issue/problem?)
The proposal has been developed over several years to address the needs of homeless women in Portland. The objective is to provide a continuum of care and housing options for homeless women within one facility. Many supporters have sent in comments referring to the urgent need for such a facility (particularly with the closure of the YWCA) and the need to be compassionate towards this vulnerable group in the community. If the conditional rezoning is approved by the City Council the applicants wish to start the development this year, subject to Subdivision and Site Plan Review.

IV. FINANCIAL IMPACT

The applicant submitted a cost/benefit analysis (two years after it opened) of Logan Place, another Avesta project that provided small apartments for formerly homeless persons. Although Florence house includes other types of accommodation in addition to 25 small apartments, there is evidence from the submission that the Florence House project, once operational, could result in savings for the City through reduced use of emergency shelters and fewer police contacts.

V. STAFF ANALYSIS & RECOMMENDATION

The proposed conditional rezoning allows for the development of a 31,272 sq ft building (over 4 floors) accessed mainly from Valley Street, averaging 45 feet in height and set into the substantial slope just below Valley Street. The building is 53 feet high nearest the abutting houses and 35-45 feet high along Valley Street.

The proposed conditional rezoning allows modifications to the dimensional and parking standards of the underlying zoning. Specifically, the proposed rear setback to the property line is reduced to eleven (11) feet rather than twenty (20) feet, the open space ratio is reduced from 30% to 26% with a terraced rear yard, and the parking is reduced from approximately 69 spaces to a sixteen (16) space parking lot accessed from St John Street and a pull-off area along Valley Street. The applicant has limited the number of windows overlooking adjoining residential properties for privacy and introduced building step backs for the upper two stories to reduce other impacts on neighbors (eg visual massing, loss of light).

The proposal addresses several Comprehensive Plan policies ie those that aim to ensure an adequate and diverse supply of housing for all and encourage higher density housing located near services, such as schools, businesses, institutions, employers, and public transportation. Objectors to the rezoning consider that the proposed scale and uses are not consistent with the underlying zone nor with the Comprehensive Plan policies regarding compatibility with the scale, character and traditional development patterns of the City's residential neighborhoods.

VI. PLANNING BOARD RECOMMENDATION

On August 14, 2007 the Planning Board found (vote of 4-0, Chair Patterson, Beal, Odokawa and Hall in favor; Lowry and Silk recused, Tevanian absent) the proposed Conditional Rezoning for Avesta Housing Florence House (190 Valley Street) to be:
● consistent with the Comprehensive Plan of the City of Portland, and
● in compliance with the conditional rezoning standards set out in Section 14-60 to 14-62.
Thus the Planning Board voted to recommend the Conditional Rezoning and associated Conditional Zone Agreement for Avesta Housing Florence House (190 Valley Street) to the City Council for its approval.

VII. SPONSOR

Michael J Patterson, Chair, Portland Planning Board

Index of Supplemental Material

3) City Council Report #38-07, Conditional Zone Agreement, Submissions, staff & public comments
cc: Elizabeth Boynton, Associate Corporation Counsel

From:

Jean Fraser

To:

Littell, Penny

Date:

8/22/2007 4:44:17 PM

Subject:

Florence House Council Report

Penny,

We are trying to decide what attachments to include with this report - we need to slim it down substantially.

The Submissions comprised a very thick section - what is the legal requirement for including the applicants' submissions in the report to City Council and on what basis could we omit any?

thanks

Jean

PS We have already decided that all the public comments will need to be included as attachments.

CC:

Barhydt, Barbara

From: Jean Fraser
To: Elizabeth Boynton
Date: 8/22/2007 4:20:29 PM
Subject: Fwd: Council Request Form for Florence House

Sorry I forgot to copy you into the e-mail to Sonia...a hard copy is in the internal mail.

Jean

>>> Jean Fraser 8/22/2007 4:10:46 PM >>>
Hello Sonia,

Attached please find the Council Request Form for Florence House Conditional Rezoning, as we discussed. First reading is Sept 5th; Second Reading is Sept 17th.

I have squished it up a bit so its 2 pages- hope that is OK.

I will bring down a hard copy in a few minutes.

Thanks
Jean

From:

Jean Fraser
Bean, Sonia

Date:

8/22/2007 4:10:46 PM

Subject:

Council Request Form for Florence House

Hello Sonia,

Attached please find the Council Request Form for Florence House Conditional Rezoning, as we discussed. First reading is Sept 5th; Second Reading is Sept 17th.

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I will bring down a hard copy in a few minutes.

Thanks

Jean

CC:

Alex Jaegerman ; Barhydt, Barbara; Littell, Penny

From: Jean Fraser
To: M, Betsy
Date: 8/22/2007 4:52:51 PM
Subject: Re: Florence House - Next Steps

Hello Betsy,

I have some of the answers but not all:

1. You can submit the applications anytime (before or after the Council decision).

2. I am awaiting Penny Littlell's comment on this- I am out of the office tomorrow so you could try to contact her direct (874-8480) but I will try again to catch her on Friday.

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5. The City Council makes the appointment to the Planning Board and the process is handled by the City Managers office. So we do not know the timetable for a replacement.

Hope that helps re your timetable and I will get back to you on #2 asap.

Thanks
 Jean (Fraser)
 Planner
 874 8728

>>>"Betsy M"<BMeirose@mitchellassociates.biz> 8/16/2007 12:21:29 PM >>>
 Hello Jean-

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1. If Council approves the conditional zone agreement on September 17th, can we submit the Site Plan/Subdivision Plan as soon as possible?
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4. Is it possible to move directly to a hearing, or is a workshop mandatory?
5. Is there a Board member replacement for Kevin Beal yet?

Thank you.

Betsy Melrose
 Mitchell & Associates
 70 Center Street
 Portland, Maine 04101
 Phone: 207.774.4427
 Fax: 207.874.2460

CC: Barhydt, Barbara; Keller, Debora; Littlell, Penny

From: "Betsy M" <BMeirose@mitcheilassociates.biz>
To: "Jean Fraser" <JF@portlandmaine.gov>
Date: 8/16/2007 12:21:55 PM
Subject: Florence House - Next Steps

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Thank you.

Betsy Melrose
Mitchell & Associates
70 Center Street
Portland, Maine 04101
Phone: 207.774.4427
Fax: 207.874.2460

CC: "Debora Keller" <dkeller@avestahousing.org>

From: "Betsy M" <BMelrose@mitchellassociates.biz>
To: "Jean Fraser" <JF@portlandmaine.gov>
Date: 8/16/2007 12:21:55 PM
Subject: Florence House - Next Steps

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 Phone: 207.774.4427
 Fax: 207.874.2460

CC: "Debora Keller" <dkeller@avestahousing.org>

From: "Betsy M" <BMelrose@mitchellassociates.biz>
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Betsy Melrose
Mitchell & Associates
70 Center Street
Portland, Maine 04101
Phone: 207.774.4427
Fax: 207.874.2460

CC: "Debora Keller" <dkeller@avestahousing.org>

From: "Betsy M" <BMeirose@mitcheillassociates.biz>
To: "Jean Fraser" <JF@portlandmaine.gov>
Date: 8/16/2007 12:21:55 PM
Subject: Florence House - Next Steps

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Betsy Meirose
Mitchell & Associates
70 Center Street
Portland, Maine 04101
Phone: 207.774.4427
Fax: 207.874.2460

CC: "Debora Keller" <dkeller@avestahousing.org>

CITY OF PORTLAND, MAINE
CITY COUNCIL AGENDA REQUEST FORM

TO: Sonia Bean, Senior Administrative Assistant

FROM: Alexander Jaegerman, Planning Division Director

DATE: August 21, 2007

SUBJECT: Agenda Request Re: Conditional Rezoning for Florence House (Avesta Housing)
Vicinity of 190 Valley Street
Sponsored by: Portland Planning Board

1) Council Meeting at which action is requested:

1st Reading: September 5, 2007

Final Action: September 17, 2007

Submission Deadlines:

- 1 electronic copy of packet due 2 weeks prior to Council meeting date for the agenda

- 5 hard copies due the Thursday before the Council meeting

2) Can action be taken at a later date? YES NO

I. SUMMARY OF ISSUE

The applicant, Avesta Housing (Avesta Florence House LP and Florence House Housing Corporation), has requested conditional rezoning of a 24,968 sq ft site at 190 Valley Street. The conditional rezoning would allow them to construct a three story plus basement building for a women's residence and shelter comprising 25 efficiency apartments, 15 "safe haven" accommodations, 10-25 emergency shelter beds and support facilities including meals and trained staffing. The proposal is a partnership between Avesta Housing and others (including Preble street Resources) to provide a continuum of accommodation and support services within one building that would assist chronically homeless women to transition to more permanent housing.

The site is currently occupied by a single story commercial building and is located in a B-2 zone between Valley Street and St John Street, with residential, commercial and industrial uses nearby. Residential uses within the B-2 zone must meet the requirements of the nearby residential zone which in the case is R-6.

The proposed uses on the first floor (shelter and "safe haven") are not allowed within the existing B-2 zone nor within the R-6 zone, and the proposed density, setbacks, parking and open space ratio do not comply with the existing zoning of the site. Therefore the applicant seeks approval to the conditional rezoning and associated Conditional Zone Agreement (CZA) in order to proceed with this project.

The Planning Board voted on August 14, 2007 to recommend the conditional rezoning and associated Conditional Zone Agreement to the City Council for its approval.

The proposed conditional rezoning allows for the development of a 31,272 sq ft building (over 4 floors) accessed mainly from Valley Street, averaging 45 feet in height and set into the substantial slope just below Valley Street. The building is 53 feet high nearest the abutting houses and 35-45 feet high along Valley Street. The setback from some of the abutting residential properties is 11 feet, 9 feet less that the required 20 feet for the underlying zone. The applicant has located uses/windows in that side of the building to reduce overlooking, and introduced setbacks for the upper two stories to reduce other impacts on neighbors (eg visual intrusion, loss of light).

A parking area of 16 spaces for staff and some residents would be located at the lower level and accessed from St John Street with a pull-off area at the upper level of Valley Street. If there was no conditional zone the parking requirement would be considerably higher (approximately 45-69 spaces depending on uses).

V. STAFF ANALYSIS & RECOMMENDATION

The applicant submitted a cost/benefit analysis (two years after it opened) of Logan Place, another Avesta project that provided small apartments for formerly homeless persons. Although Florence house includes other types of accommodation in addition to 25 small apartments, there is evidence from the submission that the Florence House project, once operational, could result in savings for the City through reduced use of emergency shelters and fewer police contacts.

IV. FINANCIAL IMPACT

If the conditional rezoning is approved by the City Council, the project will immediately progress through the Site Plan Review process. The Planning Board looked closely at the fundamental Site Plan issues as they were considering the conditional rezoning, so the applicants anticipate the Site Plan Review will focus on finalizing site details and the Management Plan.

III. INTENDED RESULT (How does it resolve the issue/problem?)

The proposal has been developed over several years in response to the need to address the needs of homeless women in Portland. Many supporters have sent in comments referring to the urgent need for such a facility (particularly with the closure of the YWCA) and the need to be compassionate towards this vulnerable group in the community. The applicants wish to start the development this year.

The proposal is abuted by several residential properties and many neighbors raised concerns about the proximity, bulk and height of the building and the possible impacts resulting from the scale and nature of the proposals. Therefore the applicant's submission includes detailed site plans and supporting graphics for the building, and the proposed CZA refers to the specific site/building proposals and includes detailed operational requirements (eg requirement for Management Plan).

The applicants seek conditional rezoning to allow for inclusion of the shelter and "safe haven" uses, to allow a higher density development than would be allowed under the existing zoning, and to allow the side, front and rear setbacks, open space ratio and parking to be less than the minimum required by the underlying zone.

II. REASON FOR SUBMISSION (What issue/problem will this address?)

The proposal includes a terraced open space area on the side towards St Johns Street which makes up 26% of the site as compared with the underlying zone requirement of 30%. This landscaped area would be used by residents and also helps soften the bulk of part of the building as viewed from the St Johns Street side.

The State statute governing conditional rezoning requires that it must be consistent with the adopted growth management program (Comprehensive Plan) and be consistent with the existing and permitted uses within the original zones. The proposed use is residential in nature and reasonably consistent with the existing mixed use/zone of underlying zone. The proposal addresses several Comprehensive Plan policies ie those that aim to ensure an adequate and diverse supply of housing for all and encourage higher density housing located near services, such as schools, businesses, institutions, employers, and public transportation. Objectors to the rezoning consider that the proposed scale and uses are not consistent with the underlying zone nor with the Comprehensive Plan policies regarding compatibility with the scale, character and traditional development patterns of the City's residential neighborhoods.

VI. RECOMMENDATION

On August 14, 2007 the Planning Board voted 4-0 (Chair Patterson, Beal, Odokawa and Hall in favor; Lowry and Silk recused, Tevian absent) in favor of the following motion:

- That the proposed Conditional Rezoning for Avesta Housing Florence House (190 Valley Street) is consistent with the Comprehensive Plan of the City of Portland; and
- That the proposed Conditional Zone Agreement proposed for Avesta Housing Florence House (190 Valley Street) is in compliance with the standards set out in 14-60-62; and
- That the Planning Board therefore recommends the Conditional Rezoning and associated Conditional Zone Agreement for Avesta Housing Florence House (190 Valley Street) to the City Council for its approval.

Chair Patterson and Beal considered that the proposal was compatible with the neighborhood and consistent with the Comprehensive Plan, with Hall and Patterson noting that the location was good for practical reasons including the proximity of employment and access to public transportation. Hall expressed some disappointment with the site plan aspects of the proposal and the impacts on immediate abutters, but concluded that it was compatible with the wider neighborhood. Patterson considered the applicant had worked hard to address concerns regarding the bulk of the building, and Beal noted that it did not overburden the site and that the wider dispersal of services for the homeless population was a benefit.

VII. SPONSOR

Michael J Patterson, Chair, Portland Planning Board

3) Index of Supplemental Material

City Council Report #35-07, Conditional Zone Agreement, Submissions, staff comments and public comments

cc: Elizabeth Boynton, Associate Corporation Counsel

Florence House Timeline

- Fri. Aug. 17 - clarity opinions for docs/report - draft Council request form

wed Aug 22 - final request form deadline

Mon Aug 27 - Council agenda review by staff

Thurs Aug 30 noon - get 10 copies of report to Senia
① (otherwise)

wed sept 5 - final Council reading
② get legal advice to transfer
③ reference to neighbors go Aug 31
(so it can put put on web site)

Mon Sept 17 - 2nd Reading - final decision
28 transp.

5 files get on disc/web.
Printed: 4 files

etc

Gray

Library

8

8

+ 2 others for City files

Warren Green gave letters call public comments

From: Jean Fraser
To: Auto, Alan
Date: 8/15/2007 5:34:12 PM
Subject: Florence House

Hello Alan,

I am sorry I don't know which is the correct e-mail for you so I send to all.

I did want to thank you for sending the information re the shadow impacts. I circulated it to Alex Jaegerman and others (and it was included in the packet of public comments) and it was welcomed and will help us develop standards.

The issue of conditional rezoning goes to the City Council on **Wed Sept. 5th** for a **first reading** (no one attends or speaks at that meeting- its just the Councilors reviewing the material); it then goes to a **Second Reading** (eg hearing, where they make a decision) on **Monday Sept. 17th**; public comments will be taken at that meeting. You will also receive a formal notice for that meeting.

If the City Council approves the rezoning, then the applicant will apply for a Site Plan Review and it will be formally reviewed against the standards in the Site Plan Ordinance Section 14-526.

Please call/e-mail me if there is any other information you would like.

Jean (Fraser)
 Planner
 874 8728

CC: Alan/Beth; Amanda-AlanAuto

From: Jean Fraser
To: dhead01@maine.rr.com; Heald, Deb
Date: 8/16/2007 12:11:55 PM
Subject: Re: Florence House

Hi Deb,

I am not able to answer precisely re your first 2 questions- we are looking at ways to reduce the report document for the Council- so I will have to get back to you on that.

Re the Site Plan process, I simply can not speak for the Board. The CZA states that the development will be developed "substantially in accordance with the Site Plan" and the CZA setbacks and heights (stories) are the maximum "envelope" for the building, so the Board would have to interpret what scope for revisions might be possible that still are allowable within the CZA.

Re the third question, anything that is sent to me will be forwarded to the city Council members with the main report (or separately if received after the main report is circulated). However, comments could also be sent to the City Manager's office (and they would also ensure all the Councilors get copies) or you can contact/write Council members directly and separately as you wish.

I remain the Planner dealing with this (ie I will prepare the report and attachments and get it on the agenda) but any comments to me will be placed with any other comments in a date-order "pile" of comments and possibly harder for Councilors to find- so a direct letter to some/all of them might ensure it is seen.

The Councilors will get the report on Friday Aug 31st and probably be discussing it at Sept 5th first reading; but the decision will be taken on Sept 17th- so if you plan on writing/contacting them direct you might want to think about the timing.

Jean

<<< "Deb Heald" <HEALDD@mmmc.org> 8/15/2007 5:48:12 PM >>>

Thanks, Jean. I didn't have the heart to comment on our opposition to the project last night. I was very moved by several who spoke. As you know, my aunt and I aren't against Florence House for its programmatic purposes. We initially had concerns about the multiple uses but I am now reasonably confident that through this whole process because we and other neighbors raised safety concerns, that safety has been adequately addressed and, should the project go forward, safety is on everyone's radar and any subsequent issues would be handled in a timely way, especially since this has been incorporated into the management plan of the CZA. We are continuing to oppose the height and rear setback.

Anyway, I do have the following questions:

1. Will the City Councilors be given the reams of information that were distributed at last night's PB hearing to review?

2. After the City Council votes, and say that it's approved, is there any hope during the site review process that we can hope to affect change to the height and rear setback?

3. Are you still my contact for distribution to City Councilors or should I be contacting someone else or the Councilors individually?

Thank you,
Deb

>>> "Jean Fraser" <JF@portlandmaine.gov> 8/15/2007 4:54 PM >>>

Deb,

Just to confirm the timetable on this project:

1. The issue of conditional rezoning goes to the City Council on Wed Sept. 5th for a first reading (no one attends or speaks at that meeting- its just the Councilors reviewing the material);

2. It goes to a Second Reading (eg hearing, where they make a decision) on Monday Sept. 17th; public comments will be taken at that meeting. You will also receive a formal notice for that meeting.

3. If the City Council approves the rezoning, then the applicant will apply for a Site Plan Review and it will be formally reviewed against the standards in the Site Plan Ordinance Section 14-526.

Please call/e-mail me if there is any other information you would like. I will send the new/late public comments as you requested. Its likely that more comments will be coming in for the City Council meetings.

Jean (Fraser)
Planner
874 8728

CONFIDENTIALITY NOTICE: This email message, including any attachments, is for the use of the intended recipient(s) only and may contain information that is privileged, confidential, and prohibited from unauthorized disclosure under applicable law. If you are not the intended recipient of this message, any dissemination, distribution, or copying of this message is strictly prohibited. If you received this message in error, please notify the sender by reply email and destroy all copies of the original message and attachments.

From: Jean Fraser
To: Alex Jaegerman ; Barhydt, Barbara; Littell, Penny
Date: 8/16/2007 2:19:35 PM
Subject: Fwd: Florence House - Next Steps

The applicant is raising these questions....I have told them that some of these may need Penny to confirm and therefore I will probably not be able to respond until at least Monday when Penny returns.

Question #4 is a tough one... arguments both ways. Since there will be new Planning Board member and Janice Tevanian was not at the Hearing, I think a Workshop might be good but maybe back to back with the Hearing.

I think Deb Heald (at least) will be asking the Board to request additional revisions to the wall of the "L" since the CZA does leave some room for that. (Deb is not against the use and has e-mailed me to say she was quite moved by some of the comments and did not object to the use and did feel the CZA/Management Plan had allayed her concerns about safety for the neighborhood)

Can the applicant submit the Site Plan application in advance of the Sept 17th council decision so that we can start the review and go to the Sept 25th PB Workshop with it? (still able to pull from agenda if Council does not approve the CZA?)

Jean

<<<"Betsy M">BMeirose@mitcheillassociates.biz> 8/16/2007 12:21:29 PM >>>
Hello Jean-

I left a message on your voicemail, but here is our list of questions.

1. If Council approves the conditional zone agreement on September 17th, can we submit the Site Plan/Subdivision Plan as soon as possible? Is there an appeal period for the Council decision? What is the time period and how does this affect our submission?
3. What is the Planning Board schedule for the next meeting for Site Plan/Subdivision review?
4. Is it possible to move directly to a hearing, or is a workshop mandatory?
5. Is there a Board member replacement for Kevin Beal yet?

Thank you.

Betsy Meirose
Mitchell & Associates
70 Center Street
Portland, Maine 04101
Phone: 207.774.4427
Fax: 207.874.2460

From: "Lauren Mindermann" <payitforward81@gmail.com>
To: <jf@portlandmaine.gov>
Date: 8/14/2007 4:39:07 PM
Subject: Preble Street's Florence House

I am writing in regards to the Public Hearing this evening about the proposed Florence House project. I am unable to attend the hearing this evening because I work at night. As a former resident of Frederic St., which is where Logan Place is located, I want to write to give my full support for this project. I lived on Frederic Street for a year and only moved because the building I was living in was sold and my new landlord asked the tenants to move because they had family who was moving into our units. It is my understanding that Florence House will also be staffed by Preble Street workers and provide much of the same services that Logan Place does. I am proud to say I live in a city that is making such strides against homelessness and demonstrates respect for each individual human life. I understand Florence House would be a residence for women and I think it is a great choice for the next step in the fight against homelessness here in Portland. Women living on the streets are a very vulnerable population and this would provide them a safe place to begin to address their other needs. It is very hard for someone to address any underlying causes of their homelessness when they don't know if they will get a cot to sleep on tonight or make it to dinner before the soup kitchen closes. Food and shelter are basic needs any of us would be lost without. I know there is much debate over the quality and safety of a neighborhood with such a residence, but having lived in such a neighborhood, I find this to be a silly fear of the unknown. In the year I lived there, every interaction I had with a tenant of Logan Place was pleasant. Some would stop me on the street to talk about the Red Sox games and others would simply smile and wave as we crossed paths. They were always respectful of me and my property and would go out of their way to be neighborly. One tenant, upon seeing the AAA Battery Van working on my car came over and said I could ask her for help if I needed any. How much knowledge she had of cars, I don't know, but she wanted to help. How many of us have neighbors like this? I have never been invited to so many summer barbecues than I was while I lived on Frederic St. Not only did they invited the neighbors, but they provided all the food and barbecued it for us and wouldn't let me lift a finger. Sure, I had bad experiences while living on Frederic St, no community is perfect, but I can't attribute them to Logan Place tenants. I only lived a few houses down from Logan Place so I was pretty aware of which neighbors lived there. As I said I work in the evening and I would come home at 11pm to the street lined with cars parked illegally and loud music and people on the steps drinking and hollering. This would happen not only on weekends, but also during the work week and it was always the same two or three houses, but I never heard noise or had my peace disturbed by Logan Place. I more than once saw paddy wagons and witnessed drug busts at other houses on the street again nothing to do with Logan Place. In fact, the people residing there were some of the people I felt the most comfortable living down the block from. The only rare disturbance there ever was would be a very rare fire truck or ambulance. But they always turned off their sirens when they turned down our block and it was in no way excessive. Logan Place is a good sized apartment complex. I can't think of any apartment complex that never has a fire alarm go off or that never has a medical emergency. It seems all the stuff I've read in the papers is just a lot of worrying about something people don't understand. If you took a moment to talk to many of these people they are just like you and me except they have had some very

hard obstacles to overcome in their lives. I ask that you not let fear of the unknown affect your views on this project, but rather look into your hearts and support a project that will improve the lives of women in distress in Portland.
Thank you.
Sincerely,
Lauren Mindermann

CC: <jbradley@preblestreet.org>

not seen by
PR

Moody friends. Drama queens. Your life? Nope! - their life, your story.
Play Sims Stories at Yahoo! Games.

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Linda Hogan

As a resident of Portland and a person who has spent 17 years working for low income persons in Greater Portland, I have personally witnessed the need for permanent housing for this specific population. Preble Street Resource Center and Avesta Housing have a solid track record of working with together in cost effective, responsible, compassionate ways to address the needs of homeless and at risk persons. There impact on this community is dramatic, filling a gap not addressed by other sources.
I believe their vision of co-creating and managing Florence House is realistic, responsible and civic minded. Every day that vulnerable women sleep outside, or on mats at Preble Street's community center represents a lack of commitment to the personal welfare of some of its citizens. We can do better, and our City has the responsibility to support this endeavor in every possible way.
Thank you.

From: l h <travelerhogan@yahoo.com>
To: <JF@portlandmaine.gov>
Date: 8/14/2007 5:45:53 PM
Subject: Fwd: Florence House

st1\.*{behavior:url(#default#i#ieouil) } I am writing in support of Florence House.

not seen by
DJ

THIS MESSAGE IS INTENDED FOR THE USE OF THE INDIVIDUAL OR ENTITY TO WHICH IT IS
ADDRESSED AND MAY CONTAIN INFORMATION THAT IS PRIVILEGED, CONFIDENTIAL OR
EXEMPT FROM DISCLOSURE UNDER APPLICABLE LAW. IF THE READER OF THIS MESSAGE IS
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MESSAGE IMMEDIATELY.

David Kreisler

Thank you for your attention.

Unfortunately I will be unable to attend tonight's public hearing. As a
member of the Preble Street Board of Directors and as someone who grew
up in and continues to work in Portland, please accept this as an
indication of my support for locating Florence House on Valley Street.
There is little dispute that this community needs Florence House.
Portland has been among the leaders in providing services for the
homeless. Over time it has become abundantly clear that shelters are an
inadequate response to homelessness generally, and perhaps more
particularly for homeless women. Florence House, like Logan Place, gives
Portland the opportunity to continue to show leadership in addressing,
and indeed solving, homelessness and all its attendant social and
economic costs.
And, while I can appreciate the trepidation of some members of the
Valley Street neighborhood, the history of Avesta and Preble Street
demonstrates rather dramatically that they will provide the community
with a facility that will fit comfortably with its surrounding
neighbors. Indeed, Florence House will be a source of pride for everyone
in the Portland Community.

To the Planning Board:

From: "David Kreisler" <dkreisler@smsg.com>
To: <JF@portlandmaine.gov>
Date: 8/14/2007 6:02:54 PM
Subject: Public Hearing re: Florence House

From: "O'Callaghan, Deirdre" <dmocallaghan@centexhomes.com>
To: <fr@portlandmaine.gov>
Date: 8/14/2007 8:20:02 PM
Subject: Florence House Conditional Rezoning

Chairman Patterson and members of the Planning Board,

I apologize for not being able to appear in person before you, but I had to leave the public hearing before its conclusion. Therefore, I wish to add my strong support for the conditional rezoning application filed by Avesta Housing for Florence House.

I am writing both as a Portland resident and as Secretary and member of the Board of Directors of Avesta Housing. I have been a Board member of Avesta for 5 years, and of all of the development projects we have worked on during that time, I am most proud of our work on Logan Place and Florence House. The Board has been kept regularly apprised of the ongoing operations at Logan Place, and the positive developments that have occurred with the residents there has been exciting and heartwarming.

I chair Avesta's development review committee, and I can attest that we spent a great deal of time and effort locating an appropriate site in Portland for Florence House. The Board supported the decision to locate Florence House in its proposed location because of its balancing of providing safe housing and access to the needed services for this vulnerable population.

I applaud the efforts of our staff at Avesta and the staff at Preble Street Resource Center for responding to neighborhood concerns and working to adjust the building design and layout to accommodate those concerns.

The need for Florence House is so great and I strongly believe that this structure in this location meets that need. Concerns have been addressed through proposed conditions to the conditional rezoning contract, and I urge you to support Avesta's conditional rezoning application.

Sincerely,

Deirdre O'Callaghan
 42 Murray Street

Portland, ME 04103
 Deirdre O'Callaghan

Regional General Counsel
 Centex Hospitality Group

4 Moulton Street, Suite 423
 Portland, ME 04101

207 774-2255 ph
 207 650-5479 cel

dmocallaghan@centexhomes.com

CC:

<dtotman@avestahousing.org>

add
 not seen by

From: "Betsy M" <BMelrose@mitcheilassociates.biz>
To: "Jean Fraser" <JF@portlandmaine.gov>
Date: 8/16/2007 12:21:55 PM
Subject: Florence House - Next Steps

Hello Jean-

I left a message on your voicemail, but here is our list of questions.

1. If Council approves the conditional zone agreement on September 17th, can we submit the Site Plan/Subdivision Plan as soon as possible?
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5. Is there a Board member replacement for Kevin Beal yet?

Thank you.

Betsy Melrose
Mitchell & Associates
70 Center Street
Portland, Maine 04101
Phone: 207.774.4427
Fax: 207.874.2460

CC: "Debra Keller" <dkeller@avestahousing.org>

From: "Deb Heald" <HEALDD@mmc.org>
To: "Jean Fraser" <JF@portlandmaine.gov>
Date: 8/16/2007 12:19:11 PM
Subject: Re: Florence House

Thanks, Jean.

Deb

>>> "Jean Fraser" <JF@portlandmaine.gov> 8/16/2007 12:11 PM >>>

Hi Deb,

I am not able to answer precisely re your first 2 questions - we are looking at ways to reduce the report document for the Council - so I will have to get back to you on that.

Re the Site Plan process, I simply can not speak for the Board. The CZA states that the development will be developed "substantially in accordance with the Site Plan" and the CZA setbacks and heights (stories) are the maximum "envelope" for the building, so the Board would have to interpret what scope for revisions might be possible that still are allowable within the CZA.

Re the third question, anything that is sent to me will be forwarded to the city Council members with the main report (or separately if received after the main report is circulated). However, comments could also be sent to the City Manager's office (and they would also ensure all the Councilors get copies) or you can contact/write Council members directly and separately as you wish.

I remain the Planner dealing with this (ie I will prepare the report and attachments and get it on the agenda) but any comments to me will be placed with any other comments in a date-order "pile" of comments and possibly harder for Councilors to find - so a direct letter to some/all of them might ensure it is seen.

The Councilors will get the report on Friday Aug 31st and probably be discussing it at Sept 5th first reading; but the decision will be taken on Sept 17th - so if you plan on writing/contacting them direct you might want to think about the timing.

Jean

>>> "Deb Heald" <HEALDD@mmc.org> 8/15/2007 5:48:12 PM >>>
 Thanks, Jean. I didn't have the heart to comment on our opposition to the project last night. I was very moved by several who spoke. As you know, my aunt and I aren't against Florence House for its programmatic purposes. We initially had concerns about the multiple uses but I am now reasonably confident that through this whole process because we and other neighbors raised safety concerns, that safety has been adequately addressed and should the project go forward, safety is on everyone's radar and any subsequent issues would be handled in a timely way, especially since this has been incorporated into the management plan of

the CZA. We are continuing to oppose the height and rear setback.

Anyway, I do have the following questions:

1. Will the City Councilors be given the reams of information that were distributed at last night's PB hearing to review?

2. After the City Council votes, and say that it's approved, is there any hope during the site review process that we can hope to affect change to the height and rear setback?

3. Are you still my contact for distribution to City Councilors or should I be contacting someone else or the Councilors individually?

Thank you,
Deb

<<< "Jean Fraser" <JF@portlandmaine.gov> 8/15/2007 4:54 PM >>>

Deb,

Just to confirm the timetable on this project:

1. The issue of conditional rezoning goes to the City Council on Wed Sept. 5th for a first reading (no one attends or speaks at that meeting-

its just the Councilors reviewing the material);

2. It goes to a Second Reading (eg hearing, where they make a decision) on Monday Sept. 17th; public comments will be taken at that meeting. You will also receive a formal notice for that meeting.

3. If the City Council approves the rezoning, then the applicant will apply for a Site Plan Review and it will be formally reviewed against the standards in the Site Plan Ordinance Section 14-526.

Please call/e-mail me if there is any other information you would like.

I will send the new/late public comments as you requested. Its likely that more comments will be coming in for the City Council meetings.

Jean (Fraser)
Planner
874 8728

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CC: <dheald01@maine.rr.com>

**IMPORTANT NOTICE FROM CITY OF PORTLAND
PLANNING DIVISION
TO RESIDENTS AND PROPERTY OWNERS
IN THE VICINITY OF 190 VALLEY STREET**

WHAT

The Portland City Council will hold a public hearing to consider a request by Avesta Housing for a Conditional Zone Agreement to allow for the development of a 3-story plus basement residential building (Florence House) in the vicinity of 190 Valley Street. Florence House will provide a permanent, supported women's residence and shelter for up to 65 women, including 25 efficiency apartments plus other accommodation and support facilities. The proposal includes demolition of an existing 1 story commercial building and will be accessed from Valley Street and St. John Street. Current zoning for the site is B2 Community Business Zone. The proposed Conditional Zone Agreement includes management provisions and variations in density, front, side and rear setbacks, parking, and open space as compared to the existing B2 zoning requirements.

WHEN

Monday, September 17, 2007 *** 7:00 p.m.
Council Chambers, 2nd Floor, City Hall

FOR MORE INFORMATION

A copy of the proposed Conditional Zone Agreement is available for review at the Planning Division (4th floor), at 389 Congress Street, Portland, Maine 04101. If you wish to submit written comments, address them to Jean Fraser, Planner, Planning Division, City Hall, 4th Floor, 389 Congress Street, Portland, Maine 04101; contact by phone at 874-8728 or e-mail at jf@portlandmaine.gov

From: I h <travelethogan@yahoo.com>
To: <JF@portlandmaine.gov>
Date: 8/14/2007 5:45:53 PM
Subject: Fwd: Florence House

PC 67

stl\:*{behavior:url(#default#ieooui) }
I am writing in support of Florence House.
As a resident of Portland and a person who has spent 17 years working for low income persons in Greater Portland, I have personally witnessed the need for permanent housing for this specific population. Preble Street Resource Center and Avesta Housing have a solid track record of working with together in cost effective, responsible, compassionate ways to address the needs of homeless and at risk persons. There impact on this community is dramatic, filling a gap not addressed by other sources.

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Thank you.

Linda Hogan

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Moody friends. Drama queens. Your life? Nope! - their life, your story.
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PC 68

From: "David Kreisler" <dkreisler@sescg.com>
To: <jf@portlandmaine.gov>
Date: 8/14/2007 6:02:54 PM
Subject: Public Hearing re: Florence House

To the Planning Board:

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There is little dispute that this community needs Florence House. Portland has been among the leaders in providing services for the homeless. Over time it has become abundantly clear that shelters are an inadequate response to homelessness generally, and perhaps more particularly for homeless women. Florence House, like Logan Place, gives Portland the opportunity to continue to show leadership in addressing, and indeed solving, homelessness and all its attendant social and economic costs.

And, while I can appreciate the trepidation of some members of the Valley Street neighborhood, the history of Avesta and Preble Street demonstrates rather dramatically that they will provide the community with a facility that will fit comfortably with its surrounding neighbors. Indeed, Florence House will be a source of pride for everyone in the Portland Community.

Thank you for your attention.

David Kreisler

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PC 69

From: "O'Callaghan, Deirdre" <dmocallaghan@centexhomes.com>
To: <fr@portlandmaine.gov>
Date: 8/14/2007 8:20:02 PM
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The Board supported the decision to locate Florence House in its proposed location because of its balancing of providing safe housing and access to the needed services for this vulnerable population.

I applaud the efforts of our staff at Avesta and the staff at Preble Street Resource Center for responding to neighborhood concerns and working to adjust the building design and layout to accommodate those concerns.

The need for Florence House is so great and I strongly believe that this structure in this location meets that need. Concerns have been addressed through proposed conditions to the conditional rezoning contract, and I urge you to support Avesta's conditional rezoning application.

Sincerely,

Deirdre O'Callaghan

42 Murray Street
 Portland, ME 04103
 Deirdre O'Callaghan
 Regional General Counsel
 Centex Hospitality Group
 4 Moulton Street, Suite 423
 Portland, ME 04101
 207 774-2255 ph
 207 650-5479 cel
 dmocallaghan@centexhomes.com

CC: <dtotman@avestahousing.org>

1. Addendum to the Public Comments; X further e-mails have been received

2. Explain structure of the packet; if any member of the public would like the entire set with all the

submissions and all of the public comment, please leave name and address

3. Since last Workshop:

- Final Conditional Zone Agreement (Attachment 1)
- Final submission with additional information
- Additional public comments

4. Planning Board is requested to make a recommendation to the City Council in respect of the proposed rezoning. If the City Council approves the rezoning, the proposal would return to the Planning Board for Site Plan Review. The rezoning is as described in the Conditional Zone Agreement. The Board is considering three issues:

- Is the proposed use and scale of use consistent with the Comprehensive Plan?
- Is the building compatible with its neighborhood and adequately address site plan issues of height and bulk?
- Do the proposed conditions within the Conditional Zone Agreement adequately address any concerns related to the proposal?

5. Proposal varies from the underlying zone in terms of:

• **Uses:** The proposal is residential in nature but the proposed shelter and "safe haven" uses are

• **Density:** The proposal includes 25 small apartments and up to 40 other people in accommodation on the first floor plus staff - a density of 21 apartments could be developed on this site without a

• **Setbacks:** As seen in Table 1 on page 7 the proposed CZA would allow the building to be 5 feet

feet nearer to the properties to the north and south, 10 feet nearer the sidewalk on Valley Street, and 9 feet nearer to the residences along St Johns Street than would be the case under the existing zoning. The reduction of the rear setback nearest the residential properties has become a key issue because the actual height of the building along that side of the site is over 53 feet for a length of 21 feet.

• **Parking:** Sixteen parking spaces are proposed compared to 69 spaces for the same uses and 46 if the building were apartments only.

• **Open Space:** The proposal provides 26% of the site as open space as compared with the underlying zone requirement of 30%

6. Section VII of the Report outlines the relevant Comprehensive Plan Policies.

7. The rezoning is subject to the Conditional Zone Agreement which is described in Section V. Many of its

provisions describe and clarify the proposal; others have been included to address issues that have arisen at the Workshops and are discussed in detail in Section VIII of the report. Of note:

• **The building height and bulk requirements** limit the building to what has been proposed and

shown on the plans. The wing of the building is 11 feet from the property line of abutters at 209/213 St John Street and its wall is over 53 feet high for a length of 21 feet; the applicant has

mitigated this to some extent by introducing setbacks for the two top stories for ~~part~~ ^{the rest of the} length of the wall (229ft)

though these setbacks do not affect the impact of the building on the loss of sunlight to abutters, which is about 3 hours in the summer. The applicant's submission 7 illustrates the proposal along

this boundary; staff have summarized in Attachment 15

• **Operational requirements** to ensure the property is maintained and managed; a Management Plan is required to be submitted reviewed and approved prior to any grant of Site Plan Approval. The

Management Plan would address detailed issues that have been the subject of discussion with Preble Street, the Dir. HHS and the Police [all at Hearing] and would be implemented by the Management

Association established by the owners.

Rep. Cliff for Loughlin would like to add some comments

Rep. Cliff for Loughlin + Drug Garden is here; the Loughlin has a fine constraint

staff suggested exclude.

(not enumerated on permitted or cond. uses) 14-18y

PC 66
rec'd has late to include in list

From: "Lauren Mindermann" <payitforward81@gmail.com>
To: <jf@portlandmaine.gov>
Date: 8/14/2007 4:39:07 PM
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hard obstacles to overcome in their lives. I ask that you not let fear of the unknown affect your views on this project, but rather look into your hearts and support a project that will improve the lives of women in distress in Portland.
Thank you.
Sincerely,
Lauren Mindermann

CC:

<jbradley@preblestreet.org>

J. Anderson

FLORENCE HOUSE MANAGEMENT PLAN

RESPONSIBILITIES

Florence House is a collaboration between Preble Street and Avesta Housing Development Corporation.

Avesta Housing is the developer/sponsor of the project, and Preble Street will provide social services. The project will be set up as a two unit condominium owned by Florence House Housing Corporation and Avesta Florence House LP. Both entities are affiliated with Avesta Housing. The Florence Condominium Association will be established pursuant to the Maine Condominium Act, 33 M.R.S.A Sections 1601-101 et seq.

Florence House Condominium Association will be responsible for maintaining all common elements as indicated in the Plat and Plans in the Declaration of Condominium of the Florence House Condominium Association. This includes, but is not limited to driveways, open spaces and walkways, light fixtures on the property, water feeder lines, sewer lines, meters and drainage systems. In addition, the Association will be responsible for removal of solid waste, and snowplowing, salting, and sanding all driveways, walkways and parking areas. Florence House Condominium Association is responsible for implementing and enforcing this Management Plan.

Preble Street is the on-site social service provider at Florence House and is responsible for day to day operations including social work and on site support provided to residents of Florence House. Avesta Housing, through its affiliated management company, is responsible for tenant selection and income qualification, with consultation from Preble Street.

STAFFING

Preble Street has made a commitment to a minimum of three awake staff people on-site at all times. Attached is a proposed staffing plan and staffing schedule.

Florence House will be overseen by a Program Coordinator with experience in management of programs working with homeless women as well as extensive training in mental health and substance abuse issues. The Coordinator will be accountable for hiring and firing staff, assuring that all staff meet training requirements, for coordinating with Avesta, and for developing and implementing policies and procedures aimed at maintaining a safe environment and furnishing of quality social services at Florence House.

The Coordinator will be supported by a Clinical Supervisor who will assist in the development of clinical policies, directly supervise part of the Housing Support staff, lead case review meetings, and be the primary liaison with the many mental health, substance abuse, and health providers who will be working with Florence House residents.

Housing Support Workers will work directly with Florence House residents to assure that basic needs are met, that supports are available, that referrals and appointments in the community are made, and in developing individual service plans with residents who are ready to do so. In addition these staff will be responsible for monitoring safety in the building and on the property. Safety will be monitored through staffing of the front desk, requiring that all persons who enter the building sign in and exhibit safe behavior, and by staff doing frequent walks throughout the facility.

Housing Support Workers will receive training that meets the residential standards for mental health programs and then additional training to understand the complex issues that face chronically homeless individuals. This training will include: CPR, First Aid, intervention in potentially violent situations, mental health, substance abuse, co-occurring disorders, homelessness, Housing First, crisis intervention, and essential community resources. Three team leaders will be responsible for providing leadership for other housing support staff throughout the shifts. Team leaders will receive additional training in supervision, policy implementation, and crisis intervention and will be directly supervised by the Program Coordinator.

ACCESS RESTRICTIONS

Both the physical design of the building and the program design will act in tandem to control access to the building. The front desk staff person is responsible for monitoring entry into and exit from the building.

There are four access points to the building:

- The primary entrance is at the south-east corner of the building on Valley Street. This entry consists of two sets of doors. The first set is un-locked and leads into a small vestibule. The second set is locked and leads to the staffed front desk in the main lobby. This front desk will be constantly staffed by Preble Street employees. All people entering the building will have to be buzzed in by Preble Street staff.
- There is a basement level door at the south-west corner of the building. This door provides limited access only to staff and residents with cars. This door will be monitored through a video intercom system monitored at the front desk. This system will include electronic door unlocking for entry.
- The Valley Street delivery entrance at the northern end of the building is designed for staff and delivery use only. This door will be monitored through a video intercom system monitored at the front desk. This system will include electronic door unlocking for entry. Residents will not have access to this door.
- There is a door located at the rear terrace. This door will be used by residents and staff to access the patio.
- The rear yard area is fenced off with a 6 foot high wooden fence. A locked gate is located near the parking lot.

In addition, there are two egress doors – one located at the basement level door and the other located at the delivery area. Both doors lead directly into stairwells and are designed for emergency exit of the building, not as entrance points.

Resident Access

Florence House is accessible to residents twenty-four hours a day. Unlike traditional shelters that close in the morning for cleaning, residents may stay in the building at all times.

Visitor Policy

Residents in the apartments on the second and third floors can have visitors. All visitors are required to be signed in and signed out at the front desk. Visitors cannot be intoxicated and cannot bring any alcohol or non-prescription drugs into Florence House. Any behavior that appears threatening or inappropriate will be managed as outlined below in the CONTROLS OF BEHAVIORS; CONTROL OF NOISE LEVELS section of this plan.

SURVEILLANCE

Four functional surveillance cameras will be situated in order to monitor the outer perimeter of the property and will be directed to avoid monitoring any neighboring properties unless explicitly agreed with the owner of that property. Exact mounting locations will be selected to maximize viewing coverage; mounting height will be a minimum of 10 feet above the ground to prevent vandalism. The cameras are part of a digital video security system that will allow for live viewing of each camera from a central computer as well as the recording of data. Front desk staff will be responsible for monitoring the cameras. Any changes in camera locations will be in consultation with the Portland Police Department.

SAFETY MEASURES

Working closely with the Portland Police Department and other public safety departments, Preble Street provides extensive trainings to all staff on basic safety including CPR, First Aid, intervention with potentially violent situations, how to communicate with crisis services and with 911, and the role of police and Medcu in on site situations. Preble Street have developed specific safety protocols and regularly communicate with the Portland Police and other emergency personnel. Attached is an outline of the Preble Street training material.

CONTROLS OF BEHAVIORS; CONTROL OF NOISE LEVELS

Residents' behavior is expected to be safe and appropriate. Residents may not unreasonably disturb others, use the premises for any purpose deemed hazardous, conduct any activity or occupation which is illegal, noisy or dangerous, nor cause any

damage or waste to the premises. No alcohol is permitted in any indoor or outdoor public area. Expectations will be detailed in the tenant agreement that is part of the lease. An excerpt of a sample Avesta Housing lease is attached.

Loitering of non-residents around Florence House is not permitted nor is any behavior that is disruptive or unsafe. Any behavior that does not meet safety and noise expectations as well as any loitering will be addressed by procedures that will vary based on the severity and the responsiveness of the person whose behavior is being inappropriate:

- First, the individual(s) is asked to leave the area and staff use any existing relationship as well as offers of alternative resources, if needed, to make sure that the individual(s) leave the area and understand the need to change this behavior in the future.

- Second, in the event that the person returns to the area or refuses to leave, Preble Street staff will serve the individual(s) with paperwork approved by the City that lets them know that they are restricted from a specific area around the building.

- Third, if the individual(s) still does not leave the area or returns, the police will be notified to move the individual(s) along and/or to make an arrest for trespassing. Preble Street staff follow up with the Police Department to ensure that individuals do not return to the area and that they understand that continued trespassing can result in incarceration.

MONITORING REPORTS

Preble Street will submit regular reports to the funding sources of Florence House, as required (HUD, United Way, State of Maine, Maine State Housing Authority, etc). In addition, both Avesta Housing and Preble Street are active members of two planning and monitoring entities – the local Emergency Shelter Assessment Committee and the Region One Homeless Council. Preble Street and Avesta Housing will regularly report on Florence House at those meetings. In addition, the Association will submit reports to the City on a quarterly basis during the first year of occupancy at Florence House and annually thereafter.

This Management Plan is subject to periodic updating and review. Any changes to this Management Plan must be mutually agreed upon by the City of Portland, acting through the Planning Authority, and the Florence House Condominium Association. This Management Plan is subject to the Conditional Zoning Agreement approved by the City of Portland on September 17, 2007.

ATTACHMENTS

1. Staffing Plan and Staffing Schedule
2. Preble Street Training Material Outline
3. Excerpt from sample Avesta Housing lease (re apartments only)
4. Excerpt from sample Avesta Housing resident selection policy (re apartments only)

Attachment I: Staffing Plan and Staffing Schedule

The Florence House staffing team will be led by a Program Coordinator with experience in management of programs working with homeless women as well as extensive training in mental health and substance abuse issues. A Clinical Supervisor will provide additional support for staff regarding the challenges of implementing the housing first model. Team leaders with extensive experience in homeless and/or residential services will take responsibility for task supervision during weekend and overnight shifts and will report directly to the program Coordinator. Housing Support Workers will receive extensive training in crisis intervention, mental illness and substance abuse issues, CPR, First AID, housing first, and harm reduction as well as an orientation to Preble Street's low barrier model and Portland and resources. It is anticipated that all staff will receive three weeks of training and assisting in other Preble Street sites before Florence House opens.

To summarize, the proposed staffing team includes:

- 1 Program Coordinator
- 1 Clinical Supervisor
- 3 Team Leaders
- 13 FTE Life Skills Worker
- 1 Program Assistant
- Meal & Volunteer Program Manager
- Janitorial
- Per diem staff to cover gaps during staff vacation/holiday time

Typical Day Staffing Pattern

Staffing will take place in three shifts each day – a daytime shift, an evening shift, and an overnight shift. All staff members will be awake at all times. There will never be fewer than three staff members present on site. Most day and evening shifts will include five or six staff members present on site, including one supervisor or team leader and three line staff. Overnight shifts will have a minimum of three staff. There is also the possibility of one or two meal volunteers during the day shifts.

The following chart outlines the basic staffing pattern.

Florence House Schedule

| SUN | MON | TUES | WED | THUR | FRI | SAT |
|-----------|---------|---------|---------|---------|---------|--------|
| FT#1 | FT#1 | FT#1 | FT#1 | FT#1 | FT#2 | FT#2 |
| FT#3 | FT#4 | FT#2 | FT#2 | FT#2 | FT#3 | FT#3 |
| FT#4 | pt | FT#4 | FT#3 | FT#3 | LS | LS |
| Sup/TL | Sup/TL | Sup/TL | Sup/TL | Sup/TL | TL | TL |
| Coord | Coord | Coord | Coord | Coord | | |
| | F&V mgr | | F&V mgr | | F&V mgr | |
| FT#7 | FT#5 | FT#5 | FT#5 | FT#5 | FT#5 | FT#6 |
| FT#8 | FT#8 | FT#6 | FT#6 | FT#6 | FT#6 | FT#7 |
| LS | LS | FT#8 | FT#7 | FT#7 | FT#7 | FT#8 |
| TL | TL | Sup/TL | Sup/TL | Sup/TL | Sup/TL | Sup/TL |
| | | | Coord | Coord | Coord | |
| | | F&V mgr | | F&V mgr | | |
| FT#12 | FT#9 | FT#9 | FT#9 | FT#9 | FT#10 | FT#11 |
| midnt-8am | FT#12 | FT#9 | FT#9 | FT#9 | FT#10 | FT#11 |
| TL | TL | FT#10 | FT#10 | FT#10 | FT#11 | FT#12 |
| "overnit" | pt | TL | TL | FT#11 | FT#11 | TL |

FT - Full-time Housing Support Worker
 PT - Part-time Housing Support Worker
 Sup - Clinical Supervisor
 Coord. - Program Coordinator
 TL - Team Leader

Please Note:
 The Food and Volunteer Manager and the Program Coordinator will have varying schedules.

Attachment 2: Preble Street Training Material Outline

I. Preble Street Required Training for All Staff

Step 1: Orientation: Preble Street Handbook and Policies

Confidentiality Policy and Unlawful Harassment Policy

Exposure Risk Policies (Universal Precautions, Bloodborne and Airborne Pathogens)

Ident and Accident reporting, Worker's Compensation, and Trauma Protocol

Step 2: Maintaining a Safe Work Environment:

Boundaries & Confidentiality, Steps for Safety, Conflict Resolution, Challenging Behaviors, Emergency Services Intervention Basics, Weapon Policy and Trauma Procedures

Step 3: Mental Health & Suicide Intervention:

Emergency & Non-Emergency Procedures, Mental Health Crisis Intervention, Suicide Intervention

Additional Annually Training: Unlawful Harassment & Safety Training, Video Display Terminal Training (for office staff)

II. Specific Program Training

Adult Services

Logan Place/Florence House:

History & Logan Place/Florence House Policies

Harm Reduction

Social Services Tour

Police Interaction Protocol/Referral Guidelines

Personal Safety & De-escalation Techniques

Boundaries & Confidentiality

Challenging and Unsafe Behaviors

Steps for Safe Interactions

Co-occurring Mental Health and Substance Use Disorders

Mental Health Intervention Training

Developing Positive Relationships

Assessing for Suicide

Stages of Alcoholism/Withdrawal/Overdose/Recovery

Substance Abuse and Victimization

History and Principles of Supportive Housing

Women's Shelter/Florence House:

Shelter Procedures and Policies (including Intake Procedures, On Call Procedures, Illegal

Substance Policy, & Overflow Plan)

Emergency Interventions/Police and Medu Protocols

De-escalating & Addressing Difficult Behaviors

Boundaries & Confidentiality

Suicide Intervention

Coordinator and Program Assistant (HMIS Training)

Sexual Abuse Training (SARS)

Adult Day Shelter:

Day Shelter Policies (including Drug & Alcohol Policies, Weapon Policy & Trauma

Protocol)

Social Work and Safety in the Day Shelter

Emergency Interventions/Police and Medu Protocols

De-escalating & Addressing Difficult Behaviors

Casework -Working with Clients & Paperwork

Weekend Breakfast Protocols/On Call Procedures

Teen Drop in Center:

Teen Services
Agency Overview
Drop in Policies/Rules/Regulations
Confidentiality
Consumer Needs, Issues, and Characteristics
Boundaries
Harm Reduction/Drugs & Alcohol
Case Management/Paperwork/Resources
Child Abuse Reporting (DHH/CPS Training)
Crisis Intervention
Outreach
Program Assistant (HMIS Training)

Lighthouse:

Lighthouse Policies /Rules
Intake/ Discharge Procedures
Confidentiality
Child Abuse Reporting (DHH/CPS Training)
Police/Medic/Fire Department Procedure
Emergency & Evacuation Procedure
Emergency Preparedness Plan/Overflow
Suicide Prevention

Upon Hire and as required by license:

Physical for staff
TB testing
First Aide/CPR (American Red Cross)

III. Additional Training from Outside Sources:

University Of Maine: 40-42 course slots (days) for staff each year
Ethical Decision Making, Motivational Interviewing, Communicating One on One, Using
Feedback Effectively, Constructive Conflict Resolution, Anger as Information, The Practice of
Supervision, Assessing the Risk of Violence, Stepping Up to Supervisor, Critical Thinking,
Compassion Fatigue, Managerial Courage, Negotiation Skills, Coaching to Enhance & Improve
Performance
Co-Occurring Collaborative of Southern Maine – some examples are: Multi-Cultural
Responsiveness in Maine, Co-Occurring Disorders and the Criminal Justice System, Meth on the
Move, Psychiatric Care of Patients in the ER Department, Treatment & Recovery Philosophies
Sexual Assault Response Services of Southern Maine – 4 Trainings contracted per year on
sexual assault, medical and legal issues.
American Red Cross – First Aide and CPR for Lighthouse staff upon hire and annually.
DHHS – Intake and Referral - Mandatory Reporting
David Mandt & Associates – Mandt System Training
Amistad – Mental Health Trainings
Day One – Teen Center Training
Portland Police Department – Police Interaction and Relationships, CIT Officers and Crisis
Intervention
Maine Medical Center – Ethics in the Health & Mental Health Care

Attachment 3: Excerpt from sample Avesta Housing lease (re apartments only)

RESIDENT'S OBLIGATIONS

Resident shall:

- A. Use the Premises only for a private dwelling as stated above and for no other purpose.
- B. Keep the Premises in a decent, safe and sanitary condition.
- C. Pay the Resident's Monthly Rent to the Owner pursuant to Paragraph 3 above.
- D. Promptly notify the Owner of any conditions that require repair or maintenance, including infestation with rodents, vermin or insects.
- E. Permit the Owner to inspect the Dwelling Unit annually and at other such times as the Owner deems necessary to ascertain the conditions of the Dwelling Unit and to determine if repairs or improvements are necessary.
- F. Reimburse the Owner within 30 days of his expenditures for all repairs, redecorating or replacement of furnishings and appliances necessitated by neglect or intentional conduct of Resident, or visitors
- G. Be responsible for the conduct of any visitors on the Premises
- H. Limit overnight visitors/guests to no more than 5 nights in a month. (All visitors must sign in at the front desk.)
- I. Follow such rules and regulations governing the use and occupancy of the Premises as may be promulgated by the Owner pursuant to Paragraph 12 below.
- J. Leave the Premises upon termination of this Lease Agreement in as good condition as at the date the Resident moved in, reasonable wear and tear excepted.

Resident shall not:

- 1. Unreasonably disturb other residents, staff or volunteers, or neighbors with loud noises or other nuisances.
- 2. Make any alterations, additions, or improvements to the Premises, without prior written consent of the Owner.
- 3. Use the Premises for any purpose deemed hazardous by the Owner's insurance company or place combustible materials in storage areas.
- 4. Keep any article or substance on the premises or conduct any activity or occupation which is illegal, noisy or dangerous.
- 5. Hang items on the walls of the Premises other than with picture hooks, without the Owner's prior written approval.
- 6. Assign this Lease Agreement or sublet the unit.
- 7. Install washing machine or dryer, electric space heater, or other major appliance.
- 8. Cause any damage or waste to the Premises.
- 9. Cause Premises to be overcrowded.
- 10. Permit any guests/visitors to remain overnight unless that guest/visitor has signed in at the front desk.

Attachment 4: Excerpt from sample Avesta Housing tenant selection policy (re apartments only)

Determination of Eligibility and Screening Criteria

Avesta Housing and Portland Housing Authority (PHA), in order to make the application process as low-barrier as possible, will provide a single application for Logan Place which will provide information for Avesta and PHA to determine eligibility for their respective program requirements. Preble Street will assist all referred applicants with completion of the Avesta/PHA Application.

To determine final Eligibility, verified information will be secured and evaluated and a determination will be made with respect to:

1. Eligibility of the Applicant as disabled and chronically homeless,
2. Eligibility of the Applicant with respect to Low-Income Housing Tax Credit and HOME Income Limits for admission;
3. Must not be, or intend to be a full-time student
4. Apartment size and design and whether an accessible or modified apartment is required for the household;
5. Qualification of the Applicant with respect to the Applicant Screening Criteria.

Screening Criteria

All Applicants for Logan Place will be screened according to the criteria set forth below.

- The Applicant must have the ability to pay the rent, i.e. apply for and be approved for a Portland Housing Authority Section 8 project based voucher.
- The Applicant must not owe money related to a previous HUD housing subsidy.
- The Applicant will be subject to a criminal history background check sufficient to determine whether he or she has a record of violent criminal history or for a pattern of criminal behavior.
- Persons convicted of sexual offenses and subject to a lifetime Sexual Offender registration requirement are permanently prohibited from admission to Logan Place. Avesta Housing will conduct criminal history background checks sufficient to determine whether any applicant member is subject to such a registration requirement.
- Persons that have been convicted of drug-related criminal activity for manufacture or production of methamphetamine on the premises of federally-assisted housing are permanently prohibited from admission to Logan Place.
- The Applicant must not have a history or illustrate a concern in which their behavior may interfere with other residents in such a manner as to diminish their peaceful enjoyment of the premises by adversely affecting their health, safety, or welfare;
- The Applicant must not have a history of, or illustrate a concern in which they may violate the civil rights of any person, while on the premises of Logan Place;
- The Applicant will not require services from Avesta Housing staff that would alter

the fundamental nature of the Logan Place program requirements.

- Illegal use of a controlled substance; or
- The Applicant must not give Avesta Housing reasonable cause to believe that the illegal use (or pattern of illegal use) of a controlled substance, or abuse (or pattern of abuse) of alcohol may interfere with the health, safety or right to peaceful enjoyment of the premises by other residents.

Avesta Housing together with PS will analyze the results of the screening process. PS will be responsible for making recommendations to Avesta Housing for admission of an applicant who is considered in default of any of the criteria set forth.

If the recommendation of an Applicant is not in violation of federal regulations and includes the provision of supportive services that in the opinion of PS will address the area(s) of concern, then the applicant will be considered qualified for placement at Logan Place. Avesta will make the final determination of Program Eligibility.

From: Jennifer Dorr
To: Jean Fraser
Date: 8/15/2007 12:57:04 PM
Subject: Re: Florence House

Jean,

The notice will need to be sent to the newspaper by noon on Thursday, August 30th to run in the September 3rd and September 10th edition. The notices can be sent to neighbors on August 31st. I will take the names off of all of the letters received and input them into UI for the next mailing.

Jen

CC: Barbara Barhydt

From: Joseph Loughlin
To: Jean Fraser
Date: 8/9/2007 4:43:09 PM
Subject: Re: Florence House

The police department supports the concept of Florence House for the safety and protection of women who are faced with these difficult circumstances.

Deputy Chief Joseph K. Loughlin
Portland Police Department
109 Middle Street
Portland, Maine 04101
(207) 874-8591

>>> Jean Fraser 8/9/2007 4:22:13 PM >>>
Hello

If you would like to have anything in writing from your department included in the Hearing Report on this project, please get it to me tomorrow morning please.

thanks
Jean

IMPORTANT NOTICE FROM THE CITY OF PORTLAND - PLANNING DIVISION
TO RESIDENTS AND PROPERTY OWNERS IN THE VICINITY OF
190 VALLEY STREET

WHAT: The Portland Planning Board will hold a public hearing to consider a request by Avesta Housing for a Conditional Zone Agreement to allow for the development of a 3-story plus basement residential building

(Florence House) in the vicinity of 190 Valley Street. Florence House will provide a permanent, supported women's residence and shelter for up to 65 women, including 25 efficiency apartments plus other accommodation and support facilities. The proposal includes demolition of an existing 1 story commercial building and will be accessed from Valley Street and St. John Street.

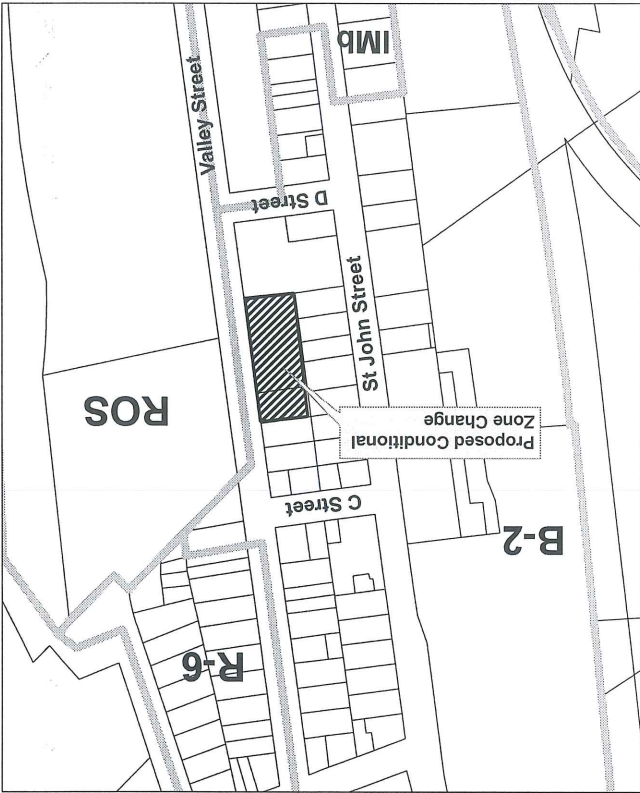
Current zoning for the site is B2 Community Business Zone. The proposed Conditional Zone Agreement includes management provisions and variations of density, setbacks, ~~height~~ height, parking, and open space as compared to the existing B2 zoning requirements. The Planning Board will make a recommendation on this Conditional Rezoning to the City Council. Public comments will be taken at this meeting.

WHEN:

Tuesday, August 14th, 2007
 6:00 p.m.
 Council Chambers, 2nd Floor, City Hall

FOR MORE INFORMATION:

If you wish to submit written comments, address them to Jean Fraser, Planner, Planning Division, City Hall, 4th Floor, 389 Congress Street, Portland, Maine 04101, contact by phone at 874-8728 or e-mail at jfr@portlandmaine.gov



Florence House, 190 Valley Street
 Proposed Rezoning: B-2 to Conditional Zone

Draft - must go to paper
Thurs 7:2607 AM.

* As the height is within the setback and on the CZA references the site plans which specify heights, use left height in. Please 'OK' - Hawks

Remove height from 7.25.07 afternoon

From: "Lauren Mindermann" <payitforward81@gmail.com>
To: <jf@portlandmaine.gov>
Date: 8/14/2007 4:39:07 PM
Subject: Preble Street's Florence House

PC 66
 rec'd too late to include in list

I am writing in regards to the Public Hearing this evening about the

proposed Florence House project. I am unable to attend the hearing this evening because I work at night. As a former resident of Frederic St., which is where Logan Place is located, I want to write to give my full support for this project. I lived on Frederic Street for a year and only moved because the building I was living in was sold and my new landlord asked the tenants to move because they had family who was moving into our units. It is my understanding that Florence House will also be staffed by Preble Street workers and provide much of the same services that Logan Place does. I am proud to say I live in a city that is making such strides against homelessness and demonstrates respect for each individual human life. I understand Florence House would be a residence for women and I think it is a great choice for the next step in the fight against homelessness here in Portland. Women living on the streets are a very vulnerable population and this would provide them a safe place to begin to address their other needs. It is very hard for someone to address any underlying causes of their homelessness when they don't know if they will get a cot to sleep on tonight or make it to dinner before the soup kitchen closes. Food and shelter are basic needs any of us would be lost without. I know there is much debate over the quality and safety of a neighborhood with such a residence, but having lived in such a neighborhood, I find this to be a silly fear of the unknown. In the year I lived there, every interaction I had with a tenant of Logan Place was pleasant. Some would stop me on the street to talk about the Red Sox games and others would simply smile and wave as we crossed paths. They were always respectful of me and my property and would go out of their way to be neighborly. One tenant, upon seeing the AAA Battery Van working on my car came over and said I could ask her for help if I needed any. How much knowledge she had of cars, I don't know, but she wanted to help. How many of us have neighbors like this? I have never been invited to so many summer barbecues than I was while I lived on Frederic St. Not only did they invited

wouldn't let me lift a finger. Sure, I had bad experiences while living on Frederic St, no community is perfect, but I can't attribute them to Logan Place tenants. I only lived a few houses down from Logan Place so I was pretty aware of which neighbors lived there. As I said I work in the evening and I would come home at 11 pm to the street lined with cars parked illegally and loud music and people on the steps drinking and hollering. This would happen not only on weekends, but also during the work week and it was always the same two or three houses, but I never heard noise or had my peace disturbed by Logan Place. I more than once saw paddy wagons and witnessed drug busts at other houses on the street again nothing to do with Logan Place. In fact, the people residing there were some of the people I felt the most comfortable living down the block from. The only rare disturbance there ever was would be a very rare fire truck or ambulance. But they always turned off their sirens when they turned down our block and it was in no way excessive. Logan Place is a good sized apartment complex. I can't think of any apartment complex that never has a fire alarm go off or that never has a medical emergency. It seems all the stuff I've read in the papers is just a lot of worrying about something people don't understand. If you took a moment to talk to many of these people they are just like you and me except they have had some very

hard obstacles to overcome in their lives. I ask that you not let fear of the unknown affect your views on this project, but rather look into your hearts and support a project that will improve the lives of women in distress in Portland.
Thank you.
Sincerely,
Lauren Mindermann

CC: <jbradley@preblestreet.org>

**AVESTA FLORENCE HOUSE LP, FLORENCE HOUSE HOUSING CORPORATION
AND FLORENCE HOUSE CONDOMINIUM ASSOCIATION**

CONDITIONAL ZONE AGREEMENT

AGREEMENT made this _____ day of _____, 2007 by AVESTA FLORENCE HOUSE LP, a Maine limited partnership with a place of business in Portland, Maine ("Florence House"), FLORENCE HOUSE HOUSING CORPORATION, a Maine nonprofit corporation with a place of business in Portland, Maine, and each of their successors and assigns ("FHHHC") and FLORENCE HOUSE CONDOMINIUM ASSOCIATION, a Maine nonprofit corporation (the "Association," the Association, FHHC and Florence House are sometimes collectively called "Owner")

W I T N E S S E T H

WHEREAS, Owner has acquired land and buildings located at 190 Valley Street in Portland, Block A, Lot 11, and more particularly described in a deed from C & D Associates dated _____, 2007 and recorded in the Cumberland County Registry of Deeds in Book _____, Page _____ (collectively the "Property"); and

WHEREAS, Owner intends to create a condominium within the proposed building to be built on the Property, which will consist of two units, as more particularly described in this Agreement, and the Association will be responsible for certain maintenance obligations as set forth in this Agreement; and

WHEREAS, Owner has requested a rezoning of the Property in order to permit the development of the project described in this Agreement within each unit of the condominium to be created by Owner; and

WHEREAS, Owner's funding sources require that each of the two condominium units be held in separate ownership; and

WHEREAS, the Portland City Council has determined the rezoning and proposed development would provide needed housing in the City for low income individuals as is consistent with the housing component of the Comprehensive Plan, and would not negatively impact the surrounding business and residential community; and

WHEREAS, the Portland City Council, pursuant to 30-A M.R.S.A. § 4352(8) and Portland City Land Use Code (the "Code") §§ 14-60 to 14-62, and after notice and hearing and due deliberation thereon, recommended the rezoning of the Property as aforesaid, subject, however, to the conditions set forth in this Agreement; and

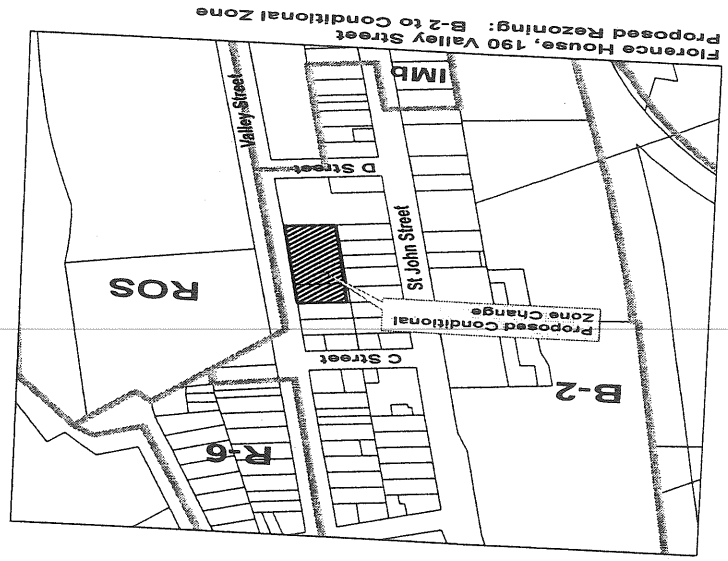
as submitted w/ Metrolink Assoc letter of July 31, 2007

WHEREAS, the City Council (the "City") has determined that because of the unusual nature and unique location of the proposed development it is necessary and appropriate to impose by agreement the following conditions and restrictions in order to ensure that the rezoning is consistent with the City's comprehensive land use plan; and

WHEREAS, the City Council has on _____, 2007 approved this Agreement in its entirety, by City Council Order No. _____, a true copy of which is attached hereto as Attachment I (the "Order");

NOW, THEREFORE, in consideration of the rezoning, Owner covenants and agrees as follows:

1. Pursuant to the Order, the City shall amend the Zoning Map of the City of Portland, dated _____, 2007 (as amended from time to time and on file in the Department of Planning and Urban Development, and incorporated by reference into the Zoning Ordinance by § 14-49 of the Code) by adopting the map change amendment shown below. If this Agreement is not recorded within sixty days after the date of the approval of the Order, then the conditional rezoning shall become null and void and the zoning of the Property shall revert to the pre-existing B-2 zone.



2. The building to be built on the Property is being developed as a two-unit condominium, to be called Florence House Condominium (the "Condominium").

a. Unit 1 of the Condominium shall consist of the following uses which are permitted under and subject to this Agreement:

i. On the first floor of the building:

1. maximum capacity of 40 beds (up to 25 emergency shelter beds and 15 safe haven beds) for women only. For purposes of this Agreement, the term "emergency shelter" has the meaning given

to it in Section 14-47 of the Code, and the term "safe haven" means a facility or space providing semi-private accommodations with shared washroom facilities, with meals provided, for individuals with special needs (such as but not limited to individuals who are or were formerly homeless and/or are suffering from mental illness, substance abuse or other disability), with appropriate levels of social services provided to the residents of the safe haven;

2. laundry, kitchen and pantry as labeled; and
3. three offices

all as shown on the floor plans attached hereto as Attachment 3.

ii. On the basement level of the building, two offices, a conference room, an employee lounge, an open office area, three storage and three mechanical/maintenance rooms and a bicycle storage closet, all as shown on the floor plans attached hereto as Attachment 2. The facilities in the basement of the building shall be used for providing services to the residents of Units 1 and 2 but not to the general public. Any residential use within the basement of the building is strictly prohibited.

b. Unit 2 of the Condominium shall consist of the following uses which are permitted under and subject to this Agreement:

- i. Up to twenty-five affordable rental efficiency apartments (twelve on floor 2 and thirteen on floor 3) for women only on the second and third floors of the building ("Unit 2") as shown on the floor plans attached hereto as Attachments 4 and 5.
- ii. One office, a community room and a community kitchen on the second floor, all as shown on the floor plans attached hereto as Attachment 4. All uses described in this subsection (ii) shall be for providing services to the residents of Units 1 and 2 but not to the general public.
- iii. One office, a laundry and a storage area on the third floor, all as shown on the floor plans attached hereto as Attachment 5. All uses described in this subsection (iii) shall be for providing services to the residents of Units 1 and 2 but not to the general public.

Unit 1 shall be owned by FHHC or an entity wholly owned by or affiliated with Avesta Housing Development Corporation, a Maine nonprofit corporation ("Avesta"), and Unit 2 shall be owned by Avesta Florence House LP. The Association shall have and fulfill the responsibilities set forth in the Maine Condominium Act, 33, M.R.S.A. Section 1601-101 et seq. Each of FHHC and Florence House shall retain sole discretion as to what level of social services to provide to the residents of Units 1 and 2, respectively. At minimum, however, there shall be adequate, on-site, awake staff, consisting of not less than three persons, providing security for and supervision of residents of both Units 1 and 2 twenty four hours a day, seven days a week. The number of awake staff may be reduced pursuant to the Management Plan referred to in Section 6 below,

based on operational history of the facility, and subject to approval by the Director of the City's Department of Health and Human Services.

3. Except as limited in Section 12 of this Agreement, execution of this Agreement binds FHHHC, Florence House and the Association and their respective successors and assigns to the terms of this Agreement.

4. Any change in ownership of either Unit 1 or Unit 2 shall be brought to the Planning Board for its review and approval, but this requirement shall not apply (i) with respect to Unit 1 so long as the transfer is to an entity that is either affiliated with or wholly owned by Avesta, provided notice of any such change is provided to the Planning Department in advance of such change, or (ii) to the granting of mortgages or other security interest by Owner or to the enforcement by the mortgagees of their rights under such mortgages.

5. The Association shall be responsible for ongoing maintenance of the Property, including snowplowing, salting, sanding, sweeping, lighting, trash pickup (at least weekly) by a private contractor, mowing, etc. If the Association fails to satisfy its obligations under this Section, after written notice and a reasonable opportunity to cure, then FHHHC and Florence House and their respective successors and assigns shall be jointly and severally liable for performance of the obligations set forth in this Section.

6. A Management Plan, containing, at minimum the following specific categories of control (Responsibilities, Staffing, Access Restrictions, Surveillance including functional surveillance cameras, Safety measures, Control of behaviors, Control of noise levels, and Monitoring reports) shall be submitted to the City for review and approval prior to site plan approval. Thereafter the Management Plan shall be implemented and enforced by the Association. Compliance review with respect to the Management Plan shall be performed by the City on a quarterly basis during the first year after issuance of a certificate of occupancy and at least annually thereafter, or as otherwise requested by the City, to ensure the effectiveness of such plan to protect the health, safety and welfare of the residents and the City, should it be determined by the City that the Management Plan in place is ineffective or as otherwise reasonably necessary to achieve its purposes. By virtue of this Agreement, the Association agrees to and shall be bound to amend, fund and implement the Management Plan. Should the Association fail to fulfill this obligation, FHHHC and Florence House and their respective successors and assigns shall be responsible for the amendment, funding and implementing of such plan; provided, however, that if FHHHC is unable to secure sufficient funding for the continued implementation of such plan, Florence House shall have the option of seeking an amendment to this Agreement terminating this Agreement as to Unit 1 only, and in the event Florence House seeks such an amendment, any obligation of Florence House to operate Unit 1 in the manner provided in this Agreement shall immediately terminate, and Unit 1 thereafter may not be operated in the manner set forth in Section 2(a) of this Agreement.

7. The Property will be developed substantially in accordance with the Site Plan, including but not limited to elevations, floor plans, roof plans and height depictions, shown on Attachments 2 through 9, submitted by Mitchell and Associates dated _____, 2007.

- 8. The Planning Board shall review and approve the development of the building according to the site plan and subdivision provisions of the Code.
- 9. Space and Bulk Requirements. The following space and bulk requirements shall apply to the Property:

B-2:

- a. Occupancy and Density: Maximum occupancy (not including staff) and density shall be no more than 40 beds for women only on the first floor including up to 25 emergency shelter beds and 15 safe haven beds; and up to twenty five affordable rental efficiency apartments on the second and third floors, with associated ancillary service space as detailed in paragraph 2. above.

b. Minimum rear yard:

11 feet as follows:

- i. 11 foot setback for basement and first floor for a distance of 50 feet as shown on Attachment 10:
- ii. 11 foot setback for second and third floors for a distance of 21 feet as shown on Attachment 10:
- iii. 14 foot setback for second and third floors for a distance of 8 feet as shown on Attachment 10:
- iv. 47 foot setback for remaining portion of the building as shown on Attachment 10.

e. Parking requirements:

Unit 1:
Unit 2:

9 parking spaces.
7 parking spaces.

R-6:

- a. Density: Maximum density shall be no more than 40 beds for women only on the first floor including up to 25 emergency shelter beds and 15 safe haven beds; and up to twenty five affordable rental efficiency apartments for women only on the second and third floors, with associated ancillary service space as detailed in paragraph 2. above.
- b. Minimum rear yard:

- i. 11 foot setback for basement and first floor for a distance of 50 feet as shown on Attachment 10;
- ii. 11 foot setback for second and third floors for a distance of 21 feet as shown on Attachment 10;
- iii. 14 foot setback for second and third floors for a distance of 8 feet as shown on Attachment 10;
- iv. 47 foot setback for remaining portion of the building as shown on Attachment 10.

- c. Minimum side yard on northerly property line:
- d. Maximum lot coverage: 5 feet
- e. Minimum front yard: 40%
- f. Open space ratio: none required
- g. Parking requirements: 26 %.

Unit 1: 9 parking spaces.
 Unit 2: 7 parking spaces.

The measurement of building height per code is the vertical measurement from grade to the highest point on the roof beams in a flat roof. The average grade of the site, post construction, is 46.81 feet. The building height proposed here, taking into account the average grade, complies in all respects with the building height permitted in the B-2 (45 feet) and R-6 (45 feet) zones and need not be altered herein.

To the extent not otherwise altered herein, the zoning requirements for the underlying B-2 zone (and the R-6 by reference therein) shall apply to this site.

10. Florence House agrees to maintain, for a term of 90 years, the rent levels and income requirements for the efficiency affordable rental apartments in Unit 2 as follows:

60% of units at 50% of Area Median Income

40% of units at 60% of Area Median Income

11. The provisions of this Agreement, including the permitted uses listed in paragraph 2, are intended to supersede the uses and requirements of the underlying B-2 zone. To the extent not otherwise altered herein, the limitations and requirements for the underlying B-2 (and the R-6 by reference therein) zone shall apply to this site.

12. In the event of a breach by Owner or its successors or assigns of the zoning provisions contained herein (whether the Zoning Administrator, the Zoning Board of Appeals or the City Council that the Conditional Zone and this Agreement be amended, or be rescinded, such rescission to result in the termination of this Agreement and a reversion of the Property to the B-2 zone in place before the execution of this Agreement.

In the event that either Florence House or FHHC, or their approved successors and assigns, defaults in its respective obligations hereunder and fails to remedy said default within a reasonable period of time after written notice from the City, this Amended and Restated Conditional Zone Agreement shall remain in full force and effect with respect to the portion of the Property occupied by the non-defaulting party. Neither Florence House nor FHHC shall have any obligation to operate an emergency shelter or a safe haven or associated social services otherwise permitted in this Agreement, but FHHC and Florence House shall have the obligation to fulfill the requirements of Section 5 and 6 above as and to the extent detailed therein. Each party shall have the right (but not the obligation) to cure any default or violation of the defaulting party under this Agreement.

13. The above stated restrictions, provisions, and conditions are an essential part of this Conditional Rezoning Agreement, shall run with the Property, shall bind and benefit Owner, any entity affiliated with Owner that takes title to the Property, their successors and assigns, and any party in possession or occupancy of said Property or any part thereof, and shall inure to the benefit of and be enforceable by the City, by and through its duly authorized representatives. Owner shall file a counterpart original of this Agreement in the Cumberland County Registry of Deeds.

14. If any of the restrictions, provisions, conditions, or portions thereof set forth herein is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed as a separate, distinct, and independent provision and such determination shall not affect the validity of the remaining portions hereof.

15. Except as expressly modified herein, the development, use, and occupancy of the subject premises shall be governed by and comply with the provisions of the Portland City Code and any applicable amendments thereto or replacement thereof.

WITNESS:

AVESTA FLORENCE HOUSE LP

BY: Pinetree Housing Development LLC,
its General Partner
BY: Avesta Housing Development
Corporation, its Sole Member

By: Dana Totman, its President

FLORENCE HOUSE HOUSING
CORPORATION

By: Dana Totman, its President

FLORENCE HOUSE CONDOMINIUM
ASSOCIATION

By: Dana Totman, its President

STATE OF MAINE
CUMBERLAND, ss.

_____, 2007

Personally appeared before me the above-named Dana Totman, in his capacity as President of Avesta Housing Development Corporation, Sole Member of Pinetree Housing Development LLC, General Partner of Avesta Florence House LP, as President of Florence House Housing Corporation, and as President of Florence House Condominium Association, as aforesaid, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporations, limited liability company and limited partnership.

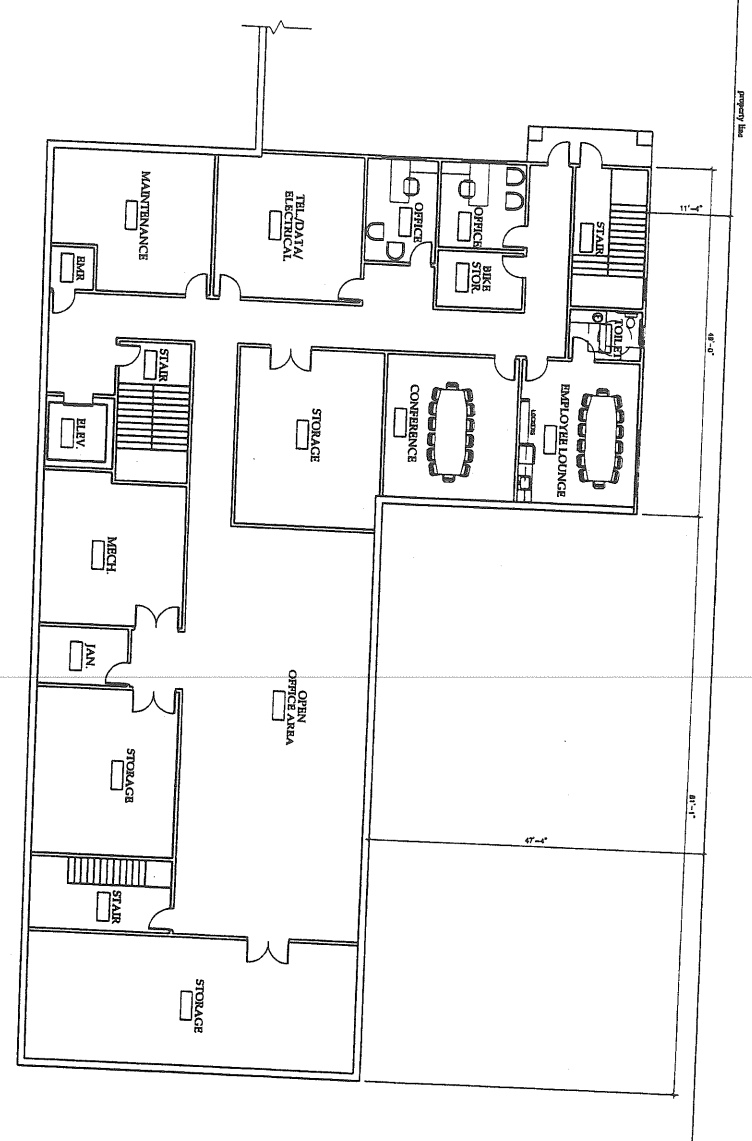
Before me,

Notary Public/Attorney at Law

O:\MAS\199475 Avesta\Florence House\Land use\Florence House CZA 8_2_07_Final.doc

LIST OF ATTACHMENTS

| | |
|-----------------------|------------------------|
| <u>Attachment no:</u> | |
| 1. | City Council Order |
| 2. | A100 Basement Plan |
| 3. | A101 First Floor Plan |
| 4. | A102 Second Floor Plan |
| 5. | A103 Third Floor Plan |
| 6. | A106 Roof Plans |
| 7. | A401 Elevations |
| 8. | A402 Elevations |
| 9. | Site Plan |
| 10. | Building setback plan |
| | <u>Description:</u> |



11 BASEMENT FLOOR PLAN



A 100

PROFESSIONAL ENGINEER
 STATE OF MAINE
 No. 10000
 EXPIRES 12/31/2010

| | |
|-------------|--------------|
| DATE | 1/8/07 |
| PREPARED BY | 10000 |
| DESIGNED BY | 10000 |
| CHECKED BY | 10000 |
| DATE | 1/8/07 |
| SCALE | 1/8" = 1'-0" |

| | |
|---------------------|--|
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| BASEMENT FLOOR PLAN | |

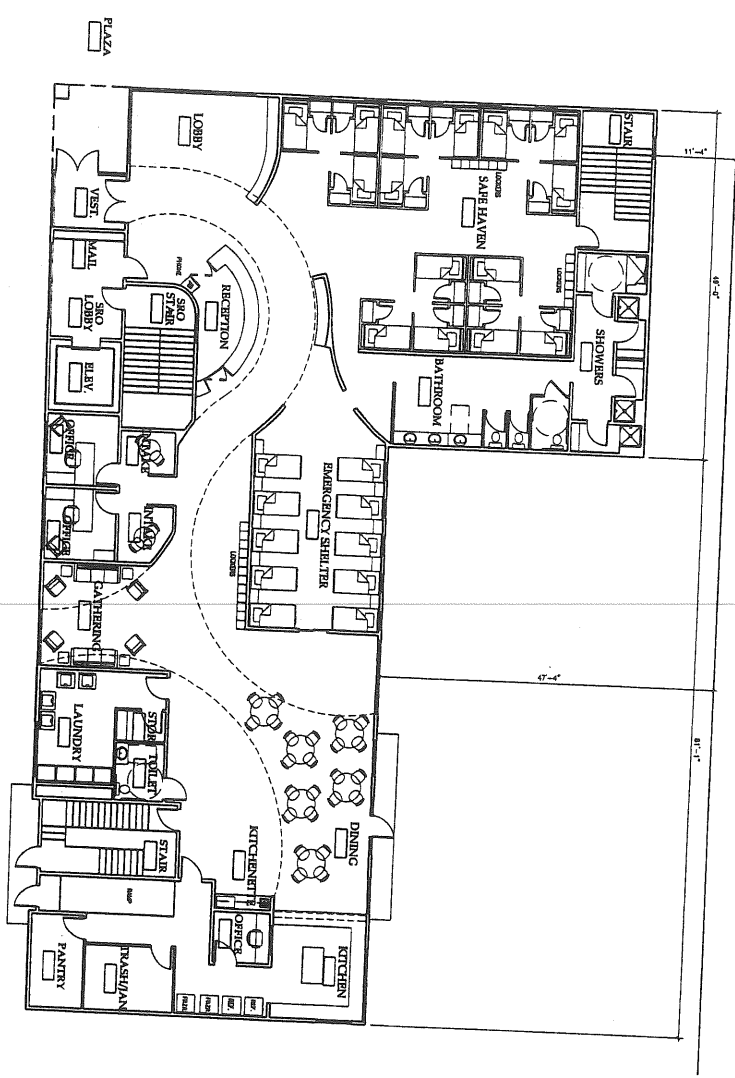
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| 4 | 1/8/07 |

FLORENCE HOUSE
 PORTLAND, MAINE

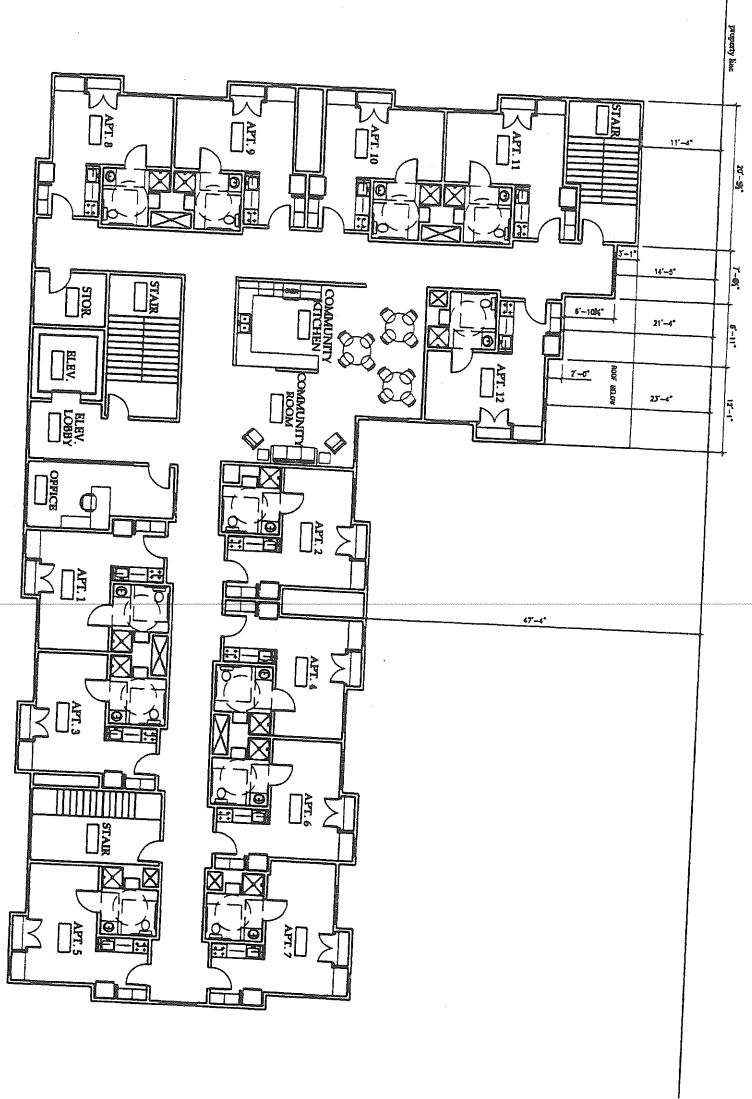
VESTA
 ARCHITECTS

GAWRON TURGEON ARCHITECTS
 29 State Plaza Street
 Scarborough, ME 04074
 Tel: 207 883 8887
 Fax: 207 883 0011

A1 FIRST FLOOR PLAN



| <p>GAWRON TURCOTTE ARCHITECTS 375 South Street Scarborough, ME 04074 Tel: 207.883.8888 Fax: 207.883.0811</p> | | <p>VESTA HOUSING</p> | | <p>FLORENCE HOUSE PORTLAND, MAINE</p> | | <p>REVISIONS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td></td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>2</td> <td></td> <td>ISSUED FOR CONSTRUCTION</td> </tr> <tr> <td>3</td> <td></td> <td>ISSUED FOR OCCUPANCY</td> </tr> </tbody> </table> | | NO. | DATE | DESCRIPTION | 1 | | ISSUED FOR PERMIT | 2 | | ISSUED FOR CONSTRUCTION | 3 | | ISSUED FOR OCCUPANCY |
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| 3 | | ISSUED FOR OCCUPANCY | | | | | | | | | | | | | | | | | |
| <p>DATE: 1/18/10</p> <p>PROJECT: FLORENCE HOUSE</p> <p>DESIGNER: GAWRON TURCOTTE ARCHITECTS</p> <p>CHECKED BY: JTD</p> <p>DRAWN BY: JTD</p> <p>DRAWING SCALE: 1/8"=1'-0"</p> | | <p>SHEET TITLE:</p> <p>FIRST FLOOR PLAN</p> | | <p>A 101</p> | | | | | | | | | | | | | | | |



11 SECOND FLOOR PLAN



11 SECOND FLOOR PLAN

A 102

SECOND FLOOR PLAN

SHEET TITLE

| | |
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| DATE | 1/18/12 |
| REVISION | ISSUED |
| DESIGNED BY | MD |
| CHECKED BY | MD |
| DATE | 1/18/12 |

| NO. | DATE | REVISIONS |
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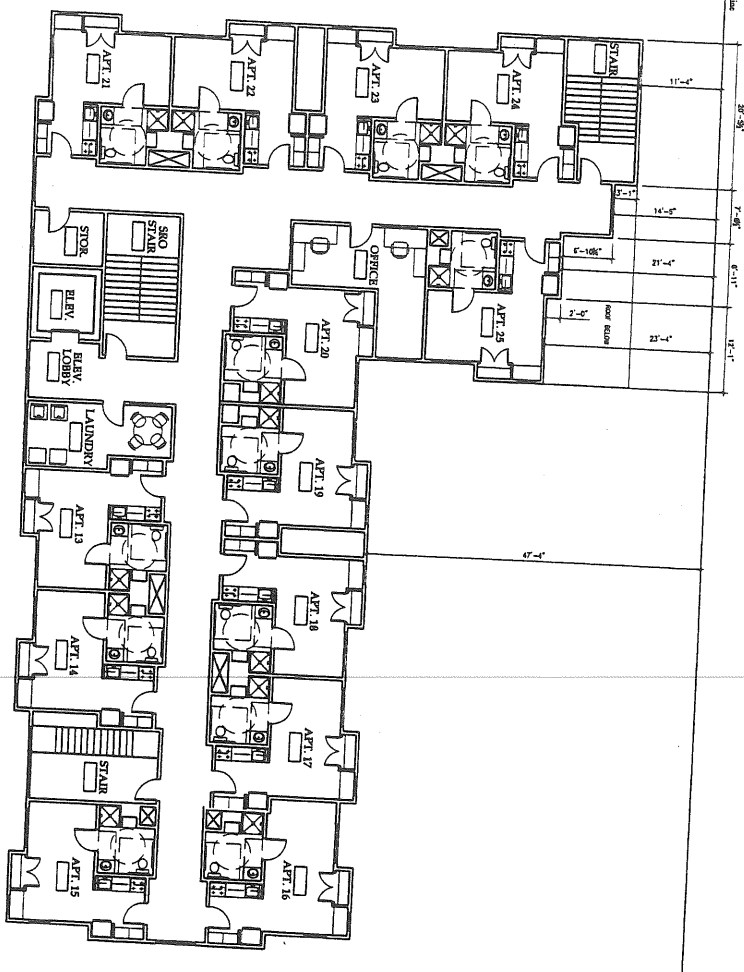
FLORENCE HOUSE
PORTLAND, MAINE



AVESIA
ARCHITECTS



GAVINSON TURKOBON ARCHITECTS
1000 BROADWAY, SUITE 200
PORTLAND, ME 04101
TEL: 207.853.0011



1 THIRD FLOOR PLAN



A 103

THIRD FLOOR PLAN

REVISIONS

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| 3 | | | ISSUED FOR CONTRACT ADMINISTRATION |
| 4 | | | ISSUED FOR OCCUPANCY |

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 CHECKED BY: [Signature]
 DESIGNED BY: [Signature]
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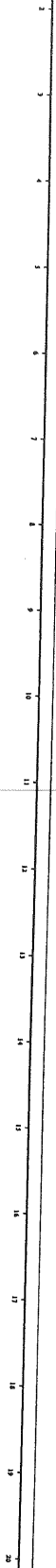
FLORENCE HOUSE
 PORTLAND, MAINE



CAMRON FURBER ARCHITECTS
 27 BROADWAY, 4TH FLOOR
 PORTLAND, ME 04101
 TEL: 207.883.1001



1 ROOF PLAN



GT
CARON
TURGEON
ARCHITECTS
 20 Black Road Road
 Scarborough, ME 04074
 Tel: 207 883 4000
 Fax: 207 883 0001

AVESTA
 HOUSING

FLORENCE HOUSE
 PORTLAND, MAINE



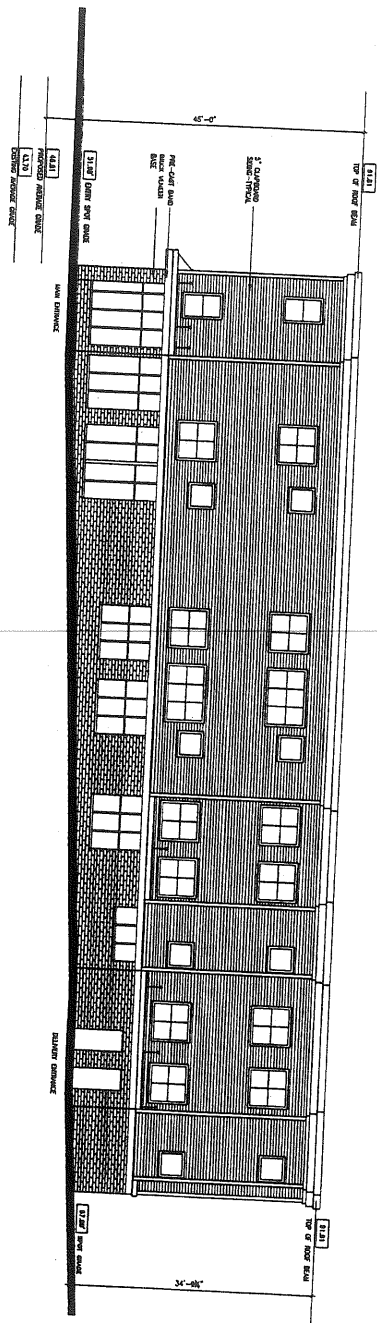
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| 4 | ISSUED FOR CONSTRUCTION |

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| DRAWING TITLE | 100-1-04 |
| SHEET TITLE | |
| ROOF PLAN | |

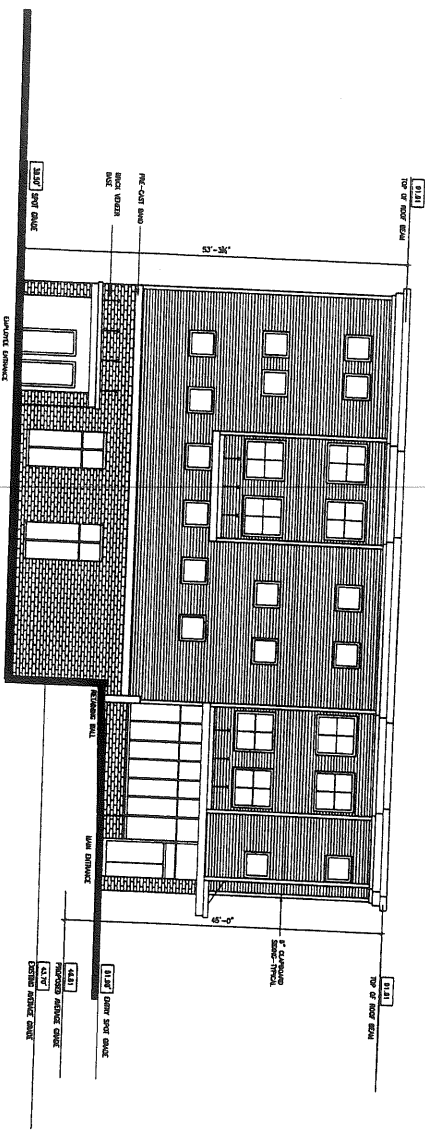
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CONSTRUCTION
 100-1-04

J1 VALLEY STREET ELEVATION

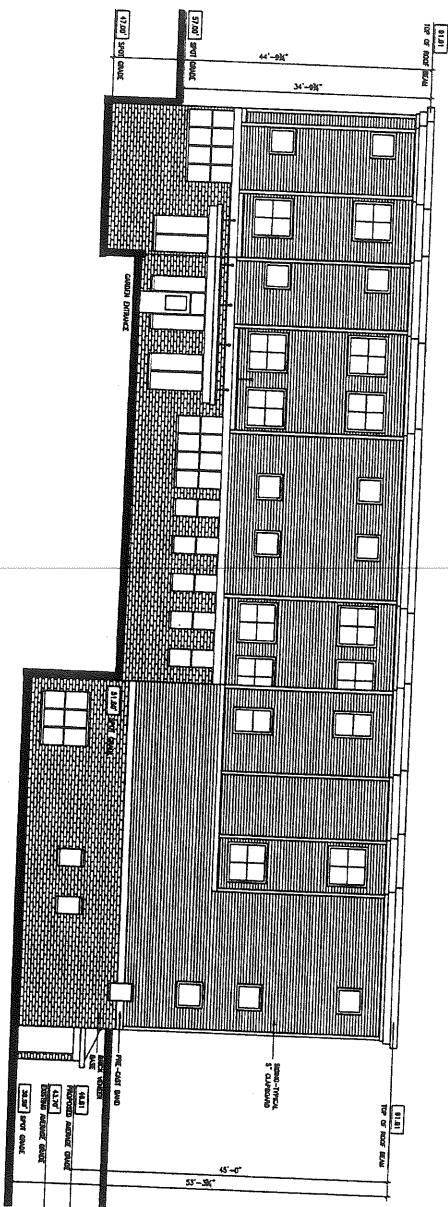


1 LEFT SIDE ELEVATION

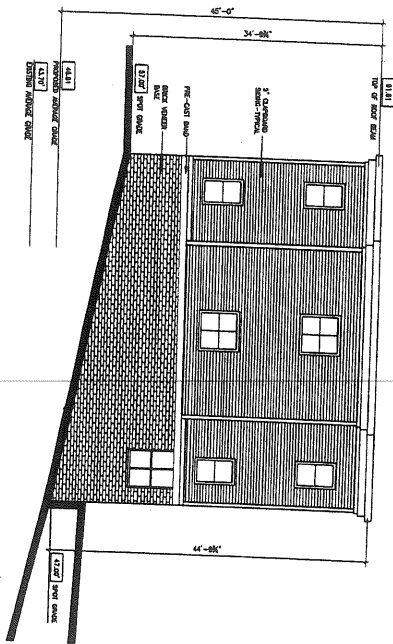


| <p>GAWRON TURGEON ARCHITECTS 100 State Street, 14th Floor Portland, ME 04101 Tel: 207.866.8000</p> | | <p>MESTA CONSTRUCTION</p> | | | | | | | | | | | | | |
|---|----------------|----------------------------------|--|------|----------|-------------|----------------|----------|-------------------|-----------|----------|-------------------|--------|----------|-------------------|
| <p>FLORENCE HOUSE PORTLAND, MAINE</p> | | | | | | | | | | | | | | | |
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| DATE | 11/11/11 | | | | | | | | | | | | | | |
| PROJECT | FLORENCE HOUSE | | | | | | | | | | | | | | |
| OWNER | BLD | | | | | | | | | | | | | | |
| ARCHITECT | GT | | | | | | | | | | | | | | |
| CONTRACT NO. | 111111 | | | | | | | | | | | | | | |
| <p>SHEET TITLE</p> <p>ELEVATIONS</p> | | | | | | | | | | | | | | | |
| <p>A401</p> | | | | | | | | | | | | | | | |

J1 REAR ELEVATION



1 RIGHT SIDE ELEVATION

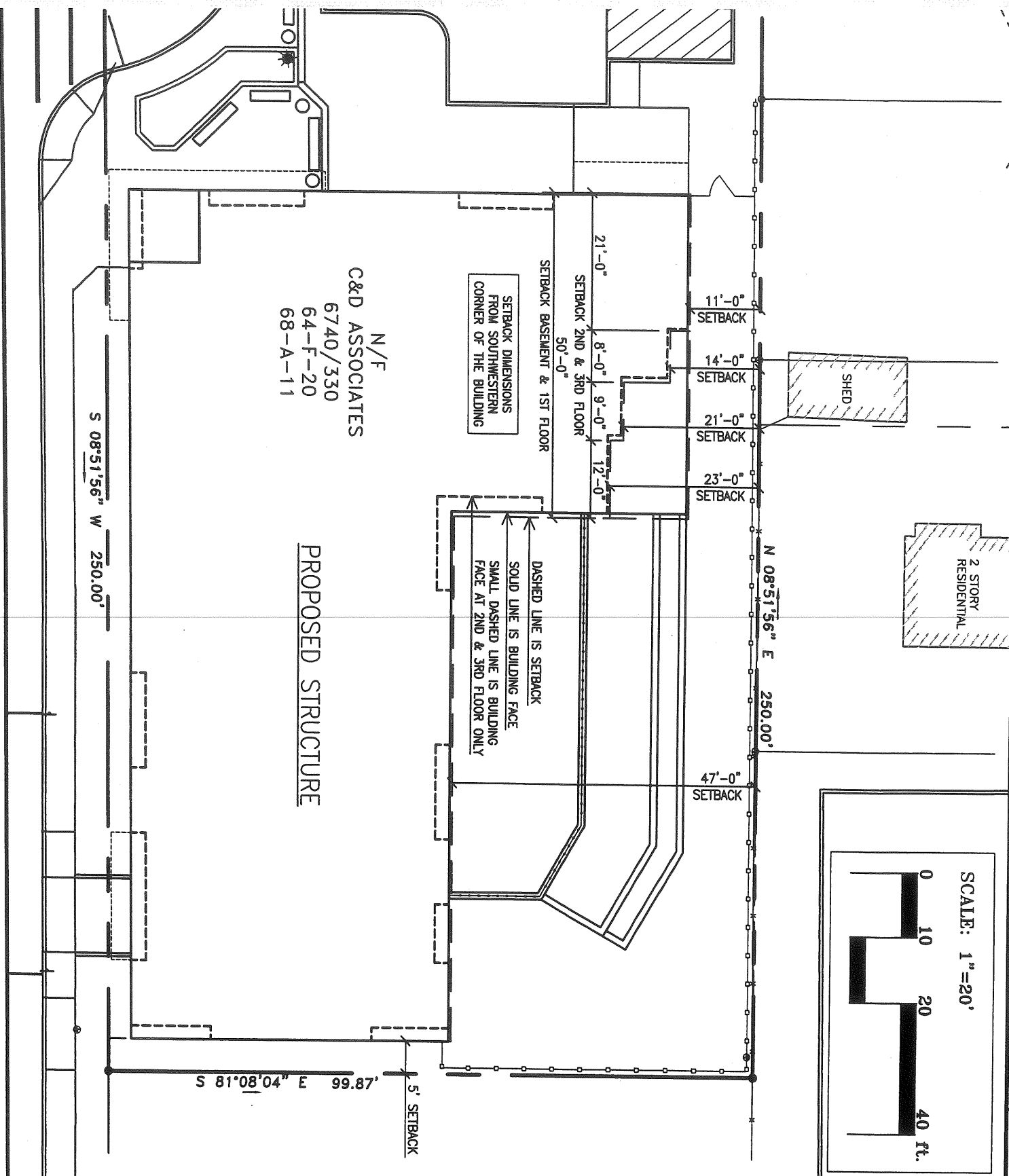


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|------------------|----------|---|----|
| | | CAVIRON TURGEON ARCHITECTS 1000 North Main Street Portland, ME 04101 Tel: 603.761.1111 Fax: 603.761.1111 | |
| | | FLORENCE HOUSE PORTLAND, MAINE | |
| REVISIONS | | | |
| NO. | DATE | DESCRIPTION | BY |
| 1 | 10/10/07 | FINAL CONSTRUCTION | MM |
| 2 | 10/10/07 | FINAL CONSTRUCTION | MM |
| 3 | 10/10/07 | FINAL CONSTRUCTION | MM |

A402

ELEVATIONS

SHEET TITLE



Mitchell & Associates
Landscape Architects
70 Center Street
Portland, Maine 04101
(207) 774-4427

Title: SETBACK EXHIBIT

Date: JULY 31, 2007

Scale: 1"=20'

Project: FLORENCE HOUSE

North:



Attach ment 2

41 Hutchins Drive
Portland, Maine 04102
www.woodardcurran.com
T 800.426.4262
T 207.774.2112
F 207.774.6635

COMMENT & INTEGRITY
DRIVE RESULTS

MEMORANDUM

TO: Barbara Barhydt
FROM: Dan Goyette, PE, and Lauren Swett, EIT
DATE: April 11, 2007
RE: Florence House, 190 Valley Street



Woodard and Curran has reviewed the Contract Zone and Site Plan Application for the Florence House project located at 190 Valley Street. The project proposes to construct a four story building (including a walk-out basement) which will include space for 25 apartments, 15 safe haven units, and 10 emergency beds. The building will replace an existing one story commercial building on a lot that is located in the B-2 Community Business Zone. The project proposes a contract zone to allow for the construction of Florence House.

Documents Reviewed

- Contract Zone Application and Site Plan Review documents for Florence House, prepared by Mitchell & Associates
- Engineering plan sheets, CP, 1-16, A-101, A-102, A-401, A-402, prepared by Mitchell & Associates for Avesta Housing, dated April 2, 2007.
- Stormwater Management Report, prepared by Gorill-Palmer, dated April 2007.

Comments

- The first page of the narrative letter included with the application states that the building will have a total floor area of 131,272 square feet, however the area is actually 31,272 square feet.
- The City of Portland requires the base pavement layer of a typical driveway section to be 2" thick, not 1.5" as shown in the plans.
- St. John Street may be a moratorium street. This is being investigated by Public Works.

Please contact our office if you have any questions.

DRGLJS
203943

Attachment 3

From:

To:

Date:

Subject:

Penny Littlell

Jean Fraser

4/20/2007 8:44:44 AM

Fwd: RE: Florence House revised CZA

It seems to me based on the rezoning agreement proposed that the plan needs co-applicants, those beign the new corporations formed for the purpose of this project.

Attachment 4

COMMENTS FROM MARGE SCHMUCKAL, ZONING COORDINATOR,
AS ENTERED IN UI (UI unable to print full version - see attached)

4.19.07: It is noted that the emergency shelter use is not presently allowed in either the B-2 zone or the R-6 zone. It is a use that is recognized by the Land Use Ordinance and permitted in other zones. The conditional use of "Sheltered Care Group Home" in the R-6 zone limits the population being served at 12 individuals plus staff. This project is proposing more than 12 individuals being served. A sheltered care group home also does not include handicapped individuals (their needs are met elsewhere in the Ordinance). The Florence House Resident Overview states that the "safe haven" population have significant untreated mental illnesses. Therefore the sheltered care group home use is not appropriate to use for this proposal.

The "safe haven" use as designed is not a use recognized or defined within the Land Use Ordinance. It is not a dwelling unit. It is not a lodging room. It is not a dormitory. It is not a sheltered care group home. It is a hybrid use not defined within our Ordinance. For comparison purposes only, it could be appropriate to use the lodging room zoning standards as outlined in the ordinance. The two top floors are dwelling units by definition.

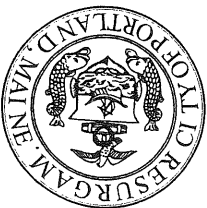
4.19.07: I did a zoning analysis for planning showing what the B-2 zone requires and what the R-6 zone requires.

4.11.07: This is a conditional/contract zone - I just received the application. At this juncture, I have no approved contract to compare for zoning compliance. Once there is an approved contract for this proposal, I will review for zoning compliance.

Marge Schmuckal

Attachment 5

(3 pages)



**Memorandum
Department of Planning and Development
Planning Division**

TO: Chair Patterson and Members of the Portland Planning Board

FR: Carrie M. Marsh, AICP, Urban Designer, City of Portland

DT: June 7, 2007

RE: Avesta Housing proposal for Florence House, vicinity of 190 Valley Street

I. Introduction

The proposed Florence House will be reviewed at an upcoming Planning Board Workshop on June 12. This memo reviews the information related to design that was provided in the May 22, 2007 submission. The applicant, Avesta Housing, and its representatives, met with City staff on May 3 and May 14, 2007 to discuss the design of the project.

The applicant's submission of May 22, 2007 includes a narrative of the design alternatives that were considered, site plans, a shadow study (permitted and proposed), a massing study (permitted and proposed), cross sections, building plans and elevations, perspective renderings, and an analysis of the impact on residential properties.

II. Description

The proposed Florence House will be a 4 story building with a footprint of 8,140 sq ft. The building will have a flat roof. The sheathing includes a masonry product on the first level of the facade, and a clapboard product on the upper floors. The windows on the upper floors are predominantly square, in two sizes.

The building elevations A401 show a Valley Street elevation of three stories. The main entrance is at the south end of the facade along Valley Street and the drop-off area. There are large windows at the corner, and other large windows along Valley Street. The applicant noted in the meeting that these windows would be dark tinted for security purposes. There are two service doors at the north end of the Valley Street elevation. These choice of service doors has not been clarified, but is important to consider in terms of the pedestrian experience along the street.

The south elevation (called the "left side elevation" on A401) includes large windows to the main lobby that will be dark tinted. The building drops down with the grade and is four stories. The lower level includes two doors designated as employee entrances from the parking lot.

The building elevation on A402 are mislabeled, but represent the west and north elevations. The west elevation continues the design elements described above. A graded landscaped garden terrace covers the lower level of much of the facade, creating three stories of height. The south end is four stories of perceived building. There is an door which accesses the garden terrace. The second and third floor of the building "L" or extension steps back at the upper floors. The north elevation continues the design elements described above.

III. Discussion

The applicants submittal of May 22 includes a narrative of the design alternatives that were considered, site plans, a shadow study (permitted and proposed), a massing study (permitted and proposed), cross sections, building plans and elevations, perspective renderings, and an analysis of the impact on residential properties. These items are summarized below.

Design alternatives

Please see Section One of the applicant's submittal of May 22 for a narrative of the alternatives that were considered for the massing and the location of the "L" portion of the building.

Site plans

The site plans in Section Two are reviewed in the cover report by Jean Fraser.

Shadow study (permitted and proposed)

The applicant provided a shadow study in Section Three which compares the shadows that would be cast by permitted development, and proposed development when it would touch the adjacent residential house (compared to what is permitted). On June 21 (and obviously for some unidentified timeframe on either side of that date), the shadow of the proposed development will touch the adjacent house at 8:13 EST. The shadow appears to move away from the house completely by 9:09 EST on June 21. It appears that there is no other time during the day or year when the shadow of the proposed development would touch the house more than that which would occur under permitted development. The quality of the photocopies considered may impact this analysis, and staff welcomes any clarification of this determination by the applicant.

Massing study (permitted and proposed)

The applicant provided a massing study in Section Four which compares the massing that would be allowed by permitted development, and by the proposed development. In keeping with the application, the massing under the proposed development is closer to the property line, and higher than that which is allowed currently. This may warrant further consideration.

Cross Sections

The applicant provided Cross Sections in Section Five which compare the massing that would be allowed by permitted development, and by the proposed development. In keeping with the application, the massing under the proposed development is closer to the property line, and higher than that which is allowed currently. This may warrant further consideration.

Building Elevations

The applicant provided Building Elevations in Section Six which were discussed earlier in this memo.

Perspective Renderings

The applicant provided Renderings in Section Six for consideration.

IV. Considerations

Topics that may warrant further consideration include the following:

1. Consideration of the massing under the permitted and proposed development scenarios.
2. Confirmation that the shadow impact on the adjacent house, compared to that which would occur under permitted development, occurs on from 8:13 EST to sometime before 9:09 EST on June 21 (and obviously for some unidentified timeframe on either side of that date).

3. Specifications of building materials and building components (doors, windows, etc).

4. Clarification of the transparency of the windows at the Main Entrance, and along Valley Street.

5. Clarification of the design treatment of the service entrances on Valley Street.

Attachment 6a

From: James Carmody
To: Fraser, Jean
Date: 4/20/2007 2:26:33 PM
Subject: Florence House

The revised plan for the vehicle pull-off area on Valley St. dated April 17, 2007 is acceptable.

The applicant will include in the plan placement of 'no parking' signs on the street on either side of the pull-off area, and one 'no parking' sign in the island created by the pull-off area. The applicant will also show on the plan signage for a 40 foot long commercial loading zone at the service entrance to the building on Valley St.

The elimination of on-street parking spaces at this location is acceptable.

James Carmody, P. E.
City Transportation Engineer
City of Portland
207-874-8894
jpc@portlandmaine.gov

Attachment 6b

From: James Carmody
To: Fraser, Jean
Date: 6/8/2007 3:46:53 PM
Subject: Florence House

Final comments:

- The off-street parking is sufficient for this facility. This is based on data supplied by the applicant on similar facilities.
- The proposed turnout will eliminate 5 on-street parking spaces. However, there is sufficient on-street parking at this location. The turnout will provide 3 short-term parking spaces.
- The designer should provide an island design which shows how a rubbish truck would maneuver into position to pick-up the dumpster. The handicapped ramps should be designed so that they are oriented in the direction of pedestrian travel.
- The crosswalks will consist of 2 parallel lines, not the stripes as shown on the plan.
- The City will provide a 40 foot long commercial loading zone at the north end of the property.

James Carmody, P. E.
 City Transportation Engineer
 City of Portland
 207-874-8894
 JPC@portlandmaine.gov

Re: Florence House

From: "Thomas Errico" <terrico@wilbursmith.com>
To: "Jean Fraser" <JF@portlandmaine.gov>
Date: 6/12/2007 7:53:59 AM
Subject: Florence House

Jean -

In conjunction with the above project and anticipated traffic and pedestrian impacts, the applicant shall make a \$5,000,000 contribution towards the implementation of traffic calming improvements on Valley Street between Congress Street and Commercial Street. The City is in the process of identifying infrastructure improvements along Valley Street that address safety problems, excessive vehicle speeds, and enhance the pedestrian environment.

If you have any questions, or need additional information, please contact me.

Best Regards,

Thomas A. Errico, P.E.

Senior Transportation Engineer

Wilbur Smith Associates

59 Middle Street

Portland, Maine 04101

w: 207.871.1785 f: 207.871.5825

TErrico@WilburSmith.com

www.WilburSmith.com <http://www.wilbursmith.com/>

CC:

"James Carmody" <JPC@portlandmaine.gov>

Attachment 8

(3 pages)

From: Marge Schmuckal
To: Penny Littell
Date: 7/19/2007 3:34:29 PM
Subject: Re: height (Florence House)

Yes, this is true. On the plans that I have received on 7/12/07, their average post grade is 46.81 feet. And the top of beam shown on the plans submitted on the same date is 91.81 feet. That mathematically comes out to 45 feet! Imagine that!

Marge

>>> Penny Littell 7/17/2007 11:08:15 AM >>>

Please review the following language and let me know if it is accurate. We want to include some kind of language in the rezoning agreement which shows they do not need to vary the height since they can meet it with their proposal.

"The measurement of building height per code is the vertical measurement from grade to the highest point on the roof beams in a flat roof. The average grade of the site, post construction, is 46.81 feet. The building height proposed here, taking into account the average grade, complies in all respects with the building height permitted in the B-2 (45 feet) and R-6 (45 feet) zones and need not be altered herein."

Is this true

(See Definition of Building Height, from Ordinance, attached)

economic remuneration, arrange for or provide any housing accommodations including but not limited to long term, short term, or overnight accommodations for an actual or potential guest, customer, or patron of the business at any off-premises site in the City, unless such a facility is authorized, under the applicable provisions of Portland's Land Use Code, to offer such accommodations as a bed and breakfast, hotel, inn, lodging house, motel or tourist home.

Billboard: A structure, either freestanding or attached to a building, the surface of which is available for hire for advertising purposes.

Building, height of: The vertical measurement from grade, or the redevelopment grade on the islands, to the highest point of the roof beams in flat roofs; to the highest point of the roof beams or the highest point on the deck of mansard roofs; to a level midway between the level of the eaves and highest point of pitched roofs or hip roofs; or to a level two-thirds of the distance from the level of the eaves to the highest point of gambrel roofs. For this purpose the level of the eaves shall be taken to mean the highest level where the plane of the roof intersects the plane of the outside wall on a side containing the eaves.

Business service: Establishments primarily engaged in rendering services to other business establishments on a fee or contract basis such as advertising, mailing services, building maintenance services, employment services, management and consulting services, protective services, personnel services and similar businesses.

Chemical-free night club: An alcohol-free commercial establishment that offers live entertainment, amplified music, and/or dancing, where the primary source of income for such alcohol-free commercial establishment is derived from the entertainment and/or any admission or cover charge.

Clinics: Any establishment where patients are admitted for examination and treatment by one (1) or more professionals such as, but not limited to, physicians, dentists, psychologists or social workers.

Coastal wetland: All tidal and subtidal lands; all lands below

Rev. 5/9/06

Urban Insight comments from Marge Schmuckal, Zoning Administrator:

7.19.07:

Jean requested a breakdown of what would be required for parking. Based upon the current off-street parking requirements, and using the safe haven "dorms" and emergency beds both under the requirements for "beds" under parking, I have figured out how many parking spaces would be required.

| | | |
|-------------------|---|---------------------|
| 25 studio apts | = | 54 pkg req. |
| 25 beds | = | 3 pkg req. |
| 4081 sq ft office | = | 12 pkg req. |
| For a total of | | 69 parking required |

The methodology for determining the height of a building is by definition within the zoning ordinance. For buildings with flat roofs the measurement begins at average post grade and ends at the top of the roof beam in flat roofs. The applicant has shown me an average post grade of 46.81 feet and the elevation of the top of the roof beam as 91.81 feet. The applicant is showing maximum height for both the B-2 zone and the R-6 zone of 45 feet is being met.

6.7.07:

My comments are in response to further public comments to this proposed project. Conditional/contract zoning is allowed under the Land Use Ordinance. At this stage "regular" zoning analysis does not apply and is not an active issue for my review. Conditional/contract zoning is a function of planning staff and the planning board and ultimately the City Council.

(2 pages)

Attachment 9



CITY OF PORTLAND
HEALTH & HUMAN SERVICES DEPARTMENT

TO: Chair Patterson and Members of the Portland Planning Board

FROM: Douglas Gardner, Director HHS

DATE: July 20, 2007

RE: Conditional Zone Agreement - Florence House

As Director for the City's Health & Human Services Department, I have been involved at many levels during the past two years with the discussions surrounding the proposed project in the vicinity of 190 Valley Street (Florence House). In addition, the Social Services Division of the HHS Department assisted Preble Street in the development of their temporary women's shelter project. As referenced in Ms. Fraser's memo to the Planning Board dated July 20, 2007, representatives from Avesta Housing, Preble Street, Portland Police, City Planning and myself met to explore the likely impacts that the proposal will have on the surrounding neighborhood and any potential strategies to mitigate those impacts. I found the meeting to be extremely productive and several strategies, also referenced in Ms. Fraser's memo, were discussed and refined with input from all participants. I am confident that if these strategies are incorporated into the Management Plan for Florence House, the impact to the surrounding community can be substantially minimized.

In my opinion, the two primary themes of an effective Management Plan should be trained staff in numbers appropriate to serve the women receiving services onsite and access control. The conceptual Management Plan discussed at the July 5, 2007 meeting addresses both of these areas. There will be a minimum of three appropriately trained "awake" staff on duty at all times. In addition, the building has been designed to limit access; with one primary means of access which will be locked and staffed at all times. This will significantly limit the amount of traffic in the building and ensure that there are no unauthorized visitors or clients.

In addition to periodic monitoring of the Project's Management Plan by the City, the Emergency Shelter Assessment Committee (E.S.A.C.), of which HHS is an active participant, will review the operations of Florence House and problem solve any unforeseen issues on a monthly basis. E.S.A.C. is a collaborative of service providers, community and health & human service agencies whose primary objective is to ensure the safety and well-being of Portland's homeless community. As part of its objective, E.S.A.C. monitors emergency shelter bed utilization and gaps in services available to Portland's homeless population. In 1996, E.S.A.C. was designated by the Portland City Council to serve as the governing entity for the City's Continuum of Care HUD Homeless Grant

Program. The Statewide Homeless Council and its Regional Homeless Councils, of which HHS is also an active participant, is another venue to discuss and problem solve unforeseen issues with the proposed project. Both the Statewide and Regional councils meet on a monthly basis.

Finally, the Health & Human Service Department is supportive of the Florence House Project and given the Department's experience with the Oxford Street and Family Shelters, recognizes the need for such a program to meet the unique needs of this extremely vulnerable population. To that end, I am committed to working with Preble Street and Avesta Housing on the development of the initial Management Plan and any future refinements as needed. Unfortunately, I am unable to attend the workshop this coming Tuesday, but will make myself available for any subsequent workshops or public hearings to answer any questions you or the Planning Board may have.

Attachment 10

From: Joseph Loughlin
To: Jean Fraser
Date: 8/9/2007 4:43:09 PM
Subject: Re: Florence House

The police department supports the concept of Florence House for the safety and protection of women who are faced with these difficult circumstances.

Deputy Chief Joseph K. Loughlin
Portland Police Department
109 Middle Street
Portland, Maine 04101
(207) 874-8591

>>> Jean Fraser 8/9/2007 4:22:13 PM >>>
Hello

If you would like to have anything in writing from your department included in the Hearing Report on this project, please get it to me tomorrow morning please.

thanks
Jean

Attachment 11 Page 3 of 5
Extract from state law
Title 30-A PL 1989 c 104 pt A sec 4 352

8. Conditional and contract rezoning. A zoning ordinance may include provisions for conditional or contract zoning. All rezoning under this subsection must:

A. Be consistent with the growth management program adopted under this chapter; [2001, c. 578, §21 (amd).]

B. Establish rezoned areas that are consistent with the existing and permitted uses within the original zones; and [1991, c. 504, §1 (amd).]

C. Only include conditions and restrictions that relate to the physical development or operation of the property. [1991, c. 504, §1 (amd).]

The municipal reviewing authority shall conduct a public hearing before any property is rezoned under this subsection. Notice of this hearing must be posted in the municipal office at least 13 days before the public hearing. Notice must also be published at least 2 times in a newspaper having general circulation in the municipality. The date of the first publication must be at least 7 days before the hearing. Notice must also be sent to the owner or owners of the property to be rezoned and to the owners of all property abutting the property to be rezoned at the owners' last known addresses. Notice also must be sent to a public drinking water supplier if the area to be rezoned is within its source water protection area. This notice must contain a copy of the proposed conditions and restrictions with a map indicating the property to be rezoned. [2001, c. 578, §21 (amd).]

9. Notice; general requirements. Before adopting a new zoning ordinance or map or amending an existing zoning ordinance or map, including ordinances or amendments adopted under the laws governing growth management contained in chapter 187, subsection II or the laws governing shoreland zoning contained in Title 38, chapter 3, subsection I, article 2-B, the municipal reviewing authority must post and publish notice of the public hearing required under subsection I in accordance with the following provisions.

A. The notice must be posted in the municipal office at least 13 days before the public hearing. [1997, c. 36, §2 (amd).]

B. The notice must be published at least 2 times in a newspaper that complies with Title 1, section 601 and that has a general circulation in the municipality. The date of the first publication must be at least 7 days before the hearing and the date of the 2nd publication must be at least 7 days before the hearing. That notice must be written in plain English, understandable by the average citizen. [1997, c. 36, §2 (amd).]

C. [1993, c. 374, §3 (rp).]

D. [1993, c. 374, §3 (rp).]
 E. Notice must be sent by regular mail to a public drinking water supplier if the area to be rezoned contains its source water protection area. [1999, c. 761, §8 (new).]
 [1999, c. 761, §8 (amd).]

10. Additional notice; limited areas. Notice must be given in accordance with this subsection and subsection 9 when a municipality has proposed an amendment to an existing zoning ordinance or map that, within a geographically specific portion of the municipality, has the effect of either prohibiting all industrial, commercial or retail uses where any of these uses is permitted or permitting any industrial, commercial or retail uses where any of these uses is prohibited.

A. The notice must contain a copy of a map indicating the portion of the municipality affected by the proposed amendment. [1993, c. 374, §4 (new).]

B. For each parcel within the municipality that is in or abutting the portion of the municipality affected by the proposed amendment, the notice must be mailed by first class mail at least 13 days before the public hearing to the last known address of the person to whom property tax on each parcel is assessed. Notice also must be sent to a public drinking water supplier if the area to be rezoned is within its source water protection area. The municipal officers shall prepare and file with the municipal clerk a written certificate indicating those persons to whom the notice was mailed and at what addresses, when it was mailed, by whom it was mailed and from what location it was mailed. This certificate constitutes prima facie evidence that notice was sent to those persons named in the certificate. Notice is not required under this paragraph for any type of zoning ordinance adopted under the laws governing growth management contained in chapter 187, subchapter II or the laws governing shoreland zoning contained in Title 38, chapter 3, subchapter I, article 2-B. [1999, c. 761, §9 (amd).]

Any action challenging the validity of an amendment to a zoning ordinance or map based on a municipality's failure to comply with paragraph B must be brought in Superior Court within 30 days after the adoption of the amended ordinance or map. The Superior Court may invalidate an amended ordinance or map if the appellant demonstrates that the appellant was entitled to receive a notice under paragraph B, that the municipality failed to send the notice as required, that the appellant had no knowledge of the proposed amendment to the ordinance or map and that the appellant was materially prejudiced by that lack of knowledge. Nothing in this subsection alters the right of a person to challenge the validity of any ordinance based on the failure of the municipality to provide notice as required in paragraph A and subsection 9. [1999, c. 761, §9 (amd).]

Attachment 12

(4 pages)

Ensure an Adequate and Diverse Supply of Housing for All

Policy #1: Ensure that an adequate supply of housing is available to meet the needs, preferences, and financial capabilities of all Portland households, now and in the future.

subdivisions with smaller lots and a variety of housing types.

Housing Downtown: Encourage varied housing options downtown by updating zoning.

Parking: Encourage innovative approaches to address residential parking needs.

Housing in Business zones: Combine housing and economic development strategies to create high-density housing and mixed-use developments in business zones.

Increase Portland's rental housing stock to maintain a reasonable balance between supply and demand yielding consumer choice, affordable rents, and reasonable return to landlords.

Implement BaySide Plan: Create 300 units within 5 years and 500 additional units in 25 years, a significant portion of which will be rental units.

Rental & Accessory Units: Remove zoning barriers to rental housing and accessory units in single-family homes & accessory structures, where compatible with existing neighborhood character.

Large Units: Encourage construction of 3 or more bedroom units for large families.

Fair Market Rents: Monitor FMR's and seek exception rents from HUD when needed.

Legislation: Support state and federal legislation for new incentives to develop housing, such as tax increment financing, employer assisted housing and housing trust funds.

Financial Incentives: Employ a range of financial incentives to create housing.

Annual HUD Funding: Significantly increase share of City's annual HUD funding used for affordable housing. Support programs that assist with land acquisition, construction, mortgages, infrastructure, and conversion of non-residential buildings to housing.

Non-profit Developers: Use a portion of HUD funding to build capacity of non-profit developers to build and manage housing.

PILT: Establish a policy on paying taxes or a PILOT (Payment in Lieu of Taxes) Program for non-profit housing developers.

Encourage higher density housing located near services, such as schools, businesses, institutions, employers, and public transportation.

Higher Density Housing: Encourage higher density multi-family developments and mixed-use projects with housing, along major public transportation routes, near service areas, and in redevelopment or infill areas.

Small Lot Subdivisions: Support development of higher density

Ensure the construction of a diverse mix of housing types that offers a continuum of options across all income levels, which are both renter and owner-occupied.

Zoning: Encourage all types of high quality and compatible housing to enhance neighborhoods.

Building Code: Flexible provisions to encourage a variety of quality housing types.

Incentives: Develop financial incentives, partnerships, and zoning incentives to increase the diversity of housing.

Neighborhood Plans: Encourage neighborhood plans to address a diverse mix of housing and city needs.

A variety of housing choices should be available such that no one should have to spend more than 30% of their income for housing.

20% Target for Subsidized Housing: Maintain Portland's current proportion of subsidized units. Establish a target of at least 20% of the total number of new housing units will be subsidized for households earning 80% or less of the region's median income.

Portland Housing Authority: Encourage and support PHA to become active in development of more housing.

Creative collaborations: Seek incentives and partnerships to increase affordable housing options for moderate-income households.

Pilot Projects: Develop a pilot housing project with a neighborhood, a developer and the City as partners, which utilizes City property and other incentives (i.e. Unity Village).

Promote Portland as a Pro-Housing Community:

One Stop Housing Office: Create a "one stop housing office" to assist developers.

- Integrate neighborhood based planning and neighborhood interaction information about City's development review rules and procedures
- Financial Resources, Land Inventory, and Demographic Data

Workforce Housing: Assist new or expanding businesses to create or locate housing for new employees.

Public Relations: Develop a campaign to promote the benefits of living in Portland for the public and real estate industry.

Public Education: Develop an educational campaign to inform the public of housing needs and de-stigmatize perceptions about affordable housing.

10% Handicapped Accessible: Ensure in total, at least ten percent (10%) of all new housing will be designed as handicapped accessible units. Encourage universal design standards for handicapped accessibility in new housing.

Beds for the Homeless: Create enough beds to ensure that no one is forced to sleep outside due to a lack of beds in emergency shelters.

Supportive Housing: Support funding proposals for new supportive housing facilities.

Senior Citizen Options: Promote creation of assisted and congregate living facilities for low-income senior citizens.

Transitional Housing: Ensure an adequate supply of transitional housing facilities.

Transition to Permanent Housing: Encourage proposals to transition homeless families and individuals out of emergency shelters and transitional facilities into permanent housing, including single room occupancy (SRO) units.

Identify vacant land and redevelopment opportunities throughout the City to facilitate the construction of new housing.

Real Estate Inventory: Coordinate with Land Bank Commission to create a real estate inventory where housing can be developed in each neighborhood.

Property Disposition: Develop disposition policy for City-owned and tax-acquired property that is in keeping with the City's adopted housing plan.

Senior Citizen Rental Options: Support a variety of affordable rental options for senior citizens.

Increase home ownership opportunities for all types of households and all income levels.
Implement BaySide Plan: Create 300 units within 5 years and 500 additional units in 25 years, a significant portion of which will be owner-occupied units.

200 Home Ownership Units: Facilitate development of 200 affordable owner-occupied units in Portland, with an emphasis on starter homes for families with children.

Move-up Market: Encourage the development of units for those moving up in the real estate market, so Portland can remain competitive with suburban communities.

Affordable Home Ownership: Strengthen and expand opportunities for home ownership assistance through City programs, such as New Neighbors and Homeport.

Senior Citizen Housing: Support affordable home ownership options for senior citizens.

Ensure that a continuum of housing is available for people with special needs and emergency shelters and transitional housing to permanent housing (rental and homeownership), which offer appropriate supportive services.

Supportive Housing: Increase quantity of supportive housing for persons with special needs who desire and need to live in an urban area where services are available.

Neighborhood Stability and Integrity

Policy #3:

Maintain and enhance the livability of Portland's neighborhoods as the city grows and evolves through careful land use regulation, design and public participation that respects neighborhood integrity.

Walkable neighborhoods: Give preference to projects that are located within a walkable distance to neighborhood assets, particularly when seeking City funds.

Ensure the integrity and economic value of Portland's neighborhoods.
Enforcement: Aggressively enforce codes that require owners to maintain properties.

Maintain Property: Ensure all properties are kept clear of debris and derelict vehicles.

Redevelopment: Work to find productive uses for vacant and underutilized lots.

Public Improvements: Ensure neighborhood improvements are safe, attractive and well maintained.

Public Safety: The Portland Police Department will continue to work with neighborhoods on community policing, crime watch and other public safety programs to ensure neighborhoods remain safe for residents and visitors.

Traffic: Work with neighborhoods to address traffic issues and enforce traffic laws.

Public Parks: Preserve public amenities, such as trails, athletic fields, and parks.

Open Space: Work with neighborhoods to update, "Green Spaces/Blue Edges",

Encourage innovative new housing development, which is designed to be compatible with the scale, character, and traditional development patterns of the City's residential neighborhoods.

Municipal Regulations: Update codes to encourage new residential development that:

- Offers diverse and quality living options.
- Encourages traditional neighborhood elements.
- Promotes a walkable city.
- Are compatible with Portland's existing neighborhoods.

Design Guidelines: Adopt design guidelines for new housing and rehabilitation that are compatible with the character and patterns of development in each neighborhood.

Encourage new housing development in proximity to neighborhood assets such as open space, schools, community services and public transportation.

Assets: Inventory neighborhood assets, such as open space, recreation facilities, schools, services and public transportation.

Suitable Housing Sites: Use asset inventories and agreed upon neighborhood priorities to select potential housing sites as part of the Neighborhood Based Planning Process.

While accommodating needed services and facilities, protect the stability of Portland's residential neighborhoods from excessive encroachment by inappropriately scaled and obtrusive commercial, institutional, governmental, and other non-residential uses.

Housing Along Arterials: Maintain residential zoning along arterials and encourage increased residential densities and mixed uses within business zones.

Demolition: Discourage demolition or conversion of residential properties for non-residential uses.

Compatible Development: Encourage well-planned developments and uses to enhance compatibility between residential and non-residential uses.

Student Housing: Encourage construction of affordable student housing to meet current and future needs.

Support Portland's livable neighborhoods by encouraging a mix of uses that provide needed goods and services, within walking distance of most residents.

Neighborhood Livability: Promote thorough City policies a mix of housing types, retail and service businesses, community services, and open space/recreation opportunities of appropriate size, scale and type within neighborhoods.

Uphold Zoning: Enforce approved density regulations in the Zoning Ordinance.

Encourage Portland's neighborhoods to address the City's housing issues through the Neighborhood Based Planning Process.

Housing Solutions: Involve each neighborhood in creating housing solutions.
Public Education: Support outreach efforts to discuss the benefits, issues, and potential design solutions for increased densities in residential neighborhoods.

Encourage neighborhood populations that are economically, socially, culturally and ethnically diverse.

Mix of Housing: Encourage a mix of housing types for all ages, household sizes, and incomes, so neighborhoods are socially, culturally, ethnically, and economically diverse.
Displacement: Discourage displacement through enforcement of municipal ordinances, and adoption of long-term affordability restrictions on City assisted housing.

Housing Programs: Obtain resources and implement programs to enable residents to remain in their neighborhoods, such as rental housing vouchers.
Retain Assisted Housing: Preserve Portland's existing affordable housing units as assisted developments.
Higher Density: Increase density where appropriate to achieve neighborhood diversity.

Policy #4:
Seek opportunities for economic and social integration throughout the Greater Portland region by encouraging the development of a range of housing options that are available and affordable to all income levels in the region.

Housing is a Regional Issue

Educate the public, neighboring municipalities, the State legislature, and our Congressional delegation on the need for affordable housing throughout the Greater Portland area.

Public Education: Work with regional organizations to develop a public education campaign on the need for affordable housing throughout the region.
Leadership: Portland will be a leader within the region and State to change policies that limit an adequate supply of affordable housing.

Initiate the development of a regional housing plan.

Regional Housing Plan: Initiate and lead efforts with municipalities and regional organizations to develop a regional housing strategy that will strive to create a wide range of affordable housing options in each municipality.

Seek innovative solutions and collaborations with municipalities, regional organizations, housing authorities and developers to implement the regional housing plan.
Regional Housing Administration: Create regional cooperation agreements for the planning and administration of housing development programs.
Regional Funding Consortium: Investigate establishing a consortium of municipalities to apply for and administer state and federal funding for affordable housing development.
Regional Cooperation: Support developer and municipal proposals to obtain resources and develop affordable housing throughout Greater Portland.
Housing and Transportation: With efforts to develop more affordable housing, create viable public transportation options.

FLORENCE HOUSE

**Meeting to discuss Management Issues – Summary of discussion
July 5, 2007**

- 1. **Purpose of the Meeting**
 - a. To get a clear understanding of the proposed management arrangements and consider what (if any) impacts might be anticipated (ie bearing in mind the information on Police Call outs circulated by abutters) and whether/how the Conditional Zone Agreement could address these

- 2. **Attendance:**
 - a. City: Douglas Gardner (HSS), Alex Jaegerman and Jean Fraser (Planning); Joseph Loughlin and James Ross (Police Dept)
 - b. Applicants: Deb Keller (Avesta Housing); Mark Swann, Jon Bradley, and Donna Yellen (Preble Street)

- 3. **Key areas of discussion**
 - a. **Proposed management arrangements:**

Avesta will manage the property with Preble Street managing the people and services in the entire building. Preble Street will ensure that there is 24- hour monitoring of the premises with a minimum of 3 trained staff at any time. Only entrance to be from Valley Street and that will be locked (all except residents of upper 2 floors to be "buzzed in" by reception staff). Parking level entrance would also require staff at reception to "buzz in" anyone (including residents of apartments) and would have camera surveillance. First floor is "open" 24 hours; rolling intake for shelter.

No men allowed on the first floor but efficiency apartments are as for private apartments with some restrictions. No residents allowed in basement which is offices/storage/plant. Services and meals would only be for residents of Florence House.

Most of the women now staying at Preble Street are expected to occupy the efficiency apartments on upper two floors, so shelter/safe haven anticipated to have enough bed spaces.

- b. **Possible anticipated impacts and how these may be addressed:**

Discussion of police call data suggested that the Logan Place calls were often related to campers and other non residents in the area; most calls were for an internal incident with no impact on the community.

Agreed that installation of four cameras around the building would be desirable to allow Florence House staff to monitor wider area. Lighting, fencing, access management and 24-hour staffing also anticipated to discourage any behavior issues in vicinity of building.

Agreed a Management Plan would be a requirement of the site plan (at the site plan review phase) to clarify maximum occupancy and details of management to be in place from day one to address any potential management issues or impacts created by Florence House residents or visitors. This requirement would be included in the Conditional Zone Agreement.

52 Frederic Street, Logan Place, Police Calls March 2005 thru March 2007 (2 years and 1 month)

| | A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | Total Acres CA:PA | Month |
|----|-----------------|----------------|-----------------------------------|--------------------------|---------|----------------|-----------|--------|------------|--------------|------------------|--------------------------------------|-------------------------------|------------------------------|---------------------|------|-------------------------|-------------|
| 1 | Month | Total Calls | Suicide Threats or Attempts | Threat or Terrorizing | Assault | Mental Subject | Bothering | Arrest | Harassment | Intoxication | Drug Overdose | Theft, Burglary, or Robbery | Drug Possession or Sale | Assist Fire Dept or Medou | Check/Well Being | MISC | 2 | 3/2005 |
| 2 | 4/2005 | 14 | 2 | | | 2 | 5 | | | | 1 | | | 2 | | | 2 | 4/2005 |
| 3 | 5/2005 | 11 | | | | | 4 | | | 2 | | | | | | | 5 | 5/2005 |
| 4 | 6/2005 | 6 | | | | | 3 | | | | | | | 1 | | | 2 | 6/2005 |
| 5 | 7/2005 | 14 | 3 | | | | 4 | | | 1 | | | | | | | 4 | 7/2005 |
| 6 | 8/2005 | 4 | | | | | 1 | | | | | | | | | | 4 | 8/2005 |
| 7 | 9/2005 | 6 | | | | | 1 | | | | | | | | | | 6 | 9/2005 |
| 8 | 10/2005 | 9 | 1 | | | | 1 | | | | | | | 1 | | | 9 | 10/2005 |
| 9 | 11/2005 | 9 | | | | | | | | | | | | | | | 8 | 11/2005 |
| 10 | 12/2005 | 8 | 2 | | | | 3 | | | | | | | | | | 8 | 12/2005 |
| 11 | 10 month total | 83 | | | | | | | | | | | | | | | 0 | |
| 12 | 1/2006 | 5 | | | | | 1 | | | | | | | | | | 3 | 1/2006 |
| 13 | 2/2006 | 6 | | | | | 2 | | | | | | | | | | 3 | 2/2006 |
| 14 | 3/2006 | 6 | | | | | 1 | | | | | | | | | | 6 | 3/2006 |
| 15 | 4/2006 | 7 | 1 | | | | 1 | | 2 | | | | | | | | 7 | 4/2006 |
| 16 | 5/2006 | 14 | | | | | 2 | | | | | | | | | | 7 | 5/2006 |
| 17 | 6/2006 | 8 | | | | | 1 | | | | | | | | | | 5 | 6/2006 |
| 18 | 7/2006 | 8 | | | | | 3 | | | | | | | | | | 8 | 7/2006 |
| 19 | 8/2006 | 3 | 2 | | | | 1 | | | | | | | | | | 3 | 8/2006 |
| 20 | 9/2006 | 4 | | | | | 1 | | | | | | | | | | 4 | 9/2006 |
| 21 | 10/2006 | 6 | 1 | | | | 1 | | | | | | | | | | 6 | 10/2006 |
| 22 | 11/2006 | 3 | 2 | | | | 1 | | | | | | | | | | 3 | 11/2006 |
| 23 | 12/2006 | 7 | | | | | 1 | | | | | | | | | | 7 | 12/2006 |
| 24 | 12 month total | 77 | | | | | | | | | | | | | | | 0 | |
| 25 | 1/2007 | 13 | | | | | 2 | | | | | | | | | | 4 | 1/2007 |
| 26 | 2/2007 | 8 | | | | | 3 | | | | | | | | | | 8 | 2/2007 |
| 27 | 3/2007 | 10 | | | | | 1 | | | | | | | | | | 10 | 3/2007 |
| 28 | 3 month total | 31 | | | | | | | | | | | | | | | 191 | Sum Q4:Q33 |
| 29 | Total 25 months | 191 | 12 | 6 | 6 | 23 | 36 | 0 | 4 | 8 | 3 | 6 | 1 | 7 | 7 | 72 | 191 | Sum C34 P34 |
| 30 | | | | | | | | | | | | | | | | | | |
| 31 | | | | | | | | | | | | | | | | | | |
| 32 | | | | | | | | | | | | | | | | | | |
| 33 | | | | | | | | | | | | | | | | | | |
| 34 | | | | | | | | | | | | | | | | | | |
| 35 | | | | | | | | | | | | | | | | | | |
| 36 | | | | | | | | | | | | | | | | | | |

Man Rosser on

(6 pages)
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| | A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | Q |
|----|---|-------------|----------------------------|--------------------|---------|----------------|----------|--------|------------|--------------|---------------|-----------------------------|-------------------------|-----------------------------|-----------------|------|------------------|
| | 52 Frederic Street, Logan Place, Police Calls March 2002 thru March 2006 (3 years prior to Logan Place opening) | | | | | | | | | | | | | | | | |
| | Month | Total Calls | Builds Threats or Assaults | Theft or Tampering | Assault | Mental Subject | Stalking | Arrest | Harassment | Intoxication | Drug Overdose | Theft, Burglary, or Robbery | Drug Possession or Sale | Assist Fire Dept or Medical | Check Was Bking | MISC | Total Area Calls |
| 1 | 3/2002 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 2 | 4/2002 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 3 | 5/2002 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 4 | 6/2002 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 5 | 7/2002 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 6 | 8/2002 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 7 | 9/2002 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 8 | 10/2002 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 9 | 11/2002 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 10 | 12/2002 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 11 | 1/2003 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 12 | 2/2003 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 13 | 3/2003 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 14 | 4/2003 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 15 | 5/2003 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 16 | 6/2003 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 17 | 7/2003 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 18 | 8/2003 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 19 | 9/2003 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 20 | 10/2003 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 21 | 11/2003 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 22 | 12/2003 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 23 | 1/2004 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 24 | 2/2004 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 25 | 3/2004 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 26 | 4/2004 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 27 | 5/2004 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 28 | 6/2004 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 29 | 7/2004 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 30 | 8/2004 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 31 | 9/2004 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 32 | 10/2004 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 33 | 11/2004 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 34 | 12/2004 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 35 | 1/2005 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 36 | 2/2005 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 37 | 3/2005 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 38 | 4/2005 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 39 | 5/2005 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 40 | 6/2005 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 41 | 7/2005 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 42 | 8/2005 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 43 | 9/2005 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 44 | 10/2005 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 45 | 11/2005 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 46 | 12/2005 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 47 | 1/2006 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 48 | 2/2006 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 49 | 3/2006 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 50 | Total 37 months | 5 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 1 | 0 | 0 | 0 | 0 | 3 |

| Month | Total Calls | Suicide Threats or Attempts | Threat or Torturing | Assault or Abused/Child | Harassment | Bothering | Arrest | Harassment | Intoxication | Drug Overdose | Theft, Burglary, Possession of Robbery | Drug Possession or Sale | Assault Fire Dept or Medical | Check/Walk Being | MISC | Month |
|----------------|-------------|-----------------------------|---------------------|-------------------------|------------|-----------|--------|------------|--------------|---------------|--|-------------------------|------------------------------|------------------|------|------------|
| 6/2004 | | | | | | | | | | | | | | | | 6/2004 |
| 7/2004 | | | | | | | | | | | | | | | | 7/2004 |
| 8/2004 | | | | | | | | | | | | | | | | 8/2004 |
| 9/2004 | | | | | | | | | | | | | | | | 9/2004 |
| 10/2004 | | | | | | | | | | | | | | | | 10/2004 |
| 11/2004 | | | | | | | | | | | | | | | | 11/2004 |
| 12/2004 | | 0 | | | | | | | | | | | | | | 12/2004 |
| 1/2005 | | | | | | | | | | | | | | | | 1/2005 |
| 2/2005 | | | | | | | | | | | | | | | | 2/2005 |
| 3/2005 | | | | | | | | | | | | | | | | 3/2005 |
| 4/2005 | | | | | | | | | | | | | | | | 4/2005 |
| 5/2005 | | | | | | | | | | | | | | | | 5/2005 |
| 6/2005 | | | | | | | | | | | | | | | | 6/2005 |
| 7/2005 | | | | | | | | | | | | | | | | 7/2005 |
| 8/2005 | | | | | | | | | | | | | | | | 8/2005 |
| 9/2005 | | | | | | | | | | | | | | | | 9/2005 |
| 10/2005 | | | | | | | | | | | | | | | | 10/2005 |
| 11/2005 | | | | | | | | | | | | | | | | 11/2005 |
| 12/2005 | | | | | | | | | | | | | | | | 12/2005 |
| 12 month total | 0 | | | | | | | | | | | | | | | 12/2005 |
| 1/2006 | | | | | | | | | | | | | | | | 1/2006 |
| 2/2006 | | | | | | | | | | | | | | | | 2/2006 |
| 3/2006 | | | | | | | | | | | | | | | | 3/2006 |
| 4/2006 | | 1 | | | | | | | | | 1 | | | | | 4/2006 |
| 5/2006 | | 1 | | | | | | | | | | | | | | 5/2006 |
| month total | 1 | | | | | | | | | | 1 | | | | | Sum Oct-17 |
| month total | 1 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | 0 | 0 | Sum Oct-17 |
| month total | 1 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | 0 | 0 | Sum Oct-17 |
| month total | 1 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | 0 | 0 | Sum Oct-17 |

| | A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | |
|----|--|-------------|-----------------------------|-----------------------|---------|----------------|-----------|--------|------------|--------------|---------------|-----------------------------|-------------------------|---------------------------|------------------|------|-------------|
| | 87 Spring Street, WCA, Police Calls October 2004 thru October 2006 | | | | | | | | | | | | | | | | |
| | Month | Total Calls | Suicide Threats or Attempts | Threat or Terrorizing | Assault | Mental Subject | Bothering | Arrest | Harassment | Intoxication | Drug Overdose | Theft, Burglary, or Robbery | Drug Possession or Sale | Assist Fire Dept or Medau | Check Well Being | MISC | Month |
| 1 | 10/2004 | 5 | 1 | 1 | 1 | 1 | 2 | 1 | 1 | 1 | 1 | 1 | 2 | 1 | 1 | 1 | 5 |
| 2 | 11/2004 | 9 | 1 | | | | | | | | | | | 1 | | 2 | 9 |
| 3 | 12/2004 | 2 | | | | | | | | | | | | | | 1 | 2 |
| 4 | 3 month total | 16 | | | | | | | | | | | | | | 1 | 2 |
| 5 | 1/2005 | 4 | 1 | | | | | | | | | | | | | | 0 |
| 6 | 2/2005 | 8 | | | | 1 | | | | | | 1 | | | | 3 | 4 |
| 7 | 3/2005 | 11 | | | | 1 | | | | | 1 | 1 | | | | 5 | 8 |
| 8 | 4/2005 | 9 | | | | | | | | 1 | 1 | 1 | | | | 4 | 11 |
| 9 | 5/2005 | 9 | | | | 1 | | | | | | | 2 | | | 6 | 9 |
| 10 | 6/2005 | 3 | | | | 1 | | | | | | 1 | | | | 5 | 9 |
| 11 | 7/2005 | 5 | | | | | | | | 1 | | | | | | 1 | 3 |
| 12 | 8/2005 | 2 | | | | | | | | | 1 | 1 | | | | 4 | 5 |
| 13 | 9/2005 | 4 | | | | | | | | | | | | | | 1 | 2 |
| 14 | 10/2005 | 5 | | | | | | | 1 | | | | | | | 2 | 4 |
| 15 | 11/2005 | 4 | | | | | | | | 1 | | | | | | 1 | 4 |
| 16 | 12/2005 | 4 | | | | | | | | | | | | | | 1 | 4 |
| 17 | 12 month total | 68 | | | | | | | | | | | | | | 3 | 4 |
| 18 | 1/2006 | 8 | | | | | | | | | | | | | | 5 | 0 |
| 19 | 2/2006 | 1 | | | | | | 1 | | | | | | | | 1 | 8 |
| 20 | 3/2006 | 4 | | | | | | | 1 | | | | | | | 3 | 1 |
| 21 | 4/2006 | 7 | | | | | | | | | 1 | | | | | 6 | 4 |
| 22 | 5/2006 | 7 | | | | | | | | | | 1 | | | | 7 | 7 |
| 23 | 6/2006 | 13 | | | | | | | | 1 | | 1 | | | | 2 | 7 |
| 24 | 7/2006 | 5 | | | | | | | | | | | | 1 | | 6 | 13 |
| 25 | 8/2006 | 5 | | | | | | | | 1 | | | | | | 4 | 5 |
| 26 | 9/2006 | 4 | | | | | | | | | 1 | 2 | | | | 2 | 5 |
| 27 | 10/2006 | 3 | | | | | | | | | | | | | | 1 | 4 |
| 28 | 10 month total | 57 | | | | | | | | | | | | | | 3 | 10/2006 |
| 29 | Total 25 months | 141 | 5 | 1 | 5 | 10 | 5 | 5 | 3 | 6 | 3 | 8 | 2 | 9 | 6 | 73 | 141 |
| 30 | | | | | | | | | | | | | | | | | Sum C35 P35 |
| 31 | | | | | | | | | | | | | | | | | |
| 32 | | | | | | | | | | | | | | | | | |
| 33 | | | | | | | | | | | | | | | | | |
| 34 | | | | | | | | | | | | | | | | | |
| 35 | | | | | | | | | | | | | | | | | |
| 36 | | | | | | | | | | | | | | | | | |
| 37 | | | | | | | | | | | | | | | | | |
| 38 | | | | | | | | | | | | | | | | | |
| 39 | | | | | | | | | | | | | | | | | |

| | A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | Q | |
|----|--|-----------------------------|-----------------------|--------------------------|----------------|-----------|--------|------------|--------------|---------------|-----------------------------|-------------------------|---------------------------|------------------|------|---|-------|-------------|
| | 63 Frederic Street, Police Calls June 2006 to May 2007 | | | | | | | | | | | | | | | | | |
| | Total Calls | Suicide Threats or Attempts | Threat or Terrorizing | Assault or Abuse/Neglect | Mental Subject | Bothering | Arrest | Harassment | Intoxication | Drug Overdose | Theft, Burglary, or Robbery | Drug Possession or Sale | Assist Fire Dept or Medcu | Check/Well Being | MISC | | Month | |
| 1 | Month | 1 | | | | | | | | | | | | | | | 1 | 6/2006 |
| 2 | 6/2006 | 1 | | | | | | | | | | | | | | | 1 | 7/2006 |
| 3 | 7/2006 | 1 | | | | | | | | | | | | | | | 1 | 8/2006 |
| 4 | 8/2006 | 1 | | | | | | | | | | | | | | | 1 | 9/2006 |
| 5 | 9/2006 | 1 | | | | | | | | | | | | | | | 1 | 10/2006 |
| 6 | 10/2006 | 6 | | | | | | | | | | | | | | | 6 | 11/2006 |
| 7 | 11/2006 | 10 | | | | | | | | | | | | | | | 10 | 12/2006 |
| 8 | 12/2006 | 10 | 2 | | | 1 | | | 1 | | | | | | | 2 | 1 | 1/2007 |
| 9 | 1/2007 | 29 | | | | 1 | | | 1 | | | | | | | 1 | 6 | 2/2007 |
| 10 | 2/2007 | 3 | | | | 1 | | | | | | | | | | | 3 | 3/2007 |
| 11 | 3/2007 | 19 | 1 | | | 4 | | | 3 | | | | | | | | 19 | 4/2007 |
| 12 | 4/2007 | 22 | | | | 1 | | | 4 | | | | | | | | 22 | 5/2007 |
| 13 | 5/2007 | 10 | | | | 1 | | | 1 | | | | | | | | 10 | 6/2007 |
| 14 | 6/2007 | 4 | | | | | | | | | 1 | | | | | | 4 | 7/2007 |
| 15 | 7/2007 | 58 | | | | 1 | | | | | | | | | | | 58 | 8/2007 |
| 16 | 8/2007 | | | | | | | | | | | | | | | | | 9/2007 |
| 17 | 9/2007 | | | | | | | | | | | | | | | | | 10/2007 |
| 18 | 10/2007 | | | | | | | | | | | | | | | | | 11/2007 |
| 19 | 11/2007 | | | | | | | | | | | | | | | | | 12/2007 |
| 20 | 12/2007 | | | | | | | | | | | | | | | | | Sum Q4 Q17 |
| 21 | 12 month total | 87 | 3 | 2 | 5 | 2 | 8 | 0 | 9 | 0 | 1 | 0 | 3 | 0 | 0 | | 87 | Sum C19 P19 |
| 22 | | | | | | | | | | | | | | | | | 54 | |
| 23 | | | | | | | | | | | | | | | | | | |
| 24 | | | | | | | | | | | | | | | | | | |
| 25 | | | | | | | | | | | | | | | | | | |
| 26 | | | | | | | | | | | | | | | | | | |
| 27 | | | | | | | | | | | | | | | | | | |
| 28 | | | | | | | | | | | | | | | | | | |
| 29 | | | | | | | | | | | | | | | | | | |
| 30 | | | | | | | | | | | | | | | | | | |
| 31 | | | | | | | | | | | | | | | | | | |
| 32 | | | | | | | | | | | | | | | | | | |
| 33 | | | | | | | | | | | | | | | | | | |
| 34 | | | | | | | | | | | | | | | | | | |
| 35 | | | | | | | | | | | | | | | | | | |
| 36 | | | | | | | | | | | | | | | | | | |
| 37 | | | | | | | | | | | | | | | | | | |
| 38 | | | | | | | | | | | | | | | | | | |
| 39 | | | | | | | | | | | | | | | | | | |
| 40 | | | | | | | | | | | | | | | | | | |

| Month | Calls | Threats or Attempts | Threat or Intimidation | Assault | Harassment | Stalking | Arrest | Harassment | Investigation | Drug Overdose | Theft, Burglary, Possession or Robbery | Drug Possession or Sale | Assault, Fire, Death or Injury | Child Welfare | MISC | Month |
|-----------------|-------|---------------------|------------------------|---------|------------|----------|--------|------------|---------------|---------------|--|-------------------------|--------------------------------|---------------|------|----------------|
| 5/2005 | | | | | | | | | | | | | | | | 6/2005 |
| 6/2005 | 1 | | | | | | | | | | | | | | | 7/2005 |
| 7/2005 | | | | | | | | | | | | | | | | 8/2005 |
| 8/2005 | | | | | | | | | | | | | | | | 9/2005 |
| 9/2005 | | | | | | | | | | | | | | | | 10/2005 |
| 10/2005 | | | | | | | | | | | | | | | | 11/2005 |
| 11/2005 | | | | | | | | | | | | | | | | 12/2005 |
| 12/2005 | | | | | | | | | | | | | | | | 1 month total |
| 1 month total | 1 | | | | | | | | | | | | | | | 6 |
| 1/2006 | | | | | | | | | | | | | | | | 1/2006 |
| 2/2006 | | | | | | | | | | | | | | | | 2/2006 |
| 3/2006 | | | | | | | | | | | | | | | | 3/2006 |
| 4/2006 | | | | | | | | | | | | | | | | 4/2006 |
| 5/2006 | | | | | | | | | | | | | | | | 5/2006 |
| 6/2006 | | | | | | | | | | | | | | | | 6/2006 |
| 7/2006 | | | | | | | | | | | | | | | | 7/2006 |
| 8/2006 | | | | | | | | | | | | | | | | 8/2006 |
| 9/2006 | | | | | | | | | | | | | | | | 9/2006 |
| 10/2006 | | | | | | | | | | | | | | | | 10/2006 |
| 11/2006 | | | | | | | | | | | | | | | | 11/2006 |
| 12/2006 | | | | | | | | | | | | | | | | 12/2006 |
| 12 month total | 6 | | | | | | | | | | | | | | | 6 |
| 1/2007 | | | | | | | | | | | | | | | | 1/2007 |
| 2/2007 | | | | | | | | | | | | | | | | 2/2007 |
| 3/2007 | | | | | | | | | | | | | | | | 3/2007 |
| 4/2007 | | | | | | | | | | | | | | | | 4/2007 |
| 4 month total | 0 | | | | | | | | | | | | | | | 0 |
| 4 month total | 6 | | | | | | | | | | | | | | | 6 |
| Total 24 months | 6 | | | | | | | | | | | | | | | 6 |
| | | | | | | | | | | | | | | | | Sum CS&PS&MISC |

Submitted by Alesia 5.22.07

(2 pages)

Safety Data Update

Logan Place & Preble Street Women's Shelter

Logan Place

52 Frederic Street, Portland, ME
December 1, 2006 - March 31, 2007

Logan Place has not had any calls from concerned neighbors during the last year of operations. In fact, several neighbors joined staff and residents for a cookout to celebrate its anniversary. Neighbors also periodically stop by with donations of food. Logan Place has hosted an annual neighborhood BBQ, which will be held on June 21st, 2007.

Logan Place staff members have initiated periodic meetings with Portland Police Department to have on-going discussions related police interactions at Logan Place.

In the past four months, Preble Street staff members have made 31 emergency calls (an average of 7.75 calls/month). All of these calls related to activities within the building. Given the fact that Logan Place tenants typically have diagnosed mental illness and/or substance abuse issues, staff anticipate a certain level of police and Medcu calls every month. The breakdown of the calls between December 1, 2006 and March 31, 2007 is as follows:

- 7 calls were for tenant medical emergencies;
 - Of these 7 calls, 6 were for one tenant.
- 7 for tenant mental health crisis/intervention;
 - The 7 calls for mental health intervention were for 4 different tenants.
- 15 for disruptive tenants;
 - Of the 15 calls for disruptive tenant behaviors, 8 were for one tenant;
 - 3 tenants had two calls each;
 - One tenant had 1 call.
- 2 for unwelcome visitors.

Women's Shelter

5 Portland Street, Portland, ME
January 31, 2007 - April 30, 2007

Since opening the Women's Shelter on January 31st, there have been no known reports from neighbors that the Women's Shelter has increased illegal or disruptive activity in the neighborhood.

Preble Street staff members have made a total of 16 calls for service (an average of 5.3 calls/month). As described below, only two of these sixteen calls in this three-month period clearly reflect public safety issues arising as a result of the opening of the Women's Shelter.

The calls break down as follows:

- Five of these calls were for Medcu to assist women having medical emergencies.
- One was a request for a CIT officer for a woman having a mental health crisis.
- Two calls to the police were made for women who were intoxicated and had disruptive behaviors that escalated to an unsafe level for staff to handle.
- The remaining eight calls were for men who were in the courtyard and either needed medical assistance or refused to leave the property at staff's request.
- It is important to note that prior to the opening of the Women's Shelter there were no all-night staff at this location, and while it was not uncommon for men to be on the property throughout the night, the previous lack of night staff meant that there was no mechanism to report these incidents. Therefore, it is not clear whether the presence of the Women's Shelter has impacted the level of this type of activity or the presence of night staff has simply provided police with added vigilance to an activity which had already been occurring. The Women's Shelter is located near the Oxford Street Shelter (the men's shelter) and this building is used all day as a facility for men and women.

YWCA Women's Shelter and Residences
 87 Spring Street
 January 1, 2006 – August 31, 2006

An analysis of police logs for the YWCA Women's Shelter and Residences indicate a total of 54 calls (an average of 6.75 calls/month) during the eight months of operation in 2006.

The calls break down as follows:

- Nine calls were hang-up or false alarms
- Six calls were to assist other Agency/Fire Department
- Twelve calls were other non-emergency calls (ex attempt to locate, well-being check, serve papers, or traffic violations)
- Four for drug overdose/intoxicated persons
- Four for theft
- Eleven for suspicious activity/persons bothering/loud music
- Five for arrest/harassment/indecent exposure/fights/assault
- Three for mentally ill subjects

ANALYSIS OF LOGAN PLACE POLICE CALLS

Mark Swann, Executive Director, Preble Street

COMMENTS TO PLANNING BOARD 7-24-07

The fact is that the calls from Logan Place originated from the social workers who work there around the clock. They were not from neighbors complaining about noise, or violence, or behaviors at Logan Place. They were from staff and were made to keep the neighborhood safe.

Preble Street is not only very concerned about the safety of our tenants and staff but also about the whole neighborhood. We consider ourselves a vigilant set of eyes and ears, often reporting to the police when others aren't comfortable doing so.

25% of the calls attributed to Logan Place were actually to report activities away from our building. To report car theft down the street, suspected drug dealing out of nearby apartments, drinking on the public trails at the end of street, and other suspicious behaviors.

30% of emergency calls for internal issues were related to health concerns. Logan Place tenants tend to be disabled and struggle with health problems. Three original Logan Place tenants have died since we opened.

10% of calls were follow up calls, false fire alarms, administrative issues or subsequently cancelled.

The last 35% of calls were for issues ranging from animal control, theft reports, missing persons, or tenancy issues aimed at convincing tenants to get the help they need.

Neighbors are not even aware of the vast majority of these calls, and the police almost always turn off sirens and flashing lights to mitigate any disruption on the street when they respond.

Our staff works diligently with police as partners in our efforts. Police do trainings at all Preble Street programs, and our staff conducts trainings for the Portland Police Department and other law enforcement agencies.

The only way to end long-term chronic homelessness is in partnership with the community, which includes other nonprofits, the faith community, hospitals, and yes, the local police.

Submitted in
Mutual + Assoc
letter of 7.31.07
Attachment 1A c
(2 pages)

The police have consistently commented on how they'd rather assist us at Logan Place than have people lose their housing and end up back on the streets. It is a good use of the police resources.

Simply looking at the total number of emergency calls tells only a part of the story. It's discerning when that number alone, without explanation or analysis, is tossed around as a reason not to support Florence House.

When taking the time to investigate what's behind this number, the opposite conclusion becomes evident.

As far as we know,

there have been ZERO calls from neighbors complaining about Logan Place for at least the last 12 months, and

there have been ZERO calls from neighbors complaining about our Womens Shelter since we opened the program in January, 2007.

Planning Staff Technical Note

Florence House- Proximity to nearest abutters

[Read with applicants submitted "Perspective of Building Wing" in Submission 7; both are based on on submitted site plans- CZA dimensions are slightly different]

| Property | Description of property | Windows on rear elevation | Distance between rear elev. & nearest part of Florence House above | Distance between property line and footprint of Florence House (setback to property line) | Height of Florence House at that setback (feet and inches) | Approx. Length of Florence House Building along boundary at that setback (south to north) |
|-------------------------|---|---|--|---|---|---|
| 201 St Johns Street | 3-story apt. building (50 foot lot width) | 6 (plus 3 decks) | 87 feet | N/A (parking proposed at rear of property line) | N/A | N/A (Parking for 50 feet) |
| 205 St Johns Street | 3-story apt. building (50 foot lot width) | 3 (plus 3 decks) | 64 feet (3 windows) | N/A (parking proposed at rear of property line) | N/A | N/A (parking for 50 feet) |
| 209 St Johns Street | 2-story single family house (40 foot lot width) | 4 (2 bedrooms, sunroom, pantry) | 56 feet (nearest window- sunroom) | N/A (parking proposed at boundary) | N/A | N/A Parking for 16 feet |
| | | | | 11' 4" | 53' 3" | 20' 5.5" (50 % of lot width) |
| | | | | 11' 4" | 27' 4" (rises to 53' 3" at 14' 5" from property line) | 3' 6.5" (Wing setback 1) |
| | | | | 11' 4" | 27' 4" (rises to 53' 3" at 14' 5" from property line) | 4 feet (Wing setback 1) |
| 213/215 St Johns Street | 2.5-3-story duplex (60 foot lot width) | 6 (2 kitchens; 2 bedrooms, 2 bathrooms) | 60-65 feet for all windows (not incl. garage which is nearest to Florence House) | 11' 4" | 27' 4" (rises to 53' 3" at 21' 4" from property line) | 8' 11" (Wing setback 2) |
| | | | | 11' 4" | 27' 4" (rises to 53' 3" at 21' 4" from property line) | 12' 1" (Wing setback 3) |
| | | | | 11' 4" | 23' 4" from property line) | 35 feet |
| | | | | 48 feet | 53' 3" above level of this property's back yard but terrace instead of basement level | (Main part of bldg) |

Updated by J Fraser 8.10.2007

Planning Staff Technical Note

Florence House- Proximity to nearest abutters

[Read with applicants submitted “Perspective of Building Wing” in Submission 7; both are based on on submitted site plans- CZA dimensions are slightly different]

| Property | Description of property | Windows on rear elevation | Distance between rear elev. & nearest part of Florence House above | Distance between property line and footprint of Florence House (setback to property line) | Height of Florence House at that setback (feet and inches) | Approx. Length of Florence House Building along boundary at that setback (south to north) |
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| 209 St Johns Street | 2-story single family house (40 foot lot width) | 4 (2 bedrooms, sunroom, pantry) | 56 feet (nearest window- sunroom) 72 feet (3 windows) | N/A (parking proposed at boundary) 11' 4" | N/A 53' 3" | N/A Parking for 16 feet 20' 5.5" (50 % of lot width) |
| 213/215 St Johns Street | 2.5-3-story duplex (60 foot lot width) | 6 (2 kitchens; 2 bedrooms, 2 bathrooms) | 60-65 feet for all windows (not incl. garage which is nearest to Florence House) | 11' 4" | 27' 4" (rises to 53' 3" at 14' 5" from property line) | N/A Parking for 4 feet (Wing stepback 1) |
| | | | | 11' 4" | 27' 4" (rises to 53' 3" at 21' 4" from property line) | 8' 11" (Wing stepback 2) |
| | | | | 11' 4" | 27' 4" (rises to 53' 3" at 23' 4" from property line) | 12' 1" (Wing stepback 3) |
| | | | | 48 feet | 53' 3" above level of this property's back yard but terrace instead of basement level | 35 feet (Main part of bldg) |

Updated by J Fraser 8.10.2007

Florence House- Proximity to nearest abutters

Staff Technical Note based on available information as of 7.20.2007

[Read with applicants submitted "Perspective of Building Wing" in Attachment 8]

| Property | Description of property | Windows on rear elevation | Distance between rear elev. & nearest part of Florence House above | Distance between property line and footprint of Florence House (setback to property line) | Height of Florence House at that setback (feet and inches) | Approx. Length of Florence House Building along boundary at that setback (south to north) |
|-------------------------|--|--|--|---|--|---|
| 201 St Johns Street | 3-story apt. building (50 foot lot width) | 6 (plus 3 decks) | 87 feet | N/A (parking proposed at rear of property line) | N/A | N/A (Parking for 50 feet) |
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| 213/215 St Johns Street | 2.5-3-story duplex (60 foot lot width) | 6 (2 kitchens; 2 bedrooms, 2 bathrooms) | 60-65 feet for all windows (not incl. garage) | 11' 4" 11' 4" 11' 4" 4 1/8 feet | 27' 4" (rises to 53' 3" at 14' 5" from property line) 27' 4" (rises to 53' 3" at 21' 4" from property line) 27' 4" (rises to 53' 3" at 23' 4" from property line) 53' 3" above level of this property's back yard but terrace instead of basement level | 4 feet (Wing stepback 1) 8' 11" (Wing stepback 2) 12' 1" (Wing stepback 3) 35 feet (Main part of bldg) |

Updated by J Fraser 7.20.2007

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Ensure an Adequate and Diverse Supply of Housing for All

Policy #1: Ensure that an adequate supply of housing is available to meet the needs, preferences, and financial capabilities of all Portland households, now and in the future.

| | | | | | | | | |
|---|--|---|---|---|--|---|--|--|
| <p>subdivisions with smaller lots and a variety of housing types.</p> | <p>Housing Downtown: Encourage varied housing options downtown by updating zoning.</p> | <p>Parking: Encourage innovative approaches to address residential parking needs.</p> | <p>Housing in Business zones: Combine housing and economic development strategies to create high-density housing and mixed-use developments in business zones.</p> | <p>Increase Portland's rental housing stock to maintain a reasonable balance between supply and demand yielding consumer choice, affordable rents, and reasonable return to landlords.</p> | <p>Implement Bayside Plan: Create 300 units within 5 years and 500 additional units in 25 years, a significant portion of which will be rental units.</p> | <p>Rental & Accessory Units: Remove zoning barriers to rental housing and accessory units in single-family homes & accessory structures, where compatible with existing neighborhood character.</p> | <p>Large Units: Encourage construction of 3 or more bedroom units for large families.</p> | <p>Fair Market Rents: Monitor FMR's and seek exception rents from HUD when needed.</p> |
| <p>Legislation: Support state and federal legislation for new incentives to develop housing, such as tax increment financing, employer assisted housing and housing trust funds.</p> | <p>Financial Incentives: Employ a range of financial incentives to create housing.</p> | <p>Annual HUD Funding: Significantly increase share of City's annual HUD funding used for affordable housing. Support programs that assist with land acquisition, construction, mortgages, infrastructure, and conversion of non-residential buildings to housing.</p> | <p>Non-profit Developers: Use a portion of HUD funding to build capacity of non-profit developers to build and manage housing.</p> | <p>PILOT: Establish a policy on paying taxes or a PILOT (Payment in Lieu of Taxes) Program for non-profit housing developers.</p> | <p>Encourage higher density housing located near services, such as schools, businesses, institutions, employers, and public transportation.</p> | <p>Higher Density Housing: Encourage higher density multi-family developments and mixed-use projects with housing, along major public transportation routes, near service areas, and in redevelopment or infill areas.</p> | <p>Small Lot Subdivisions: Support development of higher density</p> | <p></p> |
| <p>Ensure the construction of a diverse mix of housing types that offers a continuum of options across all income levels, which are both renter and owner-occupied.</p> | <p>Zoning: Encourage all types of high quality and compatible housing to enhance neighborhoods.</p> | <p>Building Code: Flexible provisions to encourage a variety of quality housing types.</p> | <p>Incentives: Develop financial incentives, partnerships, and zoning incentives to increase the diversity of housing.</p> | <p>Neighborhood Plans: Encourage neighborhood plans to address a diverse mix of housing and city needs.</p> | <p>A variety of housing choices should be available such that no one should have to spend more than 30% of their income for housing.</p> | <p>20% Target for Subsidized Housing: Maintain Portland's current proportion of subsidized units. Establish a target of at least 20% of the total number of new housing units will be subsidized for households earning 80% or less of the region's median income.</p> | <p>Portland Housing Authority: Encourage and support PHA to become active in development of more housing.</p> | <p>Creative collaborations: Seek incentives and partnerships to increase affordable housing options for moderate-income households.</p> |

Senior Citizen Rental Options: Support a variety of affordable rental options for senior citizens.

Increase home ownership opportunities for all types of households and all income levels.

Implement BaySide Plan: Create 300 units within 5 years and 500 additional units in 25 years, a significant portion of which will be owner-occupied units.

200 Home Ownership Units: Facilitate development of 200 affordable owner-occupied units in Portland, with an emphasis on starter homes for families with children.

Move-up Market: Encourage the development of units for those moving up in the real estate market, so Portland can remain competitive with suburban communities.

Affordable Home Ownership: Strengthen and expand opportunities for home ownership assistance through City programs, such as New Neighbors and Homeport.

Senior Citizen Housing: Support affordable home ownership options for senior citizens.

Ensure that a continuum of housing is available for people with special needs and circumstances ranging from emergency shelters and transitional housing to permanent housing (rental and homeownership), which offer appropriate supportive services.

Supportive Housing: Increase quantity of supportive housing for persons with special needs who desire and need to live in an urban area where services are available.

10% Handicapped Accessible: Ensure in total, at least ten percent (10%) of all new housing will be designed as handicapped accessible units. Encourage universal design standards for handicapped accessibility in new housing.

Beds for the Homeless: Create enough beds to ensure that no one is forced to sleep outside due to a lack of beds in emergency shelters.

Supportive Housing: Support funding proposals for new supportive housing facilities.

Senior Citizen Options: Promote creation of assisted and congregate living facilities for low-income senior citizens.

Transitional Housing: Ensure an adequate supply of transitional housing facilities.

Transition to Permanent Housing: Encourage proposals to transition homeless families and individuals out of emergency shelters and transitional facilities into permanent housing, including single room occupancy (SRO) units.

Identify vacant land and redevelopment opportunities throughout the City to facilitate the construction of new housing.

Real Estate Inventory: Coordinate with Land Bank Commission to create a real estate inventory where housing can be developed in each neighborhood.

Property Disposition: Develop and tax-acquired property that is in keeping with the City's adopted housing plan.

Pilot Projects: Develop a pilot housing project with a neighborhood, a developer and the City as partners, which utilizes City property and other incentives (i.e. Unity Village).

Promote Portland as a Pro-Housing Community.

One Stop Housing Office: Create a "one stop housing office" to assist developers.

- Integrate neighborhood based planning and neighborhood interaction
- Information about City's development review rules and procedures
- Financial Resources, Land Inventory, and Demographic Data

Workforce Housing: Assist new or expanding businesses to create or locate housing for new employees.

Public Relations: Develop a campaign to promote the benefits of living in Portland for the public and real estate industry.

Public Education: Develop an educational campaign to inform the public of housing needs and de-stigmatize perceptions about affordable housing.

Neighborhood Stability and Integrity

Policy #3: Maintain and enhance the livability of Portland's neighborhoods as the city grows and evolves through careful land use regulation, design and public participation that respects neighborhood integrity.

| | | |
|--|--|---|
| <p>Walkable neighborhoods: Give preference to projects that are located within a walkable distance to neighborhood assets, particularly when seeking City funds.</p> <p>Ensure the integrity and economic value of Portland's neighborhoods.</p> <p>Enforcement: Aggressively enforce codes that require owners to maintain properties.</p> <p>Maintain Property: Ensure all properties are kept clear of debris and derelict vehicles.</p> <p>Redevelopment: Work to find productive uses for vacant and underutilized lots.</p> <p>Public Improvements: Ensure neighborhood improvements are safe, attractive and well maintained.</p> | <p>Encourage innovative new housing development, which is designed to be compatible with the scale, character, and traditional development patterns of the City's residential neighborhoods.</p> <p>Municipal Regulations: Update codes to encourage new residential development that:</p> <ul style="list-style-type: none"> • Offers diverse and quality living options. • Encourages traditional neighborhood elements. • Promotes a walkable city. • Are compatible with Portland's existing neighborhoods. <p>Design Guidelines: Adopt design guidelines for new housing and rehabilitation that are compatible with the character and patterns of development in each neighborhood.</p> | <p>While accommodating needed services and facilities, protect the stability of Portland's residential neighborhoods from excessive encroachment by inappropriately scaled and obtrusive commercial, institutional, governmental, and other non-residential uses.</p> <p>Housing Along Arterials: Maintain residential zoning along arterials and encourage increased residential densities and mixed uses within business zones.</p> <p>Demolition: Discourage demolition or conversion of residential properties for non-residential uses.</p> <p>Compatible Development: Encourage well-planned developments and uses to enhance compatibility between residential and non-residential uses.</p> <p>Student Housing: Encourage construction of affordable student housing to meet current and future needs.</p> <p>Support Portland's livable neighborhoods by encouraging a mix of uses that provide needed goods and services, within walking distance of most residents.</p> <p>Neighborhood Livability: Promote through City policies a mix of housing types, retail and service businesses, community services, and open space/recreation opportunities of appropriate size, scale and type within neighborhoods.</p> <p>Uphold Zoning: Enforce approved density regulations in the Zoning Ordinance.</p> |
| <p>Public Safety: The Portland Police Department will continue to work with neighborhoods on community policing, crime watch and other public safety programs to ensure neighborhoods remain safe for residents and visitors.</p> <p>Traffic: Work with neighborhoods to address traffic issues and enforce traffic laws.</p> <p>Public Parks: Preserve public amenities, such as trails, athletic fields, and parks.</p> <p>Open Space: Work with neighborhoods to update, "Green Spaces/Blue Edges";</p> | <p>Encourage new housing development in proximity to neighborhood assets such as open space, schools, community services and public transportation.</p> <p>Assets: Inventory neighborhood assets, such as open space, recreation facilities, schools, services and public transportation.</p> <p>Suitable Housing Sites: Use asset inventories and agreed upon neighborhood priorities to select potential housing sites as part of the Neighborhood Based Planning Process.</p> | <p>Neighborhood Livability: Promote through City policies a mix of housing types, retail and service businesses, community services, and open space/recreation opportunities of appropriate size, scale and type within neighborhoods.</p> <p>Uphold Zoning: Enforce approved density regulations in the Zoning Ordinance.</p> |

Housing is a Regional Issue

Policy #4:

Seek opportunities for economic and social integration throughout the Greater Portland region by encouraging the development of a range of housing options that are available and affordable to all income levels in the region.

Educate the public, neighboring municipalities, the State legislature, and our Congressional delegation on the need for affordable housing throughout the Greater Portland area.

Seek innovative solutions and collaborations with municipalities, regional organizations, housing authorities and developers to implement the regional housing plan.

Public Education: Work with regional organizations to develop a public education campaign on the need for affordable housing throughout the region.

Regional Housing Administration: Create regional cooperation agreements for the planning and administration of housing development programs.

Leadership: Portland will be a leader within the region and State to change policies that limit an adequate supply of affordable housing.

Regional Funding Consortium: Investigate establishing a consortium of municipalities to apply for and administer state and federal funding for affordable housing development.

Initiate the development of a regional housing plan.

Regional Cooperation: Support developer and municipal proposals to obtain resources and develop affordable housing throughout Greater Portland.

Regional Housing Plan: Initiate and lead efforts with municipalities and regional organizations to develop a regional housing strategy that will strive to create a wide range of affordable housing options in each municipality.

Housing and Transportation: With efforts to develop more affordable housing, create viable public transportation options.

Encourage Portland's neighborhoods to address the City's housing issues through the Neighborhood Based Planning Process.
Housing Solutions: Involve each neighborhood in creating housing solutions.
Public Education: Support outreach efforts to discuss the benefits, issues, and potential design solutions for increased densities in residential neighborhoods.

Encourage neighborhood populations that are economically, socially, culturally and ethnically diverse.
Mix of Housing: Encourage a mix of housing types for all ages, household sizes, and incomes, so neighborhoods are socially, culturally, ethnically, and economically diverse.
Displacement: Discourage displacement through enforcement of municipal ordinances, and adoption of long-term affordability restrictions on City assisted housing.

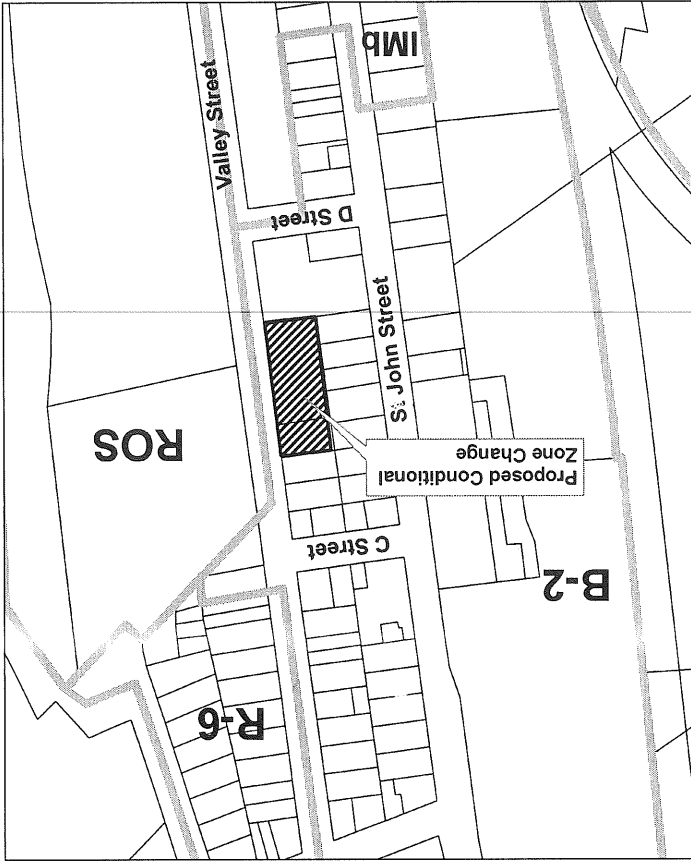
Housing Programs: Obtain resources and implement programs to enable residents to remain in their neighborhoods, such as rental housing vouchers.
Retain Assisted Housing: Preserve Portland's existing affordable housing units as assisted developments.
Higher Density: Increase density where appropriate to achieve neighborhood diversity.

Table 1: Florence House Summary of Zoning Analysis [Toned cells indicate variance from underlying zone; bold italics indicate where CZA differs from Site Plan]

| Standard | B-2 Community Business Zone | R-6 Residential Zone | As Shown on Site Plan | Proposed Conditional Zone from Applicant |
|---|--|---|---|---|
| Uses | <p><i>Permitted:</i></p> <ul style="list-style-type: none"> - Any residential use permitted in the residential zone nearest to the lot (in this case R-6); - Multifamily dwellings over 1st floor commercial uses - Offices - Lodging Houses* - Residential uses shall meet the requirements of such abutting or nearby res. zone (R-6) - Food Service restaurants <p><i>Not permitted:</i></p> <ul style="list-style-type: none"> - Residential Dorms - Emergency Shelters | <p><i>Permitted:</i></p> <ul style="list-style-type: none"> - Lodging House* - Multi-family dwellings, lodging houses; independent living units <i>Conditionally permitted:</i> - Sheltered Core Group homes for up to 12 individuals plus staff - Professional offices (eg doctor) <p><i>Not permitted</i></p> <ul style="list-style-type: none"> - Multi-family use - General offices - Food Service Restaurants - Residential dorms - Emergency Shelters | <p><i>Proposed based on site plans:</i></p> <ul style="list-style-type: none"> - 25 studio apartments (Single Room Occupancy- SRO) (*does not meet Zoning Definition of Lodging House; - 15 Safe Haven Units & 10 Emergency shelter beds (does not meet zoning definition of "Sheltered Care Group Homes") - Commercial kitchen and dining area - ?restaurant - Offices with Conference Rooms & Staff facilities | <p>As on Site Plan but 15 additional emergency shelter beds allowed on first floor (dual use of dining area)</p> |
| Min. Lot Size | 10,000 SF | 4,500 SF | 24,968 SF | 24,968 SF |
| Min. Street Frontage | 50 SF | 40 Feet | 250 Feet | 250 Feet |
| Min. Lot Width | None required | 50 Feet | 250 Feet | 250 Feet |
| Min. Front Setback | None req'd; are maxs but do not apply | 10 Feet; no maxs | None | None |
| Min. Side Setback | 10 feet (abus Res. Use) | 10 Feet (3 stories; basement not included) | 5 feet | 5 Feet |
| Min. Rear Setback | 20 feet | 20 Feet | 11' 4" floors 1&B: length of 49' 11' 4" floors 2&3: length 20'5.5" 14' 5" floors 2&3: length 7'6.5" 12' 4" floors 2&3: length 8'11" 12' 4" floors 2&3: length 12'11" 33% | 11' floors 1&B: length of 50' 11' floors 2&3: length of 21' 14' floors 2&3: length of 8' 47' setback for remaining portion of building 40% |
| Max. Lot Coverage | None required | 40% (over 20 units) | 33% | 40% |
| Min. (Land) Area/ Dwelling Unit | Refers to R-6 Requirement | 1000SF each first 3 units; Then 1200 SF/unit (ie 21 apartments for this site) | 1000 sq ft for each of the 25 SRO units but does not account for 1 st floor | Text specifies #s of pro-posed beds & apartments |
| Max. Building Height (Zoning Definition) | 45 feet | 45 Feet | 45 feet | Not referenced under dimensions |
| Open Space/Ratio | None required | 30% (over 20 units) | 26% | 26% |
| Max. Impervious | 80% | None required | 74% | Not referenced |
| Off-Street Parking | 69 spaces required based on disaggregated uses [See determination of Zoning Administrator in Attachment 6a) | | 19 spaces (incl handicap space & 2 other spaces in pull off) based on needs of users | 9 spaces for Unit 1 and 7 spaces for Unit 2 |

**IMPORTANT NOTICE FROM THE CITY OF PORTLAND - PLANNING DIVISION
TO RESIDENTS AND PROPERTY OWNERS IN THE VICINITY OF
190 VALLEY STREET**

WHAT: The Portland Planning Board will hold a public hearing to consider a request by Avesta Housing for a Conditional Zone Agreement to allow for the development of a 3-story plus basement residential building (Florence House) in the vicinity of 190 Valley Street. Florence House will provide permanent, supported housing for approximately 50 chronically homeless women, to include 25 efficiency apartments plus other accommodation and support facilities. The proposal includes demolition of an existing 1 story commercial building and will be accessed from Valley Street and St. John Street. Current zoning for the site is B2 Community Business Zone. The proposed Conditional Zone Agreement includes minor variations in height, setbacks, parking, open space and density as compared to the existing B2 zoning requirements. The Planning Board will make a recommendation on this Conditional Rezoning to the City Council. Public comments will be taken at this meeting.



Florence House, 190 Valley Street
Proposed Rezoning: B-2 to Conditional Zone

Handwritten notes:
 Draft from Dennis
 7.25 - 1/6
 removed under rezoning

WHEN:

Tuesday, August 14th, 2007
 6:00 p.m.

Council Chambers, 2nd Floor, City Hall

FOR MORE INFORMATION:

If you wish to submit written comments, address them to Jean Fraser, Planner, Planning Division, City Hall, 4th Floor, 389 Congress Street, Portland, Maine 04101, contact by phone at 874-8728 or e-mail at jf@portlandmaine.gov

City of Portland
Department of Planning and Development
Planning Division
389 Congress Street, 4th Floor
Portland ME 04101
(207)874-8721 or (207)874-8719
Fax: (207)756-8258

FAX



To:

Alan Rossier

Company:

Fax #:

775 7186

Date:

May 9 2007

From:

Alan Rossier

You should receive _____

2

page(s) including this cover sheet.

Comments:

Alan

As requested I attach the Site Plan
Redman Wadung
Alan

from 14-526 Site Plan Standards
City of Portland Ordinance

(3) The bulk, location or height of proposed buildings and structures and the proposed uses thereof will not cause health or safety problems as to existing uses in the neighborhood, including without limitation health or safety problems resulting from any substantial reduction in light and air, any significant wind impact, and any significant snow loading on any neighboring structure, where setbacks from property lines are not required by article III;

(4) The bulk, location or height of proposed buildings and structure minimizes, to the extent feasible, any substantial diminution in the value or utility to neighboring structures under different ownership and not subject to a legal servitude in favor of the site being developed;

From: Jean Fraser
To: Auto, Alan
Date: 8/7/2007 4:31:18 PM
Subject: Site Plan standards

Alan,

Got your 'phone message re faxing the standards and I will do - but as that will take a bit longer to organize, I have also excerpted them below:

- 14-526 (Site Plan Standards)
- (3) The bulk, location or height of proposed buildings and structures and the proposed uses thereof will not cause health or safety problems as to existing uses in the neighborhood, including without limitation health or safety problems resulting from any substantial reduction in light and air, any significant wind impact, and any significant snow loading on any neighboring structure, where setbacks from property lines are not required by article III;
- (4) The bulk, location or height of proposed buildings and structures minimizes, to the extent feasible, any substantial diminution in the value or utility to neighboring structures under different ownership and not subject to a legal servitude in favor of the site being developed;

Jean (Fraser)
 Planner

CC: Alan/Beth

**Memorandum
Department of Planning and Development
Planning Division**



TO: Chair Patterson and Members of the Portland Planning Board

FR: Carrie M. Marsh, AICP, Urban Designer, City of Portland

DT: June 7, 2007

RE: Avesta Housing proposal for Florence House, vicinity of 190 Valley Street

I. Introduction

The proposed Florence House will be reviewed at an upcoming Planning Board Workshop on June 12. This memo reviews the information related to design that was provided in the May 22, 2007 submittal. The applicant, Avesta Housing, and its representatives, met with City staff on May 3 and May 14, 2007 to discuss the design of the project.

The applicant's submittal of May 22, 2007 includes a narrative of the design alternatives that were considered, site plans, a shadow study (permitted and proposed), a massing study (permitted and proposed), cross sections, building plans and elevations, perspective renderings, and an analysis of the impact on residential properties.

II. Description

The proposed Florence House will be a 4 story building with a footprint of 8,140 sq ft. The building will have a flat roof. The sheathing includes a masonry product on the first level of the facade, and a clapboard product on the upper floors. The windows on the upper floors are predominantly square, in two sizes.

The building elevations A401 show a Valley Street elevation of three stories. The main entrance is at the south end of the facade along Valley Street and the drop-off area. There are large windows at the corner, and other large windows along Valley Street. The applicant noted in the meeting that these windows would be dark tinted for security purposes. There are two service doors at the north end of the Valley Street elevation. These choice of service doors has not been clarified, but is important to consider in terms of the pedestrian experience along the street.

The south elevation (called the "left side elevation" on A401) includes large windows to the main lobby that will be dark tinted. The building drops down with the grade and is four stories. The lower level includes two doors designated as employee entrances from the parking lot.

The building elevation on A402 are mislabeled, but represent the west and north elevations. The west elevation continues the design elements described above. A graded landscaped garden

The applicant provided Cross Sections in Section Five which compare the massing that would be allowed by permitted development, and by the proposed development. In keeping with the

Cross Sections

The applicant provided a massing study in Section Four which compares the massing that would be allowed by permitted development, and by the proposed development. In keeping with the application, the massing under the proposed development is closer to the property line, and higher than that which is allowed currently. This may warrant further consideration.

Massing study (permitted and proposed)

The applicant provided a shadow study in Section Three which compares the shadows that would be cast by permitted development, and proposed development. Staff considered the impact of the shadow of the proposed development when it would touch the adjacent residential house (compared to what is permitted). On June 21 (and obviously for some unidentified timeframe on either side of that date), the shadow of the proposed development will touch the adjacent house at 8:13 EST. The shadow appears to move away from the house completely by 9:09 EST on June 21. It appears that there is no other time during the day or year when the shadow of the proposed development would touch the house more than that which would occur under permitted development. The quality of the photocopies considered may impact this analysis, and staff welcomes any clarification of this determination by the applicant.

Shadow study (permitted and proposed)

The site plans in Section Two are reviewed in the cover report by Jean Fraser.

Site plans

Please see Section One of the applicant's submittal of May 22 for a narrative of the alternatives that were considered for the massing and the location of the "L" portion of the building.

Design alternatives

The applicants submittal of May 22 includes a narrative of the design alternatives that were considered, site plans, a shadow study (permitted and proposed), a massing study (permitted and proposed), cross sections, building plans and elevations, perspective renderings, and an analysis of the impact on residential properties. They are summarized below.

III. Discussion

The north elevation continues the design elements described above. The south terrace covers the lower level of much of the facade, creating three stories of height. The south end is four stories of perceived building. There is an door which accesses the garden terrace. The second and third floor of the building "L" or extension steps back at the upper floors.

application, the massing under the proposed development is closer to the property line, and higher than that which is allowed currently. This may warrant further consideration.

Building Elevations

The applicant provided Building Elevations in Section Six which were discussed earlier in this memo.

Perspective Renderings

The applicant provided Rendering in Section Six for consideration.

IV. Considerations

Topics that may warrant further consideration include the following:

1. Consideration of the massing under the permitted and proposed development scenarios.
2. Confirmation that the shadow impact on the adjacent house, compared to that which would occur under permitted development, occurs on from 8:13 EST to sometime before 9:09 EST on June 21 (and obviously for some unidentified timeframe on either side of that date).
3. Specifications of building materials and building components (doors, windows, etc).
4. Clarification of the transparency of the windows at the Main Entrance, and along Valley Street.
5. Clarification of the design treatment of the service entrances on Valley Street.

From: Jean Fraser
To: Littlell, Penny
Date: 8/3/2007 3:04:04 PM
Subject: Florence House PB Report

Penny,

I am preparing a draft of this report and come across some questions for you:

1. The original application for rezoning shows Avesta Housing as the applicant. However, the CZA now shows three parties to the conditional zone agreement. Is "Avesta Housing" still OK as the applicant?
2. I am not clear whether you have any other residual concerns re the CZA other than the one you mentioned yesterday re the fact that Preble Street was not referenced as the management organization in the CZA. Do you want to write a Memo to go into the Hearing Report to clarify or raise concerns re any of the areas where compromise wording was agreed?

3. Could you give staff and the Board some advice over the interpretation and application of Site Plan Standard 14-526 (3) and (4) (extracts included below), particularly:

- a. definition of "safety problems" and "substantial reduction" in light (para (3))
- b. definition or standard to be met re "minimizes, to the extent feasible, any substantial diminution in the value or utility to neighboring structures..." (para 4)
- c. whether, in considering reduction or diminution in the above paras, the comparison is between the existing situation and the proposed, or between some concept of "permitted" proposal and proposed (see background re this below)

[It is my logic that says that since this is a site plan standard where all the other standards are applied as between the existing and proposed, that these two paras also can be inferred to be relating to a comparison between existing situation and proposed. I don't believe that where these standards have been applied in other cases there has been a suggestion that any comparison (say re loss of vegetation) should be with something that might hypothetically meet zoning dimension requirements and be called "permitted".

The concept of come hypothetical "permitted" scheme has been developed in this case by the applicant as an interpretation of Kevin Beal's comments to neighbors (when they were objecting to the height) that a certain amount of height would probably be permitted given the 45 foot height dimension in the zoning ordinance. But any proposal that meets zoning requirements must also meet the 14-526 standards and therefore is not really "permitted" until 14-526 standards are met.

While on this subject, Dana Trotman suggested that they could build 21 apartments but in fact the density requirements would not allow that many; John Mitchell also suggested that their "permitted" was conservative as it was a truncated version of the proposed building, but in fact the scale of parking and open space/previous surface required for any other use would probably limit the scale/change the footprint of the building even before applying the 14-526 standards.

Could there be a legal challenge to the use the vague concept of a "permitted" building as the basis for applying the 14-526 standards?

Thanks...

Jean

CC: Alex Jaegerman ; Barhydt, Barbara; Schmuckal, Marge

From: Jean Fraser
To: Barhydt, Barbara
Date: 7/26/2007 10:03:41 AM
Subject: Advising Avesta

Barbara,

I am out for half of tomorrow, all of Monday and Tuesday and half of Wed so I would like to get back to Deb Keller and confirm what additional submissions (if any) they need to submit. (I note Alex has commented on what should be referenced in the CZA and I have no view on that).

You will see from the exchange with Carrie and Alex that Carrie considers that a comparison with the "permitted" is OK re the shadow study (I am sure the Board asked for info re the existing ie the shadow of the Western prom without any development. I sense that Deb Keller does not want to provide this as the shadow from the W. Prom doesn't hit Mis Heald's house until the afternoon; she suggested they do a narrative re that).

If the Board are making a determination as to how to measure the loss of light I still feel it should be the same as for other similar cases and we should do the research. Do you know of any others that I can look at?

In addition, if we advise the Board (as I guess Carrie is suggesting) that a comparison with the "permitted" is OK, I am concerned that the "permitted" is not necessarily "permitted" (it is the applicants definition of permitted but not ours);

Dana Torman stated that they could build a large building housing 21 apts. with parking underneath but due to density reqs they can only have 19 apts by right and would need 40+ parking spaces (assuming no cond zone) which may fit underneath but that is not self evident - and then they would need to meet the open space requirement which they do not now meet. Similarly, John Mitchell claimed that by using a truncated version of the proposed building (for the shadow and massing studies) they were being "conservative" may also be a ? - if they had to build without a cond zone they would need to provide much more parking and the building would not just be truncated. One of the objectors (Dan Chase, an engineer) has raised this in a letter and I think that he may have a valid point.

So I would feel more comfortable about having the shadow/light determination (re the site plan standards) made on the basis of a comparison between proposed and permitted if I had confidence in the envelope they are presenting as permitted...and I think somehow we need to review this concept of permitted and check the applicants assertions. I do not have enough experience of R-6 to know....I need you to verify re this I think.....

Thanks
Jean

Handwritten notes:
O.B. asked for - John Goodwin -
- blurry shadow -
- answer - call Alex

From: Jean Fraser
To: Keller, Debora
Date: 7/26/2007 11:35:02 AM
Subject: Re: 7.24.07 PB Workshop Follow-up

Deb,

I have now had a chance to debrief with Barbara and Alex and respond re your e-mail.

1. Submission ideally "due" Tuesday July 31;

2. CZA "Exhibit": Penny will confirm re that as she is still discussing with Alex;

3. Shadow Data: we are clear that the Board asked for the Shadow data for the Western Prom alone in the morning and your rep did say it could be provided; we are expecting graphics that are comparable (ie same times and dates) with the other sun/shadow stills submission (received last week and included in the Workshop Memo as Attachment 7); a narrative is OK but would be in addition to that. (early am December and September will be of most interest).

4. We anticipate that the first Council Reading would be **Wednesday, Sept 5th** and the second Council Reading (Public Hearing where decision is taken) would be **Monday Sept 17th**.

5. Mark Swann offered to share the "cost/benefit" information for the project and also it would be helpful to have Mark's analysis re the Logan Place police calls if he is also willing to share that.

6. There were a couple of questions from the public addressed to you which the Chair did not direct you to answer- you might want to consider answering those in any further submission (one from Deb Heald re the mechanicals on the roof; one from Dan Chase re your submitted table comparing FH to other developments asking why 50 residents shown and why is basement space included as residential).

I am out of the office for most of tomorrow (will be here late) and also out all day Monday and Tuesday so let me know today if any other issues. (In my absence please contact Barbara Barhydt).

Jean

>>> Debora Keller <dkeller@avestahousing.org> 7/25/2007 9:34:19 AM >>>

When you have a chance to de-compress after last night, I'd like to talk to you about the next steps. First of all, when is our submission due? Second, other than a revised draft of the CZA with an appropriate step-back attachment, what do we need to submit? Specifically, I think I understand that the PB was fine with the submitted shadow data, but I want to confirm that nothing else is required. Finally, assuming a PB recommendation on 8.14.07, can you tell me when the Council first read and Public Hearing would be?

Thanks, Jean.

-Deb

Debora Keller
Development Officer
Avesta Housing
307 Cumberland Avenue
Portland, ME 04101

Phone: 207-553-7780 ext. 228
www.avestahousing.org<<http://www.avestahousing.org>>

CC: Alex Jaegerman ; Barhydt, Barbara; M, Betsy; Mitchell, John

From: Jean Fraser
To: Keller, Debora
Date: 7/26/2007 11:35:02 AM
Subject: Re: 7.24.07 PB Workshop Follow-up

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1. Submission ideally "due" Tuesday July 31;

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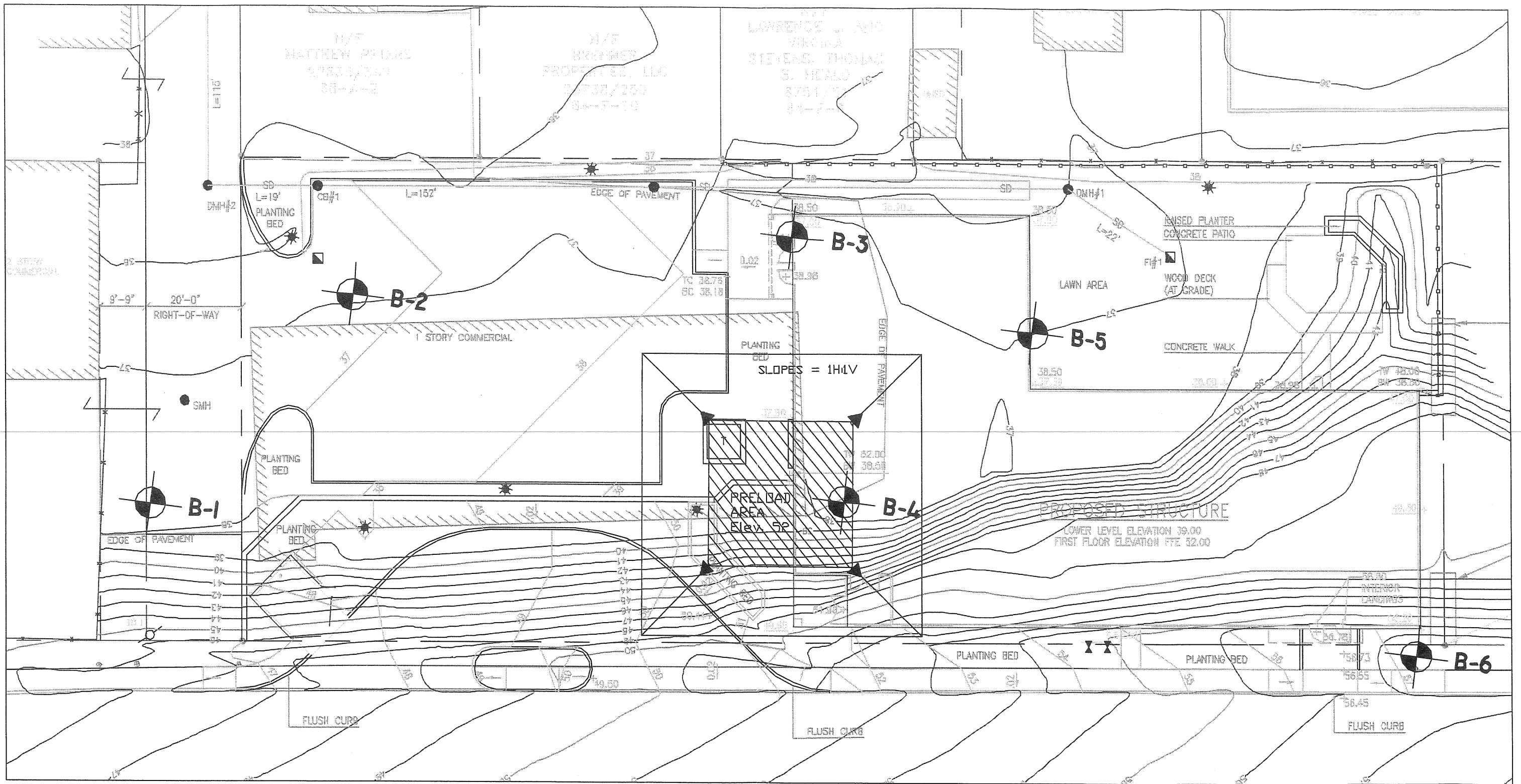
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Thanks, Jean.

-Deb

Debora Keller
Development Officer
Avesta Housing
307 Cumberland Avenue
Portland, ME 04101




KEY



REFERENCE PLANS:
 GRADING AND DRAINAGE PLAN BY
 MITCHELL AND ASSOCIATES, DATED
 APRIL 2, 2007



| | | | |
|---|--|---|---|
| CLIENT: AVESTA HOUSING PORTLAND, MAINE | | PROJECT: FLORENCE HOUSE PORTLAND, MAINE | |
|  SUMMIT GEOENGINEERING SERVICES 640 Main Street Lewiston, Maine 04240 | | TITLE: BORING LOCATION PLAN | |
| | | DRAWN: ARH DESIGN: --- | SCALE: 1" = 20' DATE: 8/10/07 FILE NO.: |
| PROJECT NO.: 17162 | | APPROVED: WMP | |

Florence House
View from Heald Driveway

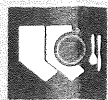


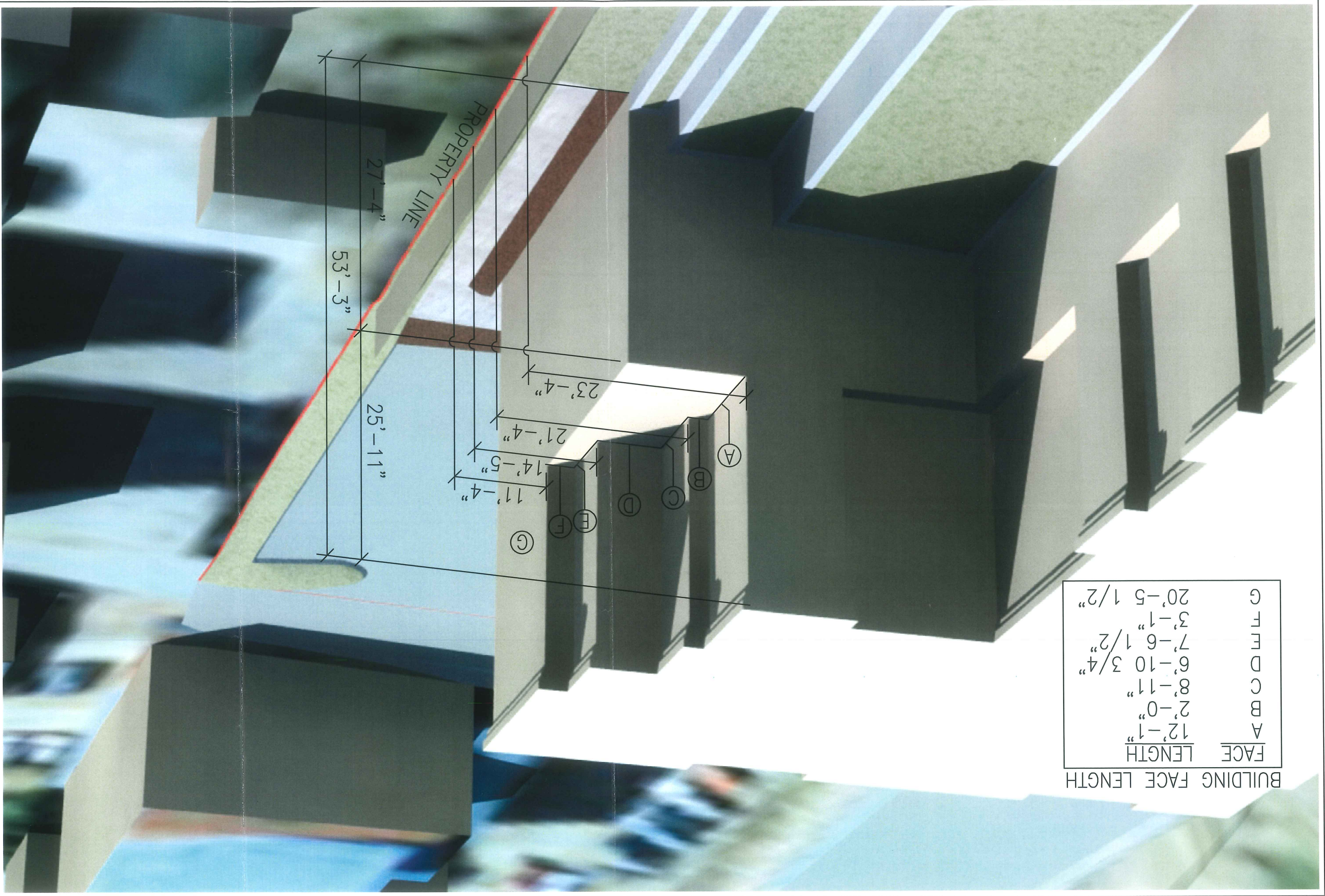
Florence House - Bird's Eye View
Along Rear Property Line



AVESTA

Preble
Street





| FACE | BUILDING FACE LENGTH |
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| A | 12'-1" |
| B | 2'-0" |
| C | 8'-11" |
| D | 6'-10 3/4" |
| E | 7'-6 1/2" |
| F | 3'-1" |
| G | 20'-5 1/2" |

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 Landscape Architects
 70 Center Street
 Portland, Maine 04101
 (207) 774-4427

Title: PERSPECTIVE OF BUILDING WING
 Date: JULY 11, 2007
 Scale: NOT TO SCALE
 Project: FLORENCE HOUSE

B



AVESTA HOUSING

Preble Street



Florence House Valley Street Elevation
Looking North





AVESTA
HOUSING

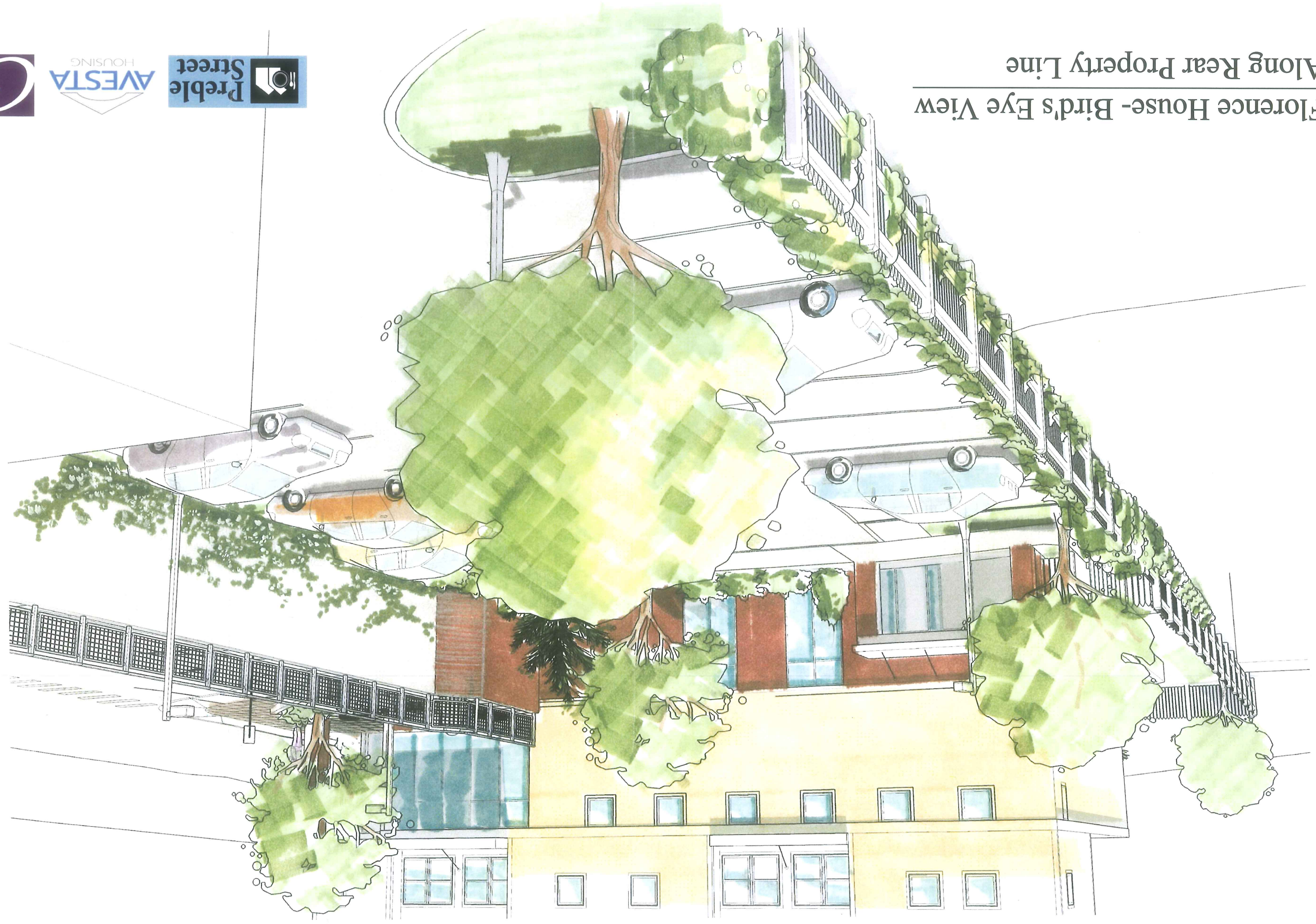
Preble
Street



Florence House Valley Street Elevation
Looking South



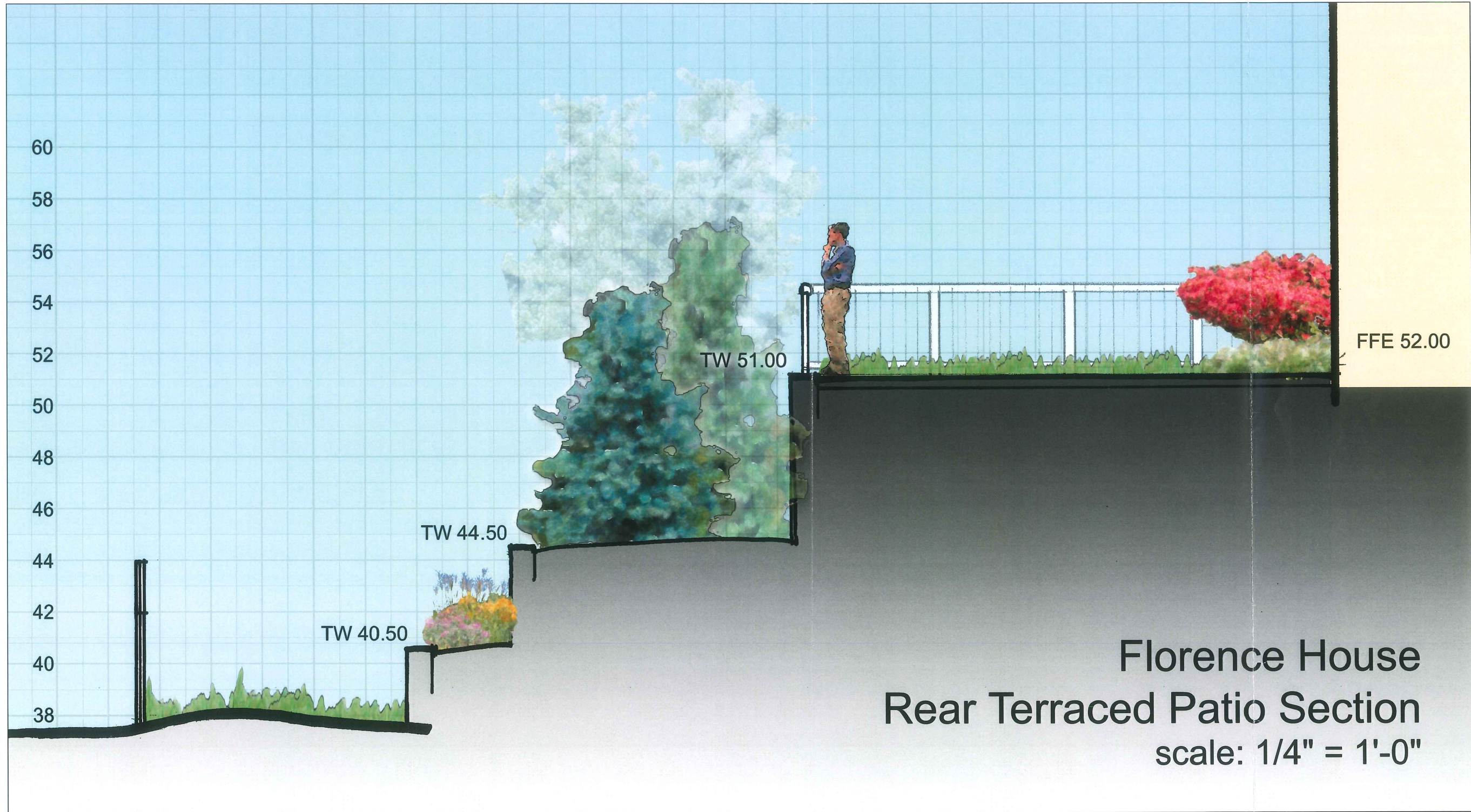
Florence House- Bird's Eye View
Along Rear Property Line





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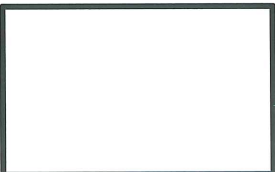
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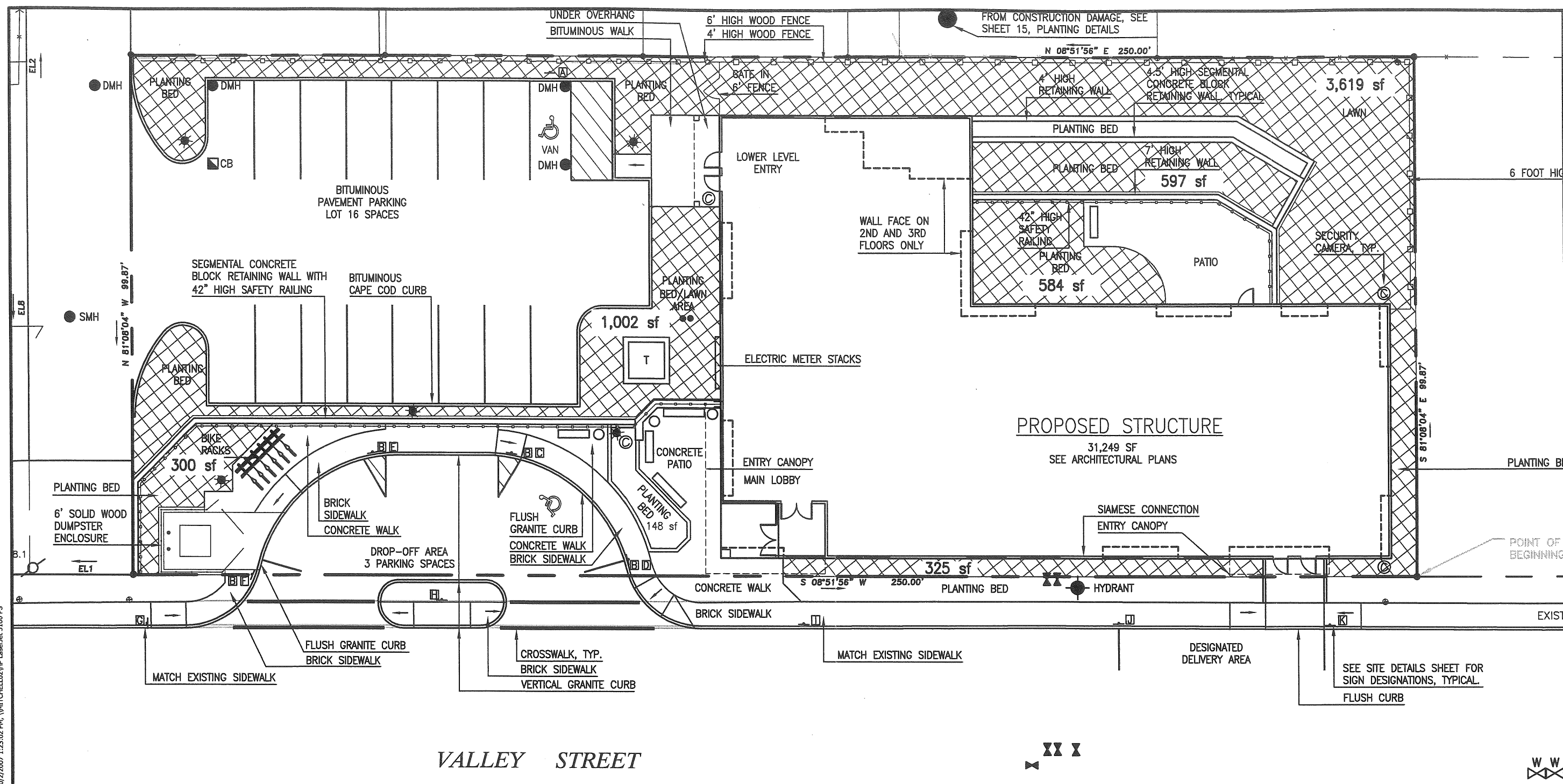
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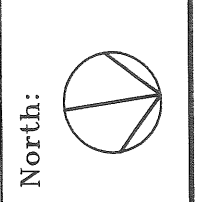
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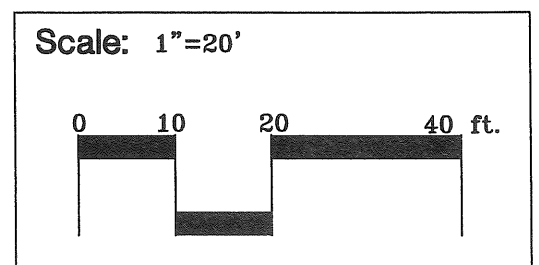
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 Project: FLORENCE HOUSE

NOTES

- TOTAL SITE AREA: 24,968 S.F.
- ALL HATCHED AREAS ARE INCLUDED IN OPEN SPACE CALCULATION. EACH SEPARATE AREA HAS SQUARE FOOTAGE NOTED.
- AS DEFINED IN R-G. SECTION 14-139. THE OPEN SPACE RATIO "SHALL NOT INCLUDE PARKING AREAS OR OTHER IMPERVIOUS SURFACES AS DEFINED IN SECTION 14-47." FROM SECTION 14-47: "IMPERVIOUS SURFACE: MEANS ANY SURFACE WHICH DOES NOT ABSORB RAIN AND INCLUDES ALL BUILDINGS, ROADS, SIDEWALKS, PARKING AREAS, AND ANY AREA PAVED WITH BRICKS, CONCRETE OR ASPHALT."

OPEN SPACE CALCULATION

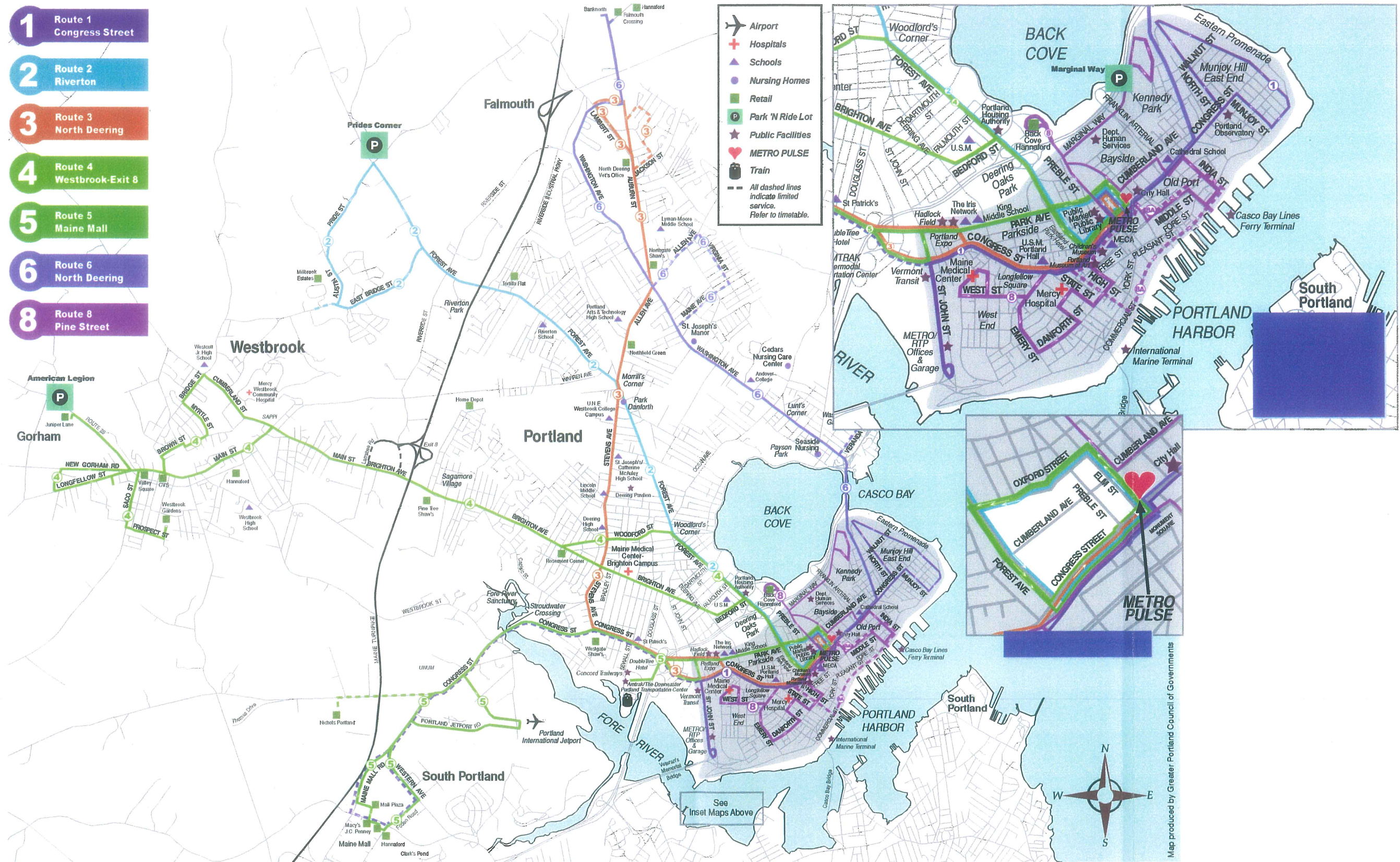
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| 597 S.F. | |
| 584 S.F. | |
| 325 S.F. | |
| 1,002 S.F. | |
| + 300 S.F. | |
| <u>6,427 S.F.</u> | |
| $\frac{6,427 \text{ S.F.}}{24,968 \text{ S.F.}} = 26\%$ | |



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- 1** Route 1
Congress Street
- 2** Route 2
Riverton
- 3** Route 3
North Deering
- 4** Route 4
Westbrook-Exit 8
- 5** Route 5
Maine Mall
- 6** Route 6
North Deering
- 8** Route 8
Pine Street

- Airport
- Hospitals
- Schools
- Nursing Homes
- Retail
- Park 'N Ride Lot
- Public Facilities
- METRO PULSE
- Train
- All dashed lines indicate limited service. Refer to timetable.



Map produced by Greater Portland Council of Governments



Florence House- Bird's Eye View
Along Rear Property Line





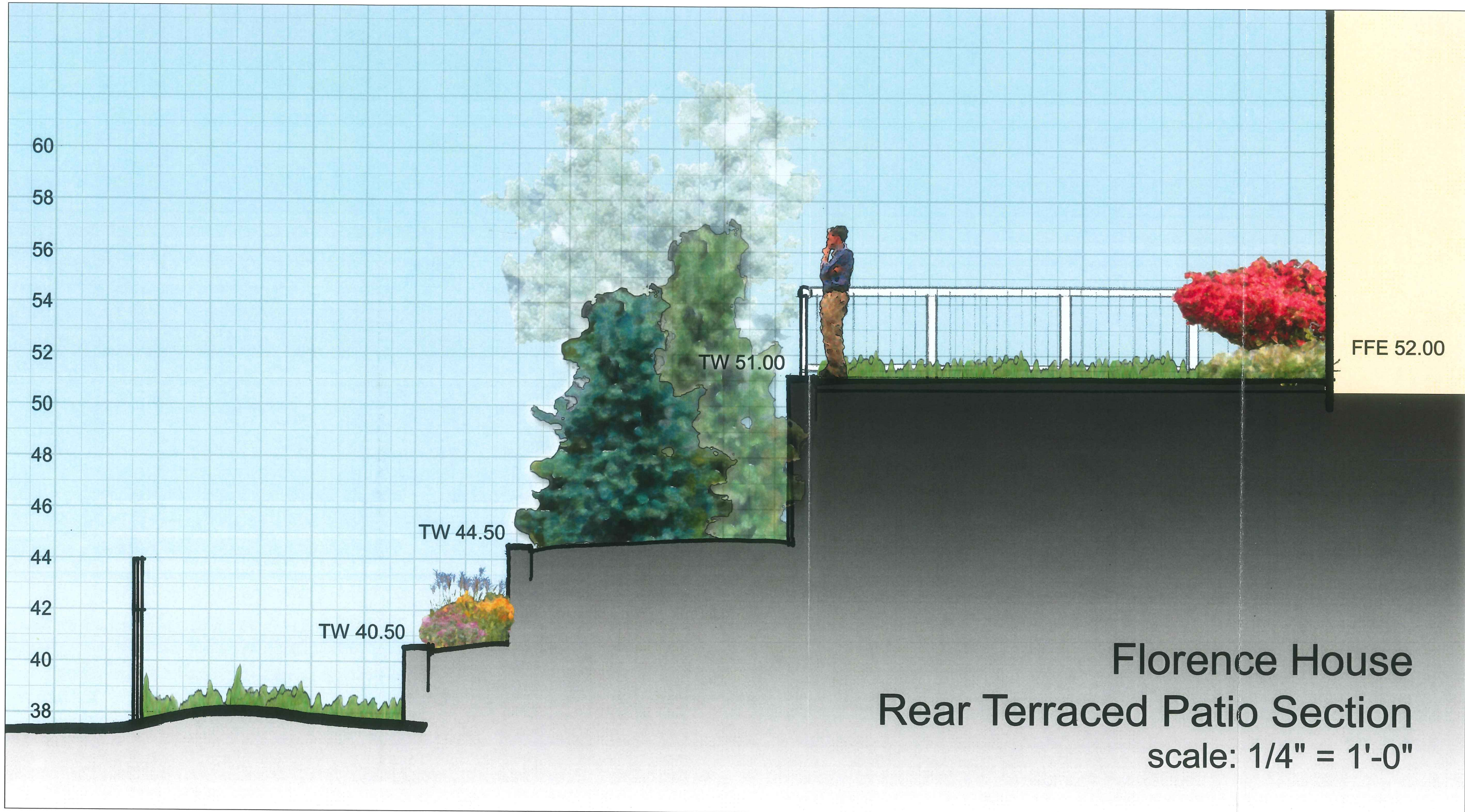
Florence House
View from Heald Driveway





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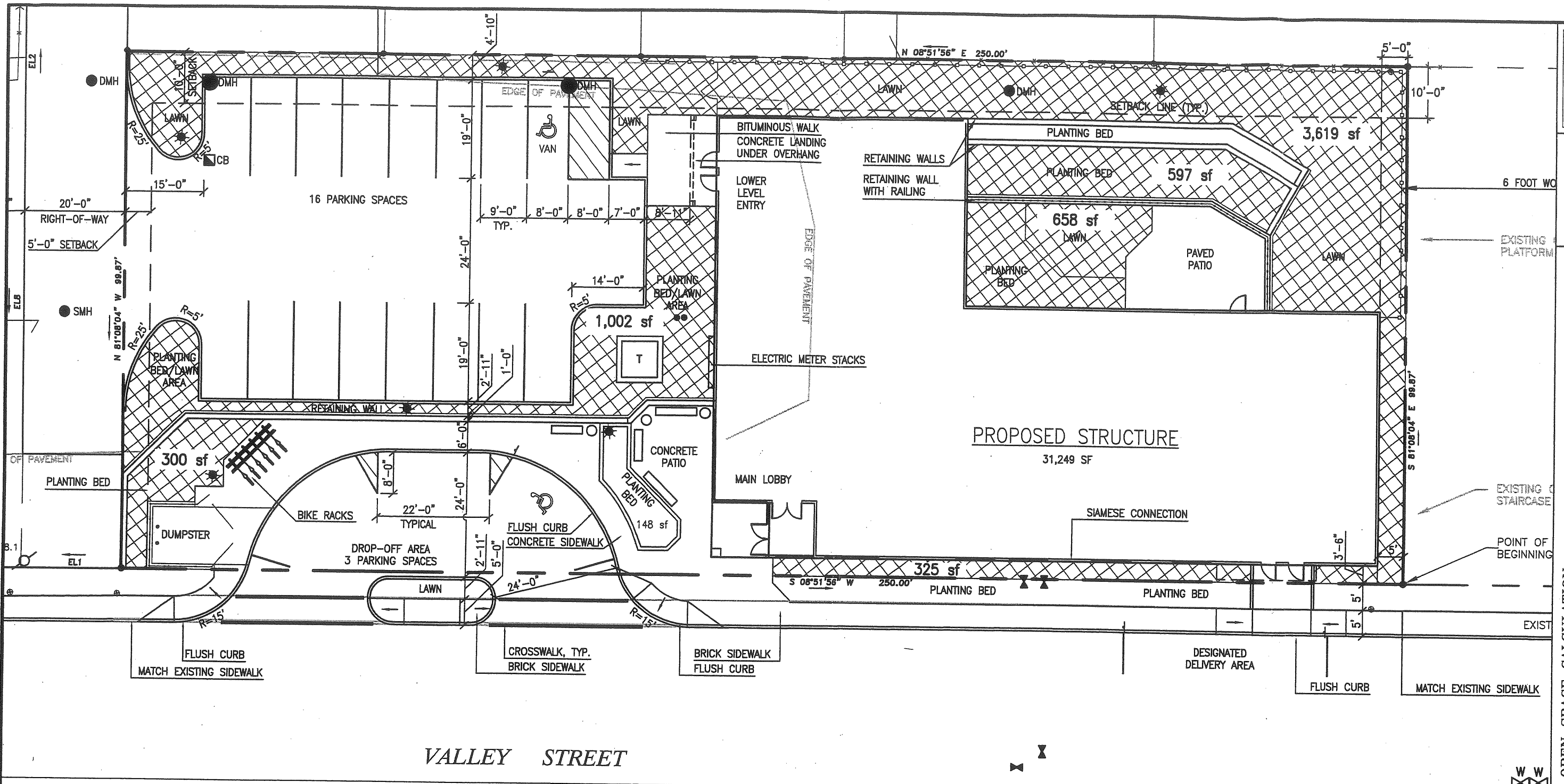
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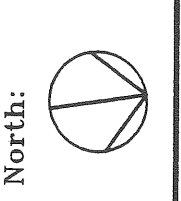
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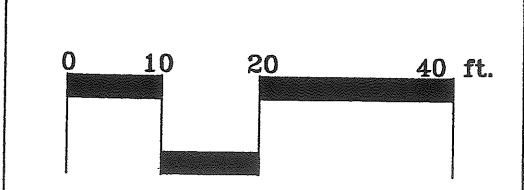
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OPEN SPACE CALCULATION

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Scale: 1"=20'

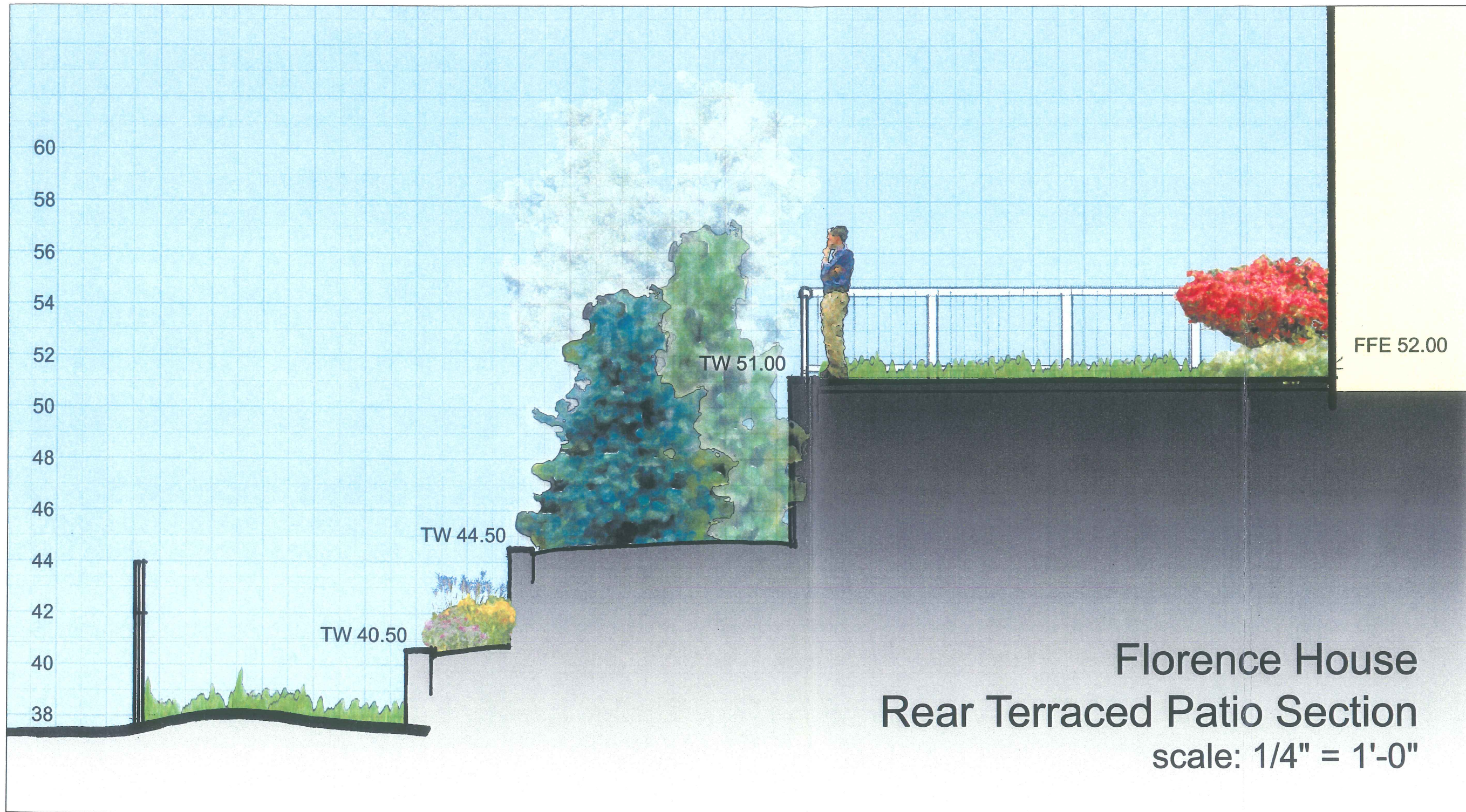


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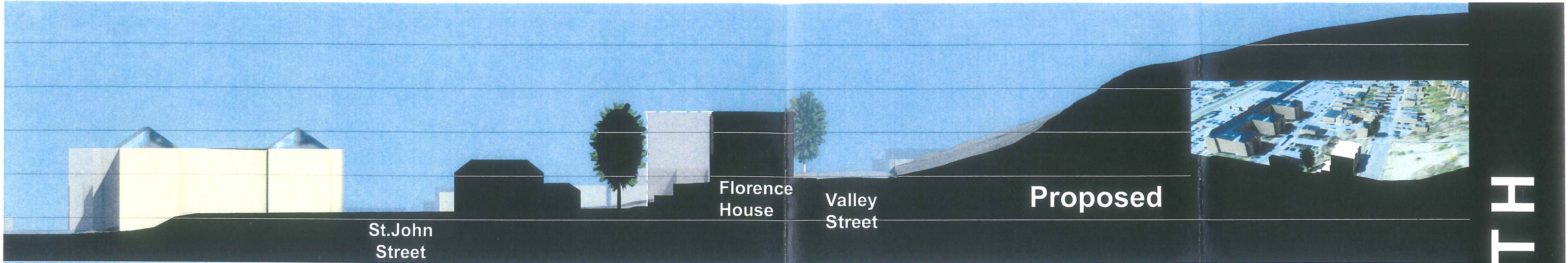
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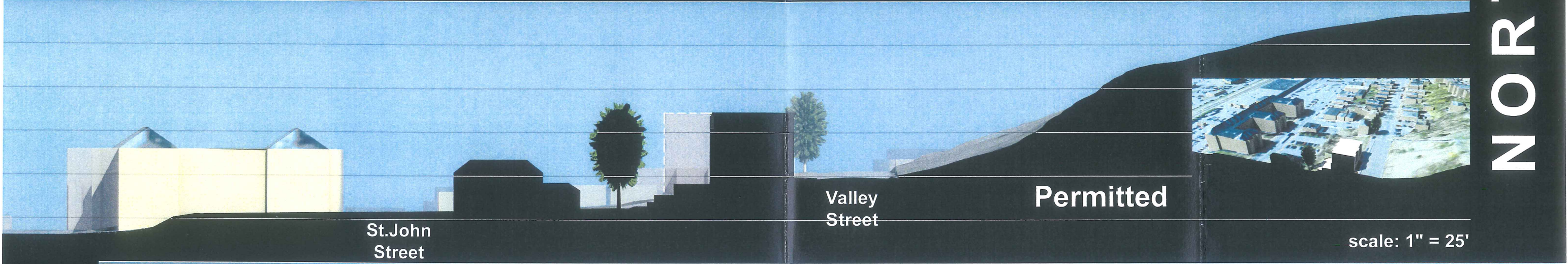


Proposed

Florence House

Valley Street

St. John Street

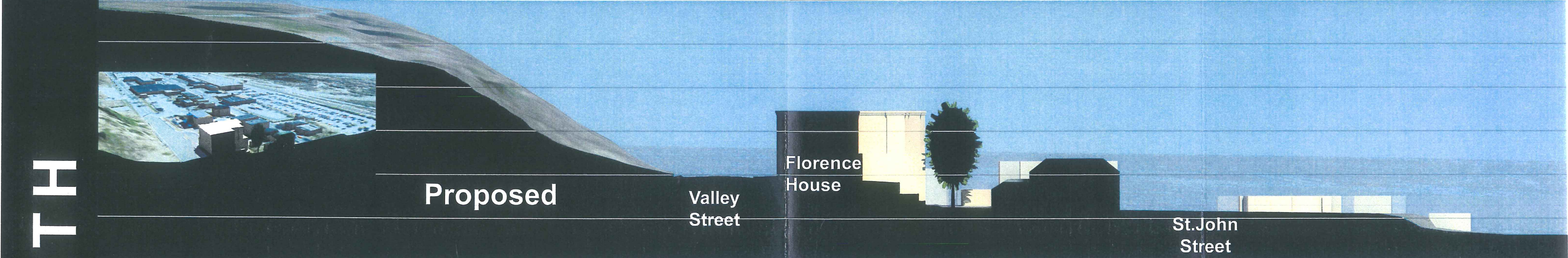


Permitted

Valley Street

St. John Street

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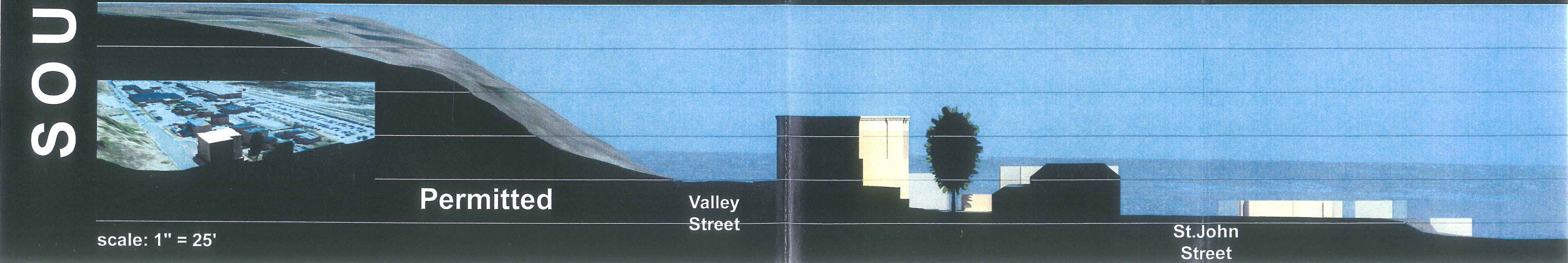


Proposed

Florence House

Valley Street

St. John Street



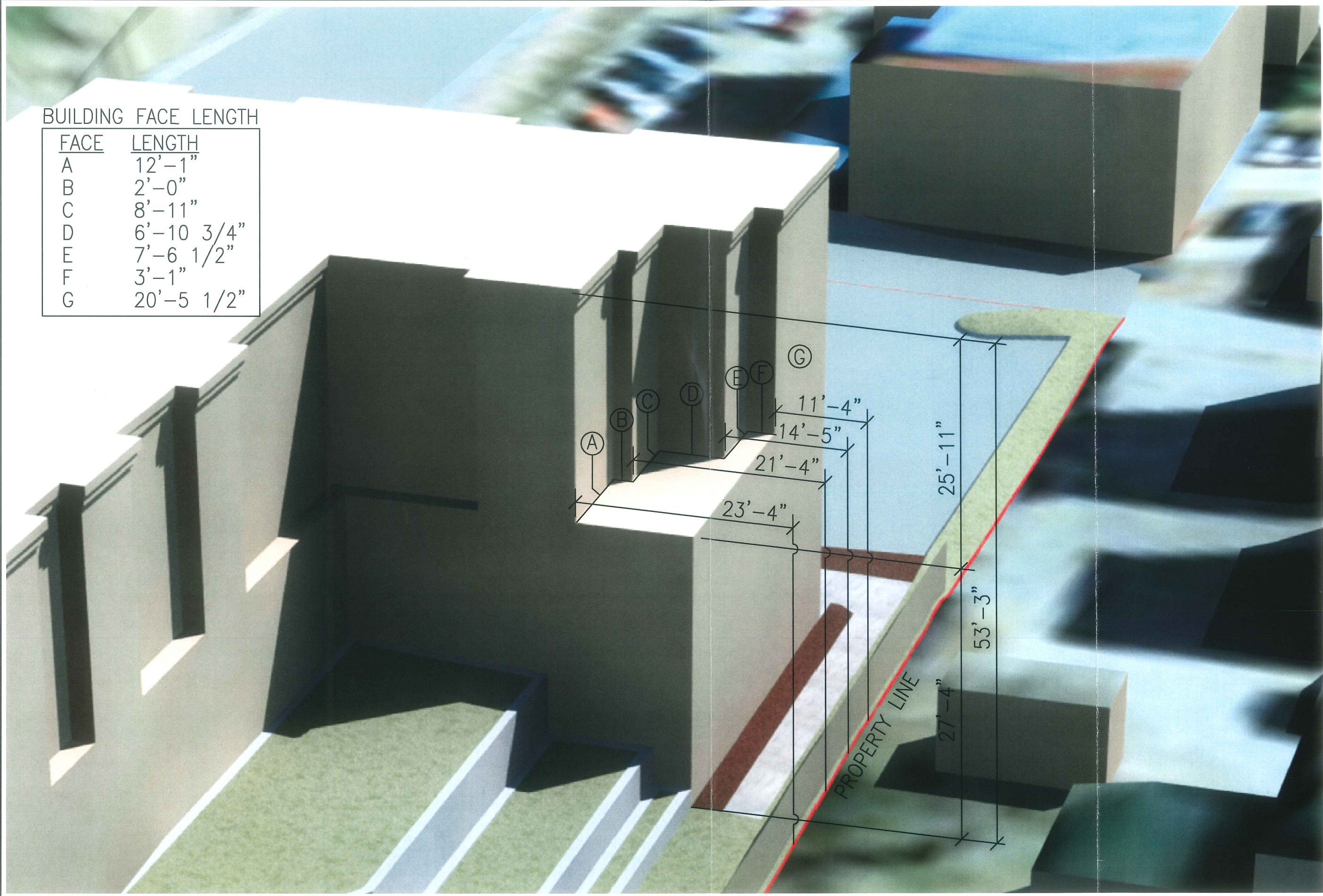
Permitted

Valley Street

St. John Street

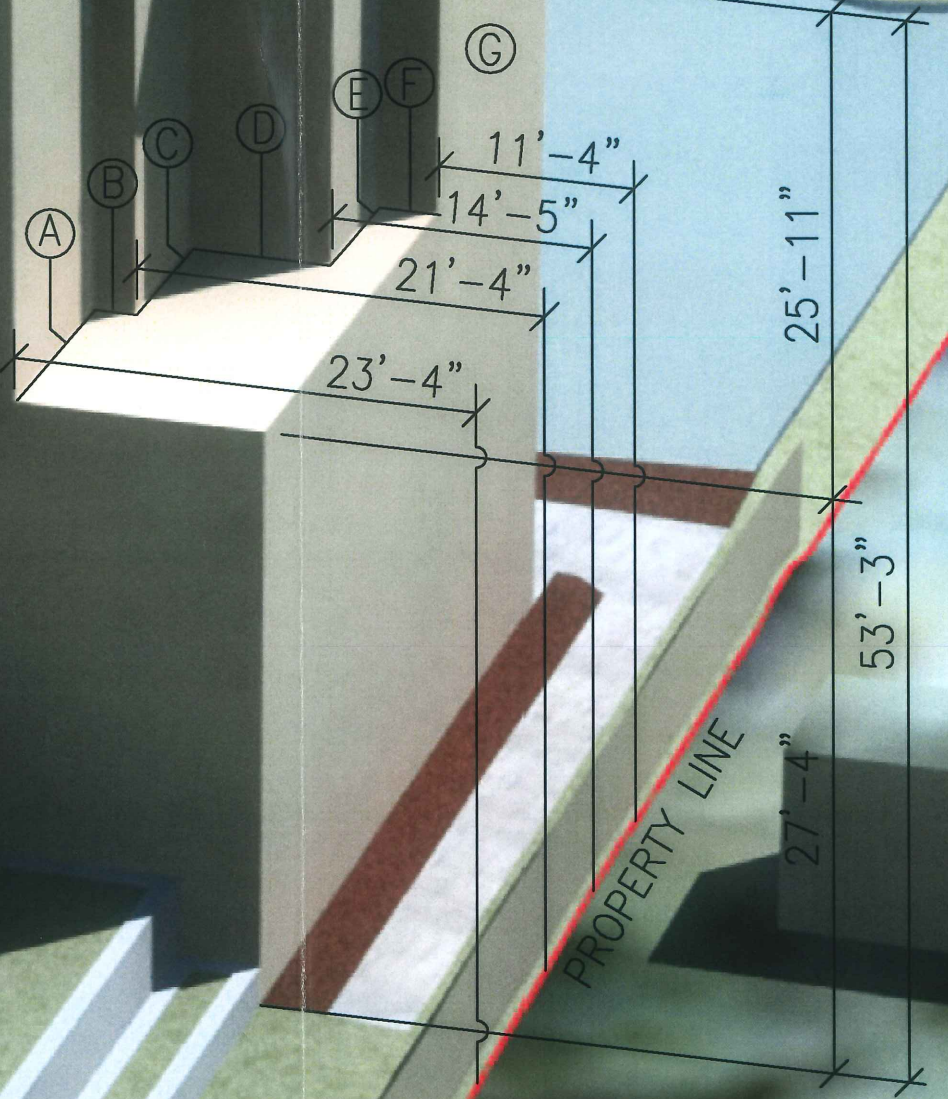
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SOUTH



BUILDING FACE LENGTH

| FACE | LENGTH |
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| C | 8'-11" |
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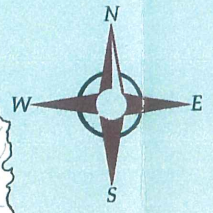
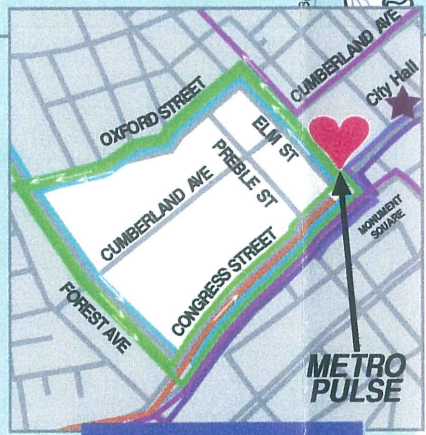
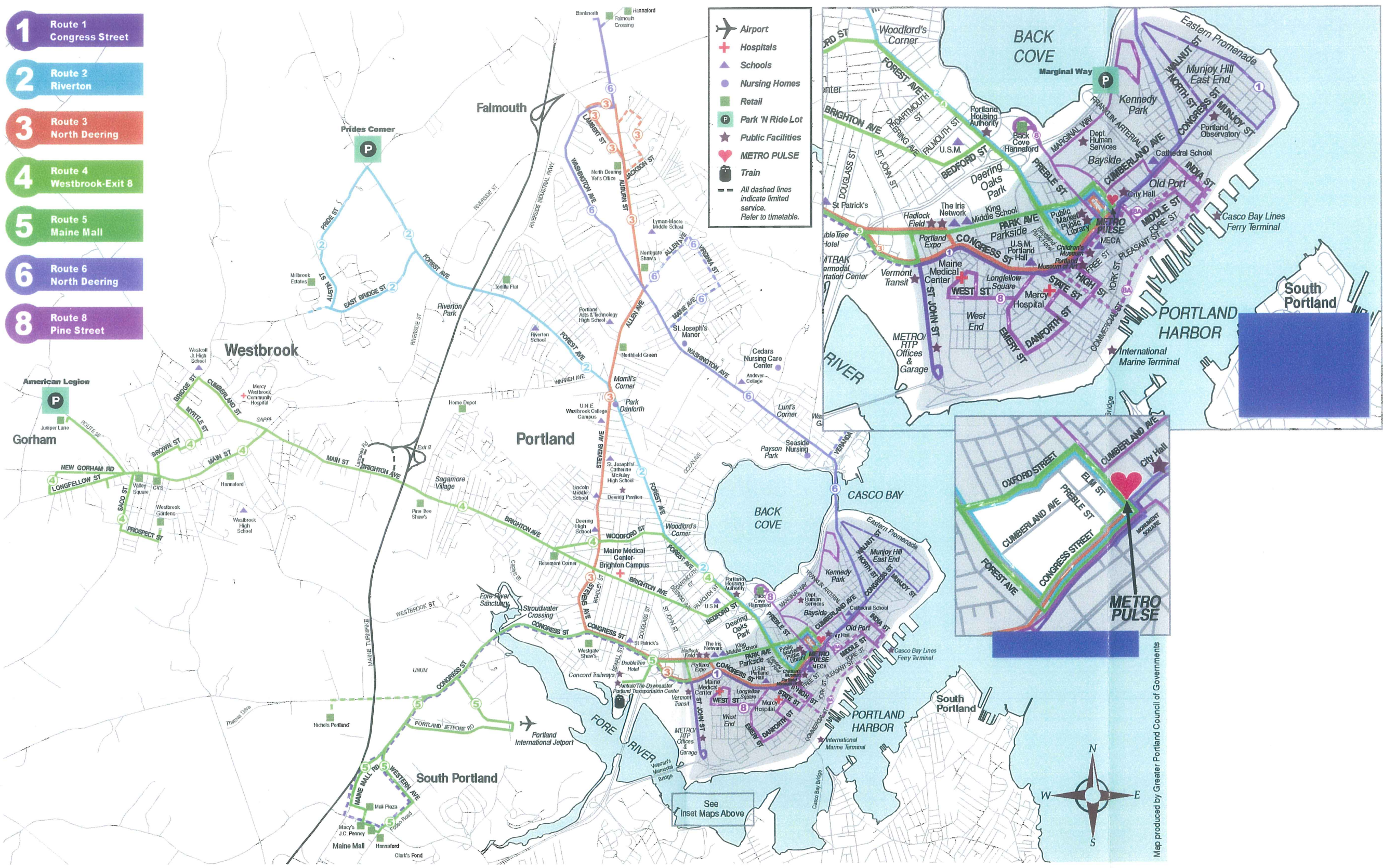


Title: PERSPECTIVE OF BUILDING WING
 Date: JULY 11, 2007
 Scale: NOT TO SCALE
 Project: FLORENCE HOUSE

Mitchell & Associates
 Landscape Architects
 70 Center Street
 Portland, Maine 04101
 (207) 774-4427

- 1** Route 1
Congress Street
- 2** Route 2
Riverton
- 3** Route 3
North Deering
- 4** Route 4
Westbrook-Exit 8
- 5** Route 5
Maine Mall
- 6** Route 6
North Deering
- 8** Route 8
Pine Street

- Airport
- Hospitals
- Schools
- Nursing Homes
- Retail
- Park 'N Ride Lot
- Public Facilities
- METRO PULSE
- Train
- All dashed lines indicate limited service. Refer to timetable.



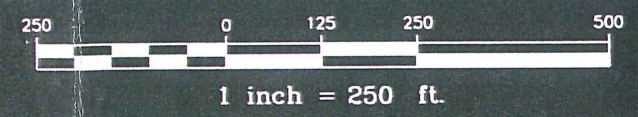
Map produced by Greater Portland Council of Governments

See Inset Maps Above



LEGEND

- - BUS STOP
- - METRO BUS ROUTE 1
- - METRO BUS ROUTE 3
- - METRO BUS ROUTE 5



| | | |
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| Rev. | Date | Revision |
| | | |

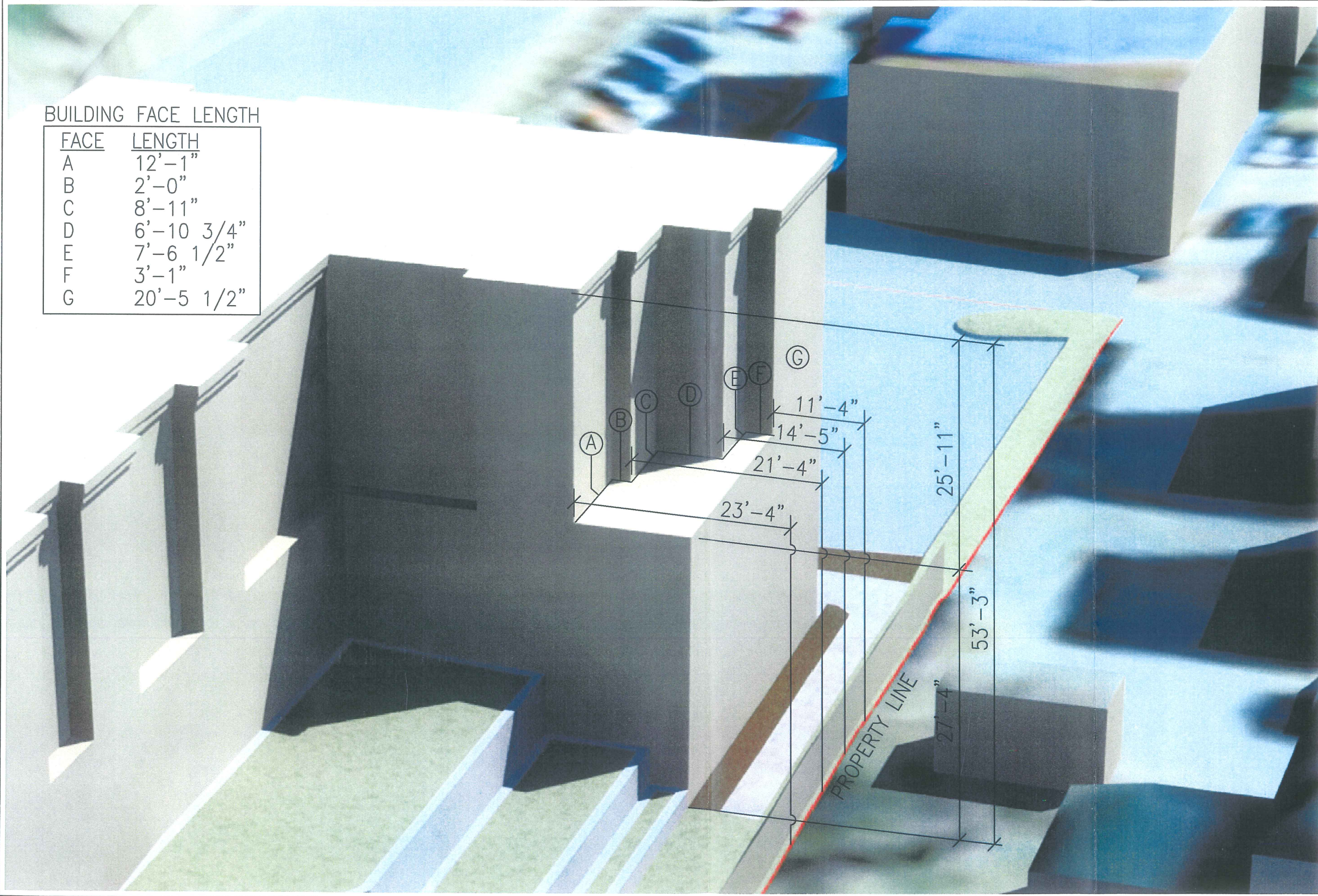
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| Design: RED | Date: FEBRUARY 2007 |
| Draft: ZRJ | Job No.: 1795 |
| Checked: TLG | Scale: 1"=250' |
| File Name: 1795_aerial.dwg | |

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| | |
|---------------|---------------------------|
| Drawing Name: | METRO BUS ROUTES/STOPS |
| Project: | FLORENCE HOUSE - PORTLAND |

Figure No.
1



BUILDING FACE LENGTH

| FACE | LENGTH |
|------|------------|
| A | 12'-1" |
| B | 2'-0" |
| C | 8'-11" |
| D | 6'-10 3/4" |
| E | 7'-6 1/2" |
| F | 3'-1" |
| G | 20'-5 1/2" |

Title: PERSPECTIVE OF BUILDING WING

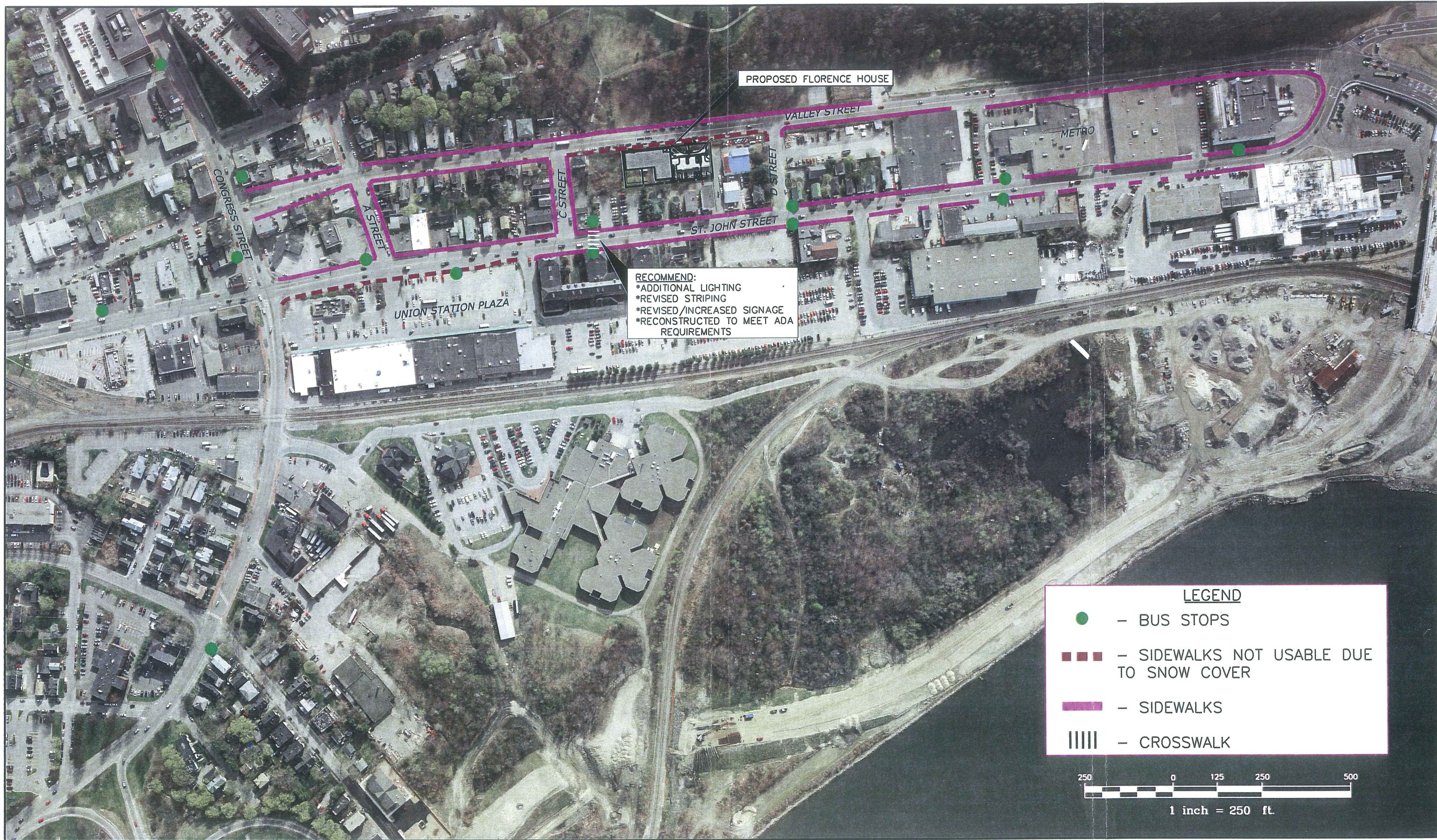
Date: JULY 11, 2007

Scale: NOT TO SCALE

Project: FLORENCE HOUSE

Mitchell & Associates
 Landscape Architects
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 Portland, Maine
 (207) 774-4427

B



PROPOSED FLORENCE HOUSE

RECOMMEND:
 *ADDITIONAL LIGHTING
 *REVISED STRIPING
 *REVISED /INCREASED SIGNAGE
 *RECONSTRUCTED TO MEET ADA REQUIREMENTS

LEGEND

- - BUS STOPS
- - - - SIDEWALKS NOT USABLE DUE TO SNOW COVER
- - SIDEWALKS
- CROSSWALK



1 inch = 250 ft.

| | | |
|---------------|------|----------|
| Land Projects | | |
| | | |
| Rev | Date | Revision |

| | | | |
|------------|-----------------|----------|---------------|
| Design: | RED | Date: | FEBRUARY 2007 |
| Draft: | ZRJ | Job No.: | 1795 |
| Checked: | TLG | Scale: | 1"=250' |
| File Name: | 1795_aerial.dwg | | |

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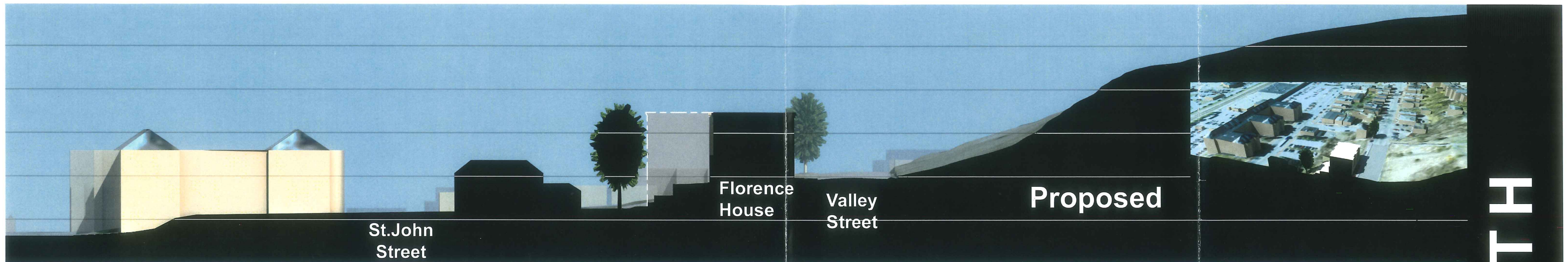
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| | |
|---------------|---------------------------|
| Drawing Name: | SIDEWALKS AND CROSSWALK |
| Project: | FLORENCE HOUSE - PORTLAND |

Figure No.
2

NORTH

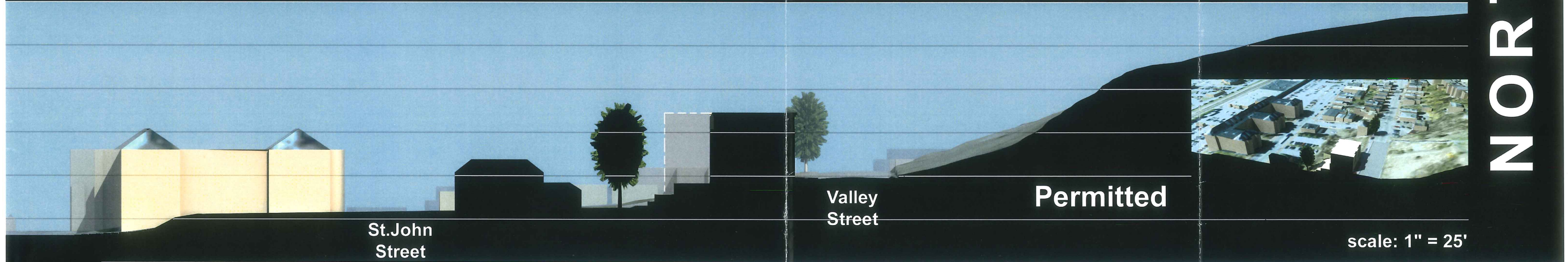


Proposed

St. John Street

Florence House

Valley Street



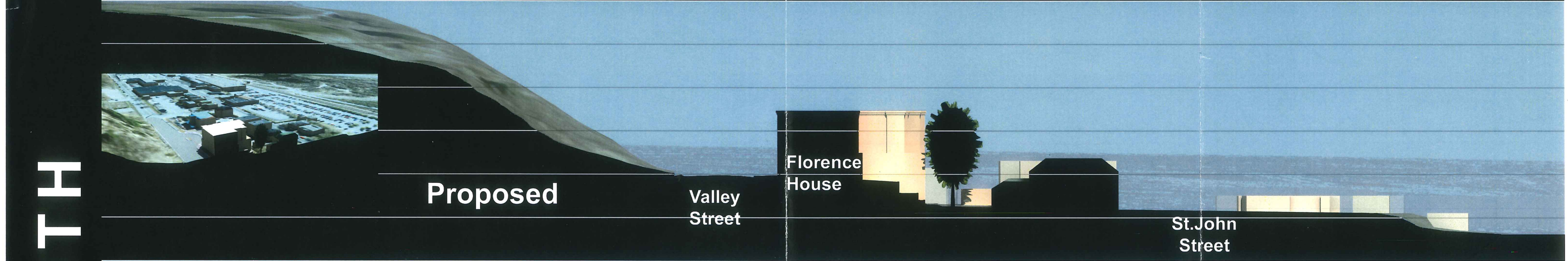
Permitted

St. John Street

Valley Street

scale: 1" = 25'

SOUTH

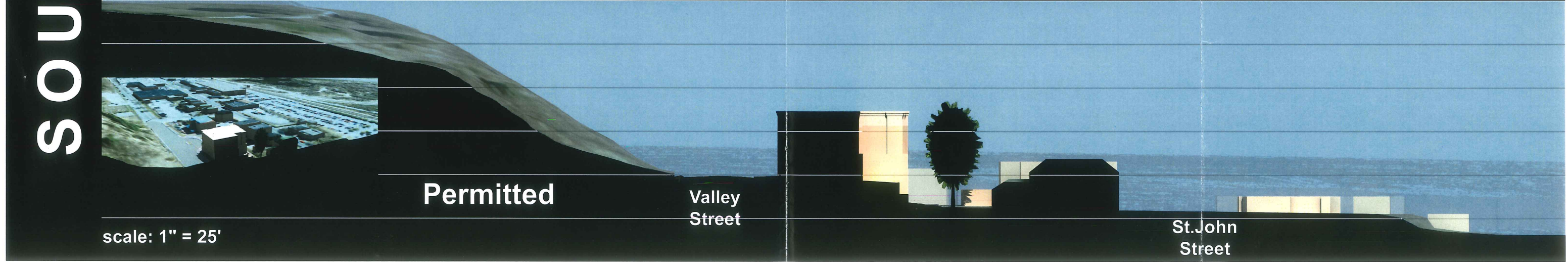


Proposed

Valley Street

Florence House

St. John Street

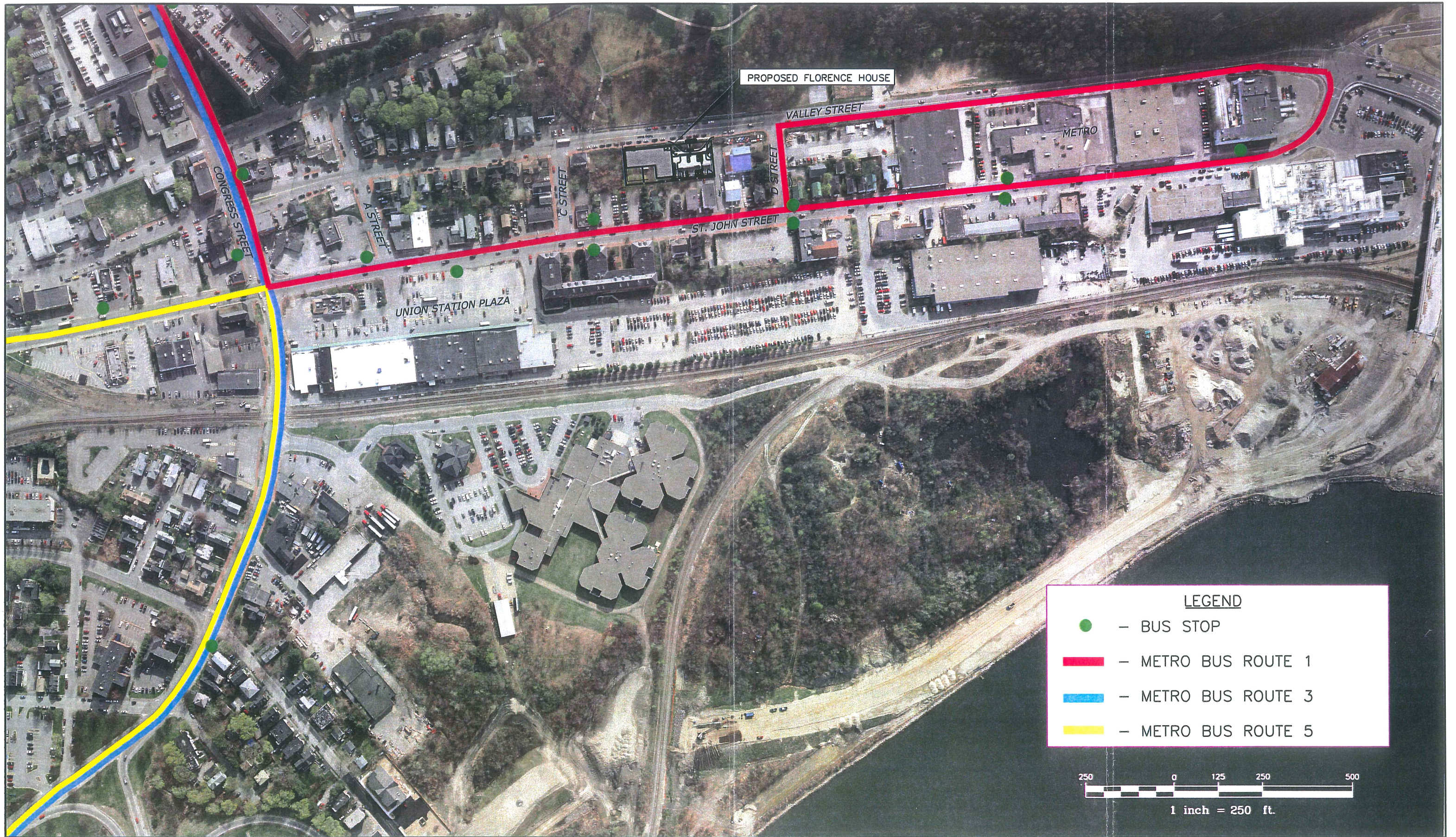


Permitted

Valley Street

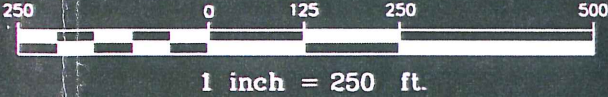
St. John Street

scale: 1" = 25'



LEGEND

- - BUS STOP
- - METRO BUS ROUTE 1
- - METRO BUS ROUTE 3
- - METRO BUS ROUTE 5



| | | |
|---------------|------|----------|
| Land Projects | | |
| Rev: | Date | Revision |

| | |
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| Design: RED | Date: FEBRUARY 2007 |
| Draft: ZRJ | Job No.: 1795 |
| Checked: TLG | Scale: 1"=250' |
| File Name: 1795_aerial.dwg | |

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|---------------|---------------------------|
| Drawing Name: | METRO BUS ROUTES/STOPS |
| Project: | FLORENCE HOUSE - PORTLAND |

Figure No.
1



| | | |
|------|------|----------|
| Rev. | Date | Revision |
| | | |

| | | | |
|------------|-----|-----------------|---------------|
| Design: | RED | Date: | FEBRUARY 2007 |
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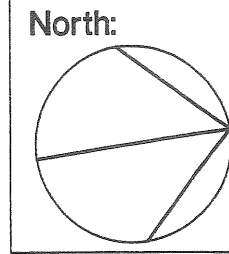
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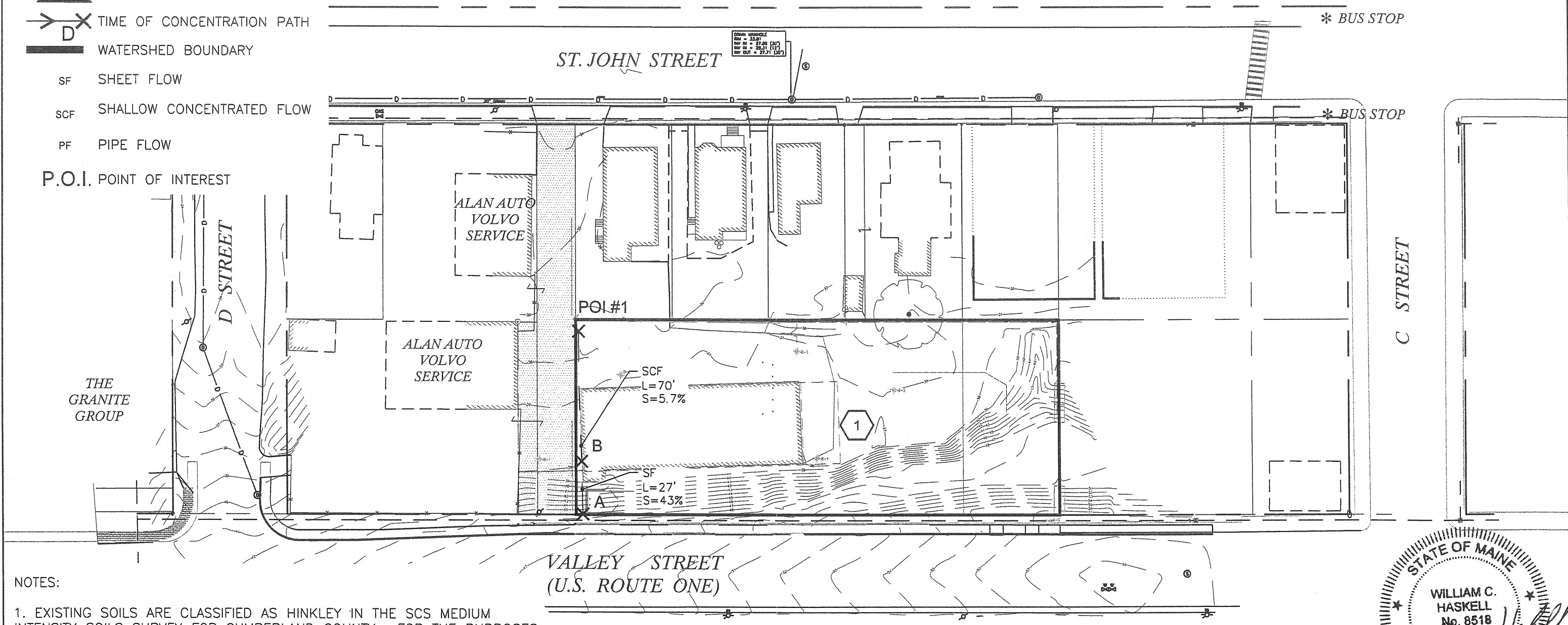
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| Drawing Name: | SIDEWALKS AND CROSSWALK |
| Project: | FLORENCE HOUSE - PORTLAND |

Figure No.
 2



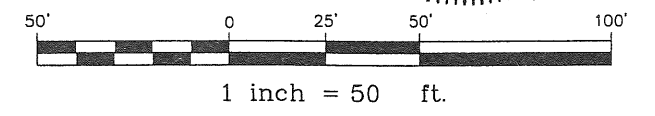
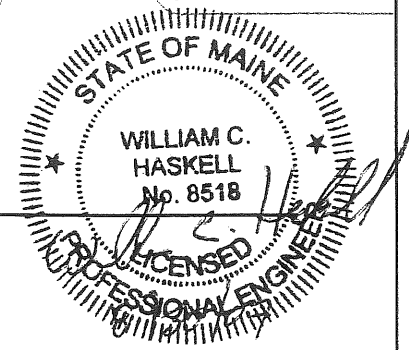
LEGEND

-  SUBCATCHMENT AREA
-  POND
-  TIME OF CONCENTRATION PATH
-  WATERSHED BOUNDARY
- SF SHEET FLOW
- SCF SHALLOW CONCENTRATED FLOW
- PF PIPE FLOW
- P.O.I. POINT OF INTEREST



NOTES:

1. EXISTING SOILS ARE CLASSIFIED AS HINKLEY IN THE SCS MEDIUM INTENSITY SOILS SURVEY FOR CUMBERLAND COUNTY. FOR THE PURPOSES OF STORMWATER MODELING, ALL SOILS WERE ASSUMED TO BE HYDROLOGIC SOILS GROUP A.
2. WATERSHED SUBCATCHMENT TIME-OF-CONCENTRATION (T_c) PATHS ARE SHOWN FOR INFORMATIONAL PURPOSES. TIME OF CONCENTRATIONS WERE CALCULATED BASED ON TR-55 METHODOLOGY AND ALL WERE LESS THAN 5 MINUTES, THEREFORE, TIME OF CONCENTRATIONS FOR ALL SUBCATCHMENTS HAVE BEEN ASSUMED TO BE FIVE (5) MINUTES.



| Rev. | Date | Revision |
|------|----------|----------------------------------|
| 1 | 09/04/07 | SITE PLAN AND SUBDIVISION REVIEW |

| | |
|----------------------------|----------------|
| Design: CAP | Date: MAR 2007 |
| Draft: BVD | Job No.: 1763 |
| Checked: WCH | Scale: 1"=50' |
| File Name: 1763-WS-PRE.dwg | |





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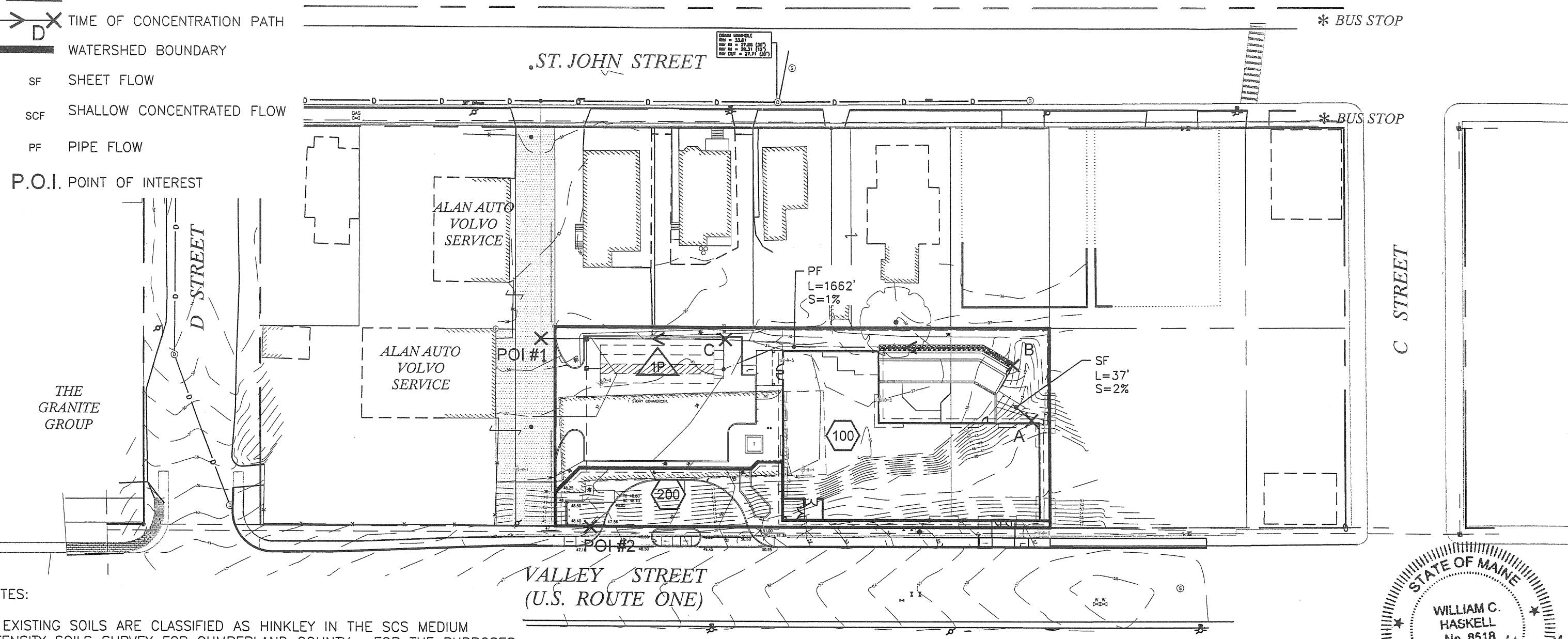
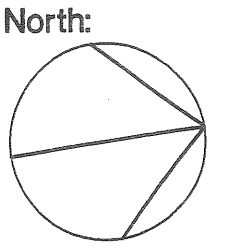
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| | |
|---------------|--|
| Drawing Name: | Pre-Development Watershed Map |
| Project: | Florence House - 190 Valley St. - Portland, ME |

Figure No.
WS1

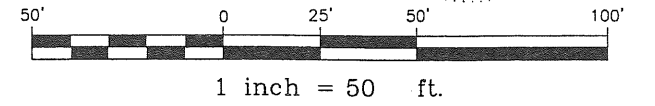
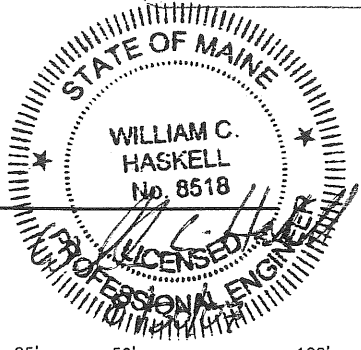
LEGEND

-  SUBCATCHMENT AREA
-  POND
-  TIME OF CONCENTRATION PATH
-  WATERSHED BOUNDARY
- SF SHEET FLOW
- SCF SHALLOW CONCENTRATED FLOW
- PF PIPE FLOW
- P.O.I. POINT OF INTEREST



NOTES:

1. EXISTING SOILS ARE CLASSIFIED AS HINKLEY IN THE SCS MEDIUM INTENSITY SOILS SURVEY FOR CUMBERLAND COUNTY. FOR THE PURPOSES OF STORMWATER MODELING, ALL SOILS WERE ASSUMED TO BE HYDROLOGIC SOILS GROUP A.
2. WATERSHED SUBCATCHMENT TIME-OF-CONCENTRATION (T_c) PATHS ARE SHOWN FOR INFORMATIONAL PURPOSES. TIME OF CONCENTRATIONS WERE CALCULATED BASED ON TR-55 METHODOLOGY AND ALL WERE LESS THAN 5 MINUTES, THEREFORE, TIME OF CONCENTRATIONS FOR ALL SUBCATCHMENTS HAVE BEEN ASSUMED TO BE FIVE (5) MINUTES.



| Rev. | Date | Revision |
|------|----------|----------------------------------|
| 1 | 09/04/07 | SITE PLAN AND SUBDIVISION REVIEW |

| | |
|-----------------------------|----------------|
| Design: CAP | Date: MAR 2007 |
| Draft: BVD | Job No.: 1763 |
| Checked: WCH | Scale: 1"=50' |
| File Name: 1763-WS-POST.dwg | |

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| | |
|---------------|--|
| Drawing Name: | Post-Development Watershed Map |
| Project: | Florence House - 190 Valley St. - Portland, ME |

Figure No.
WS2

| Rev. | Date | Revision |
|------|------|----------|
| | | |

| | |
|----------------------------|---------------------|
| Design: RED | Date: FEBRUARY 2007 |
| Draft: ZRU | Job No.: 1795 |
| Checked: TLG | Scale: 1"=250' |
| File Name: 1795_aerial.dwg | |

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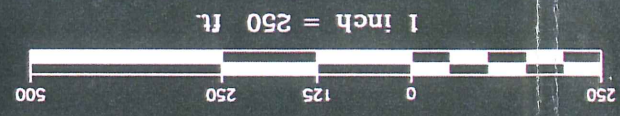
Drawing Name: METRO BUS ROUTES/STOPS
 Project: FLORENCE HOUSE - PORTLAND

Figure No. 1



LEGEND

- ● — BUS STOP
- METRO BUS ROUTE 1
- METRO BUS ROUTE 3
- METRO BUS ROUTE 5



PROPOSED FLORENCE HOUSE

METRO

UNION STATION PLAZA

VALLEY STREET

ST. JOHN STREET

C STREET

A STREET

CONGRESS STREET

| Rev. | Date | Revision |
|------|------|----------|
| | | |

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|---------------------------|---------------------|
| Design: RED | Date: FEBRUARY 2007 |
| Draft: ZRU | Job No.: 1795 |
| Checked: TLG | Scale: 1"=250' |
| File Name: 1795_geral.dwg | |

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 FAX: 207-657-6912
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Drawing Name: **SIDEWALKS AND CROSSWALK**
 Project: **FLORENCE HOUSE - PORTLAND**

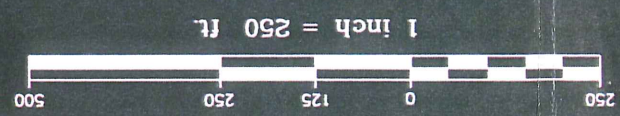


RECOMMEND:
 *ADDITIONAL LIGHTING
 *REVISED STRIPING
 *RECONSTRUCTED TO MEET ADA REQUIREMENTS

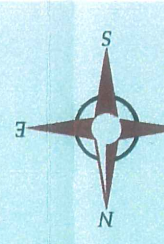
PROPOSED FLORENCE HOUSE

LEGEND

- BUS STOPS ●
- SIDEWALKS NOT USABLE DUE TO SNOW COVER ■
- SIDEWALKS —
- CROSSWALK ||||

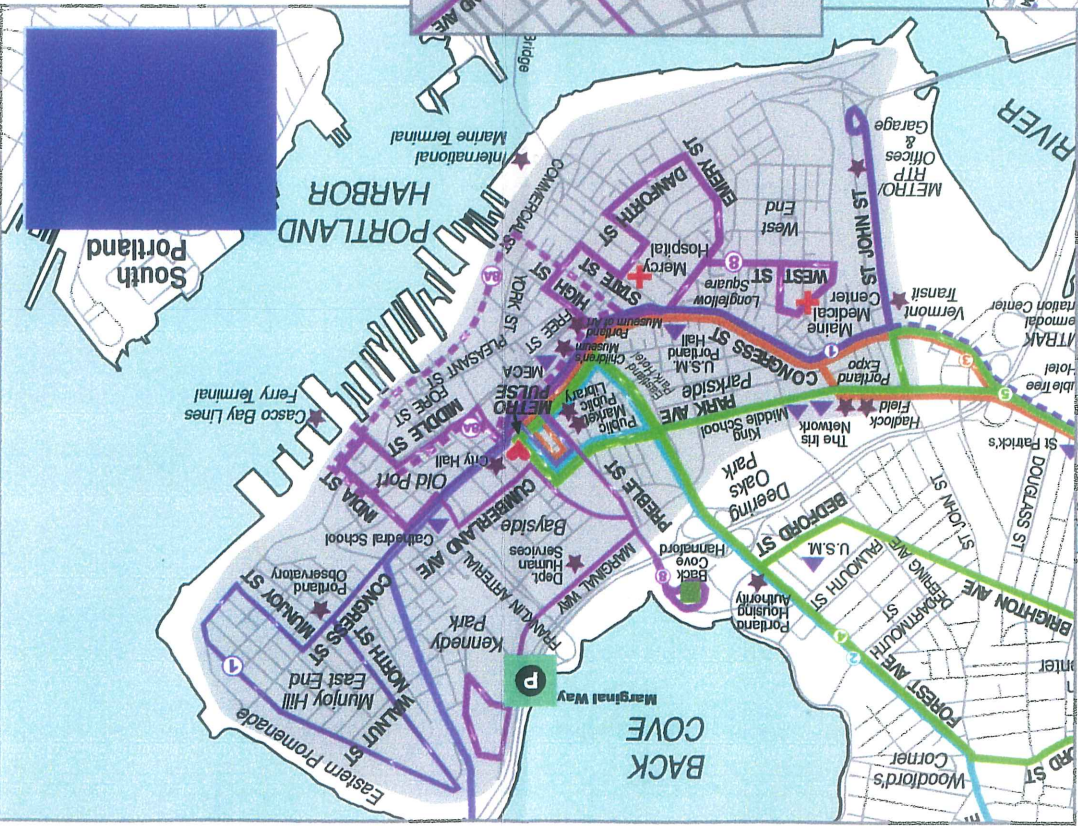
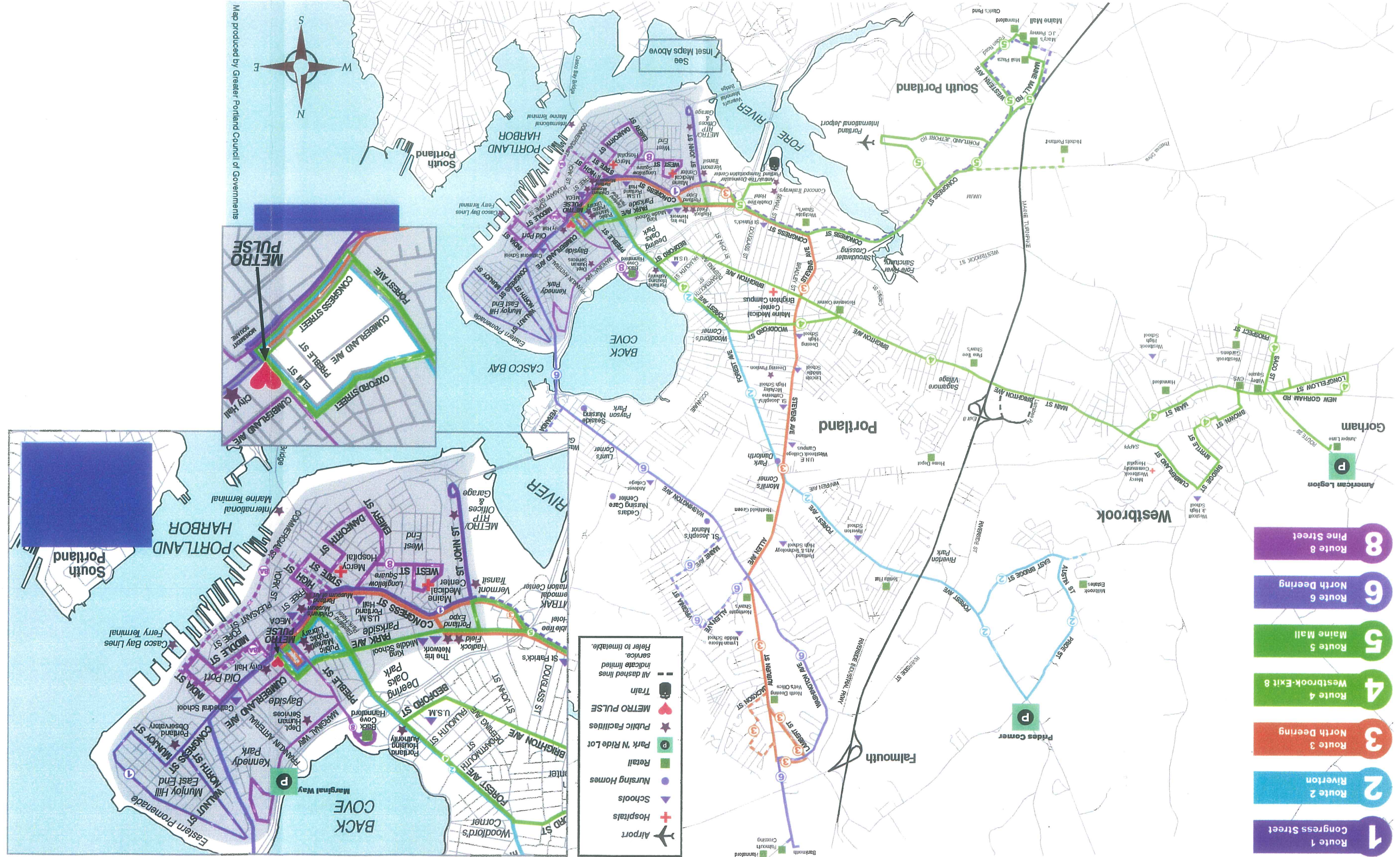


Map produced by Greater Portland Council of Governments

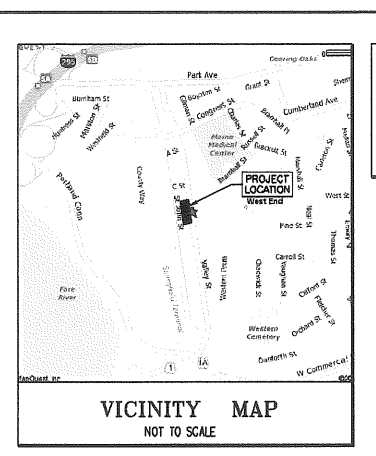


- Airport
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- Schools
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- Park 'N' Ride Lot
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- METRO PULSE
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- Refer to timetable.

- Route 1 Congress Street
- Route 2 Riverton
- Route 3 North Deering
- Route 4 Westbrook-Exit 8
- Route 5 Maine Mall
- Route 6 North Deering
- Route 8 Pine Street



See Inset Maps Above



NOTES CORRESPONDING TO SCHEDULE B

- ITEM IS NOT A SURVEY MATTER.
- ITEM IS NOT A SURVEY MATTER.
- ITEM IS NOT A SURVEY MATTER.
- ITEM IS NOT A SURVEY MATTER.
- "ANY EXCEPTION, RESERVATION, RESTRICTION, EASEMENT OR CONDITION SET OUT IN THE ATTACHED EXHIBIT A" THERE ARE 3 EASEMENTS CALLED OUT IN THE EXHIBIT A THAT PERTAIN TO THE SUBJECT PROPERTY:
 - THE 20' RIGHT-OF-WAY (EASEMENT) IS AS SHOWN ON THIS PLAN.
 - THE 9.75' RIGHT-OF-WAY (EASEMENT) IS AS SHOWN ON THIS PLAN.
 - THE SIGNAGE EASEMENT IS NOT SHOWN ON THIS PLAN BECAUSE IT IS WITHIN THE SAME AREA AS THE 20' RIGHT-OF-WAY SHOWN. SEE NOTE 3 BELOW.
- ITEM IS NOT A SURVEY MATTER.
- ITEM IS NOT A SURVEY MATTER.
- EASEMENT FROM PETER F. HOLMES TO CENTRAL MAINE POWER COMPANY, DATED OCTOBER 8, 1961 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 4932, PAGE 312. THIS EASEMENT TO CMP AS SHOWN ON THIS PLAN. SEE NOTE 2, BELOW.
- TERMS AND CONDITIONS SET FORTH IN AN EASEMENT AGREEMENT BY AND BETWEEN C&D ASSOCIATES AND ALAN PROSSER, DATED SEPTEMBER 23, 1995 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 12746, PAGE 150. THIS 9.75' EASEMENT IS AS SHOWN ON THE PLAN.
- RIGHTS OF OTHERS IN AND TO THE USE OF THE 20' WIDE APPURTENANT EASEMENT INSURED HEREIN AND TERMS AND CONDITIONS RELATIVE TO THE USE THEREOF, THIS 20' EASEMENT IS AS SHOWN ON THIS PLAN.

STATEMENT OF ENCROACHMENTS

- A CONCRETE PLATFORM STRUCTURE AND A CONCRETE STARWAY (ABANDONED) ENCROACH ON THE NORTHERLY PROPERTY LINE AS SHOWN ON THE PLAN.
- THE OVERHEAD UTILITIES CROSS THE PROPERTY OF OTHERS WITHOUT BENEFIT OF AN EASEMENT. SEE NOTE 8.C.

LEGAL DESCRIPTION

A CERTAIN LOT OR PARCEL OF LAND LOCATED ON THE WESTERLY SIDE OF VALLEY STREET, CITY OF PORTLAND, COUNTY OF CUMBERLAND, STATE OF MAINE, BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:
 BEGINNING AT A 5/8" REBAR ON THE WESTERLY RIGHT-OF-WAY LINE OF SAID VALLEY STREET, BEING 150.00' SOUTHERLY OF THE INTERSECTION OF THE SOUTHERLY SIDE LINE OF C STREET WITH THE WESTERLY SIDE LINE OF VALLEY STREET, SAID REBAR ALSO MARKING THE SOUTHEASTERLY CORNER OF LAND NOW OR FORMERLY (N/F) OF VALLEY BAYSIDE, LLC AS RECORDED IN DEED BOOK 17980, PAGE 28, CUMBERLAND COUNTY REGISTRY OF DEEDS (CCR); THENCE S 08°51'56" W ALONG THE WESTERLY RIGHT-OF-WAY LINE OF SAID VALLEY STREET 250.00' TO A 5/8" REBAR, SAID REBAR MARKING THE NORTHEASTERLY CORNER OF LAND N/F OF ALAN PROSSER AS RECORDED IN DEED BOOK 4955, PAGE 273 CORD, SAID REBAR ALSO MARKING THE NORTHEASTERLY CORNER OF A 20' WIDE ACCESS AND UTILITY RIGHT-OF-WAY FOR THE BENEFIT OF THE LOT HEREIN DESCRIBED, AS RECORDED IN DEED BOOK 4323, PAGE 133, CCR; THENCE N 81°08'04" W ALONG THE NORTHERLY LINE OF SAID PROSSER AND SAID RIGHT-OF-WAY 99.87' TO THE SOUTHEASTERLY CORNER OF THE LAND N/F OF MATTHEW PETERS AS RECORDED IN DEED BOOK 22535, PAGE 340, CCRD, FROM WHICH A CAPPED IRON ROD MARKED "ADVANCED ENGINEERING, PLS 1358" BEARS WESTERLY 0.18' AND NORTHERLY 0.08' THENCE N 08°51'56" E 250.00' ALONG THE EASTERLY LINES OF LANDS N/F OF SAID PETERS; OF BRENNER PROPERTIES, LLC AS RECORDED IN DEED BOOK 23738, PAGE 250, CCRD; OF LAWRENCE L. AND VIRGINIA STEVENS AND THOMAS S. HEALD AS RECORDED IN DEED BOOK 6751, PAGE 51, CCRD; OF DEBORAH HEALD, VIRGINIA STEVENS, AND ABBY DISTASIO AS RECORDED IN DEED BOOK 21867, PAGE 246, CCRD; AND OF CRAIG G. COFFIN, TRUSTEE AS RECORDED IN DEED BOOK 19723, PAGE 254, CORD TO A 5/8" REBAR, SAID REBAR MARKING THE SOUTHWESTERLY CORNER OF LAND OF SAID VALLEY BAYSIDE, LLC; THENCE S 81°08'04" E ALONG THE SOUTHERLY SIDE LINE OF SAID VALLEY BAYSIDE, LLC 99.87' TO THE POINT OF BEGINNING.
 THE ABOVE DESCRIBED PARCEL CONTAINS 0.57 ACRES MORE OR LESS.
 THE BASIS OF BEARING FOR THE ABOVE DESCRIBED PARCEL IS MAGNETIC NORTH 2005.
 MEANING AND INTENDING TO DESCRIBE THE SAME PREMISES CONNECTED FROM PETER HOLMES TO C & D ASSOCIATES AS RECORDED IN DEED BOOK 6740, PAGE 330, DATED APRIL 23, 1995.
 THE ABOVE DESCRIBED LOT OR PARCEL OF LAND HAS THE BENEFIT OF A 20' WIDE ACCESS AND UTILITY RIGHT-OF-WAY AS RECORDED IN DEED BOOK 4323, PAGE 133, CCRD MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT A 5/8" REBAR ON THE WESTERLY RIGHT-OF-WAY LINE OF SAID VALLEY STREET AT THE SOUTHEASTERLY CORNER OF THE ABOVE DESCRIBED LOT OR PARCEL OF LAND, SAID REBAR BEING ALSO THE NORTHEASTERLY CORNER OF SAID PROSSER;
 THENCE S 08°51'56" W ALONG THE WESTERLY RIGHT-OF-WAY LINE OF SAID VALLEY STREET AND THE EASTERLY LINE OF SAID PROSSER 20.00' TO A POINT; THENCE N 81°08'04" W THROUGH THE LAND OF SAID PROSSER 199.87' TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF ST. JOHN STREET; THENCE N 08°51'56" W ALONG THE EASTERLY RIGHT-OF-WAY LINE 20.00' TO THE SOUTHWESTERLY CORNER OF THE LAND OF SAID PETERS;
 THENCE S 81°08'04" E ALONG THE LINE OF SAID PETERS AND OF THE ABOVE DESCRIBED PARCEL 199.87' TO THE POINT OF BEGINNING.
 THE ABOVE DESCRIBED 250.00' BY 99.87' LOT OR PARCEL OF LAND HAS THE BENEFIT OF A 9.75' WIDE ACCESS AND UTILITY RIGHT-OF-WAY AS RECORDED IN DEED BOOK 4323, PAGE 133, CCRD ADJACENT TO THE ABOVE DESCRIBED RIGHT-OF-WAY MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:
 STARTING AT A 5/8" REBAR AT THE SOUTHEASTERLY CORNER OF THE ABOVE DESCRIBED LOT OR PARCEL OF LAND ON THE WESTERLY RIGHT-OF-WAY LINE OF VALLEY STREET, SAID CORNER BEING ALSO THE NORTHEASTERLY CORNER OF SAID PROSSER AND THE NORTHEASTERLY CORNER OF THE ABOVE DESCRIBED PARCEL;
 THENCE S 08°51'56" W ALONG THE WESTERLY RIGHT-OF-WAY LINE OF SAID VALLEY STREET BEING ALSO THE EASTERLY LINE OF SAID PROSSER 20.00' TO THE TRUE POINT OF BEGINNING AND THE SOUTHEASTERLY CORNER OF THE ABOVE DESCRIBED RIGHT-OF-WAY;
 THENCE N 81°08'04" W THROUGH A PORTION OF THE LAND OF SAID PROSSER 99.87' TO A RAILROAD SPIKE AT THE NORTHEASTERLY CORNER OF A BUILDING;
 THENCE N 08°51'56" E 20.00' TO A POINT ON THE SOUTHERLY LINE OF THE ABOVE DESCRIBED RIGHT-OF-WAY;
 THENCE S 81°08'04" E ALONG THE SOUTHERLY LINE OF THE ABOVE DESCRIBED RIGHT-OF-WAY 99.87' TO THE TRUE POINT OF BEGINNING.
 ALL OF THE ABOVE DESCRIBED 5/8" REBAR ARE 5/8" REBAR WITH PLASTIC CAPS MARKED NCS, INC. PLS 1314.

ALTA/ACSM CERTIFICATION

THIS IS TO CERTIFY TO MAINE STATE HOUSING AUTHORITY, FIRST AMERICAN TITLE INSURANCE COMPANY, AVESTA HOUSING DEVELOPMENT CORPORATION AND C&D ASSOCIATES, AND THE SUCCESSORS AND ASSIGNS OF EACH, THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND ACSM IN 2005, EFFECTIVE JANUARY 1, 2006, AND INCLUDES ITEMS 1.3, 4.6, 7(A) AND 8(1), 9, 10, AND 11(A) AND (B) OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, THE UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION AS A LAND SURVEYOR LICENSED IN THE STATE OF MAINE, THE MAXIMUM RELATIVE POSITIONAL ACCURACY RESULTING FROM THE MEASUREMENTS MADE ON THE SURVEY DOES NOT EXCEED THE ALLOWABLE RELATIVE POSITIONAL ACCURACY FOR MEASUREMENTS CONTROLLING LAND BOUNDARIES ON ALTA/ACSM LAND TITLE SURVEYS. THE UNDERSIGNED ADDITIONALLY CERTIFIES THAT (A) THIS SURVEY CORRECTLY SHOWS ALL MATTERS OF RECORD (AND TO THE EXTENT THEY CAN BE LOCATED, THEIR LOCATION AND DIMENSIONS) OF WHICH I HAVE BEEN ADVISED AFFECTING THE SUBJECT PROPERTY ACCORDING TO THE LEGAL DESCRIPTION OF SUCH MATTERS (WITH INSTRUMENT, BOOK AND PAGE NUMBER INDICATED); (B) EXCEPT AS SHOWN ON THIS SURVEY, NO PART OF THE SUBJECT PROPERTY IS LOCATED IN A 100-YEAR FLOOD PLAIN, AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 230051-0013-B DATED JULY 17, 1998;(C) TO THE BEST OF MY KNOWLEDGE, THIS SURVEY SHOWS THE RELATION AND DISTANCE OF ALL BUILDINGS, SIDEWALKS AND OTHER IMPROVEMENTS TO EASEMENTS AND SETBACK LINES; (D) TO THE BEST OF MY KNOWLEDGE, EXCEPT AS SHOWN ON THIS SURVEY, THE SUBJECT PROPERTY DOES NOT SERVE ANY ADJOINING LAND FOR DRAINAGE, UTILITIES, INGRESS OR EGRESS; (E) ALL UTILITIES SERVING THE SUBJECT PROPERTY SHOWN ON THE SURVEY, INCLUDING ELECTRIC, GAS, WATER, SANITARY SEWER AND STORM SEWER, CONNECT TO LINES LOCATED IN PUBLIC ROADWAYS, WITHOUT CROSSING THE PROPERTY OF OTHERS, AS SHOWN ON THE SURVEY; AND (F) EXCEPT AS SET FORTH BELOW, THERE ARE NOT (I) ENCROACHMENTS UPON THE SUBJECT PROPERTY BY ADJACENT PROPERTY, STREETS, OR ALLEYS BY ANY IMPROVEMENTS ON THE SUBJECT PROPERTY, (II) PARTY WALLS, (III) CONFLICTS OR PROTRUSIONS, OR (IV) ENCROACHMENTS INTO SETBACK OR BUILDING RESTRICTION LINES. STATEMENT OF ENCROACHMENTS.

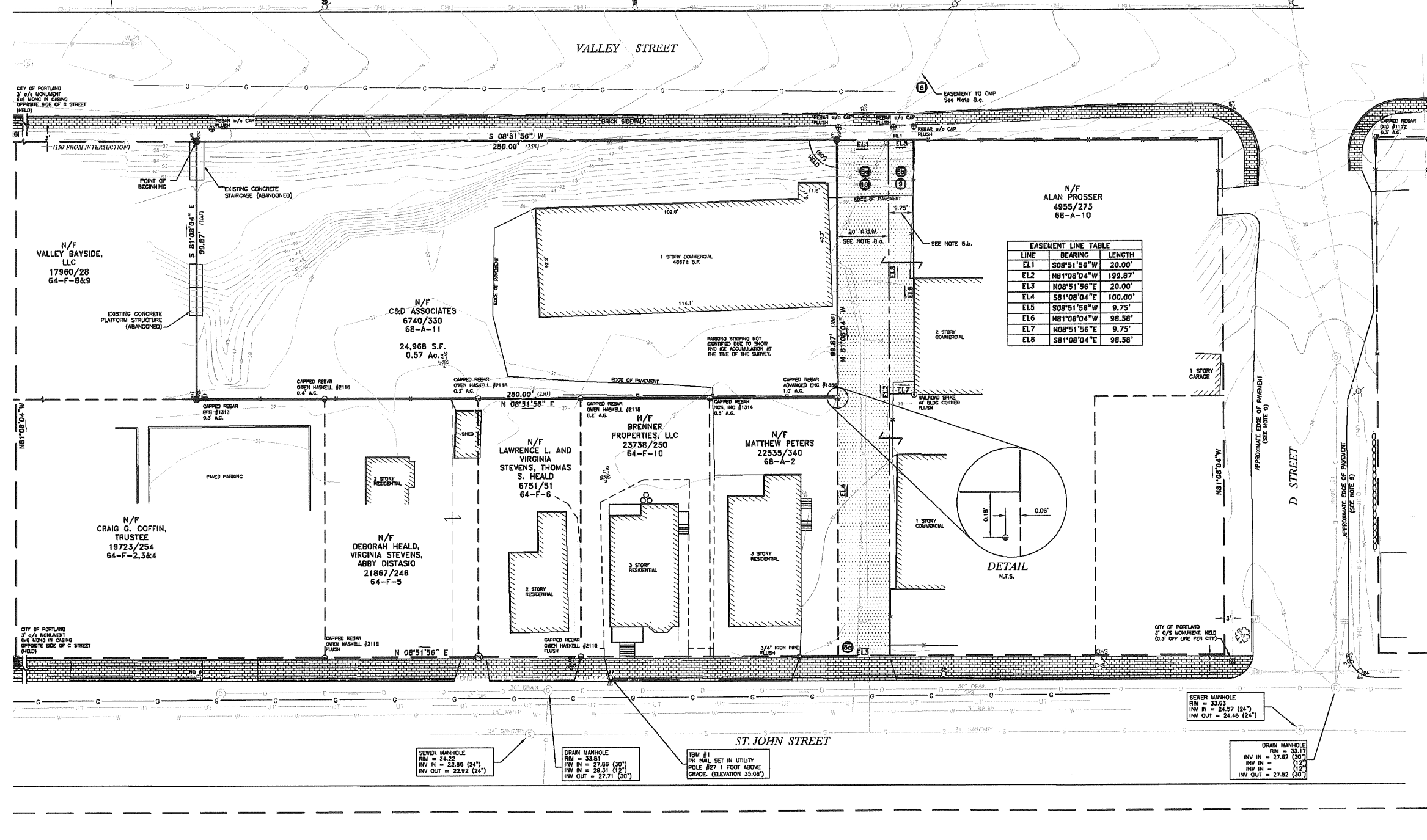
M. JOHANNI BUSMAN PLS. # 1314 DATE: _____

LEGEND

- 5/8" REBAR WITH PLASTIC CAP STAMPED "NCS, INC. PLS 1314" SET ON MARCH 1, 2007
- FOUND IRON PIPE (SIZE & TYPE AS NOTED)
- FOUND MONUMENT (SIZE & TYPE AS NOTED)
- FOUND DRILL HOLE
- FOUND RAILROAD SPIKE
- FOUND IRON ROD
- FOUND CAPPED IRON ROD (NUMBER AS NOTED)
- FOUND P/NAIL
- UTILITY POLE (NUMBER AS NOTED)
- FOUND DECIDUOUS TREE (SIZE & TYPE AS NOTED)
- ITEMS FROM SCHEDULE B
- TREE LINE (APPROXIMATE)
- STONEMASON
- BOUNDARY LINE
- EASEMENT LINE
- EDGE OF GRAVEL
- EDGE OF PAVEMENT
- RIGHT-OF-WAY LINE
- ABUTTER LINE
- OVERHEAD UTILITY
- NOW OR FORMERLY OWNED BY DEED BOOK AND PAGE (CCR)
- TAX MAP-BLOCK-LOT
- PARENTHESIS DENOTE RECORD DATA

NOTES

- THE BASIS OF BEARING FOR THIS SURVEY WAS TAKEN FROM THE PLAN REFERENCED IN NOTE 4.C. BELOW. SAID BEARING IS MAGNETIC, 2005.
- DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
- RECORD OWNERSHIP OF THE PARCEL SURVEYED CAN BE FOUND IN A DEED FROM PETER HOLMES TO C & D ASSOCIATES DATED APRIL 23, 1995 AND RECORDED IN DEED BOOK 6740, PAGE 330.
- REFERENCE IS MADE TO THE FOLLOWING PLANS:
 - "CONDOMINIUM PLAN OF 205 ST. JOHN STREET, PORTLAND, MAINE" BY NORTHEAST CIVIL SOLUTIONS, INC. DATED JUNE 30, 2005. (UNRECORDED)
 - "PLAN OF LANDS ON ST. JOHN STREET" BY WILLIAM A. GOODWIN, CITY CIVIL ENGINEER, DATED JULY, 1879 AND RECORDED IN PLAN BOOK 4, PAGE 21.
- THE PARCEL SURVEYED IS IDENTIFIED ON THE CITY OF PORTLAND ASSESSOR'S MAP 64, BLOCK F, PARCEL 23 AND MAP 68, BLOCK A, PARCEL 11.
- THE PARCEL SURVEYED IS LOCATED IN THE B2 ZONE. PORTIONS OF BULK AND SPACE REQUIREMENTS ARE AS FOLLOWS:
 MINIMUM LOT SIZE = 10,000 S.F.
 MINIMUM FRONTAGE = 50'
 SETBACKS:
 FRONT = 0'
 SIDES = 0'
 REAR = 10'
- THE WIDTH AND LAYOUT OF VALLEY STREET, ST. JOHN STREET, C STREET & D STREET ARE BASED ON CITY OF PORTLAND PUBLIC WORKS RECORDS. SAID WIDTHS OF ALL THESE STREETS ARE 60'.
- REFERENCE IS MADE TO THE FOLLOWING EASEMENTS OF RECORD:
 a. "A 20' WIDE ACCESS RIGHT-OF-WAY" FOR THE BENEFIT OF THE SUBJECT PARCEL OVER MAP 68, BLOCK A, PARCEL 10 AS RECORDED IN DEED BOOK 4323, PAGE 133.
 b. "A 9.75' WIDE RIGHT-OF-WAY" FOR THE BENEFIT OF THE SUBJECT PARCEL OVER MAP 68, BLOCK A, PARCEL 10 AS RECORDED IN DEED BOOK 12746, PAGE 149.
 c. "EASEMENT TO CENTRAL MAINE POWER CO. FOR INSTALL AND MAINTENANCE OF POWER LINES FROM POLE 18 TO POLE 18.1" AS RECORDED IN DEED BOOK 4932, PAGE 312.
- THIS SURVEY WAS CONDUCTED WITH 6 INCHES OF SNOW AND ICE.
- ELEVATIONS AND CONTOURS ARE BASED ON NGVD 1929 DATUM TAKEN FROM THE BRASS CAP CALLED FOR AS RM-34 ON FORM PANEL 230051 0013 B. SEE PLAN FOR TBW DESCRIPTION.
- UNDERGROUND GAS AND WATER LINE LOCATIONS ON ST. JOHN STREET WERE TAKEN FROM CITY OF PORTLAND PUBLIC WORKS RECORDS FROM 1988. OVERHEAD UTILITY LINES WERE FIELD LOCATED. SEWER AND DRAIN LINES AND INVERTS WERE FIELD LOCATED AS WELL. ALL UTILITY LOCATIONS SHALL BE CONSIDERED APPROXIMATE. CALL DIG SAFE AT 1-888-344-7233 PRIOR TO CONSTRUCTION OR EXCAVATION.



| | |
|-----------------------|-------------------------|
| Project: 29745 | Drawing Name: 29745.DWG |
| Date: July 12, 2007 | Scale: 1" = 20' |
| Fielded By: JAP / SBB | Drawn By: JAP |

ALTA/ACSM LAND TITLE SURVEY
 198 VALLEY STREET, PORTLAND, MAINE

Owner:
C & D ASSOCIATES
 195-REAR ST. JOHN STREET, PORTLAND, MAINE 04101

Prepared For:
AVESTA HOUSING
 307 CUMBERLAND AVENUE, PORTLAND, MAINE 04101

Northeast Civil Solutions
 INCORPORATED
 153 US ROUTE 1, SCARBOROUGH, MAINE 04074

tel 207.883.1000 fax 207.883.1001 e-mail info@northeastcivilsolutions.com
 800.882.2227

STAMP AND SIGNATURE

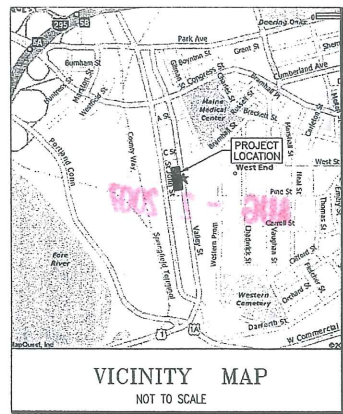
M. JOHANNI BUSMAN DATE: _____
 MAINE PLS. No. 1314

IF THIS PLAN DOES NOT CONTAIN AN ENCLOSED SEAL, IT IS NOT AN ORIGINAL, AND MAY BE VOID. ENCLOSED SEAL ABOVE

ALTA/ACSM LAND TITLE SURVEY SERVICE \ PROJECT 29745 \ VERIFIED CIVIL SOLUTIONS, INC.

(Hearing Set - Planfile)

Submission 10



NOTES CORRESPONDING TO SCHEDULE B

1. ITEM IS NOT A SURVEY MATTER.
2. ITEM IS NOT A SURVEY MATTER.
3. ITEM IS NOT A SURVEY MATTER.
4. ITEM IS NOT A SURVEY MATTER.
5. ANY EXCEPTION, RESERVATION, RESTRICTION, EASEMENT OR CONDITION SET OUT IN THE ATTACHED EXHIBIT "A". THERE ARE 3 EASEMENTS CALLED OUT IN THE EXHIBIT A THAT PERTAIN TO THE SUBJECT PROPERTY:
 - a. THE 20' RIGHT-OF-WAY (EASEMENT) IS AS SHOWN ON THIS PLAN.
 - b. THE 9.75' RIGHT-OF-WAY (EASEMENT) IS AS SHOWN ON THIS PLAN.
 - c. THE SIGNAGE EASEMENT IS NOT SHOWN ON THIS PLAN BECAUSE IT IS WITHIN THE SAME AREA AS THE 20' RIGHT-OF-WAY SHOWN. SEE NOTE 3 BELOW.
6. ITEM IS NOT A SURVEY MATTER.
7. ITEM IS NOT A SURVEY MATTER.
8. "EASEMENT FROM PETER F. HOLMES TO CENTRAL MAINE POWER COMPANY, DATED OCTOBER 8, 1981 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 4932, PAGE 312." THIS EASEMENT TO CMP AS SHOWN ON THIS PLAN. SEE NOTE 2 BELOW.
9. TERMS AND CONDITIONS SET FORTH IN AN EASEMENT AGREEMENT BY AND BETWEEN C&D ASSOCIATES AND ALLAN PROSSER, DATED SEPTEMBER 23, 1996 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 12746, PAGE 150." THIS 9.75' EASEMENT IS AS SHOWN ON THE PLAN.
10. "RIGHTS OF OTHERS IN AND TO THE USE OF THE 20' WIDE APPURTENANT EASEMENT INSURED HEREIN AND TERMS AND CONDITIONS RELATIVE TO THE USE THEREOF." THIS 20' EASEMENT IS AS SHOWN ON THIS PLAN.

STATEMENT OF ENCROACHMENTS

1. A CONCRETE PLATFORM STRUCTURE AND A CONCRETE STARWAY (ABANDONED) ENCROACH ON THE NORTHERLY PROPERTY LINE AS SHOWN ON THE PLAN.
2. THE OVERHEAD UTILITIES CROSS THE PROPERTY OF OTHERS WITHOUT BENEFIT OF AN EASEMENT. SEE NOTE 8.C.

LEGAL DESCRIPTION

A CERTAIN LOT OR PARCEL OF LAND LOCATED ON THE WESTERLY SIDE OF VALLEY STREET, CITY OF PORTLAND, COUNTY OF CUMBERLAND, STATE OF MAINE, BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:
 BEGINNING AT A 5/8" REBAR ON THE WESTERLY RIGHT-OF-WAY LINE OF SAID VALLEY STREET, BEING 150.00' SOUTHERLY OF THE INTERSECTION OF THE SOUTHERLY SIDELINE OF C STREET WITH THE WESTERLY SIDELINE OF VALLEY STREET, SAID REBAR ALSO MARKING THE SOUTHEASTERLY CORNER OF LAND NOW OR FORMERLY (N/F) OF VALLEY BAYSIDE, LLC AS RECORDED IN DEED BOOK 17960, PAGE 28, CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD);
 THENCE S 08°51'56" W ALONG THE WESTERLY RIGHT-OF-WAY LINE OF SAID VALLEY STREET 250.00' TO A 5/8" REBAR, SAID REBAR MARKING THE NORTHEASTERLY CORNER OF LAND N/F OF ALAN PROSSER AS RECORDED IN DEED BOOK 4955, PAGE 273 CORD, SAID REBAR ALSO MARKING THE NORTHEASTERLY CORNER OF A 20' WIDE ACCESS AND UTILITY RIGHT-OF-WAY FOR THE BENEFIT OF THE LOT HEREIN DESCRIBED, AS RECORDED IN DEED BOOK 4323, PAGE 133, CORD;
 THENCE N 81°08'04" W ALONG THE NORTHERLY LINE OF SAID PROSSER AND SAID RIGHT-OF-WAY 99.87' TO THE SOUTHEASTERLY CORNER OF THE LAND N/F OF MATTHEW PETERS AS RECORDED IN DEED BOOK 22535, PAGE 340, CORD, FROM WHICH A CAPPED IRON ROD MARKED "ADVANCED ENGINEERING, PLS 1358" BEARS WESTERLY 0.18' AND NORTHERLY 0.06';
 THENCE N 08°51'56" E 250.00' ALONG THE EASTERLY LINES OF LANDS N/F OF SAID PETERS; OF BRENNER PROPERTIES, LLC AS RECORDED IN DEED BOOK 23738, PAGE 250, CORD; OF LAWRENCE L. AND VIRGINIA STEVENS AND THOMAS S. HEALD AS RECORDED IN DEED BOOK 6751, PAGE 51, CORD; OF DEBORAH HEALD, VIRGINIA STEVENS, AND ABBY DISTASIO AS RECORDED IN DEED BOOK 21867, PAGE 246, CORD; AND OF CRAIG G. COFFIN, TRUSTEE AS RECORDED IN DEED BOOK 19723, PAGE 254, CORD TO A 5/8" REBAR, SAID REBAR MARKING THE SOUTHEASTERLY CORNER OF LAND OF SAID VALLEY BAYSIDE, LLC;
 THENCE S 81°08'04" E ALONG THE SOUTHERLY SIDELINE OF SAID VALLEY BAYSIDE, LLC 99.87' TO THE POINT OF BEGINNING.
 THE ABOVE DESCRIBED PARCEL CONTAINS 0.57 ACRES MORE OR LESS.
 THE BASIS OF BEARING FOR THE ABOVE DESCRIBED PARCEL IS MAGNETIC NORTH 2005.
 MEANING AND INTENDING TO DESCRIBE THE SAME PREMISES CONVICTED FROM PETER HOLMES TO C & D ASSOCIATES AS RECORDED IN DEED BOOK 6740, PAGE 330, DATED APRIL 23, 1996.
 THE ABOVE DESCRIBED LOT OR PARCEL OF LAND HAS THE BENEFIT OF A 20' WIDE ACCESS AND UTILITY RIGHT-OF-WAY AS RECORDED IN DEED BOOK 4323, PAGE 133, CORD MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT A 5/8" REBAR ON THE WESTERLY RIGHT-OF-WAY LINE OF SAID VALLEY STREET AT THE SOUTHEASTERLY CORNER OF THE ABOVE DESCRIBED LOT OR PARCEL OF LAND, SAID REBAR BEING ALSO THE NORTHEASTERLY CORNER OF SAID PROSSER;
 THENCE S 08°51'56" W ALONG THE WESTERLY RIGHT-OF-WAY LINE OF SAID VALLEY STREET AND THE EASTERLY LINE OF SAID PROSSER 20.00' TO A POINT; THENCE N 81°08'04" W THROUGH THE LAND OF SAID PROSSER 199.87' TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF ST. JOHN STREET;
 THENCE N 08°51'56" W ALONG THE EASTERLY LINE OF SAID VALLEY STREET TO THE SOUTHWESTERLY CORNER OF THE LAND OF SAID PETERS;
 THENCE S 81°08'04" E ALONG THE LAND OF SAID PETERS AND OF THE ABOVE DESCRIBED PARCEL 199.87' TO THE POINT OF BEGINNING.
 THE ABOVE DESCRIBED 250.00' BY 99.87' LOT OR PARCEL OF LAND HAS THE BENEFIT OF A 9.75' WIDE ACCESS AND UTILITY RIGHT-OF-WAY AS RECORDED IN DEED BOOK 4323, PAGE 133, CORD ADJACENT TO THE ABOVE DESCRIBED RIGHT-OF-WAY MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:
 STARTING AT A 5/8" REBAR AT THE SOUTHEASTERLY CORNER OF THE ABOVE DESCRIBED LOT OR PARCEL OF LAND ON THE WESTERLY RIGHT-OF-WAY LINE OF VALLEY STREET, SAID CORNER BEING ALSO THE NORTHEASTERLY CORNER OF SAID PROSSER AND THE NORTHEASTERLY CORNER OF THE ABOVE DESCRIBED RIGHT-OF-WAY;
 THENCE S 08°51'56" W ALONG THE WESTERLY RIGHT-OF-WAY LINE OF SAID VALLEY STREET BEING ALSO THE EASTERLY LINE OF SAID PROSSER 20.00' TO THE TRUE POINT OF BEGINNING AND THE SOUTHEASTERLY CORNER OF THE ABOVE DESCRIBED RIGHT-OF-WAY;
 THENCE N 81°08'04" W THROUGH A PORTION OF THE LAND OF SAID PROSSER 99.87' TO A RAILROAD SPIKE AT THE NORTHEASTERLY CORNER OF A BUILDING;
 THENCE N 08°51'56" E 20.00' TO A POINT ON THE SOUTHERLY LINE OF THE ABOVE DESCRIBED RIGHT-OF-WAY;
 THENCE S 81°08'04" E ALONG THE SOUTHERLY LINE OF THE ABOVE DESCRIBED RIGHT-OF-WAY 99.87' TO THE TRUE POINT OF BEGINNING.
 ALL OF THE ABOVE DESCRIBED 5/8" REBAR ARE 5/8" REBAR WITH PLASTIC CAPS MARKED NCS, INC. PLS 1314.

ALTA/ACSM CERTIFICATION

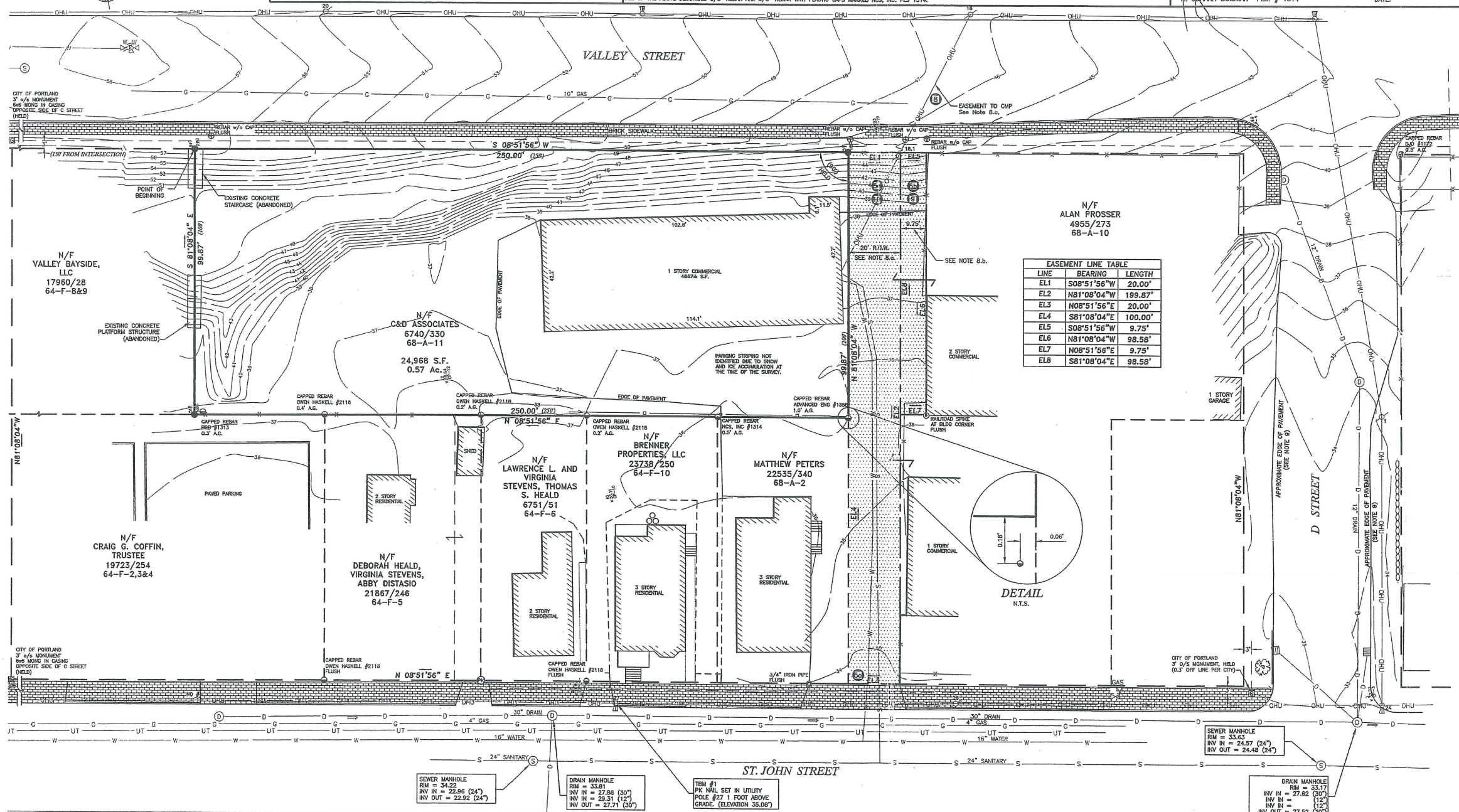
THIS IS TO CERTIFY TO MAINE STATE HOUSING AUTHORITY, FIRST AMERICAN TITLE INSURANCE COMPANY, AVESTA HOUSING DEVELOPMENT CORPORATION AND C&D ASSOCIATES, AND THE SUCCESSORS AND ASSIGNS OF EACH, THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND ACSM IN 2005, EFFECTIVE JANUARY 1, 2006, AND INCLUDES ITEMS 1.3, 4.6, 7(A) AND (B)(1), 9, 10, AND 11(A) AND (B) OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, THE UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION AS A LAND SURVEYOR LICENSED IN THE STATE OF MAINE, THE MAXIMUM RELATIVE POSITIONAL ACCURACY RESULTING FROM THE MEASUREMENTS MADE ON THE SURVEY DOES NOT EXCEED THE ALLOWABLE RELATIVE POSITIONAL ACCURACY FOR MEASUREMENTS CONTROLLING LAND BOUNDARIES ON ALTA/ACSM LAND TITLE SURVEYS. THE UNDERSIGNED ADDITIONALLY CERTIFIES THAT (A) THIS SURVEY CORRECTLY SHOWS ALL MATTERS OF RECORD (AND TO THE EXTENT THEY CAN BE LOCATED, THEIR LOCATION AND DIMENSIONS) OF WHICH I HAVE BEEN ADVISED AFFECTING THE SUBJECT PROPERTY ACCORDING TO THE LEGAL DESCRIPTION OF SUCH MATTERS (WITH INSTRUMENT, BOOK AND PAGE NUMBER INDICATED); (B) EXCEPT AS SHOWN ON THIS SURVEY, NO PART OF THE SUBJECT PROPERTY IS LOCATED IN A 100-YEAR FLOOD PLAIN, AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 230051-001-B DATED JULY 17, 1995;(C) TO THE BEST OF MY KNOWLEDGE, THIS SURVEY SHOWS THE RELATION AND DISTANCE OF ALL BUILDINGS, SIDEWALKS AND OTHER IMPROVEMENTS TO EASEMENTS AND SETBACK LINES; (D) TO THE BEST OF MY KNOWLEDGE, EXCEPT AS SHOWN ON THIS SURVEY, THE SUBJECT PROPERTY DOES NOT SERVE ANY ADJACENT LAND FOR DRAINAGE, UTILITIES, INGRESS OR EGRESS; (E) ALL UTILITIES SERVING THE SUBJECT PROPERTY SHOWN ON THE SURVEY, INCLUDING ELECTRIC, GAS, WATER, SANITARY SEWER AND STORM SEWER, CONNECT TO LINES LOCATED IN PUBLIC RECORDS, WITHOUT CROSSING THE PROPERTY OF OTHERS, AS SHOWN ON THE SURVEY; AND (F) EXCEPT AS SET FORTH BELOW, THERE ARE NOT (I) ENCROACHMENTS UNDER THE SUBJECT PROPERTY BY IMPROVEMENTS ON ADJACENT PROPERTY, (II) ENCROACHMENTS ON EASEMENTS OR ON ADJACENT PROPERTY, STREETS, OR ALLEYS BY ANY IMPROVEMENTS ON THE SUBJECT PROPERTY, (III) PARTY WALLS, (IV) CONFLICTS OR PROTRUSIONS, OR (V) ENCROACHMENTS ONTO SETBACK OR BUILDING RESTRICTION LINES. SEE STATEMENT OF ENCROACHMENTS.
 M. J. BUISHAN PLS. # 1314
 07/12/2007 DATE

LEGEND

- #5 REBAR WITH PLASTIC CAP STAMPED "NCS, INC. PLS 1314" SET ON MARCH 1, 2007
- FOUND IRON PIPE (SIZE & TYPE AS NOTED)
- FOUND MONUMENT (SIZE & TYPE AS NOTED)
- FOUND DRILL HOLE
- FOUND RAILROAD SPIKE
- FOUND IRON ROD
- FOUND CAPPED IRON ROD (NUMBER AS NOTED)
- FOUND PK NAIL
- UTILITY POLE (NUMBER AS NOTED)
- FOUND DECIDUOUS TREE (SIZE & TYPE AS NOTED)
- ITEMS FROM SCHEDULE B
- TREE LINE (APPROXIMATE)
- STONEWALL
- BOUNDARY LINE
- EASEMENT LINE
- EDGE OF GRAVEL
- EDGE OF PAVEMENT
- RIGHT-OF-WAY LINE
- ABUTTER LINE
- OVERHEAD UTILITY
- NOW OR FORMERLY OWNED BY DEED BOOK AND PAGE (CCRD)
- TAX MAP-BLOCK-LOT
- PARENTHESIS DENOTE RECORD DATA

NOTES

1. THE BASIS OF BEARING FOR THIS SURVEY WAS TAKEN FROM THE PLAN REFERENCED IN NOTE 4.A. BELOW. SAID BEARING IS MAGNETIC, 2005.
2. DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
3. RECORD OWNERSHIP OF THE PARCEL SURVEYED CAN BE FOUND IN A DEED FROM PETER HOLMES TO C & D ASSOCIATES DATED APRIL 23, 1996 AND RECORDED IN DEED BOOK 6740, PAGE 330.
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
 - a. "CONDOMINIUM PLAN OF 205 ST. JOHN STREET, PORTLAND, MAINE" BY NORTHEAST CIVIL SOLUTIONS, INC. DATED JUNE 30, 2005, (UNRECORDED).
 - b. "PLAN OF LANDS ON ST. JOHN STREET" BY WILLIAM A. GOODWIN, CIVIL ENGINEER, DATED JULY, 1879 AND RECORDED IN PLAN BOOK 4, PAGE 21.
5. THE PARCEL SURVEYED IS IDENTIFIED ON THE CITY OF PORTLAND ASSESSOR'S MAP 64, BLOCK F, PARCEL 20 AND MAP 68, BLOCK A, PARCEL 11.
6. THE PARCEL SURVEYED IS LOCATED IN THE B2 ZONE. PORTIONS OF BULK AND SPACE REQUIREMENTS ARE AS FOLLOWS:
 MINIMUM LOT SIZE = 10,000 S.F.
 MINIMUM FRONTAGE = 50'
 SETBACKS:
 FRONT = 0'
 SIDES = 0'
 REAR = 10'
7. THE WIDTH AND LAYOUT OF VALLEY STREET, ST. JOHN STREET, C STREET & D STREET ARE BASED ON CITY OF PORTLAND PUBLIC WORKS RECORDS. SAID WIDTHS OF ALL THESE STREETS ARE 60'.
8. REFERENCE IS MADE TO THE FOLLOWING EASEMENTS OF RECORD:
 - a. "A 20' WIDE ACCESS RIGHT-OF-WAY FOR THE BENEFIT OF THE SUBJECT PARCEL OVER MAP 68, BLOCK A, PARCEL 10 AS RECORDED IN DEED BOOK 4323, PAGE 133.
 - b. "A 9.75' WIDE RIGHT-OF-WAY FOR THE BENEFIT OF THE SUBJECT PARCEL OVER MAP 68, BLOCK A, PARCEL 10 AS RECORDED IN DEED BOOK 12746, PAGE 149.
 - c. "EASEMENT TO CENTRAL MAINE POWER CO. FOR INSTALL AND MAINTENANCE OF POWER LINES FROM POLE 18 TO POLE 18.1" AS RECORDED IN DEED BOOK 4932, PAGE 312.
9. THIS SURVEY WAS CONDUCTED WITH 6 INCHES OF SNOW AND ICE.
10. ELEVATIONS AND CONTOURS ARE BASED ON NGVD 1929 DATUM TAKEN FROM THE BRASS DAP CALLED FOR AS RM-34 ON FIRM PANEL 230051 0013 B. SEE PLAN FOR TBW DESCRIPTION.
11. UNDERGROUND GAS AND WATER LINE LOCATIONS ON ST. JOHN STREET WERE TAKEN FROM CITY OF PORTLAND PUBLIC WORKS RECORDS FROM 1998. OVERHEAD UTILITY LINES WERE FIELD LOCATED. SEWER AND DRAIN LINES AND INVERTS WERE FIELD LOCATED AS WELL. ALL UTILITY LOCATIONS SHALL BE CONSIDERED APPROXIMATE. CALL DIG SAFE AT 1-888-344-7233 PRIOR TO CONSTRUCTION OR EXCAVATION.



| Revised | By | Date | Change |
|---------|----|------|--------|
| | | | |

PROJECT: 29745 DRAWING NAME: 29745.DWG
 DATE: JULY 12, 2007 SCALE: 1" = 20'
 FIELD BY: JAP / SBB DRAWN BY: JAP

Drawing Name and Location:
ALTA/ACSM LAND TITLE SURVEY
 198 VALLEY STREET, PORTLAND, MAINE

Prepared For:
C & D ASSOCIATES
 195-REAR ST. JOHN STREET, PORTLAND, MAINE 04101

Prepared For:
AVESTA HOUSING
 307 CUMBERLAND AVENUE, PORTLAND, MAINE 04101

Surveying Engineering Land Planning
Northeast Civil Solutions
 INCORPORATED
 153 US ROUTE 1, SCARBOROUGH, MAINE 04074

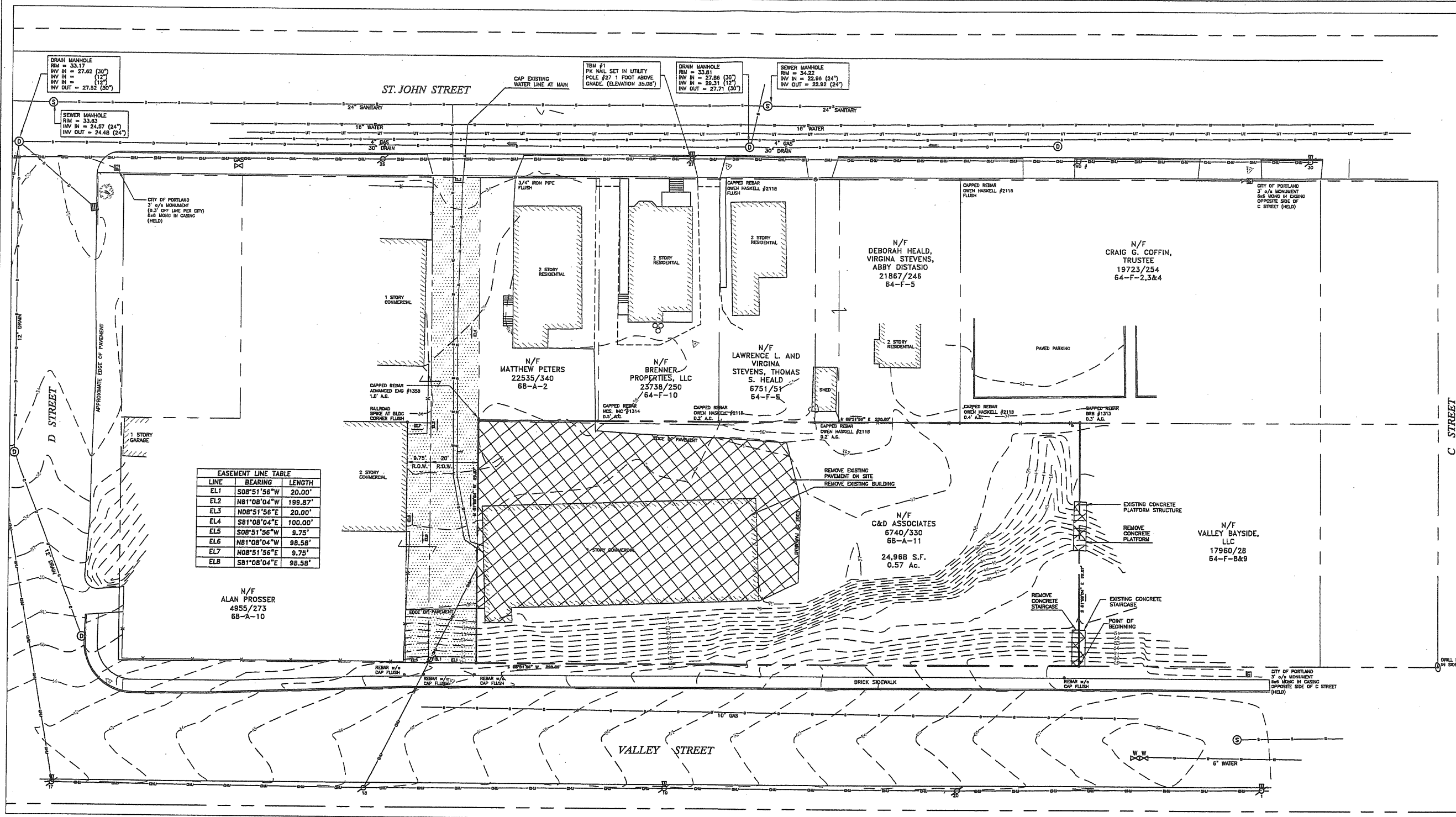
tel 207.883.1000 fax 207.883.1001 e-mail info@northeastcivilsolutions.com
 800.882.2277

0 20' 40' 80'

STAMP AND SIGNATURE

M. J. BUISHAN
 M. J. BUISHAN DATE: 7/12/2007
 MAINE PLS. # 1314

F IF THIS PLAN DOES NOT CONTAIN AN EMBOSSED SEAL, IT IS NOT AN ORIGINAL AND MAY BE VOID. EMBOSSED SEAL ABOVE



Prepared For:
Applicant:
AVESTA HOUSING
307 Cumberland Avenue
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Tel: (207) 553-7777

Prepared By:
MITCHELL & ASSOCIATES
Landscape Architects
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GP Gorrell-Palmer
Consulting Engineers, Inc.
Traffic and Civil Engineering Services
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Orono, ME 04469
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Fax: 207-867-8912

FLORENCE HOUSE

Portland, Maine

190 Valley Street

Date: APRIL 2, 2007

Issued For:
CONTRACT ZONE AND
SITE PLAN REVIEW

Revisions:

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Title: EXISTING
CONDITIONS AND
DEMOLITION PLAN

Scale: 1"=20'
0 10 20 40 ft.

North:

Sheet No:
1

- NOTES**
- THE BASIS OF BEARING FOR THIS SURVEY WAS TAKEN FROM THE PLAN REFERENCED IN NOTE 4.A. BELOW. SAID BEARING IS MAGNETIC, 2005.
 - DEED AND PLAN BOOK REFERENCE ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
 - RECORD OWNERSHIP OF THE PARCEL SURVEYED CAN BE FOUND IN A DEED FROM PETER HOLMES TO C + D ASSOCIATES DATED APRIL 23, 1985 AND RECORDED IN DEED BOOK 6740, PAGE 330.
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 - THE PARCEL SURVEYED IS IDENTIFIED ON THE CITY OF PORTLAND ASSESSOR'S MAP 64, BLOCK F, PARCEL 20 AND MAP 68, BLOCK A, PARCEL 11.
 - THE PARCEL SURVEYED IS LOCATED IN THE B2 ZONE. PORTIONS OF BULK AND SPACE REQUIREMENTS ARE AS FOLLOWS:
 - MINIMUM LOT SIZE = 10,000 S.F.
 - MINIMUM FRONTAGE = 50 FEET
 - FRONT SETBACK = 0 FEET
 - SIDE SETBACK = 0 FEET
 - REAR SETBACK = 10 FEET
 - THE WIDTH AND LAYOUT OF VALLEY STREET, ST. JOHN STREET, C STREET + D STREET ARE BASED ON CITY OF PORTLAND PUBLIC WORKS RECORDS. SAID WIDTHS OF ALL THESE STREETS ARE 60 FEET.
 - REFERENCE IS MADE TO THE FOLLOWING EASEMENTS OF RECORD:
 - "A 20' WIDE ACCESS RIGHT-OF-WAY" FOR THE BENEFIT OF THE SUBJECT PARCEL OVER MAP 68, BLOCK A, PARCEL 10 AS RECORDED IN DEED BOOK 4323, PAGE 133.
 - "A 9.75' WIDE RIGHT-OF-WAY" FOR THE BENEFIT OF THE SUBJECT PARCEL OVER MAP 68, BLOCK A, PARCEL 10 AS RECORDED IN DEED BOOK 12746, PAGE 149.
 - THIS SURVEY WAS CONDUCTED WITH 6 INCHES OF SNOW AND ICE.
 - ELEVATIONS AND CONTOURS ARE BASED ON NGVD 1929 DATUM TAKEN FROM THE DISK CALLED FOR AS RM-34 ON FRM PANEL 230051 0013 B. SEE PLAN FOR TBM DESCRIPTION.
 - UNDERGROUND GAS AND WATER LINE LOCATIONS ON ST. JOHN STREET WERE TAKEN FROM CITY OF PORTLAND PUBLIC WORKS RECORDS FROM 1998. VERIZON LINES WERE FIELD LOCATED. SEWER AND DRAIN LINES AND INVERTS WERE FIELD LOCATED AS WELL. ALL UTILITY LOCATIONS SHALL BE CONSIDERED APPROXIMATE.

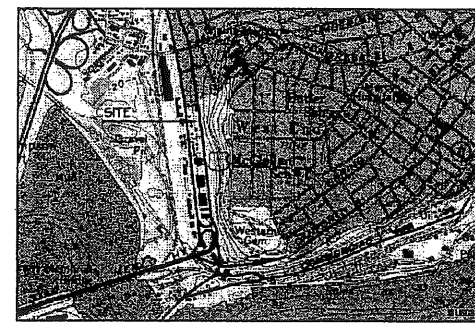
CERTIFICATION

NORTHEAST CIVIL SOLUTIONS, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

DATE: _____ M. JOHANN BLUSHMAN, PLS# 1314

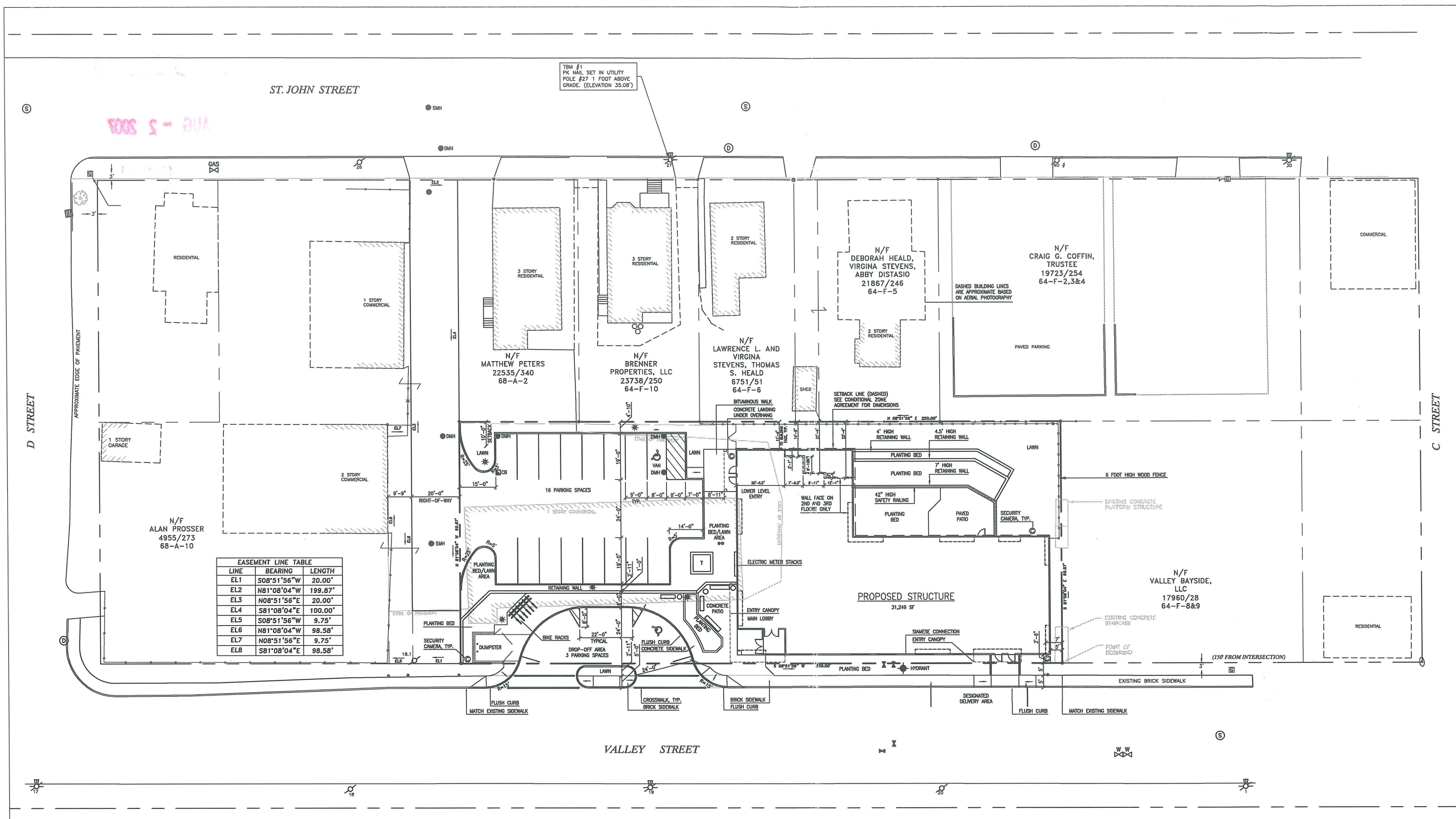
LEGEND

| PROPERTY LINE | EXISTING | UTILITY POLE | EXISTING |
|----------------|----------|-------------------------|----------|
| MONUMENT FOUND | NON | UTILITY POLE WITH LIGHT | B |
| REBAR FOUND | ● | WATER SERVICE | W |
| CONTOUR | 70 | SEWER SERVICE | S |
| CATCHBASIN | ■ | STORM DRAIN | D |
| SEWER MANHOLE | ⊙ | GAS SERVICE | G |
| DRAIN MANHOLE | ⊙ | UNDERGROUND TELEPHONE | UT |
| WATER VALVE | ⊙ | OVERHEAD WIRES | OHU |
| GAS VALVE | ⊙ | FENCE | — |
| | | TEST BORING | ⊕ |



DATE: _____ M. JOHANN BLUSHMAN, PLS# 1314

I:\ProjectDrawings\Florence House - 1635-07\FlorenceHouse_07-07-11.dwg, Layout & Lighting, 7/31/2007 3:19:08 PM, \MITCHELL2\HP_Lasertxt.5100.PS



EASEMENT LINE TABLE

| LINE | BEARING | LENGTH |
|------|-------------|---------|
| EL1 | S08°51'56"W | 20.00' |
| EL2 | N81°08'04"W | 199.87' |
| EL3 | N08°51'56"E | 20.00' |
| EL4 | S81°08'04"E | 100.00' |
| EL5 | S08°51'56"W | 9.75' |
| EL6 | N81°08'04"W | 98.58' |
| EL7 | N08°51'56"E | 9.75' |
| EL8 | S81°08'04"E | 98.58' |

LEGEND

| | EXISTING | PROPOSED | | EXISTING | PROPOSED |
|----------------|----------|----------|---------------------------|----------|----------|
| PROPERTY LINE | | | ELECTRIC TRANSFORMER | | |
| SETBACK LINE | | | WATER VALVE | | |
| MONUMENT FOUND | | | GAS VALVE | | |
| REBAR FOUND | | | UTILITY POLE | | |
| CATCHBASIN | | | UTILITY POLE WITH LIGHT | | |
| FIELD INLET | | | LIGHT POLE | | |
| SEWER MANHOLE | | | SECURITY CAMERA LOCATIONS | | |
| DRAIN MANHOLE | | | FENCE | | |

GENERAL NOTES

- TOTAL SITE AREA: 24,968 SF OR 0.57 ACRES
- ZONING DISTRICT: B-2. COMMUNITY BUSINESS ZONE
- SPACE AND BULK REQUIREMENTS: (SEE FINAL CONDITIONAL ZONE AGREEMENT FOR OFFICIAL CALCULATIONS)

| | B-2 ZONE | R-G ZONE | SITE PLAN |
|-----------------------------|-----------------|----------------------|-----------|
| DENSITY: | NONE | NONE | 24,968 SF |
| MINIMUM FRONT SETBACK: | NONE | 10 FEET | NONE |
| MINIMUM REAR SETBACK: | 20 FEET | 20 FEET | NONE |
| MINIMUM SIDE SETBACK: | NONE | 10 FEET (3 STORIES) | 5 FEET |
| MAXIMUM LOT COVERAGE: | N/A | 40% COVER (20 UNITS) | 33% |
| MAXIMUM BUILDING HEIGHT: | 45 FEET | 45 FEET | 45 FEET |
| OPEN SPACE RATIO: | N/A | 30% COVER (20 UNITS) | 26% |
| PARKING REQUIREMENTS: | (SEE ORDINANCE) | (SEE ORDINANCE) | 14 SPACES |
| MINIMUM LOT SIZE: | 10,000 SF | 4,500 SF | N/A |
| MINIMUM STREET FRONTAGE: | 50 FEET | 40 FEET | 250 FEET |
| MINIMUM LOT WIDTH: | NONE | 50 FEET | 250 FEET |
| MAXIMUM IMPERVIOUS SURFACE: | 80% | N/A | 74% |
- OWNER OF PROPERTY: C+H ASSOCIATES, 195 REAR ST. JOHN STREET, PORTLAND, MAINE 04102. OPTION TO PURCHASE: AVESTA HOUSING DEVELOPMENT CORP., 307 CUMBERLAND AVENUE, PORTLAND, MAINE 04101
- BUILDING SUMMARY: BUILDING FOOTPRINT: 8,138 SF; TOTAL BUILDING SQUARE FOOTAGE: 31,249 SF; NUMBER OF STORIES: 3
- BOUNDARY LINE AND TOPOGRAPHIC INFORMATION BASED ON SURVEY PREPARED BY NORTHEAST CIVIL SOLUTIONS, FROM PLANS DATED JANUARY 31, 2007.
- BENCHMARK IS PK NAIL SET IN UTILITY POLE #27 ONE FOOT ABOVE GRADE ON THE EASTERN SIDE OF ST. JOHN STREET BETWEEN C STREET AT D STREET WITH AN ELEVATION OF 35.06'.
- ALL MATERIALS AND INSTALLATION DETAILS SHALL MEET M.D.O.T. AND/OR CITY OF PORTLAND STANDARD SPECIFICATIONS.
- BUILDING MOUNTED AND SITE POLE MOUNTED LIGHTING TO BE MANUFACTURED BY KIM LIGHTING. SITE POLE MOUNTED LIGHTING TO BE STS. SMALL STRUCTURAL, 175 WATT METAL HALIDE, WHITE (CWH-P).
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND KEEPING STREETS CLEAN DURING CONSTRUCTION. A MAINTENANCE PLAN SHALL BE PREPARED AND APPROVED BY THE OWNERS REPRESENTATIVE.
- DIMENSIONS ARE FROM FACE OF CURB.
- SITE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL LIGHT POLE BASES INCLUDING THE PUBLIC R.O.W. AND TRENCHING FOR CONDUIT.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONDUIT FOR ELECTRIC SERVICE FOR POLE MOUNTED FIXTURES. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POLE MOUNTED LIGHT FIXTURES AND POLES.
- EXACT LOCATIONS OF SECURITY CAMERAS TO BE DETERMINED AT SITE PLAN REVIEW.

Prepared For:
Applicant:

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Portland, Maine 04101
Tel: (207) 553-7777

Prepared By:
MITCHELL & ASSOCIATES
Landscape Architects
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207-657-8910
207-667-8912

FLORENCE HOUSE
Portland, Maine
190 Valley Street

Date: APRIL 2, 2007

Issued For:
CONTRACT ZONE AND
SITE PLAN REVIEW

Revisions:
April 19, 2007 - Per Staff Comment
May 28, 2007 - Per Staff Comment
June 21, 2007 - Per Staff Comment
July 10, 2007 - Per Staff Comment
July 31, 2007 - Per CZA

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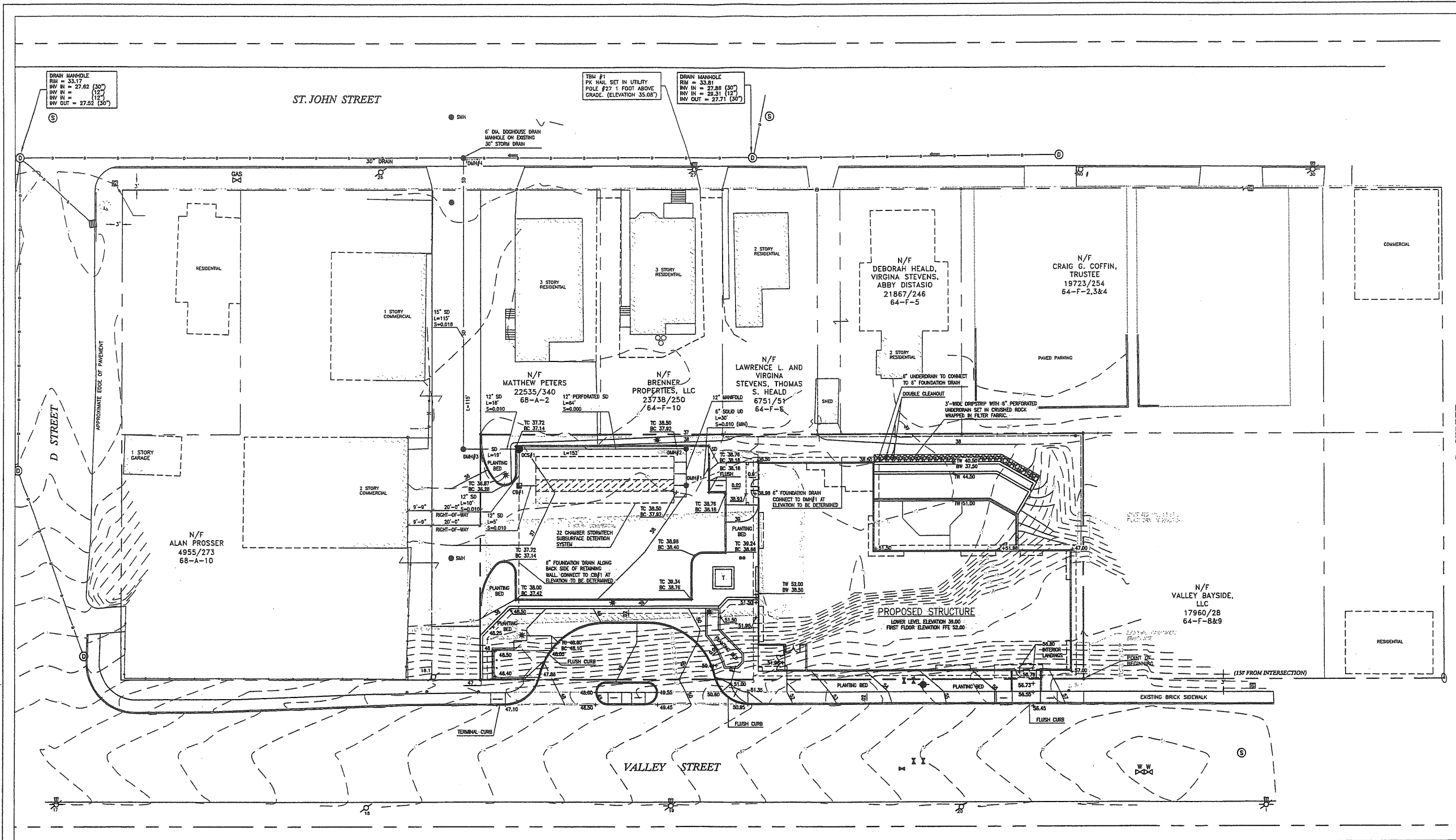
Title:
**LAYOUT &
LIGHTING PLAN**

Scale: 1"=20'

North:

Sheet No:
2

Attachment 9 to CZA



Prepared For:
Applicant:

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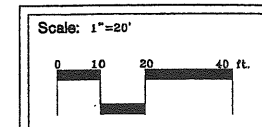
Date:
APRIL 2, 2007

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CONTRACT ZONE AND
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Revisions:
April 19, 2007 - Per Staff Comment
May 28, 2007 - Per Staff Comment
July 10, 2007 - Per Staff Comment

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Title:
**GRADING AND
DRAINAGE PLAN**



North:

Sheet No:
3

LEGEND

| | EXISTING | PROPOSED | | EXISTING | PROPOSED |
|-------------------------|----------|----------|--------------------------------|----------|----------|
| PROPERTY LINE | | | WATER SERVICE | | |
| MONUMENT FOUND | | | SEWER SERVICE | | |
| REBAR FOUND | | | STORM DRAIN | | |
| CONTOUR | | | GAS SERVICE | | |
| SPOT GRADE | | | UNDERGROUND TELEPHONE | | |
| CATCHBASIN | | | OVERHEAD WIRES | | |
| FIELD INLET | | | UNDERGROUND ELECTRIC | | |
| SEWER MANHOLE | | | UNDERGROUND TELEPHONE + CABLE | | |
| DRAIN MANHOLE | | | UNDERGROUND SECONDARY ELECTRIC | | |
| WATER VALVE | | | FENCE | | |
| GAS VALVE | | | TEST BORING | | |
| UTILITY POLE | | | | | |
| UTILITY POLE WITH LIGHT | | | | | |
| LIGHT POLE | | | | | |

UTILITY NOTES

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.

BUILDING AVERAGE GRADE

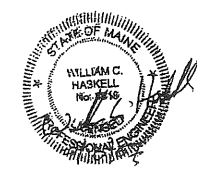
| |
|---------|
| 38.50 |
| 38.50 |
| 51.50 |
| 47.00 |
| 57.00 |
| 51.98 |
| 51.50 |
| + 38.50 |
| 374.48 |

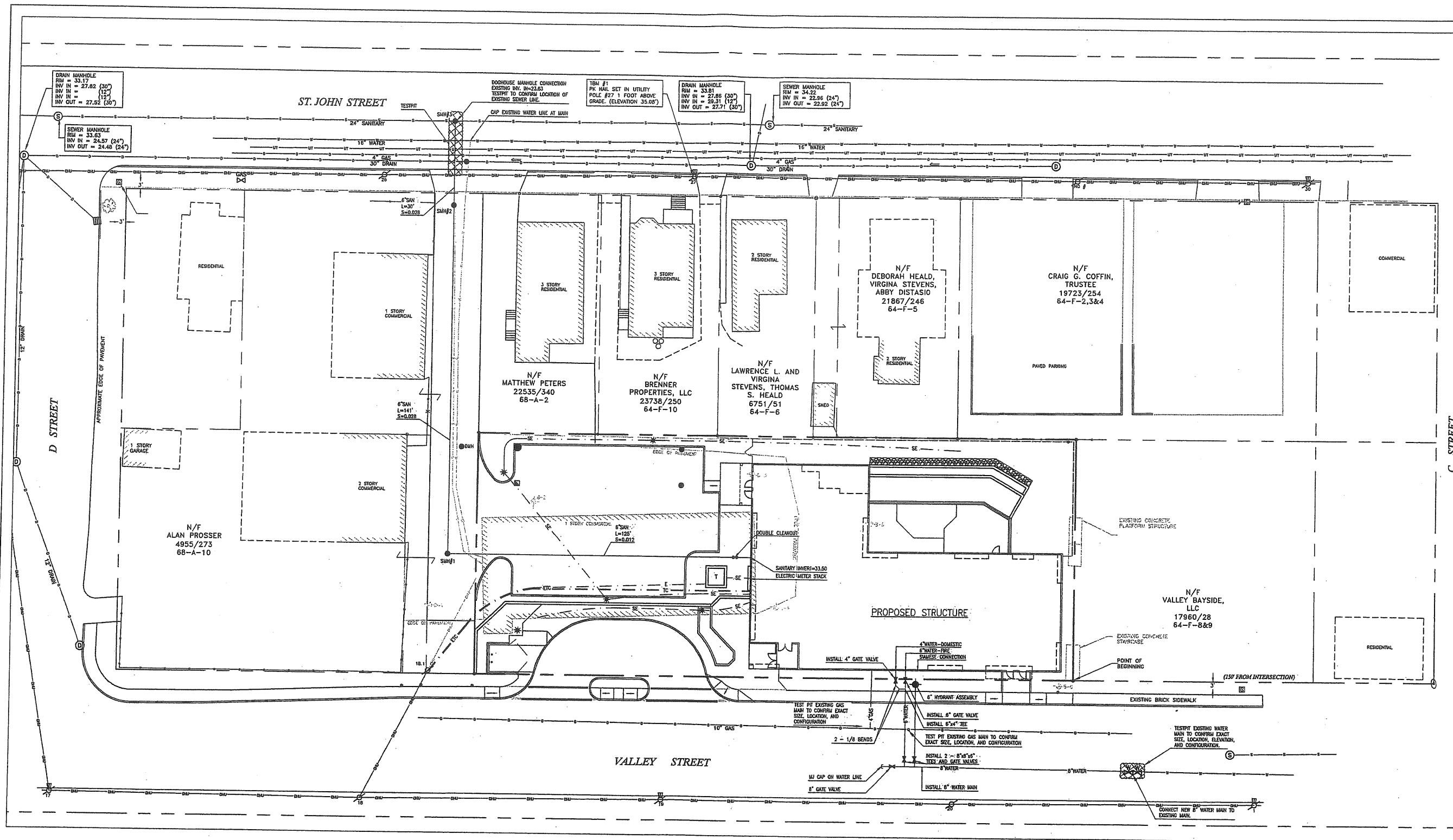
$\frac{374.48}{8} = 46.81$

NOTE:
THE AVERAGE GRADE CALCULATION IS BASED ON PROPOSED AVERAGE GRADE IN ACCORDANCE WITH THE ZONING ADMINISTRATOR METHODOLOGY.

STORM DRAIN STRUCTURES

| STRUCTURE | SIZE | RIM | INV. IN | INV. OUT |
|-----------|--------|----------------|-----------|------------|
| CD#1 | 4' DIA | 36.28 | TBD (CUD) | 31.62 |
| DM#1 | 6' DIA | 38.00 | TBD (FDD) | 33.00 |
| DM#2 | 4' DIA | 38.00 | 33.00 | 31.00 |
| DM#3 | 4' DIA | 35.70 | 30.62 | 30.42 |
| DM#4 | 6' DIA | EXISTING GRADE | 27.63 | 27.63 |
| | | | 28.35 | (EXISTING) |
| OC5 | 6' DIA | | 31.00 | 30.80 |





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FLORENCE HOUSE

Portland, Maine

190 Valley Street

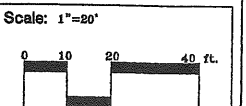
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SITE PLAN REVIEW

Revisions:
April 18, 2007 - Per Staff Comment
July 10, 2007 - Per Staff Comment

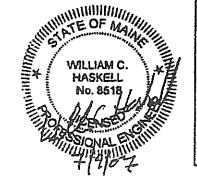
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Title:
UTILITIES PLAN



North:

Sheet No.: **4**



LEGEND

| | EXISTING | PROPOSED | | EXISTING | PROPOSED |
|-------------------------|----------|----------|--|----------|----------|
| PROPERTY LINE | | | WATER SERVICE | | |
| MONUMENT FOUND | | | SEWER SERVICE | | |
| REBAR FOUND | | | STORM DRAIN | | |
| CONTOUR | | | GAS SERVICE | | |
| SPOT GRADE | | | UNDERGROUND TELEPHONE | | |
| CATCHBASIN | | | OVERHEAD WIRES | | |
| FIELD INLET | | | UNDERGROUND ELECTRIC TELEPHONE + CABLE | | |
| SEWER MANHOLE | | | UNDERGROUND SECONDARY ELECTRIC | | |
| DRAIN MANHOLE | | | FENCE | | |
| WATER VALVE | | | TEST BORING | | |
| GAS VALVE | | | | | |
| UTILITY POLE | | | | | |
| UTILITY POLE WITH LIGHT | | | | | |
| LIGHT POLE | | | | | |

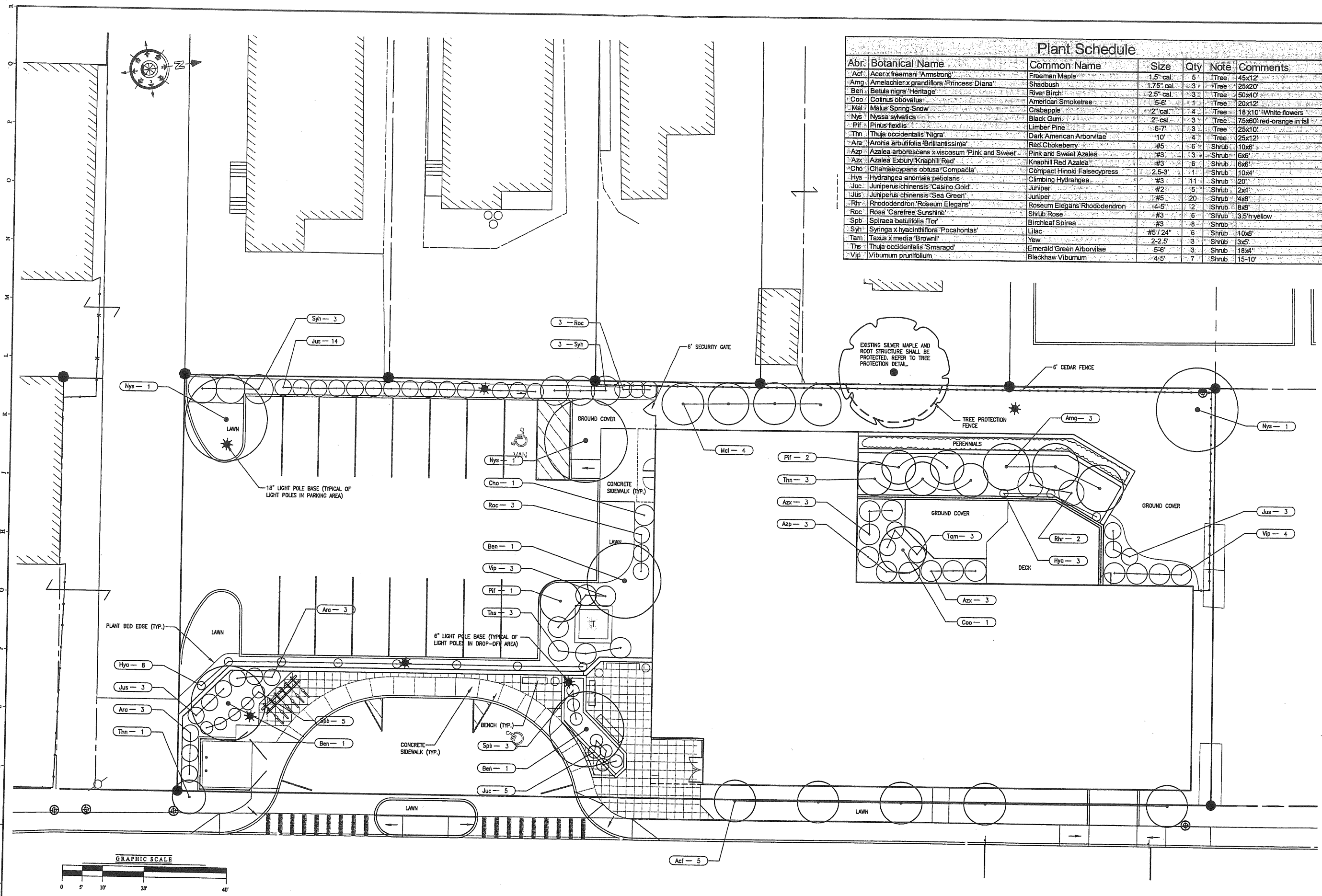
UTILITY NOTES

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.
2. NEAREST EXISTING FIRE HYDRANT IS LOCATED ON THE NORTHEASTERN CORNER OF C STREET AND ST. JOHN STREET AT A DISTANCE OF 405 FEET FROM THE PROPERTY LINE ON VALLEY STREET.

SANITARY STRUCTURES

| STRUCTURE | SIZE | RIM | INV. IN | INV. OUT |
|-----------|--------|----------------|------------|------------|
| BUILDING | 2'x2' | - | - | 33.50 |
| SMH#1 | 4' DIA | 37.15 | 32.00 | 31.80 |
| SMH#2 | 4' DIA | 33.90 | 28.00 | 26.00 |
| | | EXISTING GRADE | 23.63 | 23.63 |
| | | | (EXISTING) | (EXISTING) |
| | | | 25.15 | |
| SMH#3 | 6' DIA | | | |

| Abv. | Botanical Name | Common Name | Size | Qty | Note | Comments |
|------|--|-----------------------------|-----------|-----|-------|---------------------------|
| Acf | Acer x freemani 'Armstrong' | Freeman Maple | 1.5" cal | 5 | Tree | 45x12' |
| Amg | Amelanchier x grandiflora 'Princess Diana' | Shadbush | 1.75" cal | 3 | Tree | 25x20' |
| Ben | Betula nigra 'Heritage' | River Birch | 2.5" cal | 3 | Tree | 50x40' |
| Coo | Cotinus obovatus | American Smoketree | 5-6' | 1 | Tree | 20x12' |
| Mal | Malus Spring Snow | Crabapple | 2" cal. | 4 | Tree | 18 x10' -White flowers |
| Nys | Nyssa sylvatica | Black Gum | 2" cal. | 3 | Tree | 75x60' red-orange in fall |
| Pif | Pinus flexilis | Limber Pine | 6-7' | 3 | Tree | 25x10' |
| Thn | Thuja occidentalis 'Nigra' | Dark American Arborvitae | 10' | 4 | Tree | 25x12' |
| Ara | Aronia arbutifolia 'Brilliantissima' | Red Chokeberry | #5 | 6 | Shrub | 10x6' |
| Azp | Azalea arborescens x viscosum 'Pink and Sweet' | Pink and Sweet Azalea | #3 | 3 | Shrub | 6x6' |
| Azx | Azalea Exbury 'Knaphill Red' | Knaphill Red Azalea | #3 | 6 | Shrub | 6x6' |
| Cho | Chamaecyparis obtusa 'Compacta' | Compact Hinoki Falsecypress | 2.5-3' | 1 | Shrub | 10x4' |
| Hya | Hydrangea anomala petiolaris | Climbing Hydrangea | #3 | 11 | Shrub | 20' |
| Juc | Juniperus chinensis 'Casino Gold' | Juniper | #2 | 5 | Shrub | 2x4' |
| Jus | Juniperus chinensis 'Sea Green' | Juniper | #5 | 20 | Shrub | 4x8' |
| Rhr | Rhododendron 'Roseum Elegans' | Roseum Elegans Rhododendron | 4-5' | 2 | Shrub | 8x8' |
| Roc | Rosa 'Carefree Sunshine' | Shrub Rose | #3 | 6 | Shrub | 3.5'h yellow |
| Spb | Spiraea betulifolia 'Tor' | Birchleaf Spirea | #3 | 8 | Shrub | |
| Syh | Syringa x hyacinthiflora 'Pocahontas' | Lilac | #5 / 24" | 6 | Shrub | 10x8' |
| Tam | Taxus x media 'Brownii' | Yew | 2-2.5' | 3 | Shrub | 3x5' |
| Ths | Thuja occidentalis 'Smaragd' | Emerald Green Arborvitae | 5-6' | 3 | Shrub | 18x4' |
| Vip | Viburnum prunifolium | Blackhaw Viburnum | 4-5' | 7 | Shrub | 15-10' |



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 Fax. 207. 883. 0361

AVESTA HOUSING

FLORENCE HOUSE
 PORTLAND, MAINE

| REVISIONS | |
|-----------|-----------------------------|
| # | DATE DESCRIPTION |
| 1 | 04.02.07 CONTRACT ZONE SUB. |
| 2 | 05.22.07 CONTRACT ZONE REV. |
| 3 | 07.10.07 CONTRACT ZONE REV. |

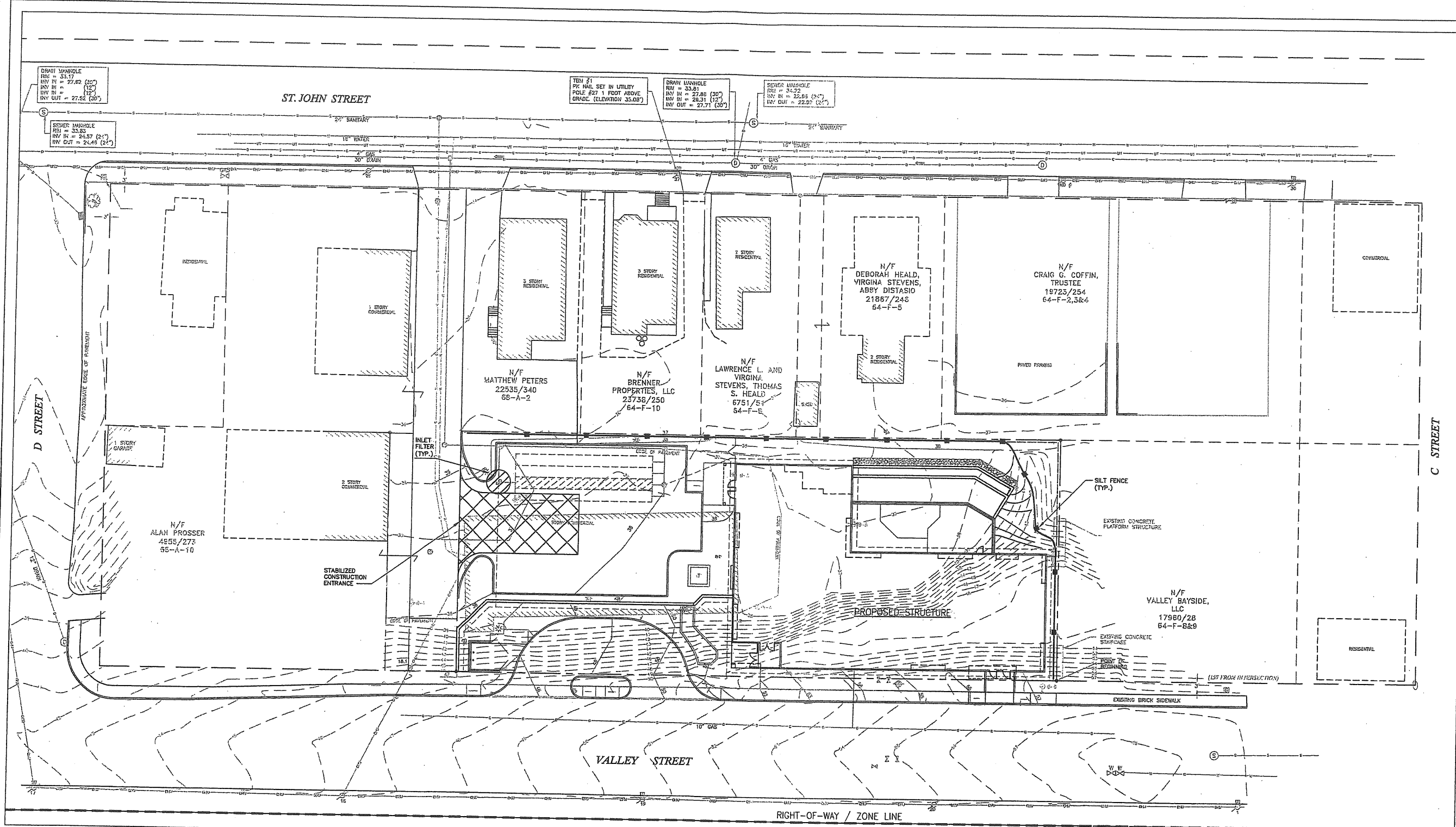
| | |
|----------------|-------------|
| DATE: | 07.10.07 |
| PROJECT #: | 100405 |
| DRAWN BY: | KLD |
| CHECKED BY: | RS |
| DRAWING SCALE: | 1" = 10'-0" |

SHEET TITLE
 LANDSCAPE & PLANTING PLAN

Sheet No.:
5

A1 LANDSCAPE AND PLANTING PLAN

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LEGEND

| | EXISTING | PROPOSED | | EXISTING | PROPOSED |
|-------------------------|----------|----------|--|----------|----------|
| PROPERTY LINE | --- | --- | WATER SERVICE | W | WATER |
| MONUMENT FOUND | ■ MON | | SEWER SERVICE | S | SS |
| REBAR FOUND | ●● | | STORM DRAIN | D | SD |
| CONTOUR | 70 | 70 | GAS SERVICE | G | GAS |
| SPOT GRADE | +39.66 | +39.66 | UNDERGROUND TELEPHONE | UT | |
| CATCHBASIN | ■ | CB | OVERHEAD WIRES | OHU | |
| FIELD INLET | | FI | UNDERGROUND ELECTRIC TELEPHONE + CABLE | | E/C |
| SEWER MANHOLE | ⊙ | SM | UNDERGROUND SECONDARY ELECTRIC | | SE |
| DRAIN MANHOLE | ⊙ | DM | FENCE | | |
| WATER VALVE | ⊙ | | TEST BORING | ⊕ | |
| GAS VALVE | ⊙ | | | | |
| UTILITY POLE | ⊙ | | | | |
| UTILITY POLE WITH LIGHT | ⊙ | | | | |
| LIGHT POLE | | * | | | |

NOTES

- REFER TO DRAWING 13 FOR EROSION AND SEDIMENTATION CONTROL DETAILS AND NOTES.
- ALL SLOPES STEEPER THAN 3:1 SHALL BE PROTECTED WITH CURLEX BLANKETS BY AMERICAN EXCELSIOR. INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- FOR TEMPORARY STABILIZATION INSTALL TENAX MULTIMAT FABRIC ON ALL SLOPES EQUAL TO OR STEEPER THAN 6% BETWEEN OCTOBER 1 AND APRIL 15 AND EQUAL TO OR STEEPER THAN 15% BETWEEN APRIL 15 AND OCTOBER 1. INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR SHALL MINIMIZE FUGITIVE DUST EMISSIONS BY SWEEPING THE ADJACENT STREETS AS REQUIRED AND BY APPLYING WATER OR OTHER ENVIRONMENTALLY SOUND DUST CONTROL SOLUTION (CALCIUM CHLORIDE) ON SITE AS REQUIRED.

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Applicant:

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FLORENCE HOUSE

190 Valley Street
Portland, Maine

Date: APRIL 2, 2007

Issued For:
CONTRACT ZONE AND
SITE PLAN REVIEW

Revisions:
July 10, 2007 - Per Staff Comment

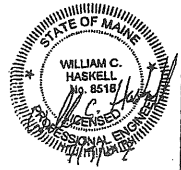
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Title:
**EROSION AND
SEDIMENTATION
CONTROL PLAN**

Scale: 1"=20'

North:

Sheet No:
6





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FLORENCE HOUSE
PORTLAND, MAINE



| REVISIONS | | |
|-----------|---------|--------------------------|
| # | DATE | DESCRIPTION |
| 1 | 4.03.07 | CONTRACT ZONE SUBMISSION |
| 2 | 5.01.07 | CONTRACT ZONE SUBMISSION |
| 3 | 7.10.07 | CONTRACT ZONE SUBMISSION |

| | |
|---------------|--------------|
| DATE: | 7.10.07 |
| PROJECT # | 100405 |
| DRAWN BY: | RLD |
| CHECKED BY: | SWG |
| DRAWING SCALE | 1/8" = 1'-0" |

SHEET TITLE
BASEMENT FLOOR PLAN

A 100

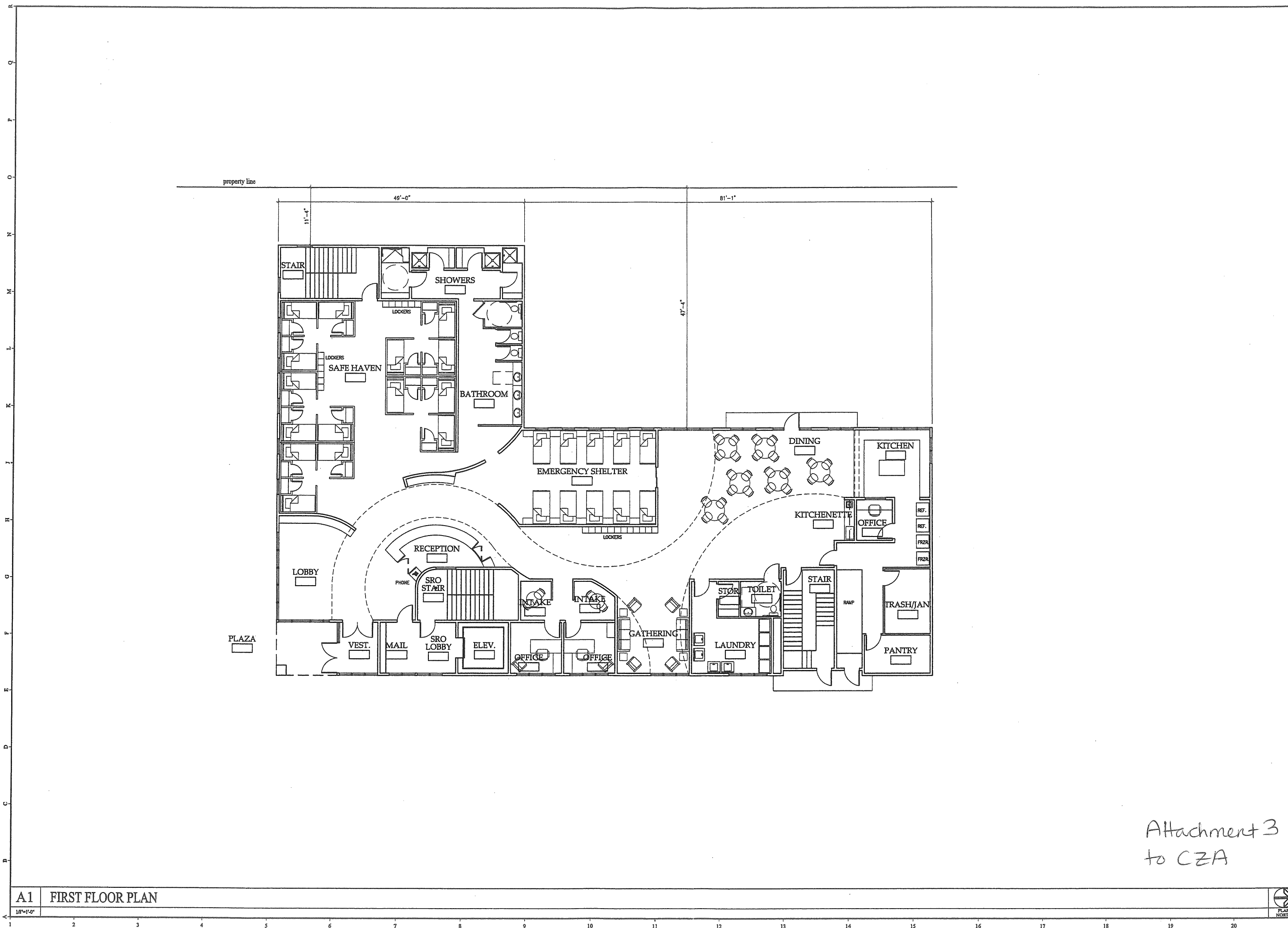


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Attachment 2
to CZA

A1 BASEMENT FLOOR PLAN

1/8" = 1'-0" 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20



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| REVISIONS | | |
|-----------|---------|--------------------------|
| # | DATE | DESCRIPTION |
| 1 | 4.28.07 | CONTRACT ZONE SUBMISSION |
| 2 | 5.01.07 | CONTRACT ZONE SUBMISSION |
| 3 | 7.10.07 | CONTRACT ZONE SUBMISSION |

| | |
|---------------|--------------|
| DATE: | 7.10.07 |
| PROJECT # | 100405 |
| DRAWN BY: | RLD |
| CHECKED BY: | SWG |
| DRAWING SCALE | 1/8" = 1'-0" |

SHEET TITLE
FIRST FLOOR PLAN

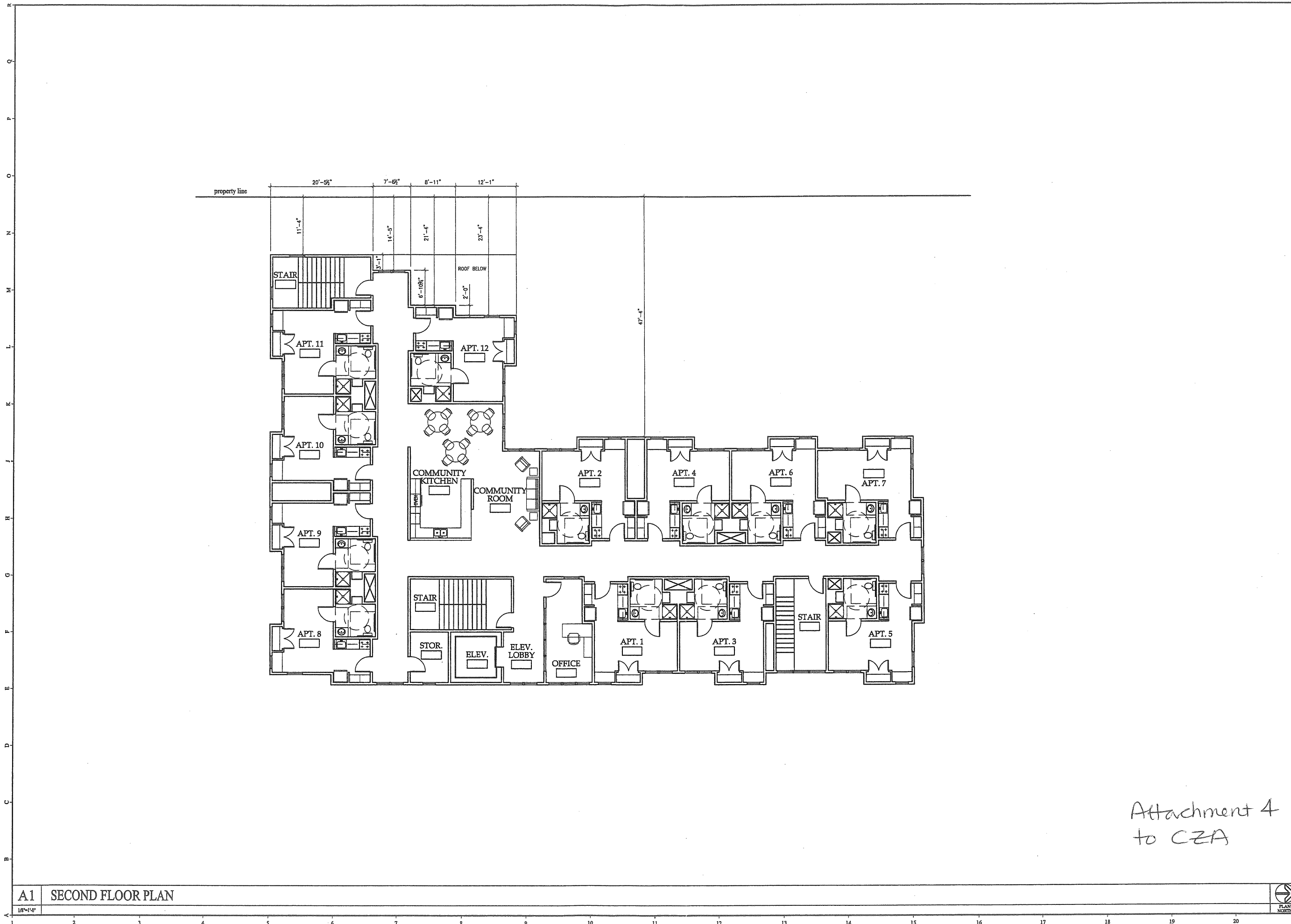
A 101

A1 FIRST FLOOR PLAN

1/8" = 1'-0" 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20

PLAN NORTH
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Attachment 3
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| # | DATE | DESCRIPTION |
|---|---------|--------------------------|
| 1 | 4.8.07 | CONTRACT ZONE SUBMISSION |
| 2 | 5.9.07 | CONTRACT ZONE SUBMISSION |
| 3 | 7.10.07 | CONTRACT ZONE SUBMISSION |

| | |
|---------------|--------------|
| DATE: | 7.10.07 |
| PROJECT # | 100405 |
| DRAWN BY: | RLD |
| CHECKED BY: | SWG |
| DRAWING SCALE | 1/8" = 1'-0" |

SHEET TITLE

SECOND FLOOR PLAN

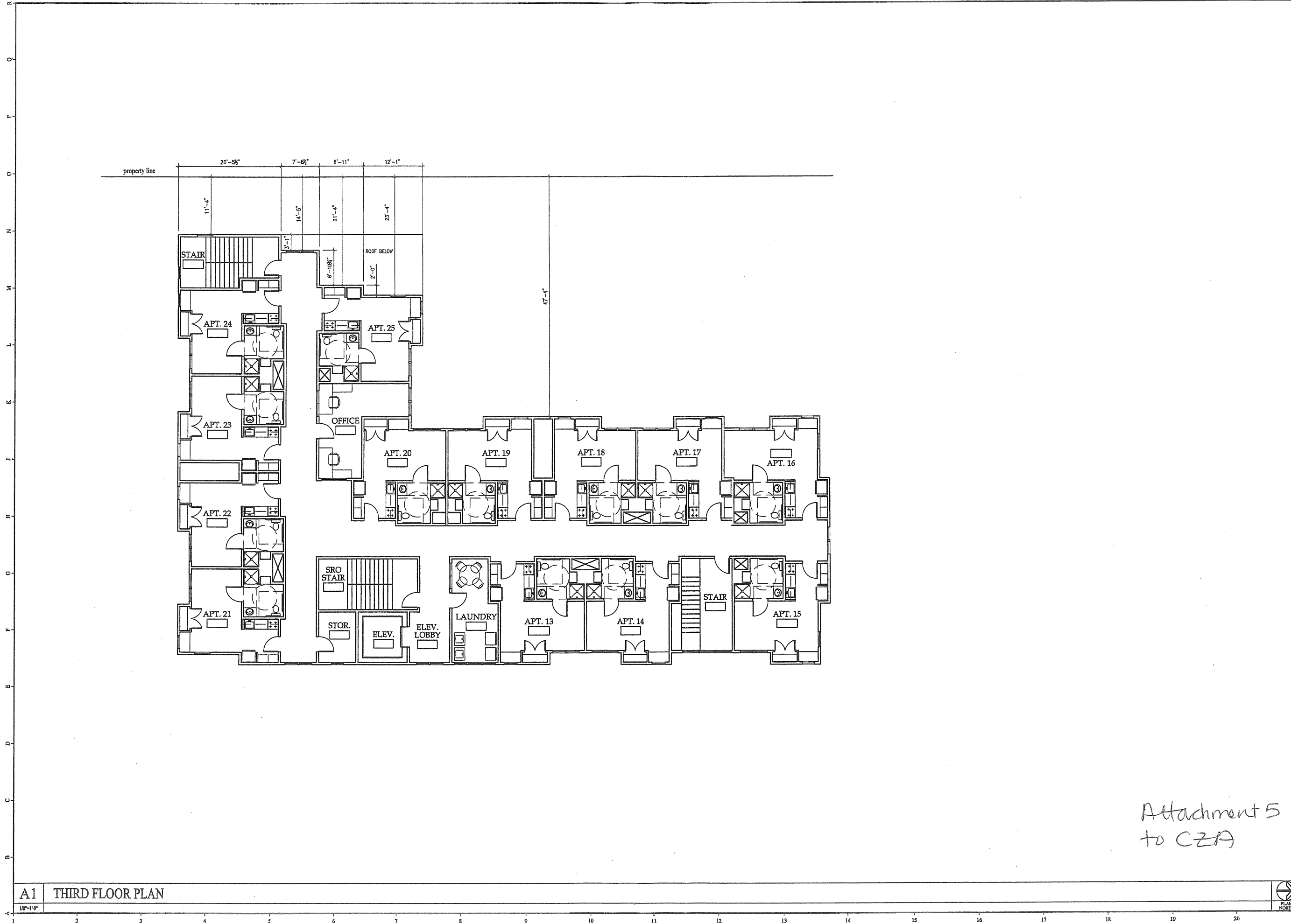
A 102

A1 SECOND FLOOR PLAN



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|-----------|---------|--------------------------|
| # | DATE | DESCRIPTION |
| 1 | 4.25.07 | CONTRACT ZONE SUBMISSION |
| 2 | 5.01.07 | CONTRACT ZONE SUBMISSION |
| 3 | 7.10.07 | CONTRACT ZONE SUBMISSION |

| | |
|---------------|--------------|
| DATE: | 7.10.07 |
| PROJECT # | 100485 |
| DRAWN BY: | RLD |
| CHECKED BY: | SWG |
| DRAWING SCALE | 1/8" = 1'-0" |

SHEET TITLE

THIRD FLOOR PLAN

A 103

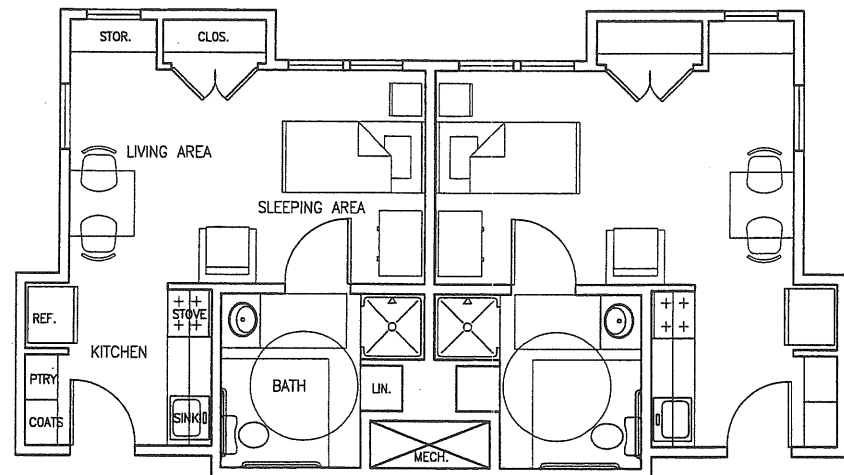
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A1 THIRD FLOOR PLAN

Attachment 5
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K
Q
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L
K
J
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REVISIONS

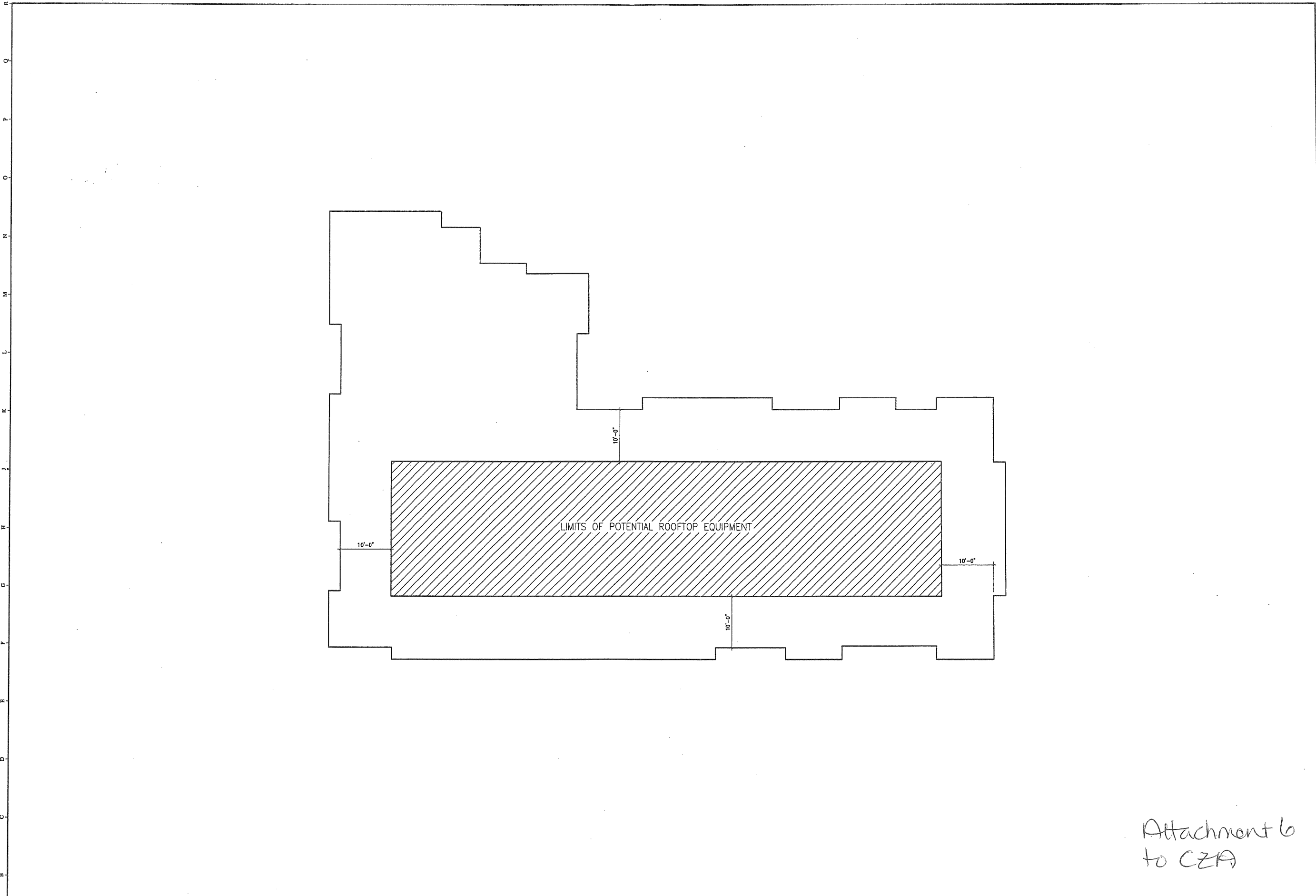
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| 1 | 4.18.07 | CONTRACT ZONE SUBMISSION |
| 2 | 5.01.07 | CONTRACT ZONE SUBMISSION |
| 3 | 7.10.07 | CONTRACT ZONE SUBMISSION |

| | |
|---------------|--------------|
| DATE: | 7.10.07 |
| PROJECT # | 100405 |
| DRAWN BY: | RLD |
| CHECKED BY: | SWG |
| DRAWING SCALE | 1/4" = 1'-0" |

SHEET TITLE

TYPICAL UNIT PLANS

A 104



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|-----------|---------|--------------------------|
| # | DATE | DESCRIPTION |
| 1 | 4.08.07 | CONTRACT ZONE SUBMISSION |
| 2 | 5.01.07 | CONTRACT ZONE SUBMISSION |
| 3 | 7.10.07 | CONTRACT ZONE SUBMISSION |

| | |
|----------------|--------------|
| DATE: | 7.10.07 |
| PROJECT #: | 100405 |
| DRAWN BY: | RLD |
| CHECKED BY: | SWG |
| DRAWING SCALE: | 1/8" = 1'-0" |

SHEET TITLE

ROOF
PLAN

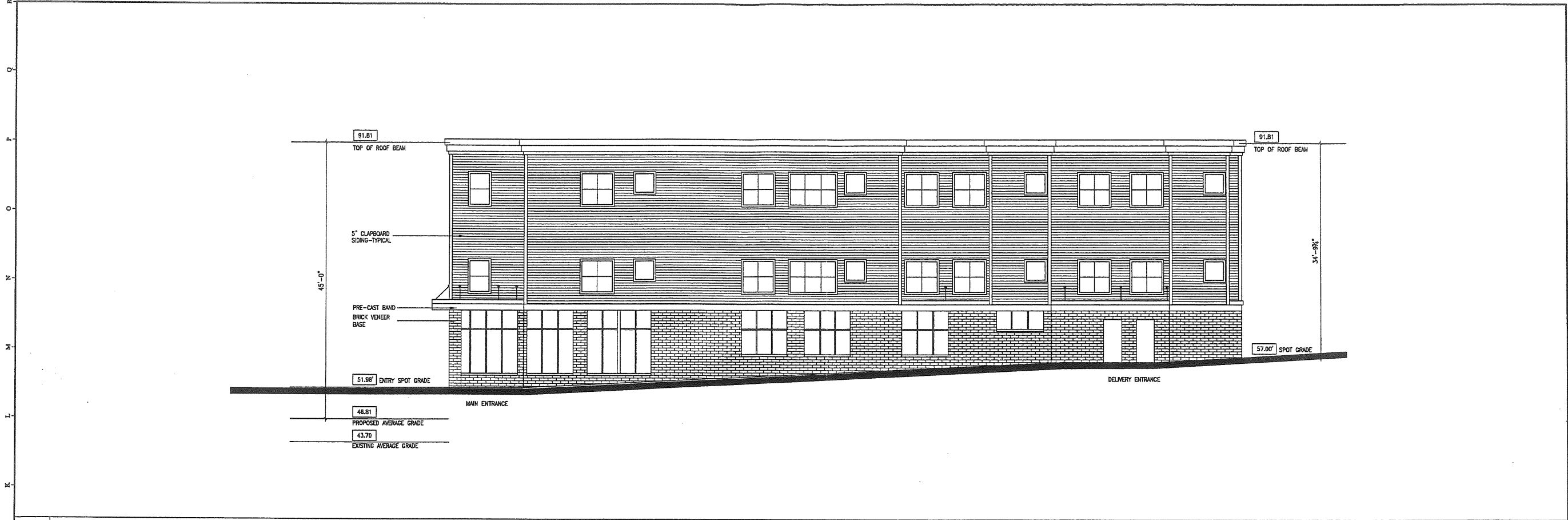
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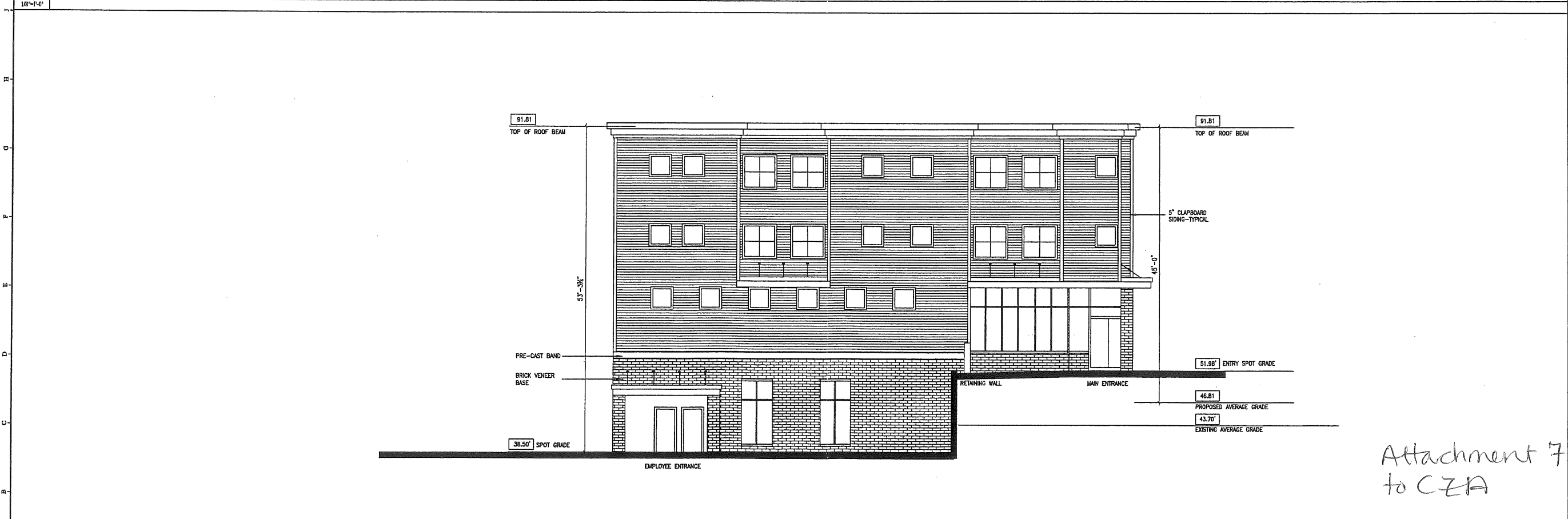
A1 ROOF PLAN



Attachment 6
to CZA



J1 VALLEY STREET ELEVATION



A1 LEFT SIDE ELEVATION

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|-----------|---------|--------------------------|
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| 2 | 5.01.07 | CONTRACT ZONE SUBMISSION |
| 3 | 7.18.07 | CONTRACT ZONE SUBMISSION |

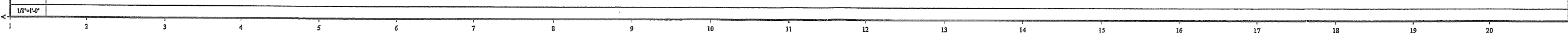
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|---------------|--------------|
| DATE: | 7.10.07 |
| PROJECT # | 100405 |
| DRAWN BY: | RLD |
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| DRAWING SCALE | 1/8" = 1'-0" |

SHEET TITLE
 ELEVATIONS

A401

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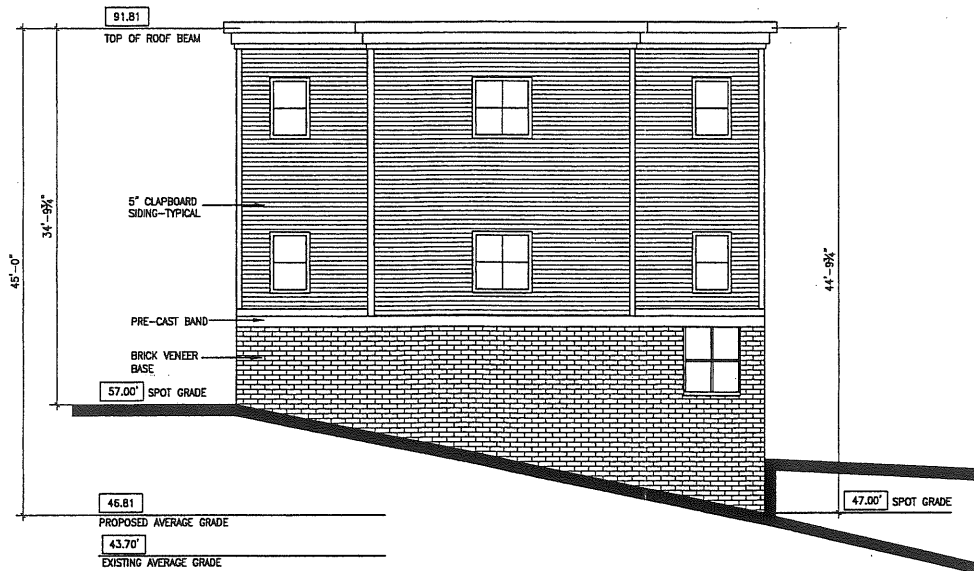
Attachment 7
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J1 REAR ELEVATION

1/8"=1'-0"



A1 RIGHT SIDE ELEVATION

1/8"=1'-0"



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| 1 | 4.23.07 | CONTRACT ZONE SUBMISSION |
| 2 | 5.01.07 | CONTRACT ZONE SUBMISSION |
| 3 | 7.10.07 | CONTRACT ZONE SUBMISSION |

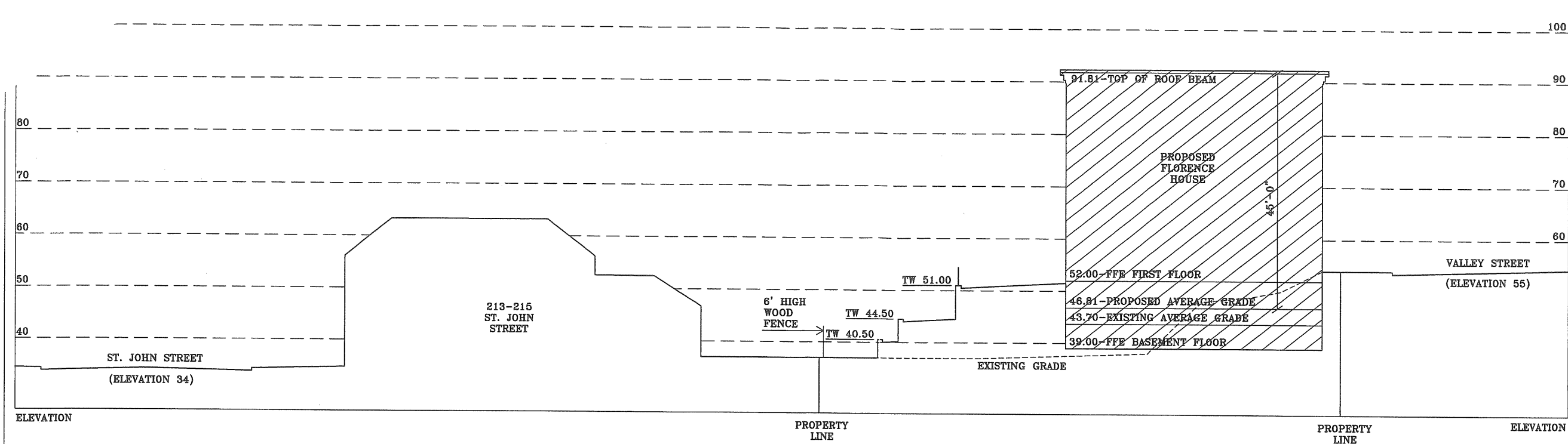
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|---------------|------------|
| DATE | 7.10.07 |
| PROJECT # | 100405 |
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| CHECKED BY: | SWG |
| DRAWING SCALE | 1/8"=1'-0" |

SHEET TITLE
ELEVATIONS

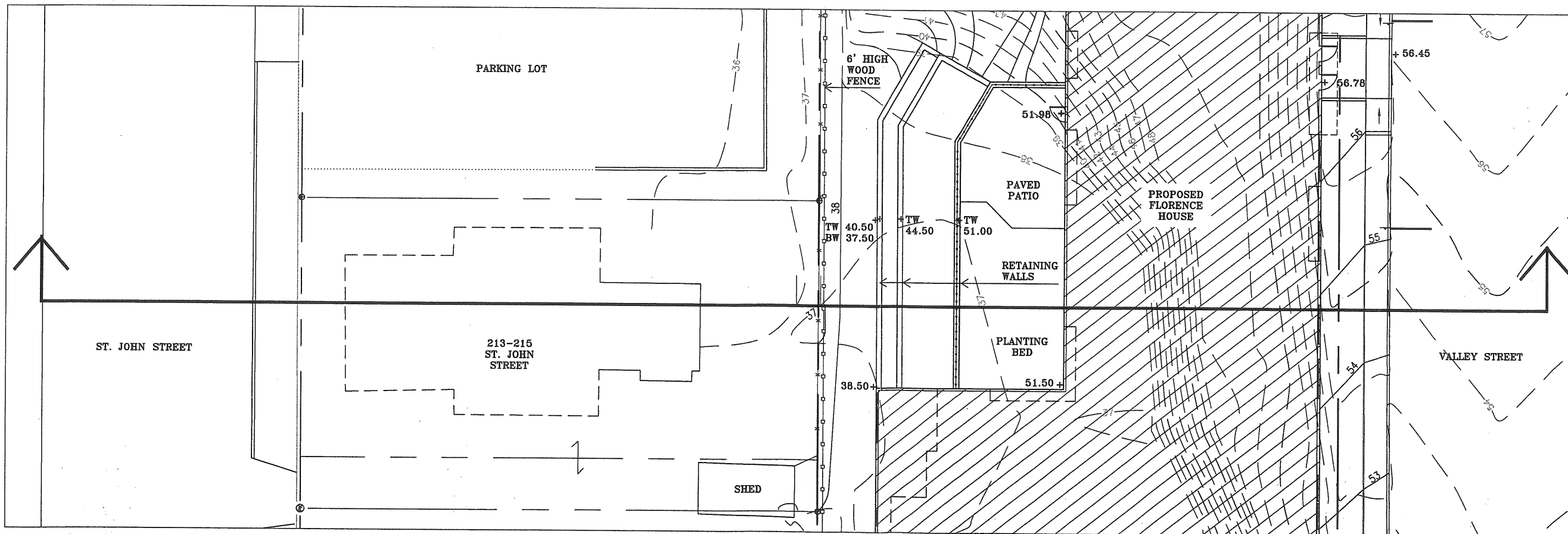
A402

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Attachment 8
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CROSS SECTION THROUGH SITE - LOOKING NORTH



PLAN OF CROSS SECTION LOCATION

Prepared For:
Applicant:
AVESTA HOUSING
307 Cumberland Avenue
Portland, Maine 04101
Tel: (207) 555-7777

Prepared By:
MITCHELL & ASSOCIATES
Landscape Architects
The Staples School
70 Center Street
Portland, Maine 04101
Tel: (207) 774-4427

GP Gorrill-Palmer
Consulting Engineers, Inc.
Traffic and Civil Engineering Services
15 Shaker Road
Orono, ME 04459
207-857-8910
207-857-8912

FLORENCE HOUSE
 190 Valley Street
 Portland, Maine

Date: JULY 10, 2007

Issued For:
CONTRACT ZONE AND
SITE PLAN REVIEW

Revisions:

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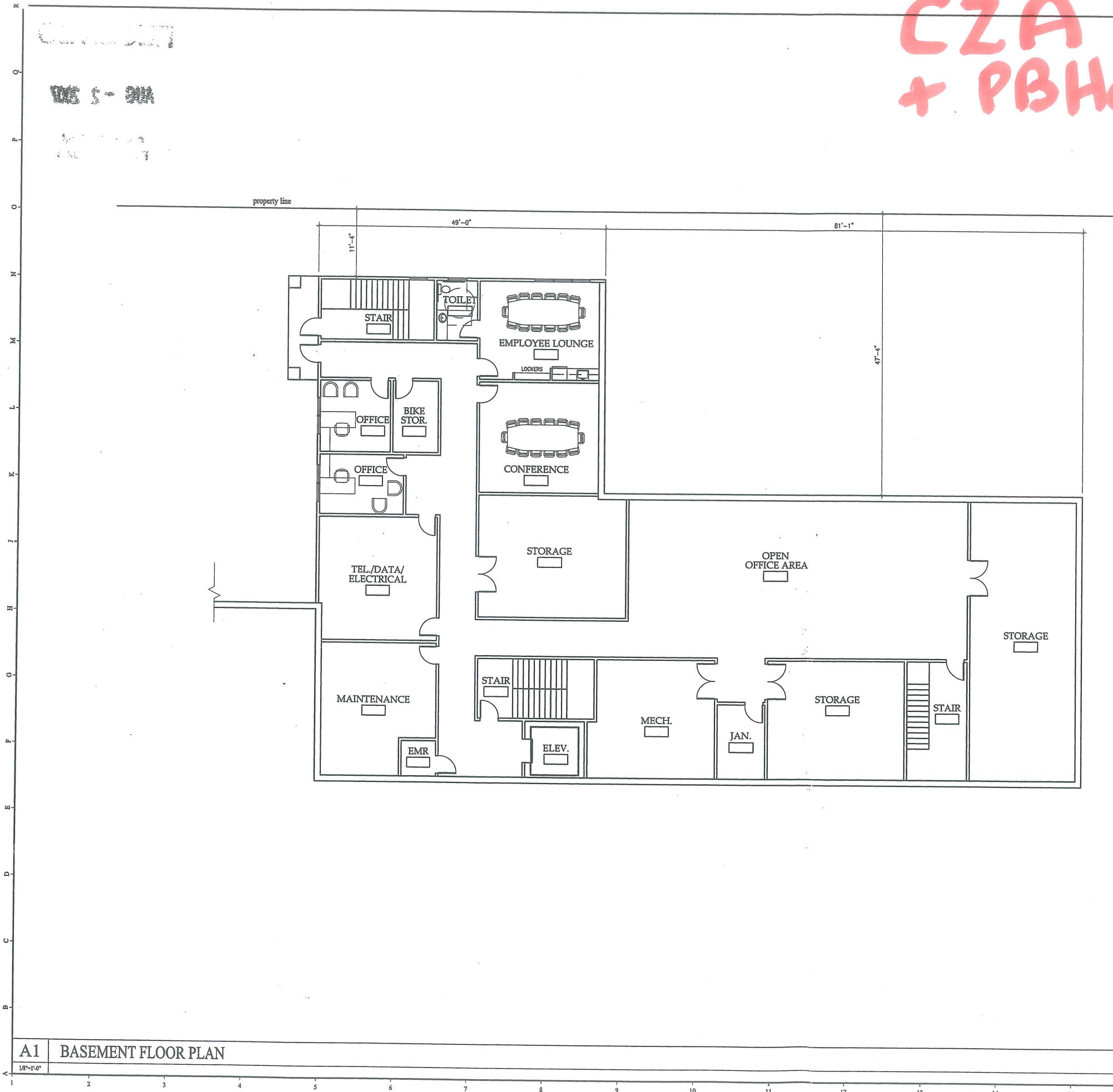
Title:
CROSS SECTION
THROUGH SITE

Scale: 1"=10'

North:

Sheet No.: **A**

CZA Attachments + PB Hearing Plans



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| # | DATE | DESCRIPTION |
| 1 | 4.03.07 | CONTRACT ZONE SUBMISSION |
| 2 | 5.01.07 | CONTRACT ZONE SUBMISSION |
| 3 | 7.10.07 | CONTRACT ZONE SUBMISSION |

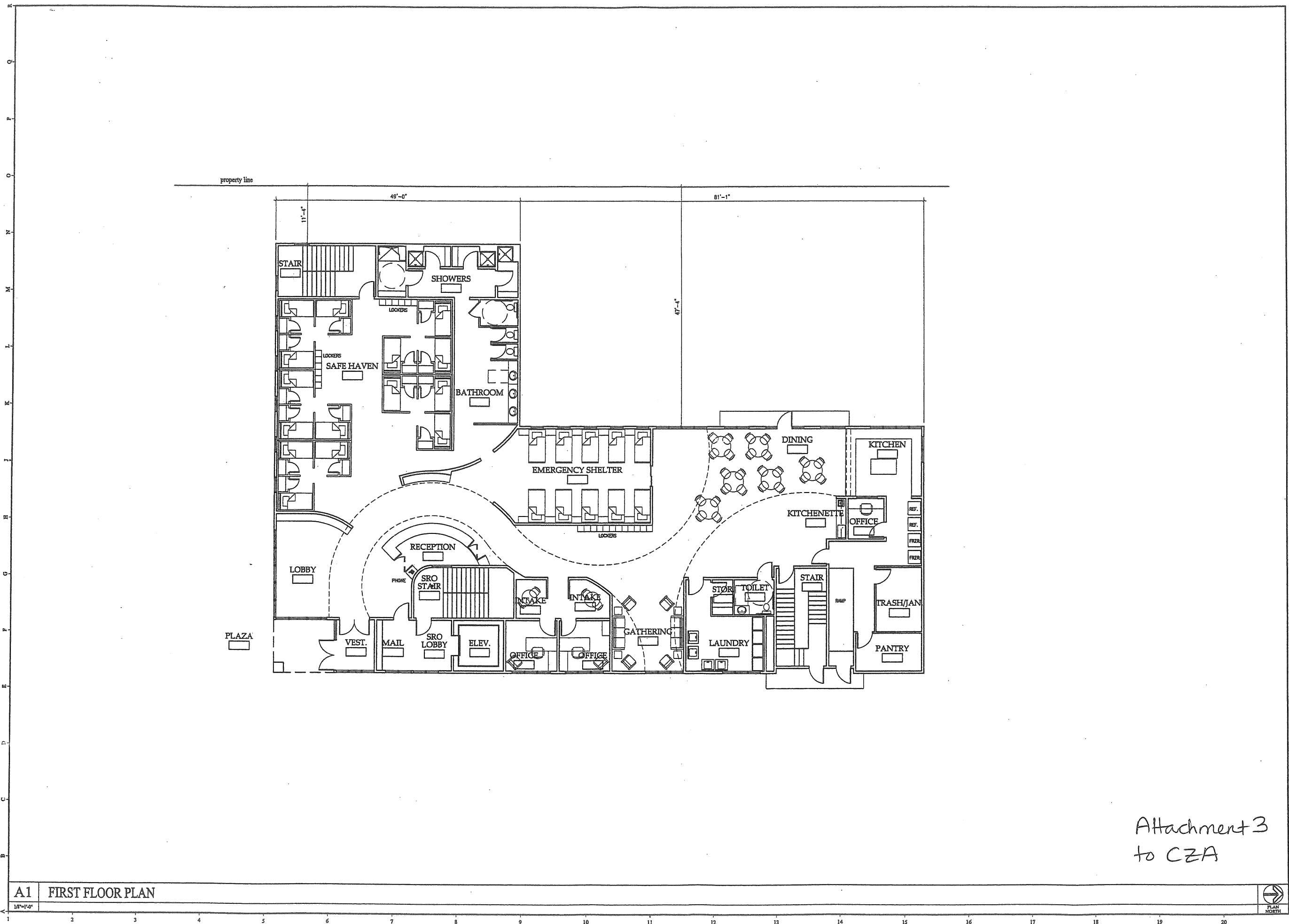
| | |
|---------------|------------|
| DATE: | 7.10.07 |
| PROJECT # | 100405 |
| DRAWN BY: | RLD |
| CHECKED BY: | SWG |
| DRAWING SCALE | 1/8"=1'-0" |

SHEET TITLE
 BASEMENT FLOOR PLAN

A 100

Attachment 2
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A1 BASEMENT FLOOR PLAN



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| # | DATE | DESCRIPTION |
|---|---------|--------------------------|
| 1 | 4.10.07 | CONTRACT ZONE SUBMISSION |
| 2 | 5.14.07 | CONTRACT ZONE PERMISSION |
| 3 | 7.10.07 | CONTRACT ZONE SUBMISSION |

| | |
|---------------|--------------|
| DATE: | 7.10.07 |
| PROJECT # | 100405 |
| DRAWN BY: | RLD |
| CHECKED BY: | SWG |
| DRAWING SCALE | 1/8" = 1'-0" |

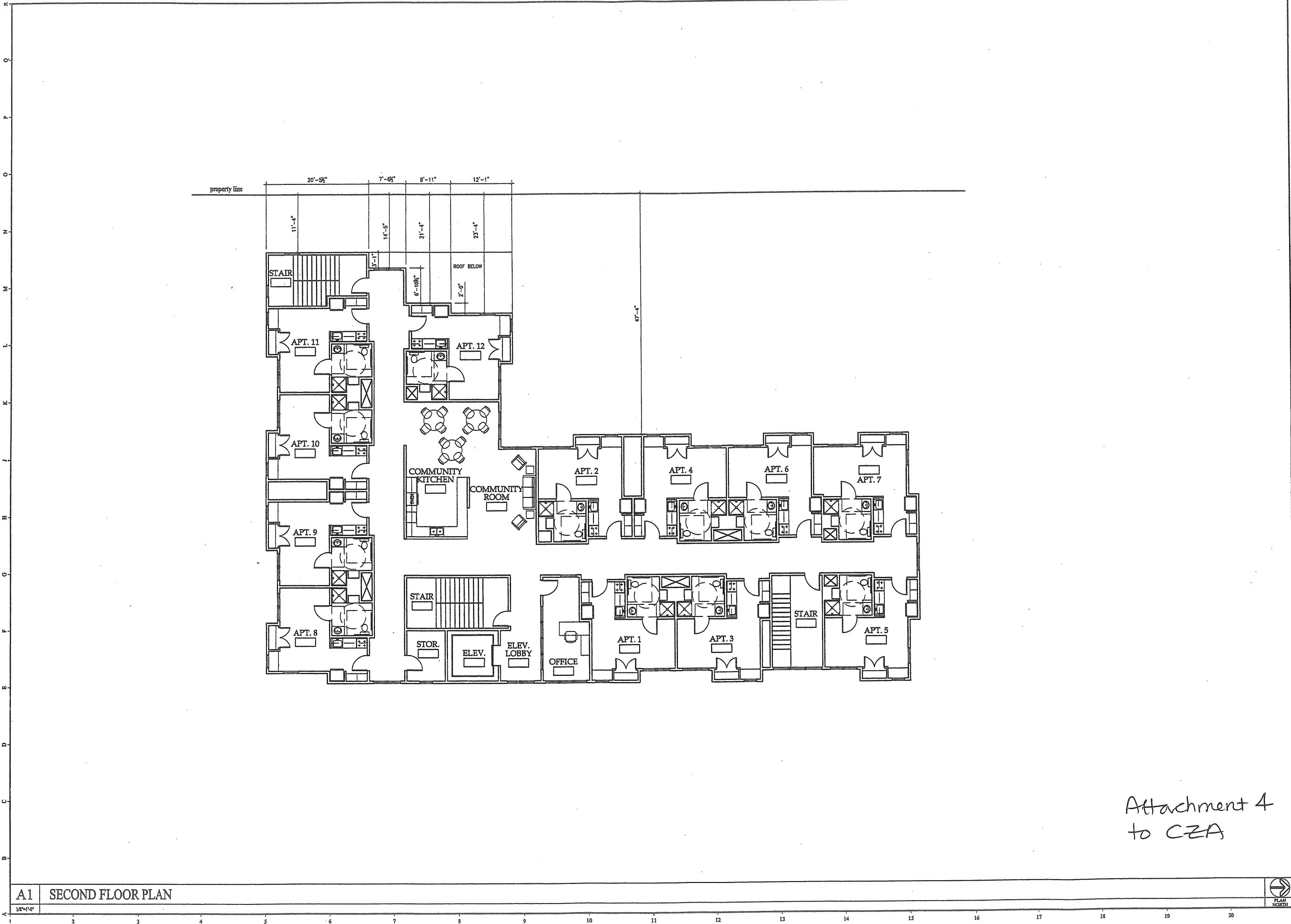
SHEET TITLE
 FIRST FLOOR PLAN

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A1 FIRST FLOOR PLAN



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|-----------|----------------------------------|
| # | DATE DESCRIPTION |
| 1 | 4.21.07 CONTRACT ZONE SUBMISSION |
| 2 | 5.01.07 CONTRACT ZONE SUBMISSION |
| 3 | 7.18.07 CONTRACT ZONE SUBMISSION |

| | |
|---------------|--------------|
| DATE: | 7.10.07 |
| PROJECT # | 100405 |
| DRAWN BY: | RLD |
| CHECKED BY: | SWG |
| DRAWING SCALE | 1/8" = 1'-0" |

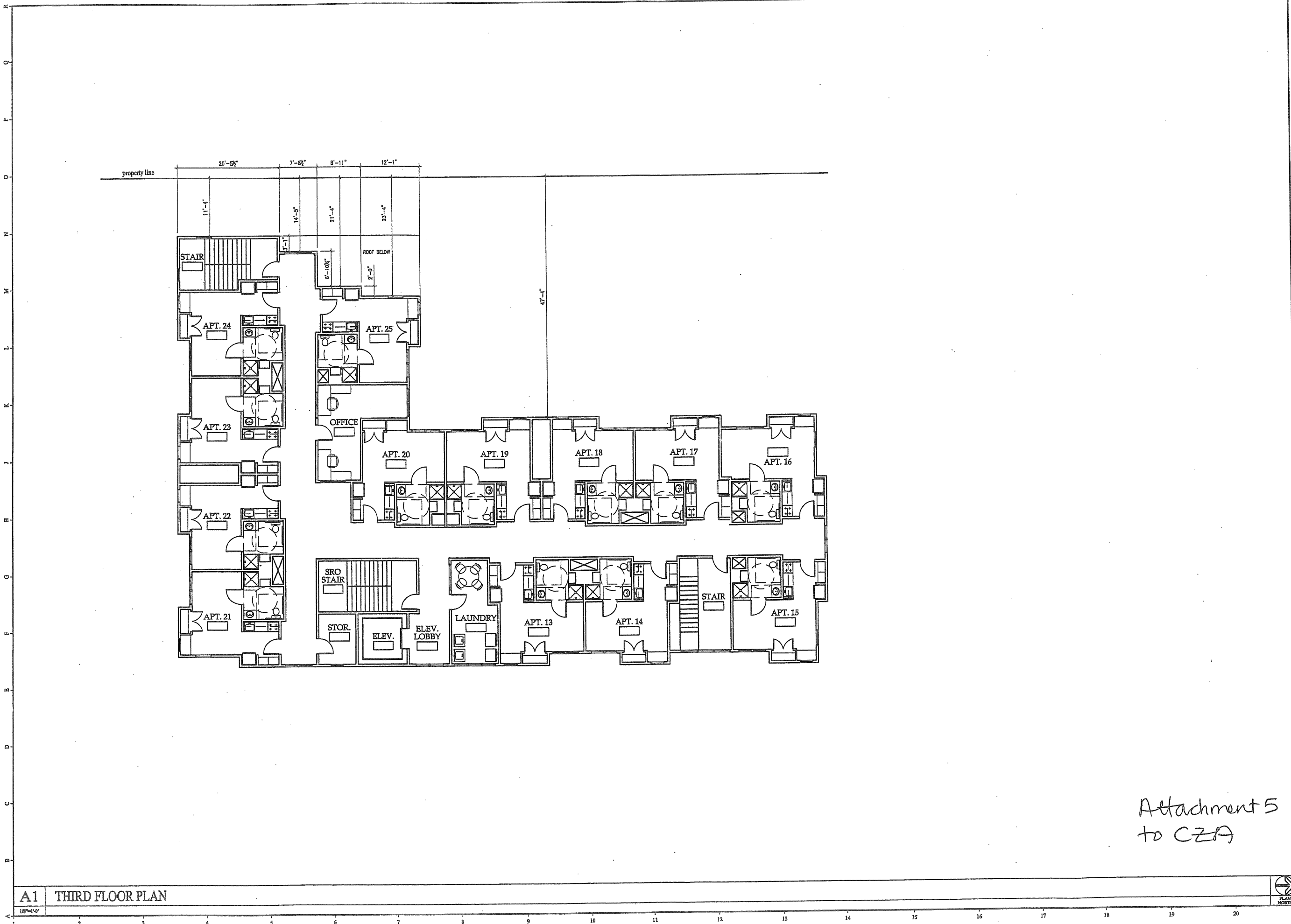
SHEET TITLE
 SECOND FLOOR PLAN

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A1 SECOND FLOOR PLAN

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|-----------|----------------------------------|
| # | DATE DESCRIPTION |
| 1 | 4.26.07 CONTRACT ZONE SUBMISSION |
| 2 | 5.21.07 CONTRACT ZONE SUBMISSION |
| 3 | 7.10.07 CONTRACT ZONE SUBMISSION |

| | |
|---------------|--------------|
| DATE: | 7.10.07 |
| PROJECT # | 100405 |
| DRAWN BY: | RLD |
| CHECKED BY: | SWG |
| DRAWING SCALE | 1/8" = 1'-0" |

SHEET TITLE

THIRD FLOOR PLAN

A 103

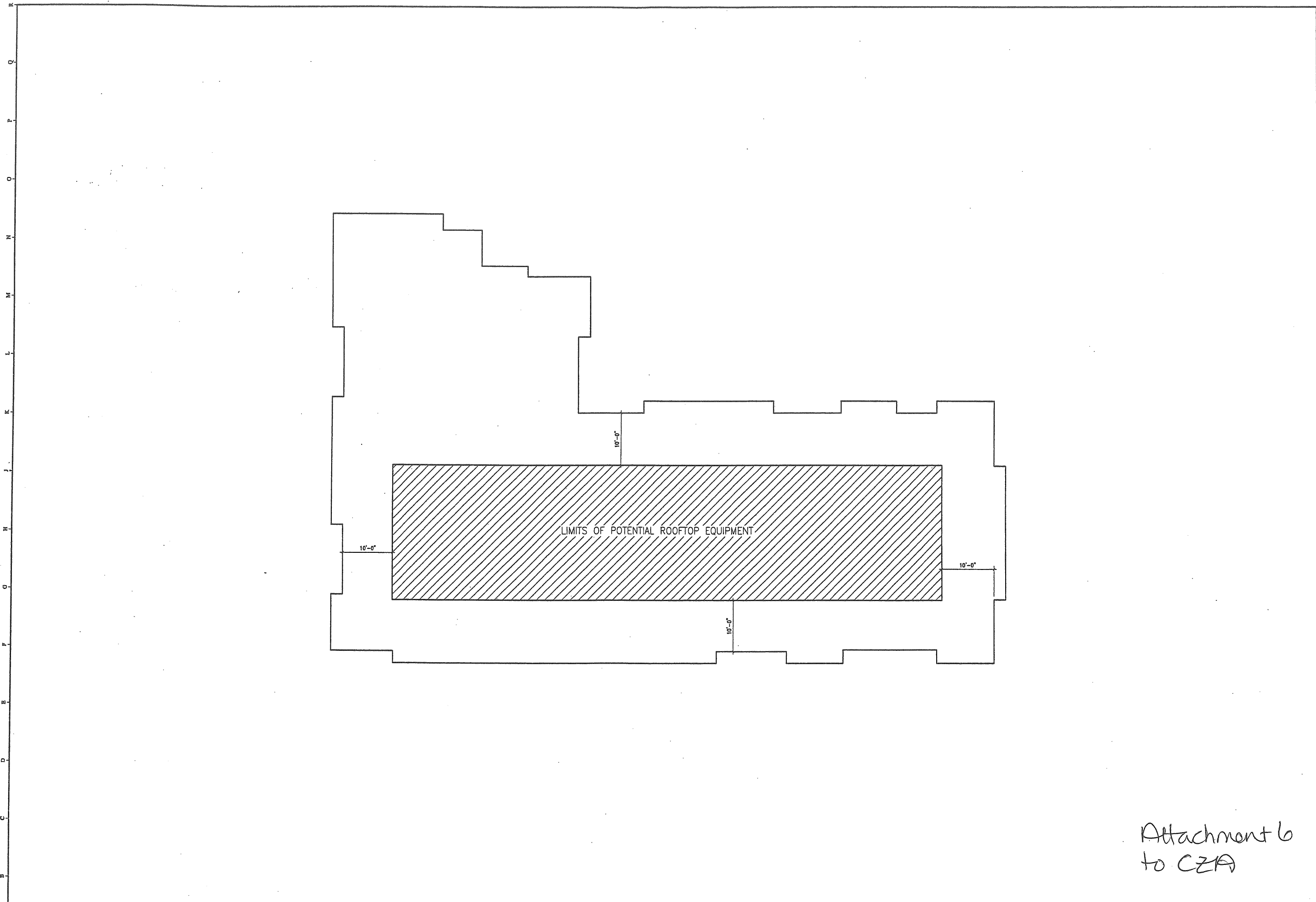
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A1 THIRD FLOOR PLAN

1/8"=1'-0" 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20





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|-----------|----------------------------------|
| # | DATE DESCRIPTION |
| 1 | 4.20.07 CONTRACT ZONE SUBMISSION |
| 2 | 5.21.07 CONTRACT ZONE SUBMISSION |
| 3 | 7.10.07 CONTRACT ZONE SUBMISSION |

| | |
|---------------|--------------|
| DATE: | 7.10.07 |
| PROJECT # | 100405 |
| DRAWN BY: | RLD |
| CHECKED BY: | SWG |
| DRAWING SCALE | 1/8" = 1'-0" |

SHEET TITLE
 ROOF PLAN

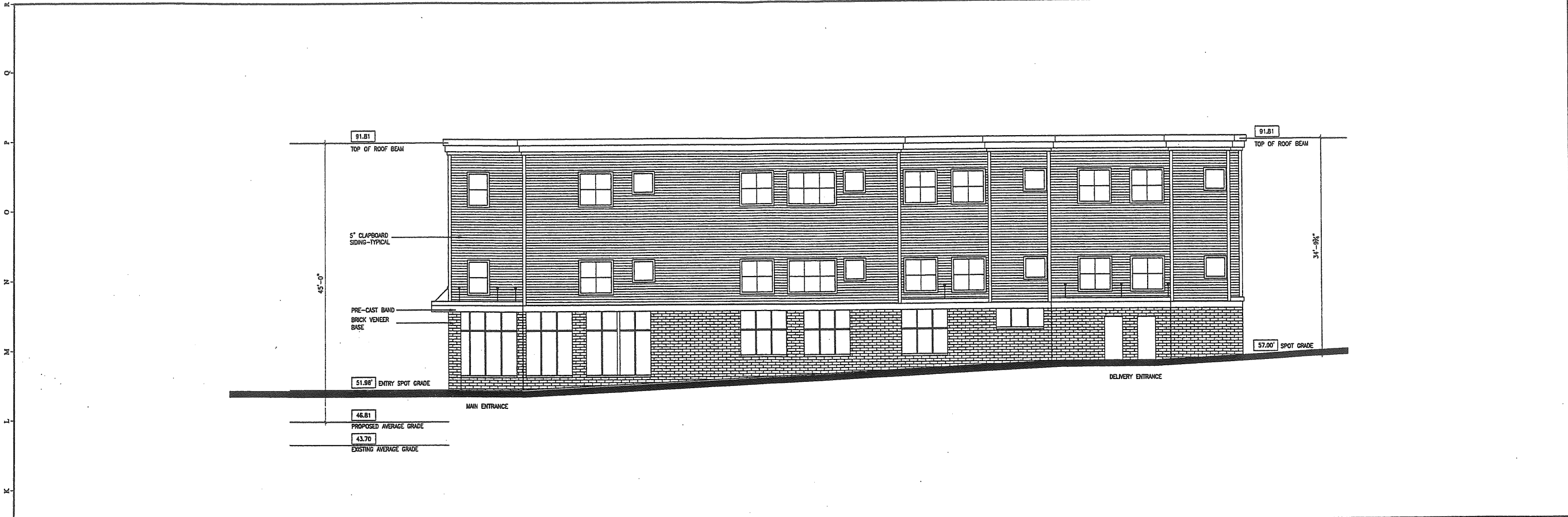
A 105

Attachment 6
 to CZA

A1 ROOF PLAN

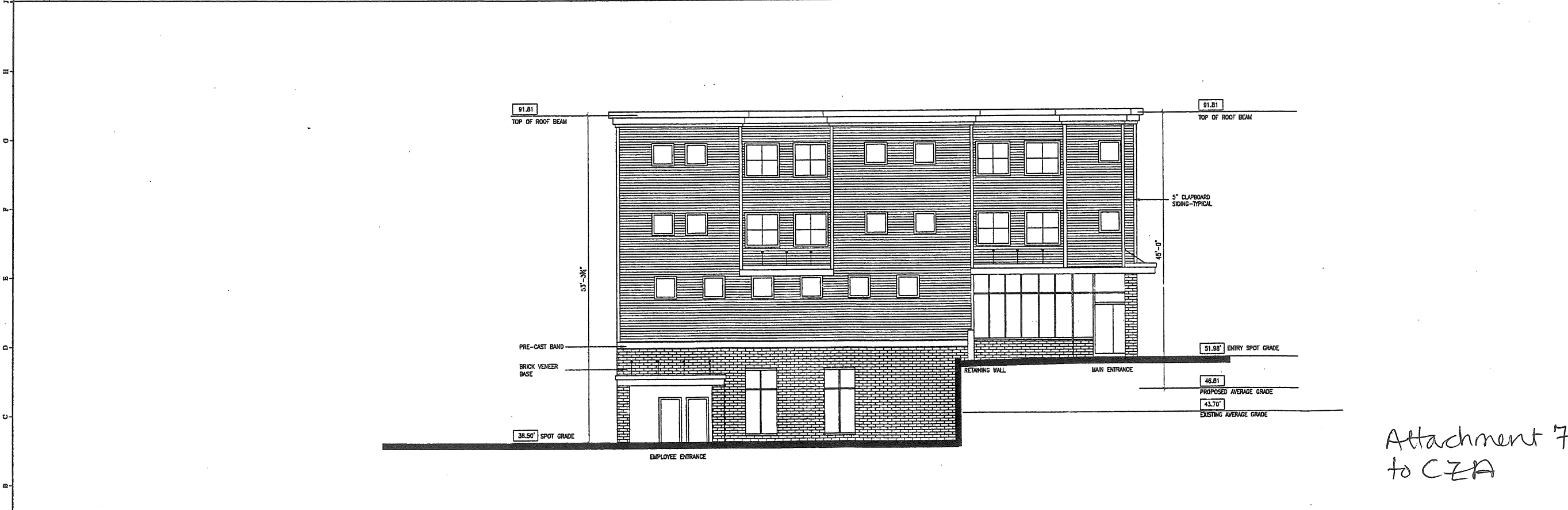


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J1 VALLEY STREET ELEVATION

1/8"=1'-0"



A1 LEFT SIDE ELEVATION

1/8"=1'-0"

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| # | DATE | DESCRIPTION |
| 1 | 4.23.07 | CONTRACT ZONE SUBMISSION |
| 2 | 5.01.07 | CONTRACT ZONE SUBMISSION |
| 3 | 7.10.07 | CONTRACT ZONE SUBMISSION |

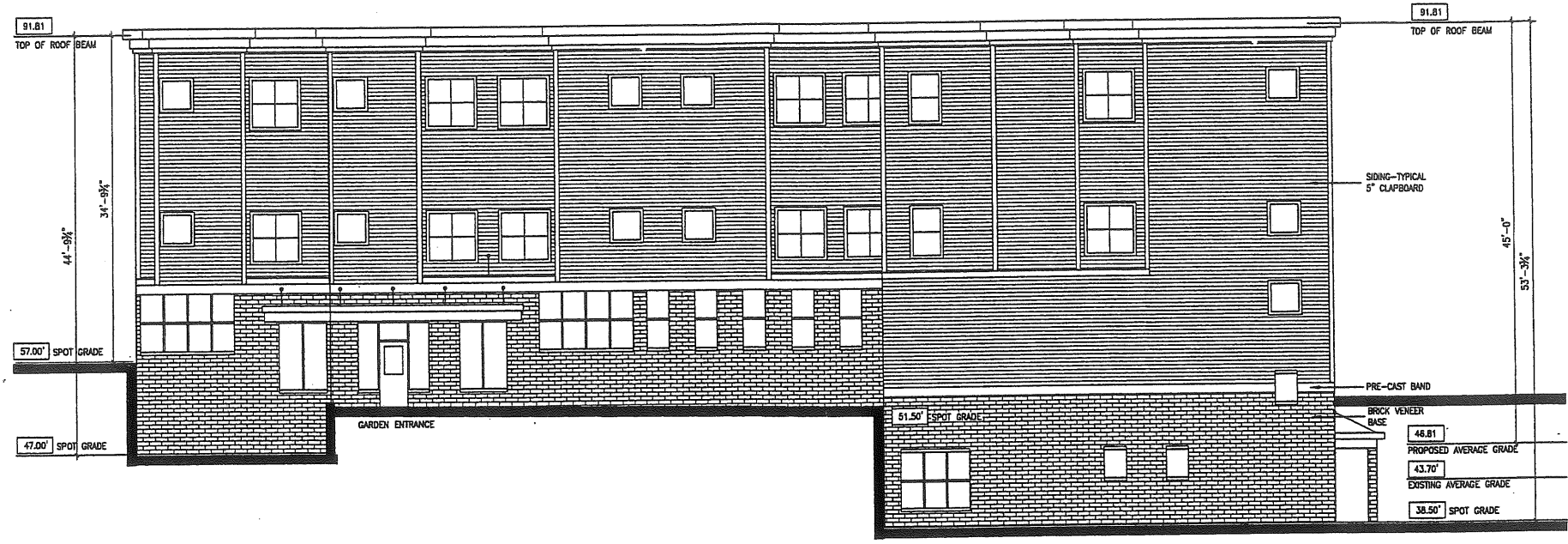
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| CHECKED BY: | SWG |
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SHEET TITLE
ELEVATIONS

A401

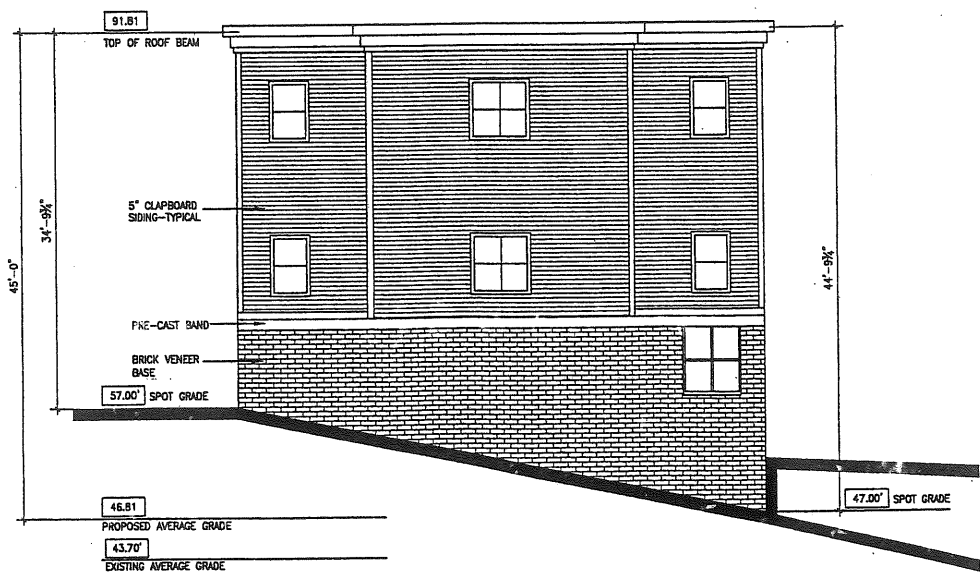
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J1 REAR ELEVATION

1/8"=1'-0"



A1 RIGHT SIDE ELEVATION

1/8"=1'-0"



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| # | DATE | DESCRIPTION |
| 1 | 4.28.07 | CONTRACT ZONE SUBMISSION |
| 2 | 5.21.07 | CONTRACT ZONE SUBMISSION |
| 3 | 7.10.07 | CONTRACT ZONE SUBMISSION |

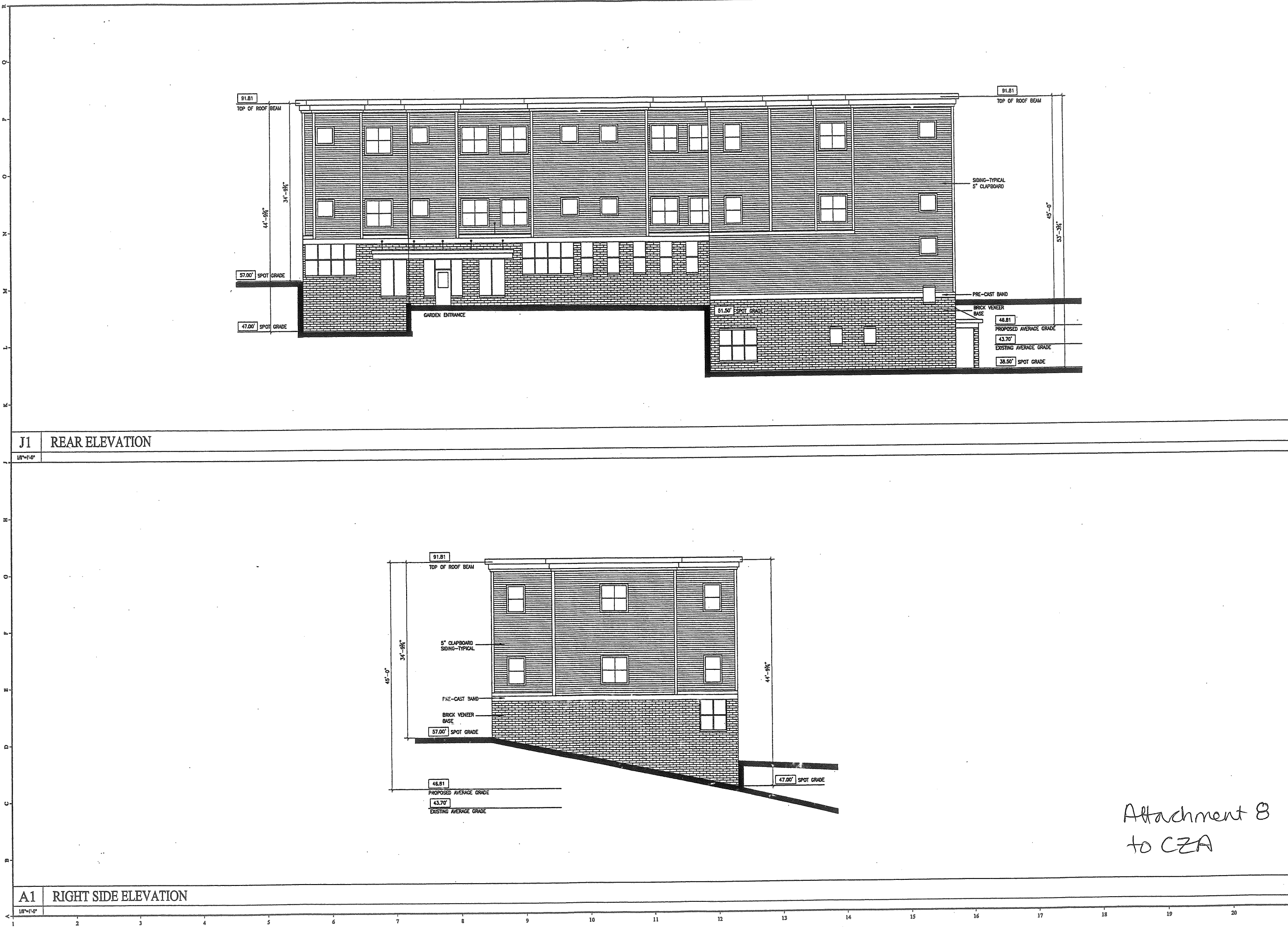
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SHEET TITLE
ELEVATIONS

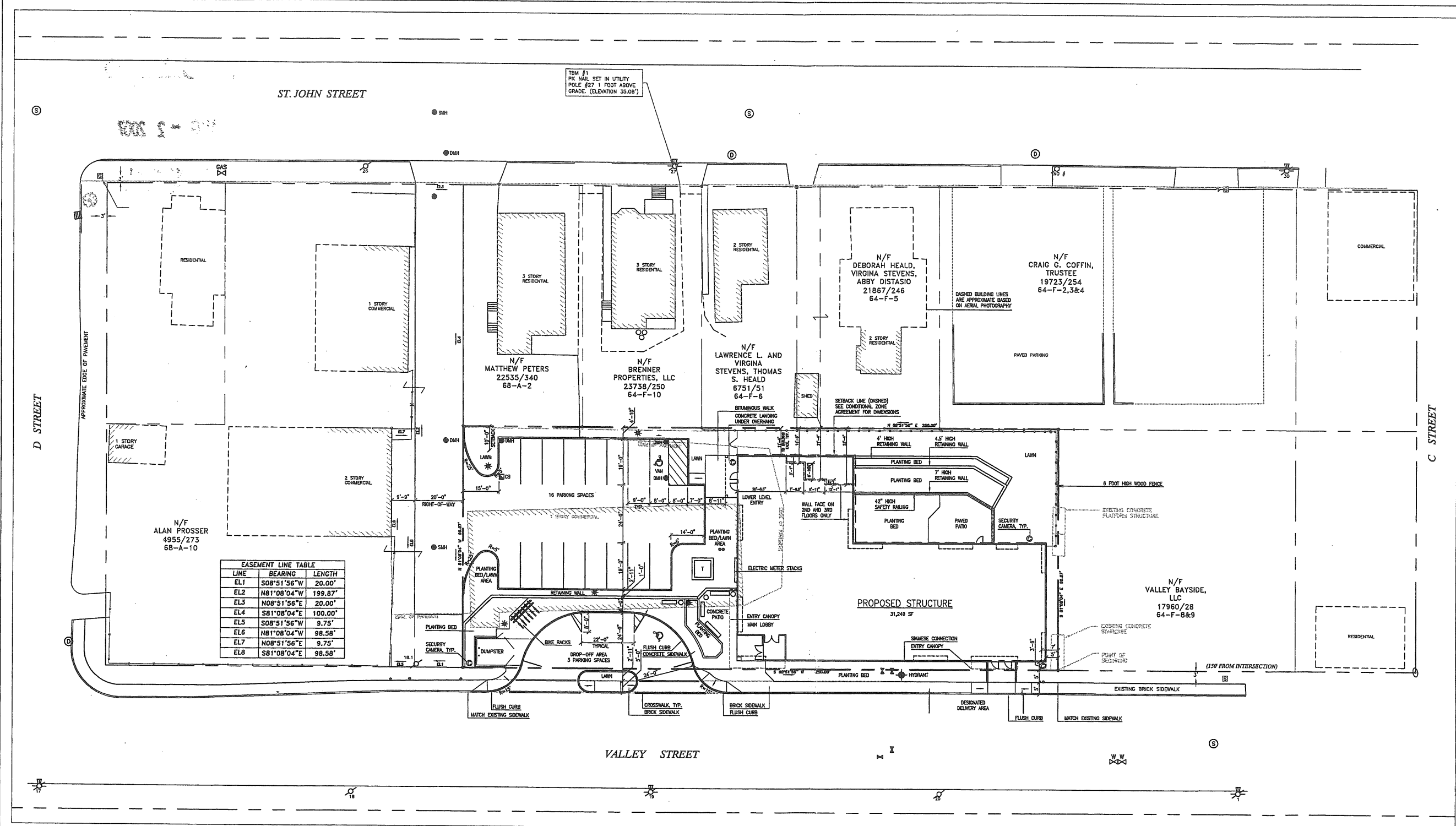
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Attachment 8
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I:\ProjectDrawings\Florence House - 1625-07\FlorenceHouse_07-07-11.dwg, Layout & Lighting, 7/31/2007 3:19:08 PM, \MITCHELLO2\HP LaserJet 5100 PS



EASEMENT LINE TABLE

| LINE | BEARING | LENGTH |
|------|-------------|---------|
| EL1 | S08°51'56"W | 20.00' |
| EL2 | N81°08'04"E | 199.87' |
| EL3 | N08°51'56"E | 20.00' |
| EL4 | S81°08'04"E | 100.00' |
| EL5 | S08°51'56"W | 9.75' |
| EL6 | N81°08'04"W | 98.58' |
| EL7 | N08°51'56"E | 9.75' |
| EL8 | S81°08'04"E | 98.58' |

LEGEND

| | EXISTING | PROPOSED | | EXISTING | PROPOSED |
|----------------|----------|----------|---------------------------|----------|----------|
| PROPERTY LINE | | | ELECTRIC TRANSFORMER | | |
| SETBACK LINE | | | WATER VALVE | | |
| MONUMENT FOUND | | | GAS VALVE | | |
| REBAR FOUND | | | UTILITY POLE | | |
| CATCH BASIN | | | UTILITY POLE WITH LIGHT | | |
| FIELD INLET | | | LIGHT POLE | | |
| SEWER MANHOLE | | | SECURITY CAMERA LOCATIONS | | |
| DRAIN MANHOLE | | | FENCE | | |

GENERAL NOTES

- TOTAL SITE AREA: 24,968 SF OR 0.57 ACRES
- ZONING DISTRICT: B-2. COMMUNITY BUSINESS ZONE
- SPACE AND BULK REQUIREMENTS: (SEE FINAL CONDITIONAL ZONE AGREEMENT FOR OFFICIAL CALCULATIONS)

| | B-2 ZONE | R-G ZONE | SITE PLAN |
|-----------------------------|-----------------|----------------------|----------------------------------|
| DENSITY: | NONE | NONE | 24,968 SF |
| MINIMUM FRONT SETBACK: | (SEE ORDINANCE) | (SEE ORDINANCE) | (SEE CONDITIONAL ZONE AGREEMENT) |
| MINIMUM REAR SETBACK: | 20 FEET | 10 FEET (3 STORIES) | 5 FEET |
| MINIMUM SIDE SETBACK: | N/A | 40Z (COVER 20 UNITS) | 33Z |
| MAXIMUM LOT COVERAGE: | 45 FEET | 45 FEET | 45 FEET |
| MAXIMUM BUILDING HEIGHT: | N/A | 30Z (COVER 20 UNITS) | 26Z |
| OPEN SPACE RATIO: | (SEE ORDINANCE) | (SEE ORDINANCE) | 19 SPACES |
| PARKING REQUIREMENTS: | 10,000 SF | 4,500 SF | N/A |
| MINIMUM LOT SIZE: | 50 FEET | 40 FEET | 250 FEET |
| MINIMUM STREET FRONTAGE: | NONE | 50 FEET | 250 FEET |
| MINIMUM LOT WIDTH: | BOZ | N/A | 74Z |
| MAXIMUM IMPERVIOUS SURFACE: | | | |
- OWNER OF PROPERTY: C+D ASSOCIATES, 195 REAR ST. JOHN STREET, PORTLAND, MAINE 04102
- OPTION TO PURCHASE: AVESTA HOUSING DEVELOPMENT CORP., 307 CUMBERLAND AVENUE, PORTLAND, MAINE 04101
- BUILDING SUMMARY:

| | |
|--------------------------------|-----------|
| BUILDING FOOTPRINT: | 8,138 SF |
| TOTAL BUILDING SQUARE FOOTAGE: | 31,249 SF |
| NUMBER OF STORIES: | 3 STORIES |
- BOUNDARY LINE AND TOPOGRAPHIC INFORMATION BASED ON SURVEY PREPARED BY NORTHEAST CIVIL SOLUTIONS, FROM PLANS DATED JANUARY 31, 2007.
- BENCHMARK IS PK NAIL SET IN UTILITY POLE #27 ONE FOOT ABOVE GRADE ON THE EASTERN SIDE OF ST. JOHN STREET BETWEEN C STREET AT D STREET WITH AN ELEVATION OF 35.06'.
- ALL MATERIALS AND INSTALLATION DETAILS SHALL MEET M.D.O.T. AND/OR CITY OF PORTLAND STANDARD SPECIFICATIONS.
- BUILDING MOUNTED AND SITE POLE MOUNTED LIGHTING TO BE MANUFACTURED BY KIM LIGHTING. SITE POLE MOUNTED LIGHTING TO BE STS. SMALL STRUCTURAL, 175 WATT METAL HALIDE, WHITE (WH-P).
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND KEEPING STREETS CLEAN DURING CONSTRUCTION. A MAINTENANCE PLAN SHALL BE PREPARED AND APPROVED BY THE OWNERS REPRESENTATIVE.
- DIMENSIONS ARE FROM FACE OF CURB.
- SITE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL LIGHT POLE BASES (INCLUDING THE PUBLIC R.O.W.) AND TRENCHING FOR CONDUIT.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONDUIT FOR ELECTRIC SERVICE FOR POLE MOUNTED FIXTURES. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POLE MOUNTED LIGHT FIXTURES AND POLES.
- EXACT LOCATIONS OF SECURITY CAMERAS TO BE DETERMINED AT SITE PLAN REVIEW.

Prepared For:
Applicant:

AVESTA HOUSING
307 Cumberland Avenue
Portland, Maine 04101
Tel: (207) 553-7777

Prepared By:
MITCHELL & ASSOCIATES
Landscape Architects
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70 Center Street
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GP Gorrill-Palmer
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Tel: 207-857-8910
Fax: 207-857-8912

FLORENCE HOUSE
190 Valley Street
Portland, Maine

Date: APRIL 2, 2007

Issued For:
CONTRACT ZONE AND
SITE PLAN REVIEW

Revisions:
April 10, 2007 - Per Staff Comment
May 22, 2007 - Per Staff Comment
June 21, 2007 - Per Staff Comment
July 10, 2007 - Per Staff Comment
July 31, 2007 - Per CZA

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Title:
**LAYOUT &
LIGHTING PLAN**

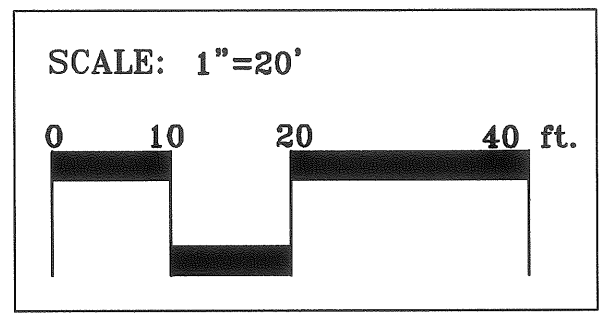
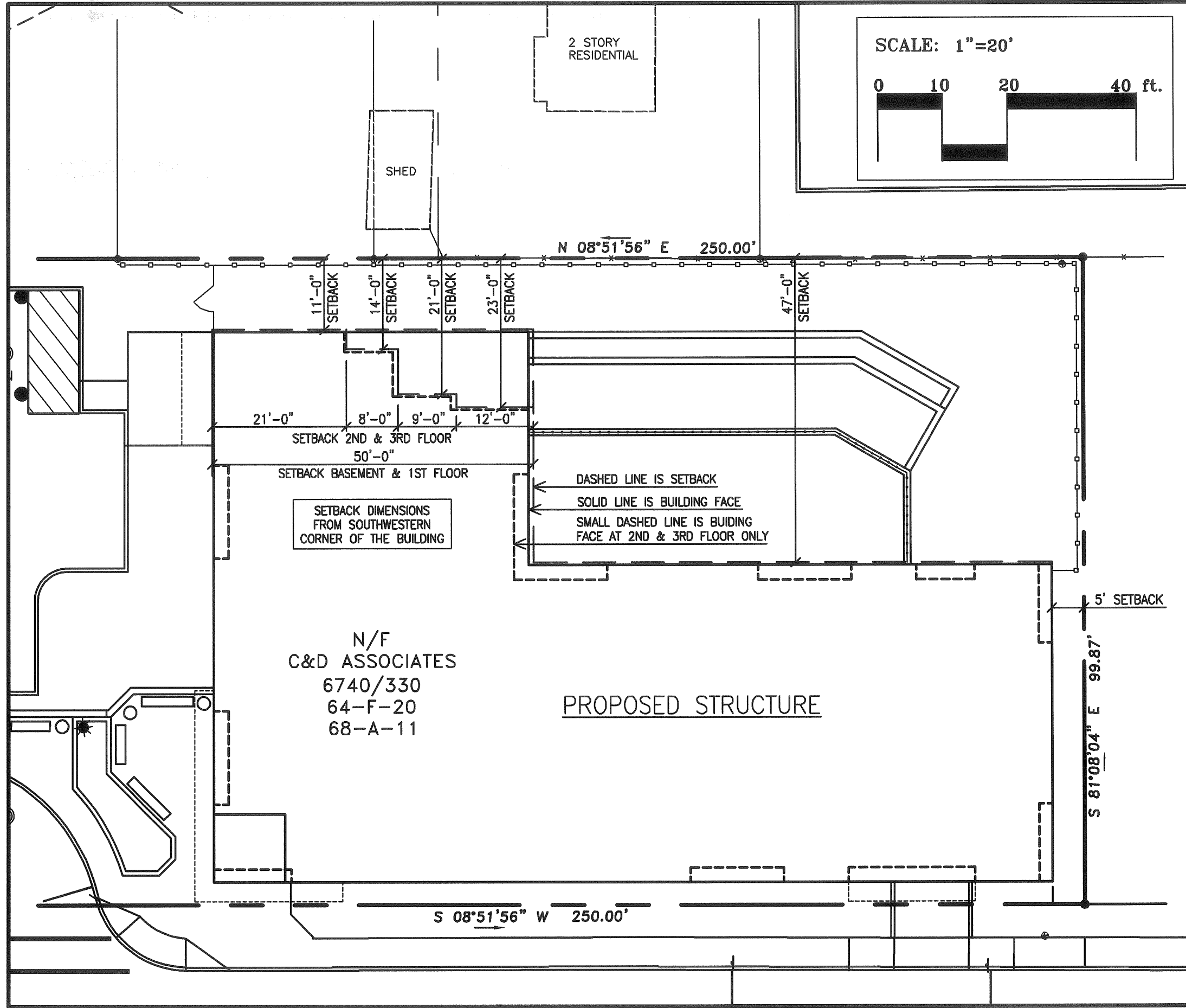
Scale: 1"=20'


North:

Sheet No:
2

Attachment 9 to CZA

I:\ProjectDrawings2\Florence House - 1635-07\FlorenceHouse_SetbackExhibit.dwg, Layout & Lighting, 7/31/2007 11:18:56 AM, PDF995



North: 

| | |
|-------------------------|---------------|
| Title: SETBACK EXHIBIT | |
| Date: JULY 31, 2007 | Scale: 1"=20' |
| Project: FLORENCE HOUSE | |

Mitchell & Associates
 Landscape Architects
 70 Center Street
 Portland, Maine 04101
 (207) 774-4427

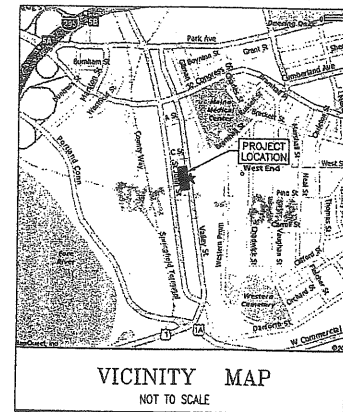
SETBACK DIMENSIONS FROM SOUTHWESTERN CORNER OF THE BUILDING

DASHED LINE IS SETBACK
 SOLID LINE IS BUILDING FACE
 SMALL DASHED LINE IS BUILDING FACE AT 2ND & 3RD FLOOR ONLY

N/F
 C&D ASSOCIATES
 6740/330
 64-F-20
 68-A-11

PROPOSED STRUCTURE

Attachment 10 to CZA



NOTES CORRESPONDING TO SCHEDULE B

- 1. ITEM IS NOT A SURVEY MATTER.
2. ITEM IS NOT A SURVEY MATTER.
3. ITEM IS NOT A SURVEY MATTER.
4. ITEM IS NOT A SURVEY MATTER.
5. ANY EXCEPTION, RESERVATION, RESTRICTION, EASEMENT OR CONDITION SET OUT IN THE ATTACHED EXHIBIT "A"...

STATEMENT OF ENCROACHMENTS

- 1. A CONCRETE PLATFORM STRUCTURE AND A CONCRETE STAIRWAY (ABANDONED) ENCROACH ON THE NORTHERLY PROPERTY LINE AS SHOWN ON THE PLAN.
2. THE OVERHEAD UTILITIES CROSS THE PROPERTY OF OTHERS WITHOUT BENEFIT OF AN EASEMENT. SEE NOTE 8.c.

LEGAL DESCRIPTION

A CERTAIN LOT OR PARCEL OF LAND LOCATED ON THE WESTERLY SIDE OF VALLEY STREET, CITY OF PORTLAND, COUNTY OF CUMBERLAND, STATE OF MAINE, BEING MORE PARTICULARLY BOUND AND DESCRIBED AS FOLLOWS: BEGINNING AT A 5/8" REBAR ON THE WESTERLY RIGHT-OF-WAY LINE OF SAID VALLEY STREET...

ALTA/ACSM CERTIFICATION

THIS IS TO CERTIFY TO MAINE STATE HOUSING AUTHORITY, FIRST AMERICAN TITLE INSURANCE COMPANY, AVESTA HOUSING DEVELOPMENT CORPORATION AND CAD ASSOCIATES, AND THE SUCCESSORS AND ASSIGNS OF EACH, THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS"...

LEGEND

- #5 REBAR WITH PLASTIC CAP STAMPED
#10S, INC. PLS 1314" SET ON MARCH 1, 2007
FOUND IRON PIPE (SIZE & TYPE AS NOTED)
FOUND MONUMENT (SIZE & TYPE AS NOTED)
FOUND DRILL HOLE
FOUND RAILROAD SPIKE
FOUND IRON ROD
FOUND CAPPED IRON ROD (NUMBER AS NOTED)
FOUND PK NAIL
UTILITY POLE (NUMBER AS NOTED)
FOUND DECIDUOUS TREE (SIZE & TYPE AS NOTED)
ITEMS FROM SCHEDULE B
TREE LINE (APPROXIMATE)
STONEWALL
BOUNDARY LINE
EASEMENT LINE
EDGE OF GRAVEL
EDGE OF PAVEMENT
RIGHT-OF-WAY LINE
ABUTTER LINE
OVERHEAD UTILITY
NOW OR FORMERLY OWNED BY
DEED BOOK AND PAGE (CORD)
TAX MAP-BLOCK-LOT
PARENTHESIS DENOTE RECORD DATA

NOTES

- 1. THE BASIS OF BEARING FOR THIS SURVEY WAS TAKEN FROM THE PLAN REFERENCED IN NOTE 4.a. BELOW. SAID BEARING IS MAGNETIC 2005.
2. DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
3. RECORD OWNERSHIP OF THE PARCEL SURVEYED CAN BE FOUND IN A DEED FROM PETER HOLMES TO C & D ASSOCIATES DATED APRIL 23, 1986 AND RECORDED IN DEED BOOK 6740, PAGE 330.
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
a. "CONDOMINIUM PLAN OF 205 ST. JOHN STREET, PORTLAND, MAINE" BY NORTHEAST CIVIL SOLUTIONS, INC. DATED JUNE 30, 2005, (UNRECORDED).
b. "PLAN OF LANDS ON ST. JOHN STREET" BY WILLIAM A. GOODWIN, CITY CIVIL ENGINEER, DATED JULY, 1978 AND RECORDED IN PLAN BOOK 4, PAGE 21.
5. THE PARCEL SURVEYED IS IDENTIFIED ON THE CITY OF PORTLAND ASSESSOR'S MAP 64, BLOCK F, PARCEL 20 AND MAP 68, BLOCK A, PARCEL 11.
6. THE PARCEL SURVEYED IS LOCATED IN THE B2 ZONE. PORTIONS OF BULK AND SPACE REQUIREMENTS ARE AS FOLLOWS:
MINIMUM LOT SIZE = 10,000 S.F.
MINIMUM FRONTAGE = 50'
FRONT = 0'
SIDES = 0'
REAR = 10'
7. THE WIDTH AND LAYOUT OF VALLEY STREET, ST. JOHN STREET, C STREET & D STREET ARE BASED ON CITY OF PORTLAND PUBLIC WORKS RECORDS. SAID WIDTHS OF ALL THESE STREETS ARE 60'.
8. REFERENCE IS MADE TO THE FOLLOWING EASEMENTS OF RECORD:
a. "A 20' WIDE ACCESS RIGHT-OF-WAY" FOR THE BENEFIT OF THE SUBJECT PARCEL OVER MAP 68, BLOCK-A, PARCEL 10 AS RECORDED IN DEED BOOK 4323, PAGE 133.
b. "A 9.75' WIDE RIGHT-OF-WAY" FOR THE BENEFIT OF THE SUBJECT PARCEL OVER MAP 68, BLOCK-A, PARCEL 10 AS RECORDED IN DEED BOOK 12746, PAGE 149.
c. "EASEMENT TO CENTRAL MAINE POWER CO. FOR INSTALL AND MAINTENANCE OF POWER LINES FROM POLE 18 TO POLE 18.1" AS RECORDED IN DEED BOOK 4932, PAGE 312.
9. THIS SURVEY WAS CONDUCTED WITH 6 INCHES OF SNOW AND ICE.
10. ELEVATIONS AND CONTOURS ARE BASED ON NGVD 1929 DATUM TAKEN FROM THE BRASS CAP CALLED FOR AS RM-34 ON FIRM PANEL 230051 0013 B. SEE PLAN FOR TBM DESCRIPTION.
11. UNDERGROUND GAS AND WATER LINE LOCATIONS ON ST. JOHN STREET WERE TAKEN FROM CITY OF PORTLAND PUBLIC WORKS RECORDS FROM 1986. OVERHEAD UTILITY LINES WERE FIELD LOCATED. SEWER AND DRAIN LINES AND INVERTS WERE FIELD LOCATED AS WELL. ALL UTILITY LOCATIONS SHALL BE CONSIDERED APPROXIMATE. CALL DIG SAFE AT 1-888-344-7233 PRIOR TO CONSTRUCTION OR EXCAVATION.

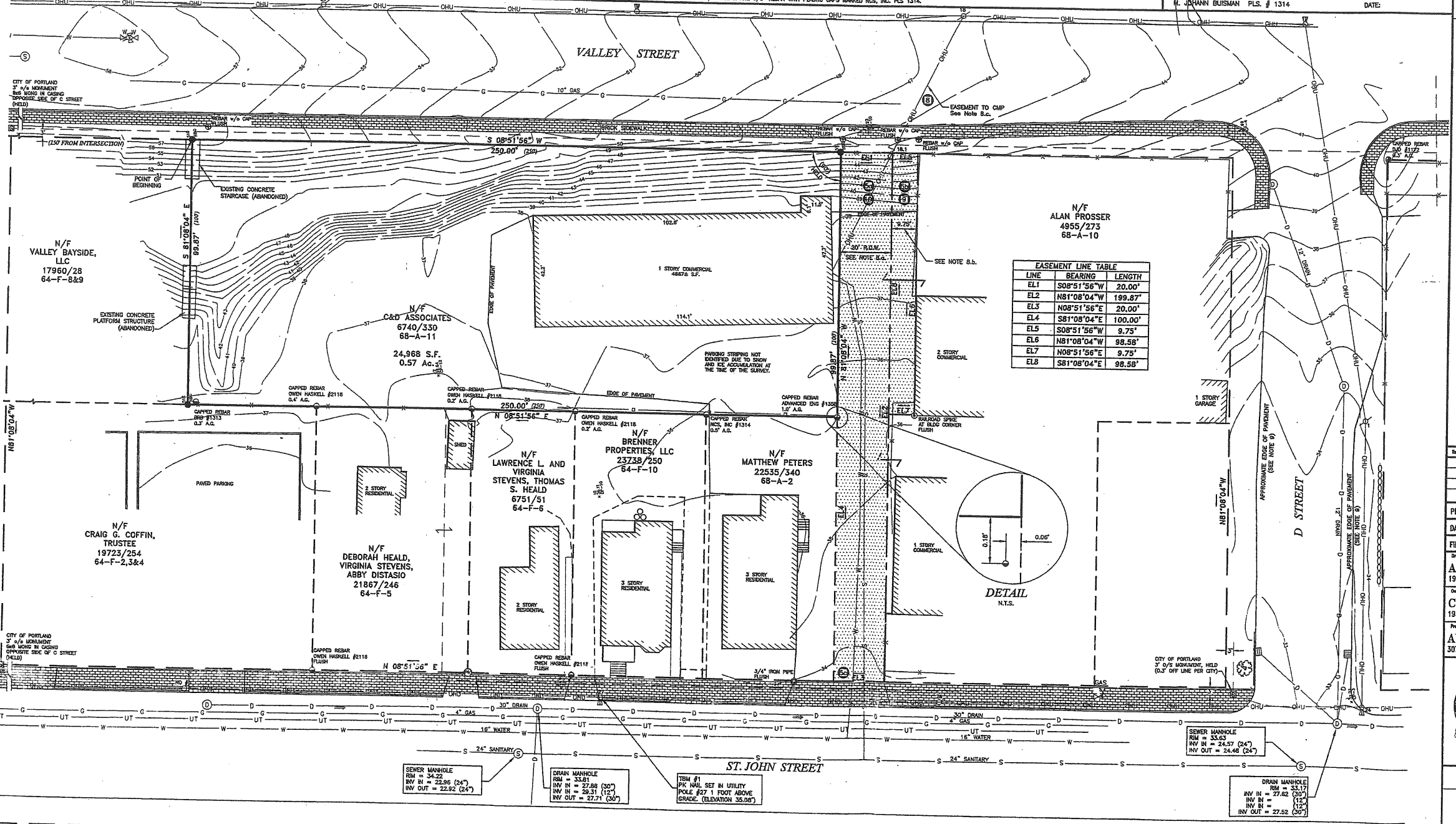


Table with columns: Description, Date, By, For. Includes project information: PROJECT: 29745, DATE: JULY 12, 2007, FIELD BY: JAP / SSB, DRAWING NAME: 29745.DWG, SCALE: 1" = 20', DRAWN BY: JAP.

ALTA/ACSM LAND TITLE SURVEY

198 VALLEY STREET, PORTLAND, MAINE

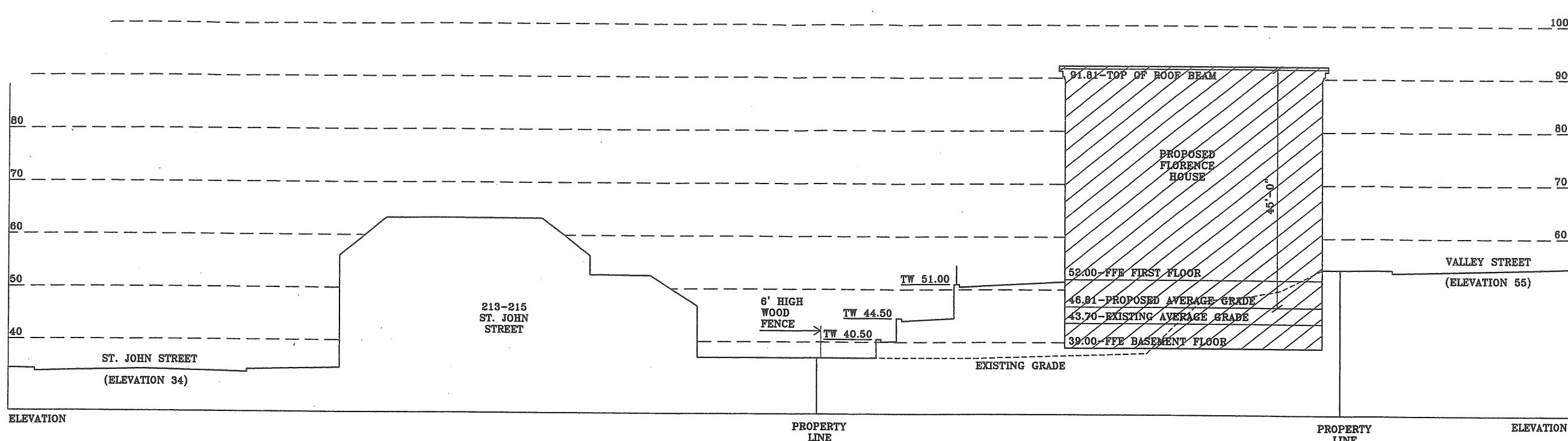
C & D ASSOCIATES
195-REAR ST. JOHN STREET, PORTLAND, MAINE 04101

AVESTA HOUSING
307 CUMBERLAND AVENUE, PORTLAND, MAINE 04101

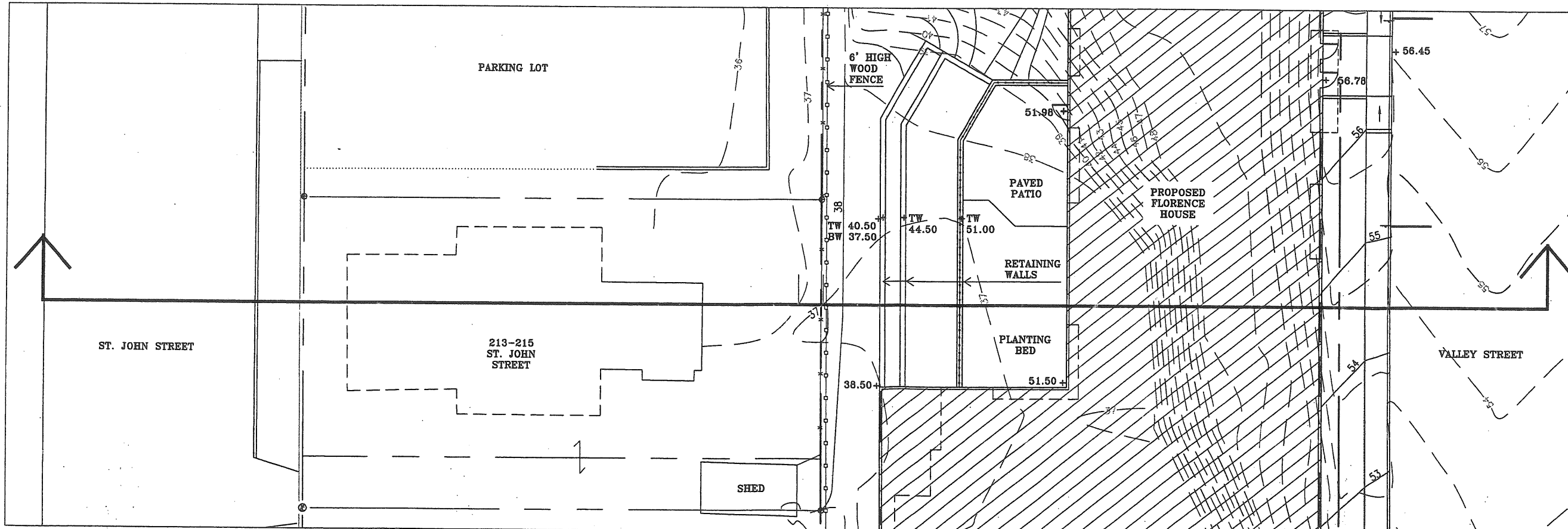
Northeast Civil Solutions logo and contact information: 153 US ROUTE 1, SCARBOROUGH, MAINE 04074. Phone: 207.883.1000, Fax: 207.883.1001, Email: info@northeastcivilsolutions.com

STAMP AND SIGNATURE

Signature of M. Johann Buisman, dated 7/12/2007. Includes text: 'IF THIS PLAN DOES NOT CONTAIN AN EMBOSSED SEAL, IT IS NOT AN ORIGINAL AND MAY BE VOID.' and 'EMBOSSED SEAL ABOVE'.



CROSS SECTION THROUGH SITE - LOOKING NORTH



PLAN OF CROSS SECTION LOCATION

Prepared For:
Applicant:

307 Cumberland Avenue
Portland, Maine 04101
Tel: (207) 553-7777

Prepared By:
MITCHELL & ASSOCIATES
Landscape Architects
The Staples School
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Consulting Engineers, Inc.
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Orono, ME 04469 FAX: 207-857-8812

FLORENCE HOUSE
 190 Valley Street
 Portland, Maine

Date: JULY 10, 2007

Issued For:
CONTRACT ZONE AND
SITE PLAN REVIEW

Revisions:

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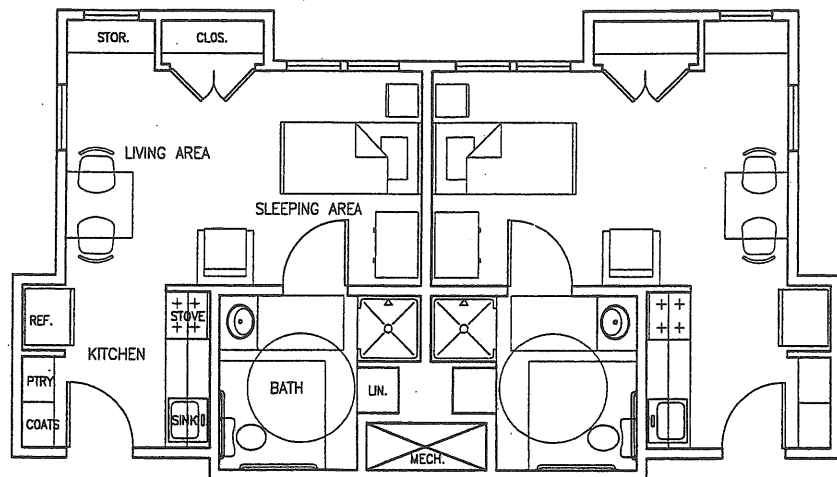
Title:
CROSS SECTION
THROUGH SITE

Scale: 1"=10'

North:

Sheet No:
A

R
Q
P
O
N
M
L
K
J
I
H
G
F
E
D
C
B



**GAWRON
TURGEON
ARCHITECTS**
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Scarborough, ME 04074
www.gawronturgeon.com
Tel. 207 . 883 . 6307
Fax. 207 . 883 . 0361



FLORENCE HOUSE
PORTLAND, MAINE



| REVISIONS | | |
|-----------|---------|--------------------------|
| # | DATE | DESCRIPTION |
| 1 | 4.8.07 | CONTRACT ZONE SUBMISSION |
| 2 | 5.6.07 | CONTRACT ZONE SUBMISSION |
| 3 | 7.10.07 | CONTRACT ZONE SUBMISSION |

| | |
|---------------|--------------|
| DATE: | 7.10.07 |
| PROJECT # | 100405 |
| DRAWN BY: | RLD |
| CHECKED BY: | SWG |
| DRAWING SCALE | 1/4" = 1'-0" |

SHEET TITLE
TYPICAL UNIT PLANS

A 104

NOTES

1. THE BASIS OF BEARING FOR THIS SURVEY WAS TAKEN FROM THE PLAN REFERENCED IN NOTE 4.A. BELOW. SAID BEARING IS MAGNETIC. 2005.
2. DEED AND PLAN BOOK REFERENCES ARE TO THE CLERKLAND COUNTY REGISTRY OF DEEDS.
3. RECORDED INSTRUMENTS OF THE PARCEL SURVEYED CAN BE FOUND IN A DEED FROM FETTER HOLMES TO C + D ASSOCIATES DATED APRIL 23, 1985 AND RECORDED IN DEED BOOK 6740, PAGE 330.
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
 - A. "CONDORMAN PLAN OF 203 ST. JOHN STREET, PORTLAND, MAINE" BY NORTHEAST CIVIL SOLUTIONS, INC. DATED JUNE 30, 2005. (UNRECORDED)
 - B. "PLAN OF LANDS ON ST. JOHN STREET BY WILLIAM A. GOODWIN, CIVIL ENGINEER, DATED JULY, 1879 AND RECORDED IN PLAN BOOK 4, PAGE 21.
5. THE PARCEL SURVEYED IS IDENTIFIED ON THE CITY OF PORTLAND 4555508'S MAP 64, BLOCK F, PARCEL 20 AND MAP 68, BLOCK A, PARCEL 11.
6. THE PARCEL SURVEYED IS LOCATED IN THE B2 ZONE. PORTIONS OF BULK AND SPACE REQUIREMENTS ARE AS FOLLOWS:
 - MINIMUM LOT SIZE = 10,000 S.F.
 - FRONT SETBACK = 0 FEET
 - REAR SETBACK = 10 FEET
7. THE WIDTH AND LAYOUT OF VALLEY STREET, ST. JOHN STREET, C STREET + D STREET ARE BASED ON CITY OF PORTLAND PUBLIC WORKS RECORDS. SAID WIDTHS OF ALL THESE STREETS ARE 60 FEET.
8. REFERENCE IS MADE TO THE FOLLOWING EASEMENTS OF RECORD:
 - A. "A 20' WIDE ACCESS RIGHT-OF-WAY" FOR THE BENEFIT OF THE SUBJECT PARCEL OVER MAP 68, BLOCK A.
 - B. "A 4.75' WIDE RIGHT-OF-WAY" FOR THE BENEFIT OF THE SUBJECT PARCEL OVER MAP 68, BLOCK A, PARCEL 10 AS RECORDED IN DEED BOOK 12746, PAGE 144.
9. THIS SURVEY WAS CONDUCTED WITH 6 INCHES OF SNOW AND ICE.
10. ELEVATIONS AND CONTOURS ARE BASED ON NGVD 1929 DATUM TAKEN FROM THE DISK CALLED FOR AS RM-34 ON FRM PANEL 230091 0013 B. SEE PLAN FOR TBH DESCRIPTION.
11. UNDERGROUND GAS AND WATER LINE LOCATIONS ON ST. JOHN STREET WERE TAKEN FROM CITY OF PORTLAND PUBLIC WORKS RECORDS FROM 1988. VERMION LINES WERE FIELD LOCATED AS WELL. ALL UTILITY LOCATIONS SHALL BE CONSIDERED APPROXIMATE.

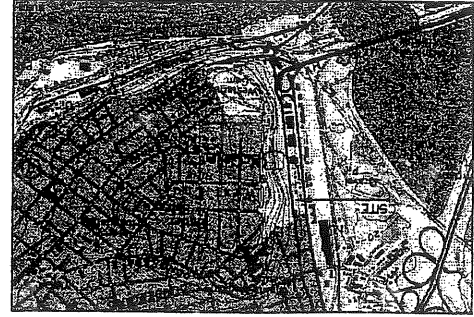
CERTIFICATION

NORTHEAST CIVIL SOLUTIONS, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON AND THE RESULT OF AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSEE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

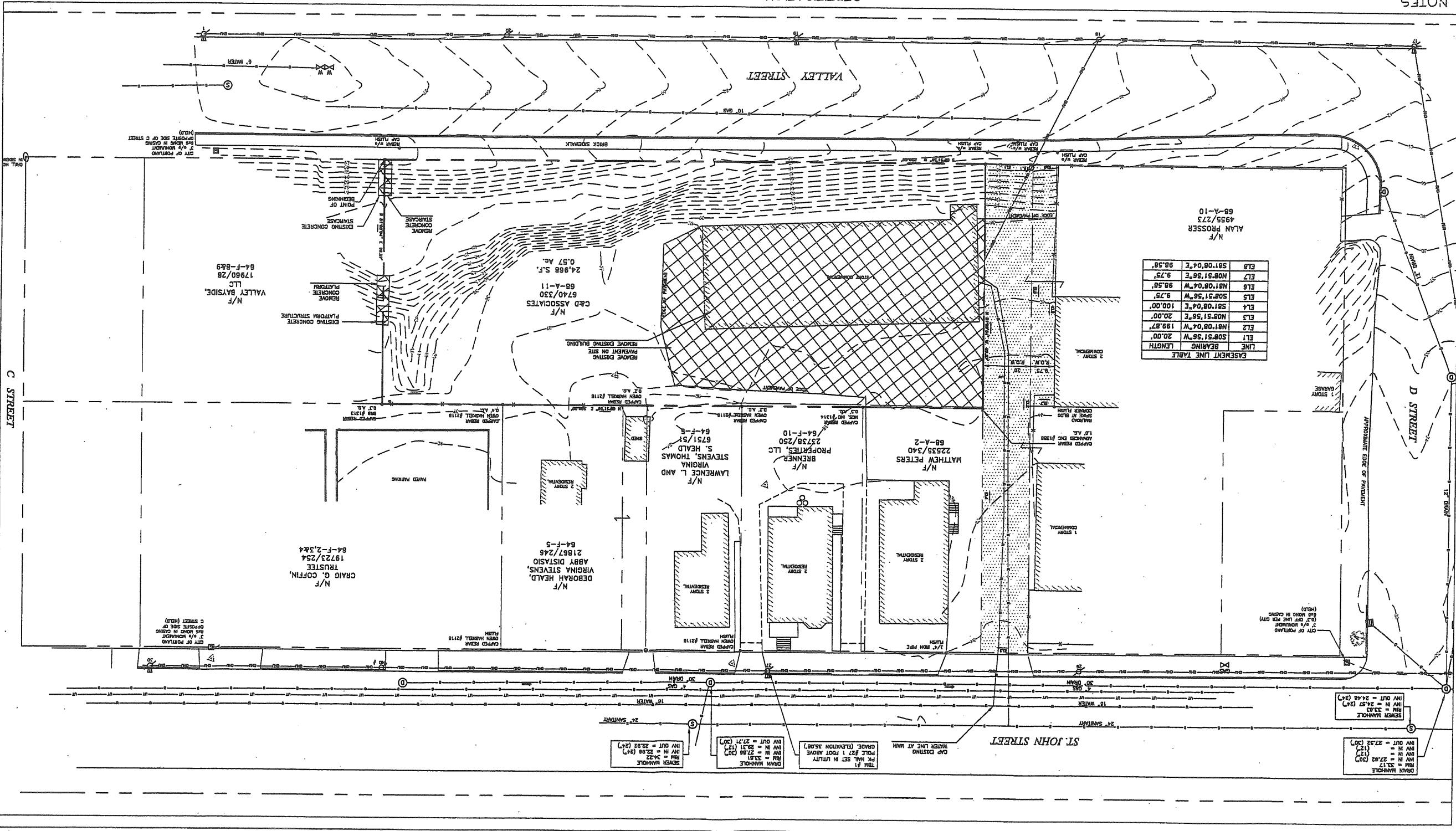
DATE: _____
 H. JOHANN BUSHMAN, PLS.# 1314

LEGEND

| | | | |
|--|-----------------------|--|-------------------------|
| | PROPERTY LINE | | MONUMENT FOUND |
| | UTILITY POLE | | UTILITY POLE WITH LIGHT |
| | WATER SERVICE | | SEWER SERVICE |
| | STORM DRAIN | | GAS SERVICE |
| | CATCHBASIN | | DRAIN MANHOLE |
| | WATER VALVE | | GAS VALVE |
| | OVERHEAD WIRES | | FENCE |
| | UNDERGROUND TELEPHONE | | TEST BORING |
| | EXISTING | | |



LOCATION MAP
 NOT TO SCALE



EASEMENT LINE TABLE

| LINE | BEARING | LENGTH |
|------|-------------|---------|
| EL1 | S08°51'56"W | 20.00' |
| EL2 | N81°08'04"W | 199.87' |
| EL3 | N08°51'56"E | 20.00' |
| EL4 | S81°08'04"E | 100.00' |
| EL5 | S08°51'56"W | 9.75' |
| EL6 | N81°08'04"W | 98.58' |
| EL7 | N08°51'56"E | 9.75' |
| EL8 | S81°08'04"E | 98.58' |

North

Sheet No. _____

Scale: 1"=20'

EXISTING CONDITIONS AND DEMOLITION PLAN

This plan shows existing conditions and proposed demolition. Reproduction or reuse of this document without the approval of the engineer is prohibited.

Date: APRIL 2, 2007

Issued For: CONTRACT ZONE AND SITE PLAN REVIEW

Provisions:

FLORENCE HOUSE

190 Valley Street
 Portland, Maine

Prepared For: _____

Applicant: **AVESTA HOUSING**

Prepared By: **MITCHELL & ASSOCIATES**
 307 Cumberland Avenue
 Portland, Maine 04101
 Tel: (603) 553-7777

CP Consulting Engineers, Inc.
 70 Centre Street
 Portland, Maine 04101
 Tel: (603) 774-4427

Sheet No. 3

North

Scale: 1" = 20'



DRAINAGE AND GRADING PLAN

This: [Blank]

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Date: APRIL 2, 2007

Issued For: CONTRACT ZONE AND SITE PLAN REVIEW

Revisions:

- April 18, 2007 - Per Staff Comment
- May 22, 2007 - Per Staff Comment
- July 10, 2007 - Per Staff Comment

FLORENCE HOUSE

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Portland, Maine

Prepared By: MITCHELL & ASSOCIATES

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15 Shaker Road
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Fax: (807) 887-8912

STORM DRAIN STRUCTURES

| STRUCTURE | SIZE | RM | INV. IN | INV. OUT |
|-----------|-------|---------|----------|----------|
| CB#1 | 4 DIA | 36.28 | TBD (UD) | 31.00 |
| DH#1 | 6 DIA | 38.00 | TBD (FD) | 31.62 |
| DH#2 | 4 DIA | 38.00 | 33.00 | 31.00 |
| DH#3 | 4 DIA | 39.70 | 30.62 | 30.42 |
| DH#4 | 6 DIA | EXST'NG | 27.63 | 27.63 |
| OC5 | 6 DIA | GRADE | 28.25 | 30.80 |

BUILDING AVERAGE GRADE

$\frac{374.48}{8} = 46.81$

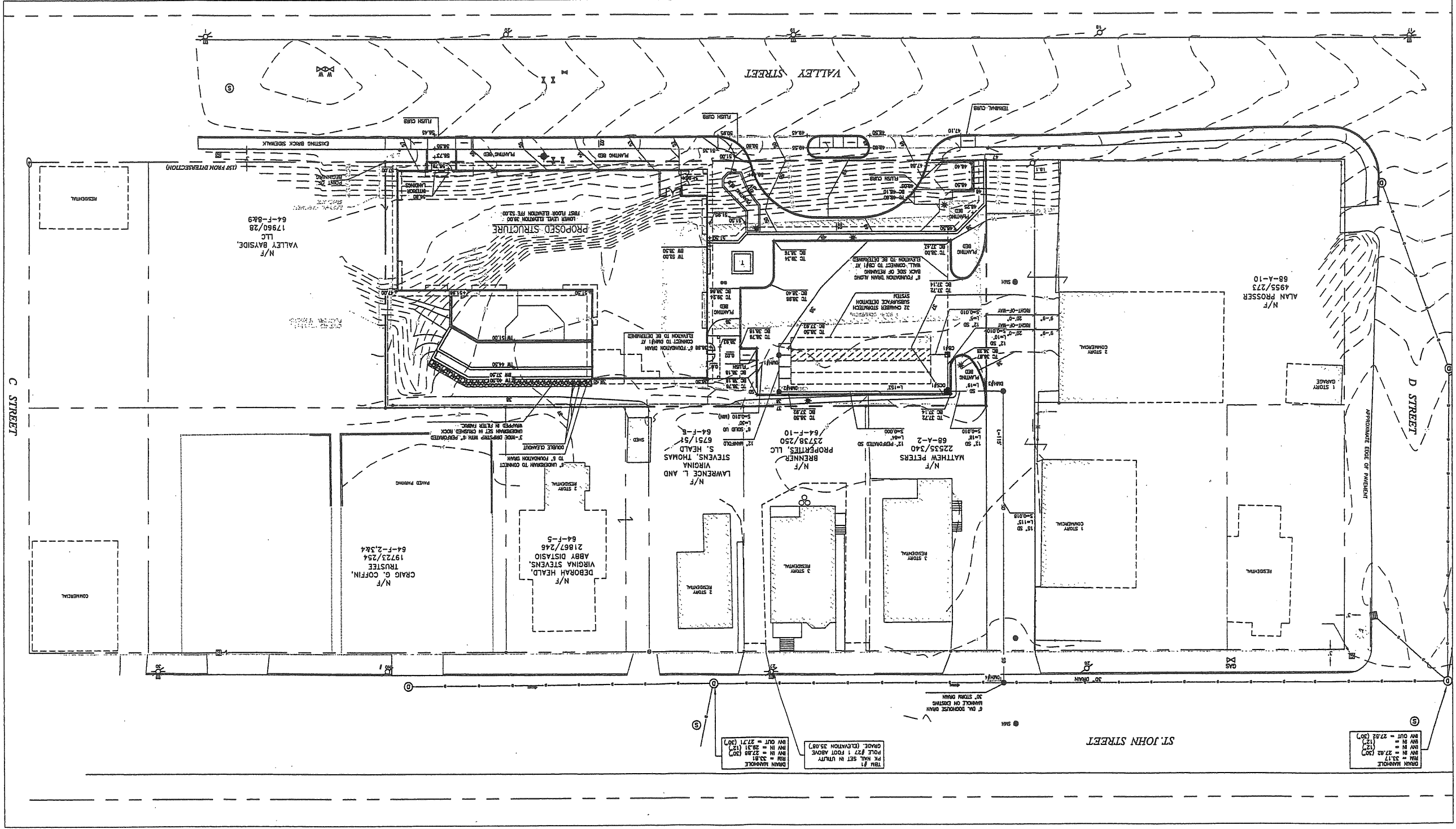
NOTE:
THE AVERAGE GRADE CALCULATION IS BASED ON PROPOSED AVERAGE GRADE IN ACCORDANCE WITH THE ZONING ADMINISTRATOR METHODOLOGY.

UTILITY NOTES

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEY MARKS NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE LOCATION INDICATED SHOWN ARE IN THE EXACT LOCATION INDICATED. INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DC-SAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.

LEGEND

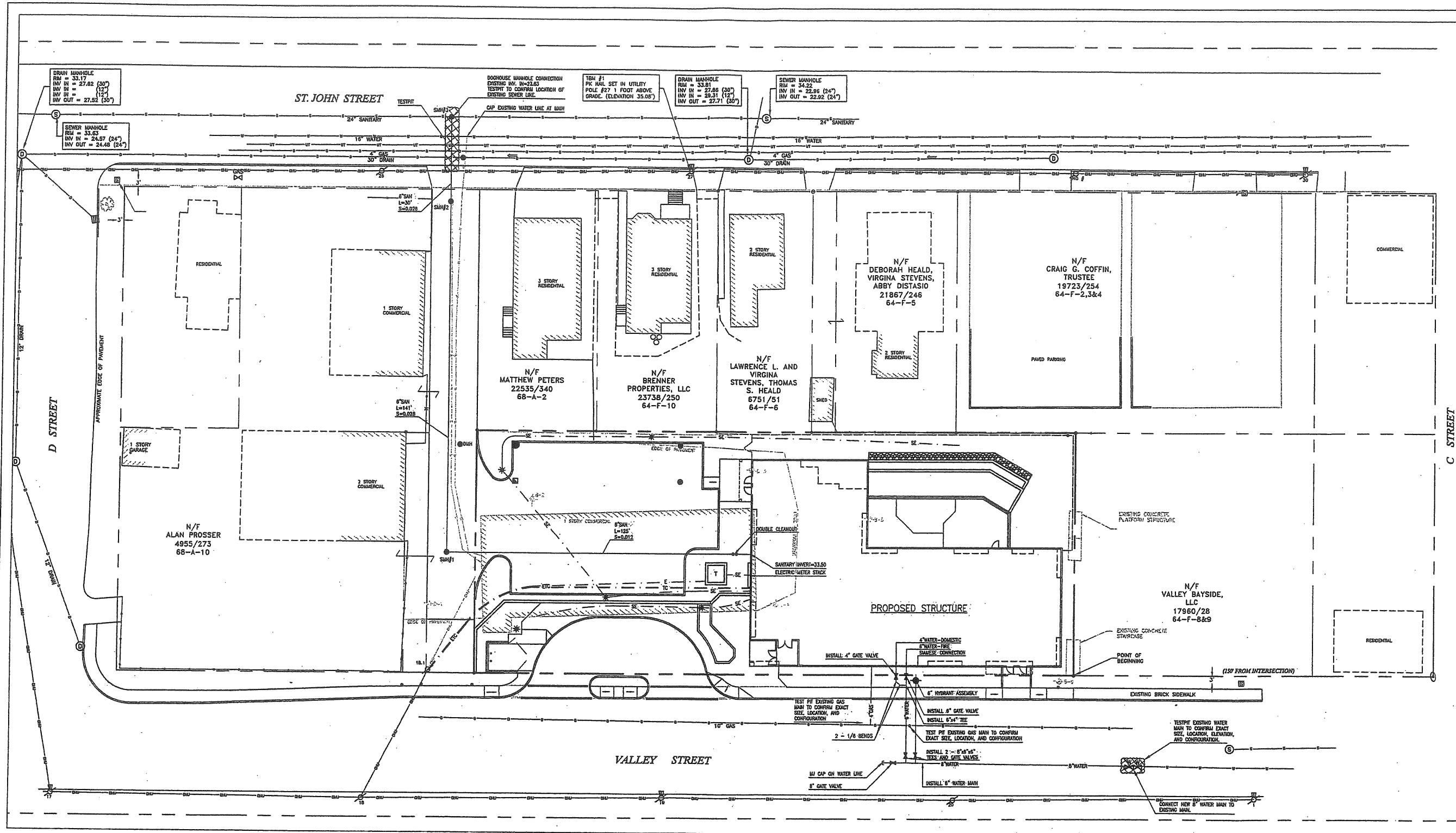
| PROPERTY LINE | EXISTING | PROPOSED |
|--|----------|----------|
| REBAR FOUND | — | — |
| CONTOUR | — | — |
| WATER SERVICE | W | W |
| SEWER SERVICE | S | S |
| STORM DRAIN | D | D |
| GAS SERVICE | C | C |
| UNDERGROUND TELEPHONE | UT | UT |
| OVERHEAD WIRES | OH | OH |
| UNDERGROUND ELECTRIC TELEPHONE + CABLE | UT | UT |
| UNDERGROUND ELECTRIC | SE | SE |
| SECONDARY ELECTRIC | SE | SE |
| FENCE | F | F |
| TEST BORING | SB | SB |
| PROPERTY LINE | — | — |
| MONUMENT FOUND | — | — |
| REBAR FOUND | — | — |
| CONTOUR | — | — |
| WATER SERVICE | W | W |
| SEWER SERVICE | S | S |
| STORM DRAIN | D | D |
| GAS SERVICE | C | C |
| UNDERGROUND TELEPHONE | UT | UT |
| OVERHEAD WIRES | OH | OH |
| UNDERGROUND ELECTRIC TELEPHONE + CABLE | UT | UT |
| UNDERGROUND ELECTRIC | SE | SE |
| SECONDARY ELECTRIC | SE | SE |
| FENCE | F | F |
| TEST BORING | SB | SB |
| UTILITY POLE WITH LIGHT | — | — |
| UTILITY POLE | — | — |
| GAS VALVE | — | — |
| WATER VALVE | — | — |
| DRAIN MANHOLE | — | — |
| SEWER MANHOLE | — | — |
| FIELD MET | — | — |
| SPOT GRADE | — | — |
| CATCHESAIN | — | — |
| CATHEAD | — | — |



DRAIN MANHOLE
RM IN = 27.82 (207)
RM OUT = 27.82 (207)
RM IN = 28.31 (207)
RM OUT = 28.31 (207)

TRW #1
RM IN = 22.88 (207)
RM OUT = 27.77 (207)
GRADE (ELEVATION 35.05)

6 DIA. DOORHOUSE DRAIN
UNW/CE ON EXISTING
30" STORM DRAIN



Prepared For:
Applicant:
AVESTA HOUSING
307 Cumberland Avenue
Portland, Maine 04101
Tel: (207) 568-7777

Prepared By:
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Landscape Architects
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FLORENCE HOUSE
 190 Valley Street
 Portland, Maine

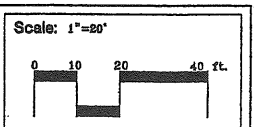
Date:
APRIL 2, 2007

Issued For:
CONTRACT ZONE AND
SITE PLAN REVIEW

Revisions:
April 10, 2007 - Per Staff Comment
July 10, 2007 - Per Staff Comment

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Title:
UTILITIES PLAN



North

Sheet No.:
4

LEGEND

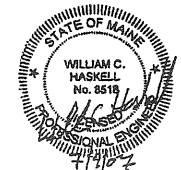
| | EXISTING | PROPOSED | | EXISTING | PROPOSED |
|-------------------------|----------|----------|--|----------|----------|
| PROPERTY LINE | --- | --- | WATER SERVICE | W | WATER |
| MONUMENT FOUND | ■ MON | | SEWER SERVICE | S | SS |
| REBAR FOUND | ●● | | STORM DRAIN | D | SD |
| CONTOUR | 70 | 70 | GAS SERVICE | G | GAS |
| SPOT GRADE | +39.66 | +39.66 | UNDERGROUND TELEPHONE | UT | |
| CATCHBASIN | ■ | COB | OVERHEAD WIRES | OHU | |
| FIELD INLET | ■ | FI | UNDERGROUND ELECTRIC TELEPHONE + CABLE | | ETC |
| SEWER MANHOLE | ⊙ | SMH | UNDERGROUND SECONDARY ELECTRIC | | SE |
| DRAIN MANHOLE | ⊙ | DMH | FENCE | --- | --- |
| WATER VALVE | ⊙ | WV | TEST BORING | ⊕ | |
| GAS VALVE | ⊙ | GV | | | |
| UTILITY POLE | ⊕ | | | | |
| UTILITY POLE WITH LIGHT | ⊕ | | | | |
| LIGHT POLE | ⊕ | * | | | |

UTILITY NOTES

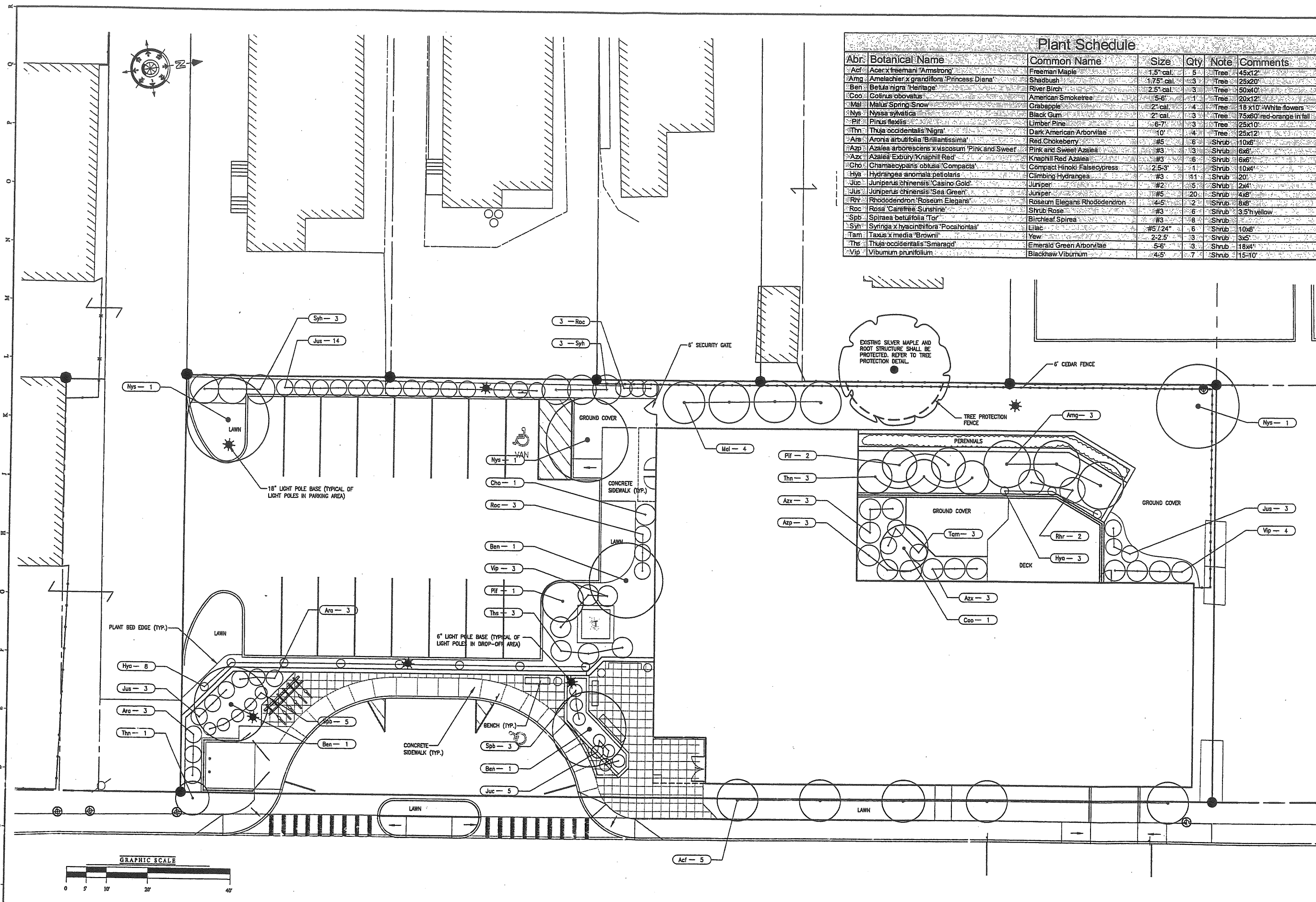
1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.
2. NEAREST EXISTING FIRE HYDRANT IS LOCATED ON THE NORTHEASTERN CORNER OF C STREET AND ST. JOHN STREET AT A DISTANCE OF 405 FEET FROM THE PROPERTY LINE ON VALLEY STREET.

SANITARY STRUCTURES

| STRUCTURE | SIZE | RIM | INV. IN | INV. OUT |
|-----------|--------|----------------|------------|------------|
| BUILDING | 2'x2' | - | 33.50 | |
| SMH#1 | 4' DIA | 37.15 | 32.00 | 31.80 |
| SMH#2 | 4' DIA | 33.90 | 28.00 | 26.00 |
| | | EXISTING GRADE | 23.63 | 23.63 |
| | | | (EXISTING) | (EXISTING) |
| SMH#3 | 6' DIA | | 25.15 | |



| Plant Schedule | | | | | | |
|----------------|---|-----------------------------|------------|-----|-------|---------------------------|
| Abr. | Botanical Name | Common Name | Size | Qty | Note | Comments |
| Acf | Acer x freemani 'Armstrong' | Freeman Maple | 1.5" cal. | 5 | Tree | 45x12' |
| Amg | Amelanchier x grandiflora 'Princess Diana' | Shadbush | 1.75" cal. | 3 | Tree | 25x20' |
| Ben | Betula nigra 'Heritage' | River Birch | 2.5" cal. | 3 | Tree | 50x40' |
| Coo | Cotinus obovatus | American Smoketree | 5-6' | 1 | Tree | 20x12' |
| Mal | Malus Spring Snow | Grapple | 2" cal. | 4 | Tree | 18 x10' White flowers |
| Nys | Nyssa sylvatica | Black Gum | 10' | 4 | Tree | 25x12' |
| Pif | Pinus flexilis | Lumber Pine | 6-7' | 3 | Tree | 75x60' red-orange in fall |
| Thn | Thuja occidentalis 'Nigra' | Dark American Arborvitae | 10' | 4 | Tree | 25x12' |
| Ara | Aronia arbutifolia 'Brilliantissima' | Red Chokeberry | #5 | 6 | Shrub | 10x6' |
| Azp | Azalea arborescens x micososum 'Pink and Sweet' | Pink and Sweet Azalea | #3 | 3 | Shrub | 6x6' |
| Azx | Azalea 'Exbury' 'Knaphill Red' | Knaphill Red Azalea | #3 | 6 | Shrub | 6x6' |
| Cho | Chamaecyparis obtusa 'Compacta' | Compact Hinoki Falsecypress | 2.5-3' | 1 | Shrub | 10x4' |
| Hya | Hydrangea anomala petiolaris | Climbing Hydrangea | #3 | 11 | Shrub | 20' |
| Juc | Juniperus chinensis 'Casino Gold' | Juniper | #2 | 5 | Shrub | 2x4' |
| Jus | Juniperus chinensis 'Sea Green' | Juniper | #5 | 20 | Shrub | 4x8' |
| Rhr | Rhododendron 'Roseum Elegans' | Roseum Elegans Rhododendron | 4-5' | 2 | Shrub | 8x8' |
| Roc | Rosa 'Carefree Sunshine' | Shrub Rose | #3 | 6 | Shrub | 3.5' yellow |
| Spb | Spiraea betulifolia 'Tor' | Birchleaf Spirea | #3 | 8 | Shrub | |
| Syh | Syringa x hyacinthiflora 'Peach Blossom' | Lilac | 2-2.5' | 6 | Shrub | 10x8' |
| Tam | Taxus x media 'Brownii' | Yew | 2-2.5' | 3 | Shrub | 3x5' |
| Tha | Thuja occidentalis 'Smaragd' | Emerald Green Arborvitae | 5-6' | 3 | Shrub | 18x4' |
| Vip | Viburnum prunifolium | Blackhaw Viburnum | 4-5' | 7 | Shrub | 15-10' |



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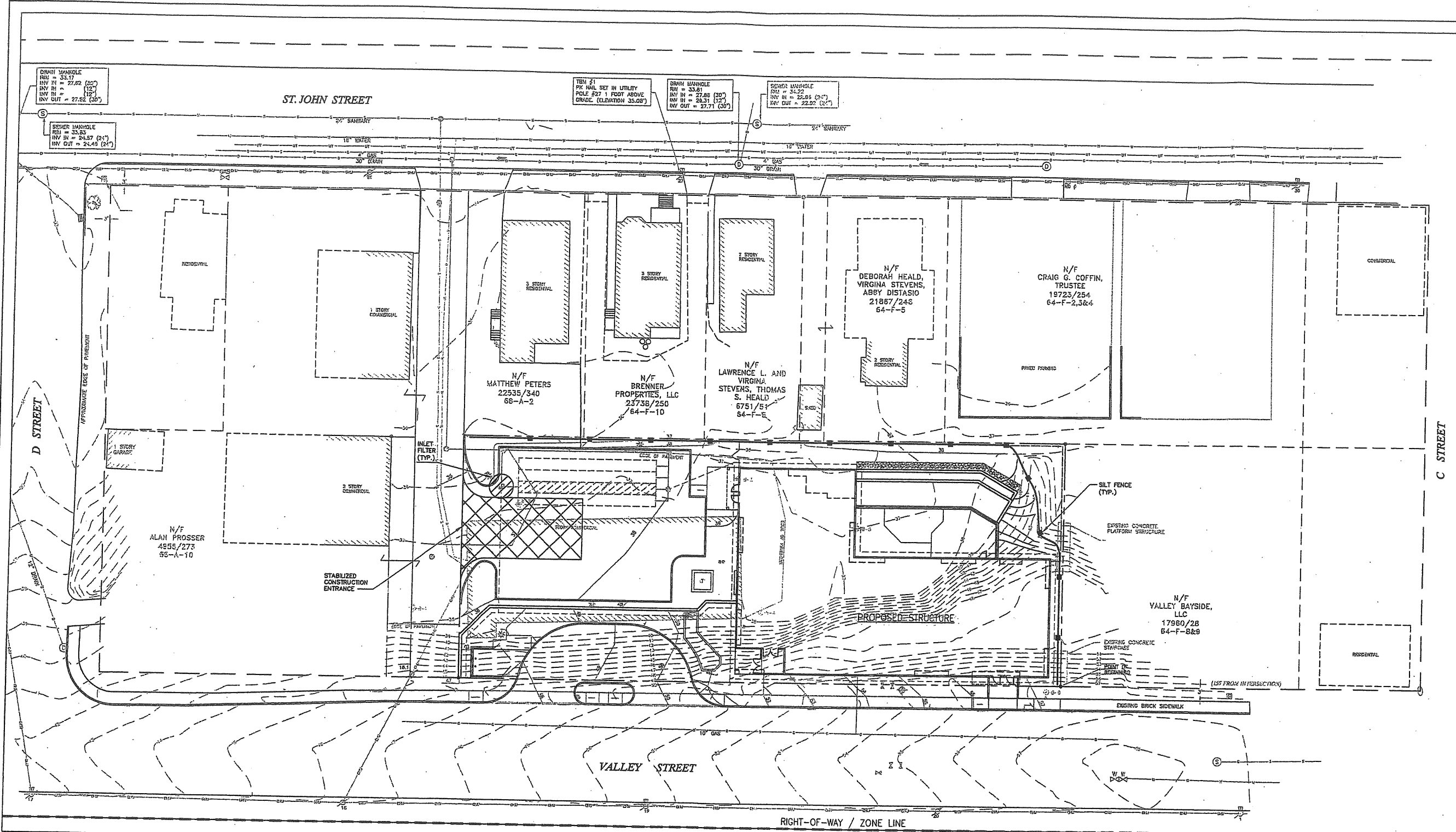
| REVISIONS | | |
|-----------|----------|-------------------|
| # | DATE | DESCRIPTION |
| 1 | 04.02.07 | CONTRACT ZONE SUR |
| 2 | 03.22.07 | CONTRACT ZONE REV |
| 3 | 07.10.07 | CONTRACT ZONE REV |

| | |
|----------------|-------------|
| DATE: | 07.10.07 |
| PROJECT #: | 100405 |
| DRAWN BY: | KLD |
| CHECKED BY: | BS |
| DRAWING SCALE: | 1" = 10'-0" |

SHEET TITLE
 LANDSCAPE & PLANTING PLAN

Sheet No.:
5

A1 LANDSCAPE AND PLANTING PLAN



LEGEND

| | EXISTING | PROPOSED | | EXISTING | PROPOSED |
|-------------------------|----------|----------|--------------------------------|----------|----------|
| PROPERTY LINE | --- | --- | WATER SERVICE | -W- | -W- |
| MONUMENT FOUND | ■ HDN | | SEWER SERVICE | -S- | -SS- |
| REBAR FOUND | ●● | | STORM DRAIN | -D- | -SD- |
| CONTOUR | 70 | 70 | GAS SERVICE | -G- | -GAS- |
| SPOT GRADE | +31.66 | +31.66 | UNDERGROUND TELEPHONE | -UT- | |
| CATCHBASIN | ■ | CB ■ | OVERHEAD WIRES | -OHU- | |
| FIELD INLET | | FI ■ | UNDERGROUND ELECTRIC | | -E/TC- |
| SEWER MANHOLE | ⊙ | SM ⊙ | TELEPHONE + CABLE | | |
| DRAIN MANHOLE | ⊙ | DM ⊙ | UNDERGROUND SECONDARY ELECTRIC | | -SE- |
| WATER VALVE | ⊙ | | FENCE | — | |
| GAS VALVE | ⊙ | | TEST BORING | ⊕ | |
| UTILITY POLE | ⊕ | | | | |
| UTILITY POLE WITH LIGHT | ⊕ | | | | |
| LIGHT POLE | | * | | | |

NOTES

- REFER TO DRAWING 13 FOR EROSION AND SEDIMENTATION CONTROL DETAILS AND NOTES.
- ALL SLOPES STEEPER THAN 3:1 SHALL BE PROTECTED WITH CURLEX BLANKETS BY AMERICAN EXCELSDOR. INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- FOR TEMPORARY STABILIZATION INSTALL TEXAY MULTIMAT FABRIC ON ALL SLOPES EQUAL TO OR STEEPER THAN 8% BETWEEN OCTOBER 1 AND APRIL 15 AND EQUAL TO OR STEEPER THAN 15% BETWEEN APRIL 15 AND OCTOBER 1. INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR SHALL MINIMIZE FUGITIVE DUST EMISSIONS BY SWEEPING THE ADJACENT STREETS AS REQUIRED AND BY APPLYING WATER OR OTHER ENVIRONMENTALLY SOUND DUST CONTROL SOLUTION (CALCIUM CHLORIDE) ON SITE AS REQUIRED.

Prepared For:
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Date: APRIL 2, 2007

Issued For:
CONTRACT ZONE AND SITE PLAN REVIEW

Revisions:
July 10, 2007 - Per Staff Comment

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Title:
EROSION AND SEDIMENTATION CONTROL PLAN

Scale: 1"=20'

North

Sheet No.: **6**

