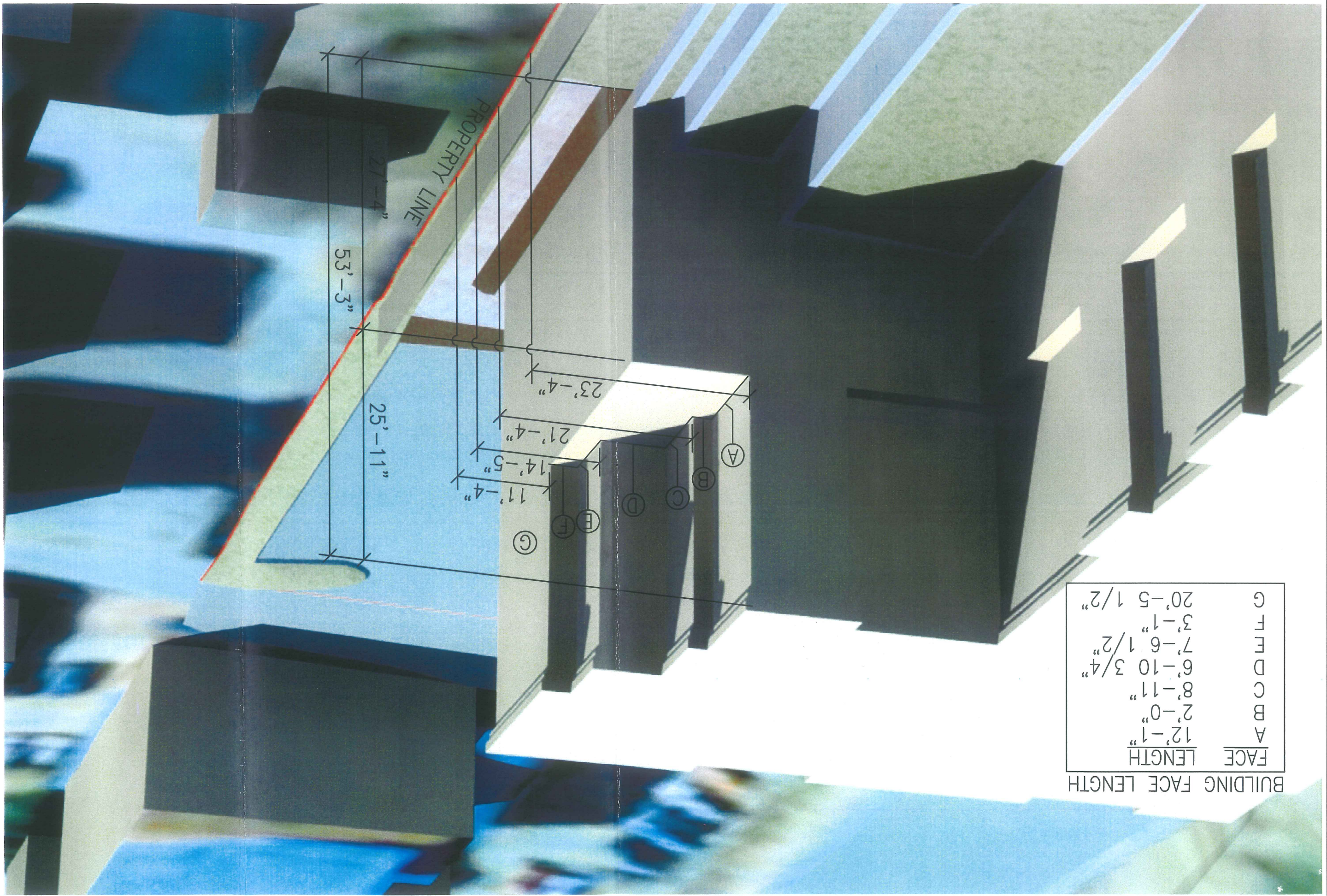


64-F-20

190 Valley St.

Florence House

Avesta Florence House



FACE	LENGTH
A	12'-1"
B	2'-0"
C	8'-11"
D	6'-10 3/4"
E	7'-6 1/2"
F	3'-1"
G	20'-5 1/2"

Mitchell & Associates  
 Landscape Architects  
 70 Center Street  
 Portland, Maine 04101  
 (207) 774-4427

Title: PERSPECTIVE OF BUILDING WING  
 Date: JULY 11, 2007  
 Scale: NOT TO SCALE  
 Project: FLORENCE HOUSE

**B**



AVESTA  
HOUSING

Preble  
Street



Florence House Valley Street Elevation  
Looking North





AVESTA  
HOUSING

Preble  
Street

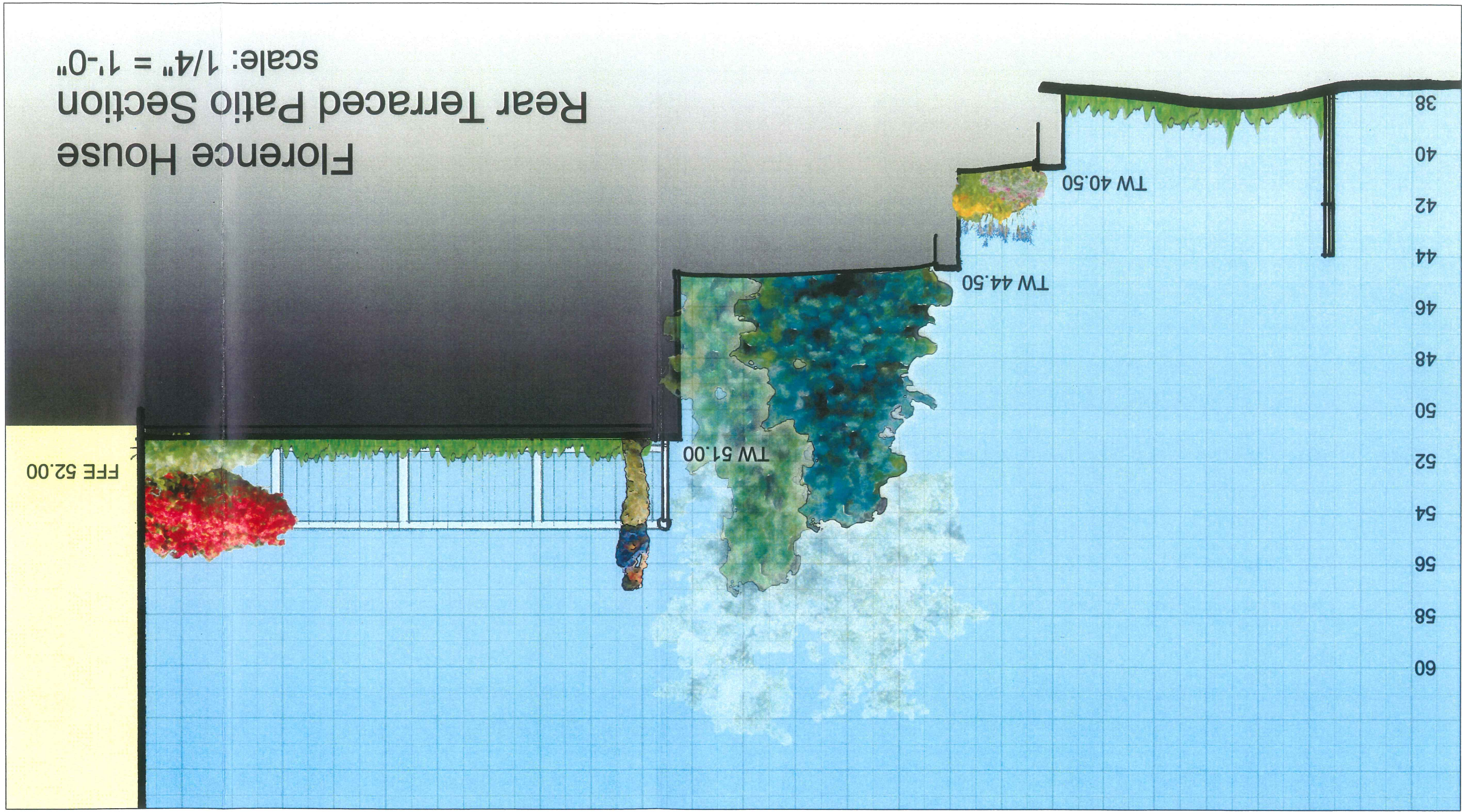


Florence House Valley Street Elevation  
Looking South



Florence House- Bird's Eye View  
Along Rear Property Line





**Florence House**  
**Rear Terraced Patio Section**  
 scale: 1/4" = 1'-0"

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 WITHOUT WRITTEN PERMISSION OF GAWRON  
 TURGEON ARCHITECTS IS PROHIBITED

PATIO SECTION

SHEET TITLE

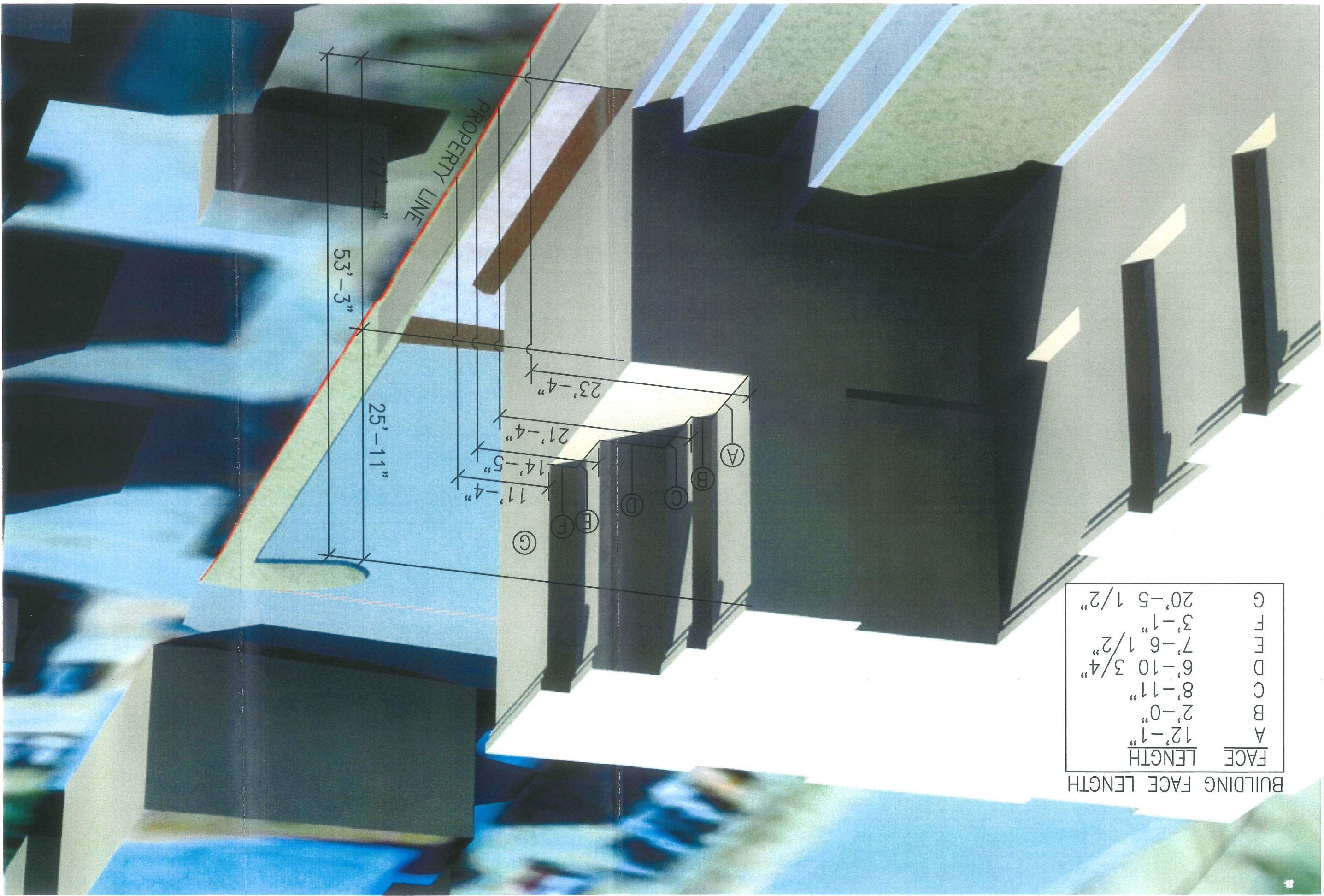
DATE:	PROJECT #	DRAWN BY:	CHECKED BY:	DRAWING SCALE

REVISIONS		
#	DATE	DESCRIPTION

29 Black Point Road  
 Scarborough, ME 04074  
 www.gawronturgeon.com  
 Tel. 207.883.6307  
 Fax. 207.883.0361

**GAWRON  
 TURGEON  
 ARCHITECTS**





FACE	LENGTH
A	12'-1"
B	2'-0"
C	8'-11"
D	6'-10 3/4"
E	7'-6 1/2"
F	3'-1"
G	20'-5 1/2"

Mitchell & Associates  
 Landscape Architects  
 70 Center Street  
 Portland, Maine 04101  
 (207) 774-4427

Title: PERSPECTIVE OF BUILDING WING  
 Date: JULY 11, 2007  
 Scale: NOT TO SCALE  
 Project: FLORENCE HOUSE

**B**



AVESTA HOUSING



Florence House Valley Street Elevation  
Looking North







AVESTA  
HOUSING

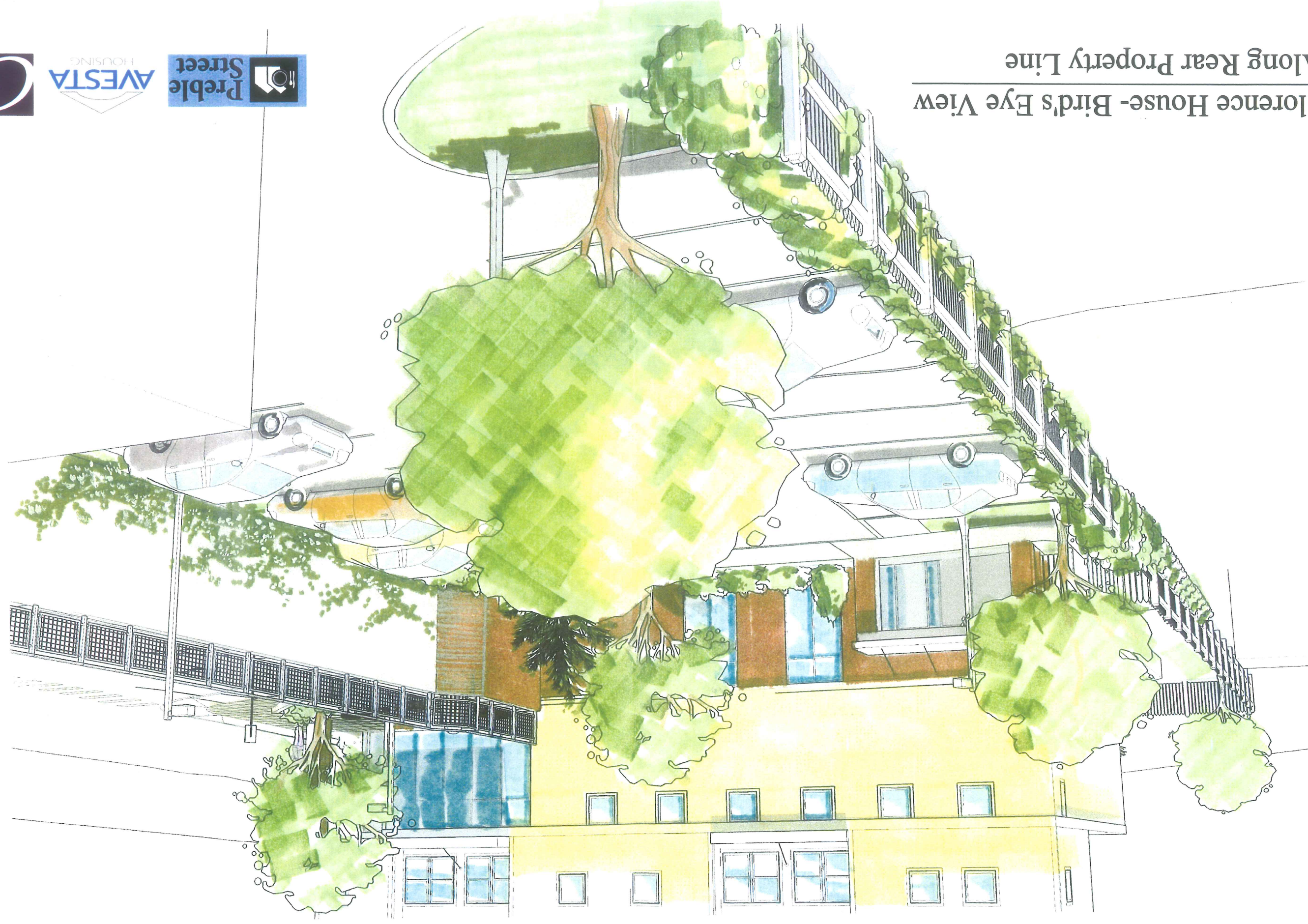
Preble  
Street



Florence House Valley Street Elevation  
Looking South



Florence House- Bird's Eye View  
Along Rear Property Line





Florence House- Bird's Eye View  
Along Rear Property Line

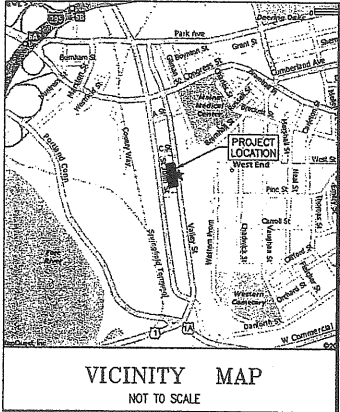




Florence House  
View from Heald Driveway







**NOTES CORRESPONDING TO SCHEDULE B**

- ITEM IS NOT A SURVEY MATTER.
- ITEM IS NOT A SURVEY MATTER.
- ITEM IS NOT A SURVEY MATTER.
- ITEM IS NOT A SURVEY MATTER.
- "ANY EXCEPTION, RESERVATION, RESTRICTION, EASEMENT OR CONDITION SET OUT IN THE ATTACHED EXHIBIT A." THERE ARE 3 EASEMENTS CALLED OUT IN THE EXHIBIT A THAT PERTAIN TO THE SUBJECT PROPERTY:
  - THE 20' RIGHT-OF-WAY (EASEMENT) IS AS SHOWN ON THIS PLAN.
  - THE 9.75' RIGHT-OF-WAY (EASEMENT) IS AS SHOWN ON THIS PLAN.
  - THE SIGNAGE EASEMENT IS NOT SHOWN ON THIS PLAN BECAUSE IT IS WITHIN THE SAME AREA AS THE 20' RIGHT-OF-WAY SHOWN. SEE NOTE 3 BELOW.
- ITEM IS NOT A SURVEY MATTER.
- ITEM IS NOT A SURVEY MATTER.
- EASEMENT FROM PETER F. HOLMES TO CENTRAL MAINE POWER COMPANY, DATED OCTOBER 8, 1981 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 4932, PAGE 312." THIS EASEMENT TO CMP AS SHOWN ON THIS PLAN. SEE NOTE 2, BELOW.
- TERMS AND CONDITIONS SET FORTH IN AN EASEMENT AGREEMENT BY AND BETWEEN C&D ASSOCIATES AND ALLAN PROSSER, DATED SEPTEMBER 23, 1996 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 12746, PAGE 150." THIS 9.75' EASEMENT IS AS SHOWN ON THE PLAN.
- "RIGHTS OF OTHERS IN AND TO THE USE OF THE 20' WIDE APPURTENANT EASEMENT INSURED HEREIN AND TERMS AND CONDITIONS RELATIVE TO THE USE THEREOF." THIS 20' EASEMENT IS AS SHOWN ON THIS PLAN.

**STATEMENT OF ENCROACHMENTS**

- A CONCRETE PLATFORM STRUCTURE AND A CONCRETE STARWAY (ABANDONED) ENCROACH ON THE NORTHERLY PROPERTY LINE AS SHOWN ON THE PLAN.
- THE OVERHEAD UTILITIES CROSS THE PROPERTY OF OTHERS WITHOUT BENEFIT OF AN EASEMENT. SEE NOTE 8.c.

**LEGAL DESCRIPTION**

A CERTAIN LOT OR PARCEL OF LAND LOCATED ON THE WESTERLY SIDE OF VALLEY STREET, CITY OF PORTLAND, COUNTY OF CUMBERLAND, STATE OF MAINE, BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT A 5/8" REBAR ON THE WESTERLY RIGHT-OF-WAY LINE OF SAID VALLEY STREET, BEING 150.00' SOUTHERLY OF THE INTERSECTION OF THE SOUTHERLY SIDELINE OF C STREET WITH THE WESTERLY SIDELINE OF VALLEY STREET, SAID REBAR ALSO MARKING THE SOUTHEASTERLY CORNER OF LAND NOW OR FORMERLY (N/F) OF VALLEY BAYSIDE, LLC AS RECORDED IN DEED BOOK 17960, PAGE 28, CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD); THENCE S 09°51'56" W ALONG THE WESTERLY RIGHT-OF-WAY LINE OF SAID VALLEY STREET 250.00' TO A 5/8" REBAR, SAID REBAR MARKING THE NORTHEASTERLY CORNER OF LAND N/F OF ALAN PROSSER AS RECORDED IN DEED BOOK 4955, PAGE 273, CCRD; SAID REBAR ALSO MARKING THE NORTHEASTERLY CORNER OF A 20' WIDE ACCESS AND UTILITY RIGHT-OF-WAY FOR THE BENEFIT OF THE LOT HEREIN DESCRIBED, AS RECORDED IN DEED BOOK 4323, PAGE 133, CCRD; THENCE N 81°08'04" E ALONG THE NORTHERLY LINE OF SAID PROSSER AND SAID RIGHT-OF-WAY 99.87' TO THE SOUTHEASTERLY CORNER OF THE LAND N/F OF MATTHEW PETERS AS RECORDED IN DEED BOOK 22535, PAGE 340, CCRD, FROM WHICH A CAPPED IRON ROD MARKED "ADVANCED ENGINEERING, PLS 1358" BEARS WESTERLY 0.18' AND NORTHERLY 0.06'; THENCE N 09°51'56" E 250.00' ALONG THE EASTERLY LINES OF LANDS N/F OF SAID PETERS; OF BRENNER PROPERTIES, LLC AS RECORDED IN DEED BOOK 23738, PAGE 250, CCRD; OF LAWRENCE L. AND VIRGINIA STEVENS AND THOMAS S. HEALD AS RECORDED IN DEED BOOK 6751, PAGE 51, CCRD; OF DEBORAH HEALD, VIRGINIA STEVENS, AND ABBY DISTASIO AS RECORDED IN DEED BOOK 21867, PAGE 246, CCRD; AND OF CRAIG G. COFFIN, TRUSTEE AS RECORDED IN DEED BOOK 19723, PAGE 254, CCRD TO A 5/8" REBAR, SAID REBAR MARKING THE SOUTHWESTERLY CORNER OF LAND OF SAID VALLEY BAYSIDE, LLC; THE ABOVE-DESCRIBED PARCEL CONTAINS 0.57 ACRES MORE OR LESS; THE BASIS OF BEARING FOR THE ABOVE DESCRIBED PARCEL IS MAGNETIC NORTH 2005; MEASURING AND INTENDING TO DESCRIBE THE SAME PREMISES CONVEYED FROM PETER HOLMES TO C & D ASSOCIATES AS RECORDED IN DEED BOOK 6740, PAGE 330, DATED APRIL 23, 1995; THE ABOVE DESCRIBED LOT OR PARCEL OF LAND HAS THE BENEFIT OF A 20' WIDE ACCESS AND UTILITY RIGHT-OF-WAY AS RECORDED IN DEED BOOK 4323, PAGE 133, CCRD MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A 5/8" REBAR ON THE WESTERLY RIGHT-OF-WAY LINE OF SAID VALLEY STREET AT THE SOUTHEASTERLY CORNER OF THE ABOVE DESCRIBED LOT OR PARCEL OF LAND, SAID REBAR BEING ALSO THE NORTHEASTERLY CORNER OF SAID PROSSER; THENCE S 09°51'56" W ALONG THE WESTERLY RIGHT-OF-WAY LINE OF SAID VALLEY STREET AND THE EASTERLY LINE OF SAID PROSSER 20.00' TO A POINT; THENCE N 81°08'04" W THROUGH THE LAND OF SAID PROSSER 199.87' TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF ST. JOHN STREET; THENCE N 09°51'56" W ALONG THE EASTERLY RIGHT-OF-WAY LINE 20.00' TO THE POINT OF BEGINNING; THENCE N 81°08'04" E ALONG THE LAND OF SAID PETERS AND OF THE ABOVE DESCRIBED PARCEL 199.87' TO THE POINT OF BEGINNING; THENCE S 09°51'56" W 250.00' BY 99.87' LOT OR PARCEL OF LAND HAS THE BENEFIT OF A 9.75' WIDE ACCESS AND UTILITY RIGHT-OF-WAY AS RECORDED IN DEED BOOK 4323, PAGE 133, CCRD ADJACENT TO THE ABOVE DESCRIBED RIGHT-OF-WAY MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS: STARTING AT A 5/8" REBAR AT THE SOUTHEASTERLY CORNER OF THE ABOVE DESCRIBED LOT OR PARCEL OF LAND ON THE WESTERLY RIGHT-OF-WAY LINE OF VALLEY STREET, SAID CORNER BEING ALSO THE NORTHEASTERLY CORNER OF SAID PROSSER AND THE NORTHEASTERLY CORNER OF THE ABOVE DESCRIBED RIGHT-OF-WAY; THENCE S 09°51'56" W ALONG THE WESTERLY RIGHT-OF-WAY LINE OF SAID VALLEY STREET BEING ALSO THE EASTERLY LINE OF SAID PROSSER 20.00' TO THE TRUE POINT OF BEGINNING AND THE SOUTHEASTERLY CORNER OF THE ABOVE DESCRIBED RIGHT-OF-WAY; THENCE N 81°08'04" W THROUGH A PORTION OF THE LAND OF SAID PROSSER 98.58' TO A RAILROAD SPIKE AT THE NORTHEASTERLY CORNER OF A BUILDING; THENCE S 09°51'56" E 20.00' TO A POINT ON THE SOUTHERLY LINE OF THE ABOVE DESCRIBED RIGHT-OF-WAY; THENCE N 81°08'04" E ALONG THE SOUTHERLY LINE OF THE ABOVE DESCRIBED RIGHT-OF-WAY 98.58' TO THE TRUE POINT OF BEGINNING. ALL OF THE ABOVE DESCRIBED 5/8" REBAR ARE 5/8" REBAR WITH PLASTIC CAPS MARKED NCS, INC. PLS 1314.

**ALTA/ACSM CERTIFICATION**

THIS IS TO CERTIFY TO MAINE STATE HOUSING AUTHORITY, FIRST AMERICAN TITLE INSURANCE COMPANY, AVESTA HOUSING DEVELOPMENT CORPORATION AND C&D ASSOCIATES, AND THE SUCCESSORS AND ASSIGNS OF EACH, THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND ACSM IN 2005, EFFECTIVE JANUARY 1, 2006, AND INCLUDES ITEMS 1.3, 4.5, 7(A) AND (B)(1), 9.10, AND 11(A) AND (B) OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, THE UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION AS A LAND SURVEYOR LICENSED IN THE STATE OF MAINE, THE MAXIMUM RELATIVE POSITIONAL ACCURACY RESULTING FROM THE MEASUREMENTS MADE ON THE SURVEY DOES NOT EXCEED THE ALLOWABLE RELATIVE POSITIONAL ACCURACY FOR MEASUREMENTS CONTROLLING LAND BOUNDARIES ON ALTA/ACSM LAND TITLE SURVEYS. THE UNDERSIGNED ADDITIONALLY CERTIFIES THAT (A) THIS SURVEY CORRECTLY SHOWS ALL MATTERS OF RECORD (AND TO THE EXTENT THEY CAN BE LOCATED, THEIR LOCATION AND DIMENSIONS) OF WHICH I HAVE BEEN ADVISED AFFECTING THE SUBJECT PROPERTY ACCORDING TO THE LEGAL DESCRIPTION OF SUCH MATTERS (WITH INSTRUMENT, BOOK AND PAGE NUMBER INDICATED); (B) EXCEPT AS SHOWN ON THIS SURVEY, NO PART OF THE SUBJECT PROPERTY IS LOCATED IN A 100-YEAR FLOOD PLAIN, AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 230051-0013-B DATED JULY 17, 1998(C) TO THE BEST OF MY KNOWLEDGE. THIS SURVEY SHOWS THE RELATION AND DISTANCE OF ALL BUILDINGS, SIDEWALKS AND OTHER IMPROVEMENTS TO EASEMENTS AND SETBACK LINES; (D) TO THE BEST OF MY KNOWLEDGE, EXCEPT AS SHOWN ON THIS SURVEY, THE SUBJECT PROPERTY DOES NOT SERVE ANY ADDING LAND FOR DRAINAGE, UTILITIES, INGRESS OR EGRESS; (E) ALL UTILITIES SERVING THE SUBJECT PROPERTY SHOWN ON THE SURVEY, INCLUDING ELECTRIC, GAS, WATER, SANITARY SEWER AND STORM SEWER, CONNECT TO LINES LOCATED IN PUBLIC RIGHTS-OF-WAY, WITHOUT CROSSING THE PROPERTY OF OTHERS, AS SHOWN ON THE SURVEY; AND (F) EXCEPT AS SET FORTH BELOW, THERE ARE NOT (I) ENCROACHMENTS UPON THE SUBJECT PROPERTY BY IMPROVEMENTS ON ADJACENT PROPERTY, (II) ENCROACHMENTS ON EASEMENTS OR ON ADJACENT PROPERTY, STREETS, OR ALLEYS BY ANY IMPROVEMENTS ON THE SUBJECT PROPERTY, (III) PARTY WALLS, (IV) CONFLICTS OR PROTRUSIONS, OR (V) ENCROACHMENTS ONTO SETBACK OR BUILDING RESTRICTION LINES. SEE STATEMENT OF ENCROACHMENTS.

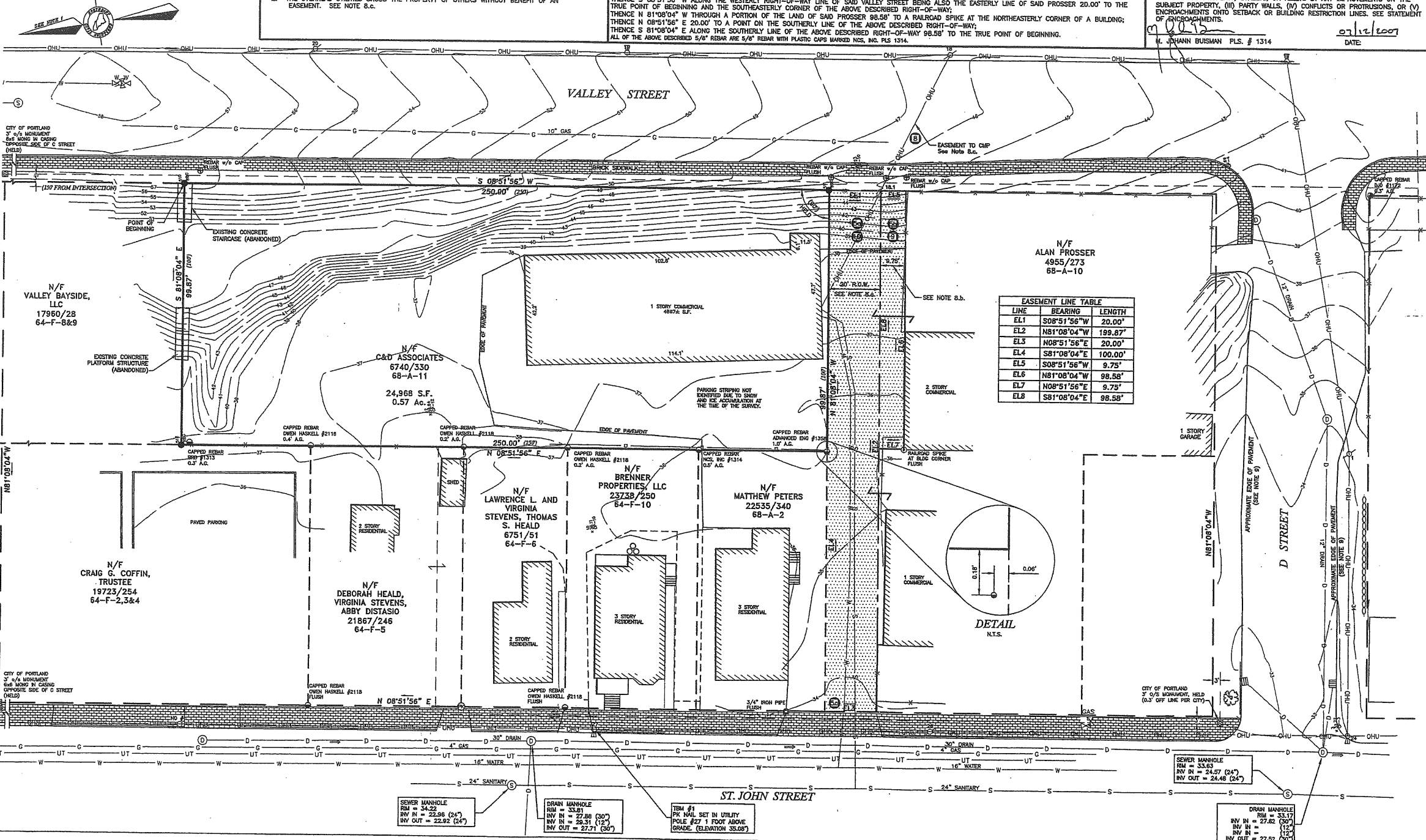
M. JOHANN BUSMAN PLS. # 1314 DATE: 07/12/2007

**LEGEND**

- #5 REBAR WITH PLASTIC CAP STAMPED
- NCS, INC. PLS 1314" SET ON MARCH 1, 2007
- FOUND IRON PIPE (SIZE & TYPE AS NOTED)
- FOUND MONUMENT (SIZE & TYPE AS NOTED)
- FOUND DRILL HOLE
- FOUND RAILROAD SPIKE
- FOUND IRON ROD
- FOUND CAPPED IRON ROD (NUMBER AS NOTED)
- FOUND PK MAIL
- UTILITY POLE (NUMBER AS NOTED)
- FOUND DECIDUOUS TREE (SIZE & TYPE AS NOTED)
- ITEMS FROM SCHEDULE B
- TREE LINE (APPROXIMATE)
- STONEWALL
- BOUNDARY LINE
- EASEMENT LINE
- EDGE OF GRAVEL
- EDGE OF PAVEMENT
- RIGHT-OF-WAY LINE
- ABUTTER LINE
- OVERHEAD UTILITY
- N/F
- 1234/567
- 12-3-45
- 123-457
- PARKING STRIP
- TAX MAP-BLOCK-LOT
- PARENTHESES DENOTE RECORD DATA

**NOTES**

- THE BASIS OF BEARING FOR THIS SURVEY WAS TAKEN FROM THE PLAN REFERENCED IN NOTE 4.c. BELOW. SAID BEARING IS MAGNETIC, 2005.
- DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
- RECORD OWNERSHIP OF THE PARCEL SURVEYED CAN BE FOUND IN A DEED FROM PETER HOLMES TO C & D ASSOCIATES DATED APRIL 23, 1995 AND RECORDED IN DEED BOOK 6740, PAGE 330.
- REFERENCE IS MADE TO THE FOLLOWING PLANS:
  - "CONDOMINIUM PLAN OF 205 ST. JOHN STREET, PORTLAND, MAINE" BY NORTHEAST CIVIL SOLUTIONS, INC. DATED JUNE 30, 2005, (UNRECORDED).
  - "PLAN OF LOTS ON ST. JOHN STREET" BY WILLIAM A. COGDOWN, CITY CIVIL ENGINEER, DATED JULY, 1879 AND RECORDED IN PLAN BOOK 4, PAGE 21.
- THE PARCEL SURVEYED IS IDENTIFIED ON THE CITY OF PORTLAND ASSESSOR'S MAP 64, BLOCK F, PARCEL 20 AND MAP 68, BLOCK A, PARCEL 11.
- THE PARCEL SURVEYED IS LOCATED IN THE B2 ZONE. PORTIONS OF BULK AND SPACE REQUIREMENTS ARE AS FOLLOWS:
  - MINIMUM LOT SIZE = 10,000 S.F.
  - MINIMUM FRONTAGE = 50'
  - FRONT = 0'
  - SIDES = 0'
  - REAR = 10'
- THE WIDTH AND LAYOUT OF VALLEY STREET, ST. JOHN STREET, C STREET & D STREET ARE BASED ON CITY OF PORTLAND PUBLIC WORKS RECORDS. SAID WIDTHS OF ALL THESE STREETS ARE 60'.
- REFERENCE IS MADE TO THE FOLLOWING EASEMENTS OF RECORD:
  - "A 20' WIDE ACCESS RIGHT-OF-WAY" FOR THE BENEFIT OF THE SUBJECT PARCEL OVER MAP 68, BLOCK A, PARCEL 10 AS RECORDED IN DEED BOOK 4323, PAGE 133.
  - "A 9.75' WIDE RIGHT-OF-WAY" FOR THE BENEFIT OF THE SUBJECT PARCEL OVER MAP 68, BLOCK A, PARCEL 10 AS RECORDED IN DEED BOOK 12746, PAGE 148.
  - "EASEMENT TO CENTRAL MAINE POWER CO. FOR INSTALL AND MAINTENANCE OF POWER LINES FROM POLE 18 TO POLE 18.1" AS RECORDED IN DEED BOOK 4932, PAGE 312.
- THIS SURVEY WAS CONDUCTED WITH 6 INCHES OF SNOW AND ICE.
- ELEVATIONS AND CONTOURS ARE BASED ON NGVD 1929 DATUM TAKEN FROM THE BRASS CAP CALLED FOR AS RM-34 ON FIRM PANEL 230051 0013 B. SEE PLAN FOR TM DESCRIPTION.
- UNDERGROUND GAS AND WATER LINE LOCATIONS ON ST. JOHN STREET WERE TAKEN FROM CITY OF PORTLAND PUBLIC WORKS RECORDS FROM 1998. OVERHEAD UTILITY LINES WERE FIELD LOCATED. SEWER AND DRAIN LINES AND INVERTS WERE FIELD LOCATED AS WELL. ALL UTILITY LOCATIONS SHALL BE CONSIDERED APPROXIMATE. CALL DIG SAFE AT 1-888-344-7233 PRIOR TO CONSTRUCTION OR EXCAVATION.



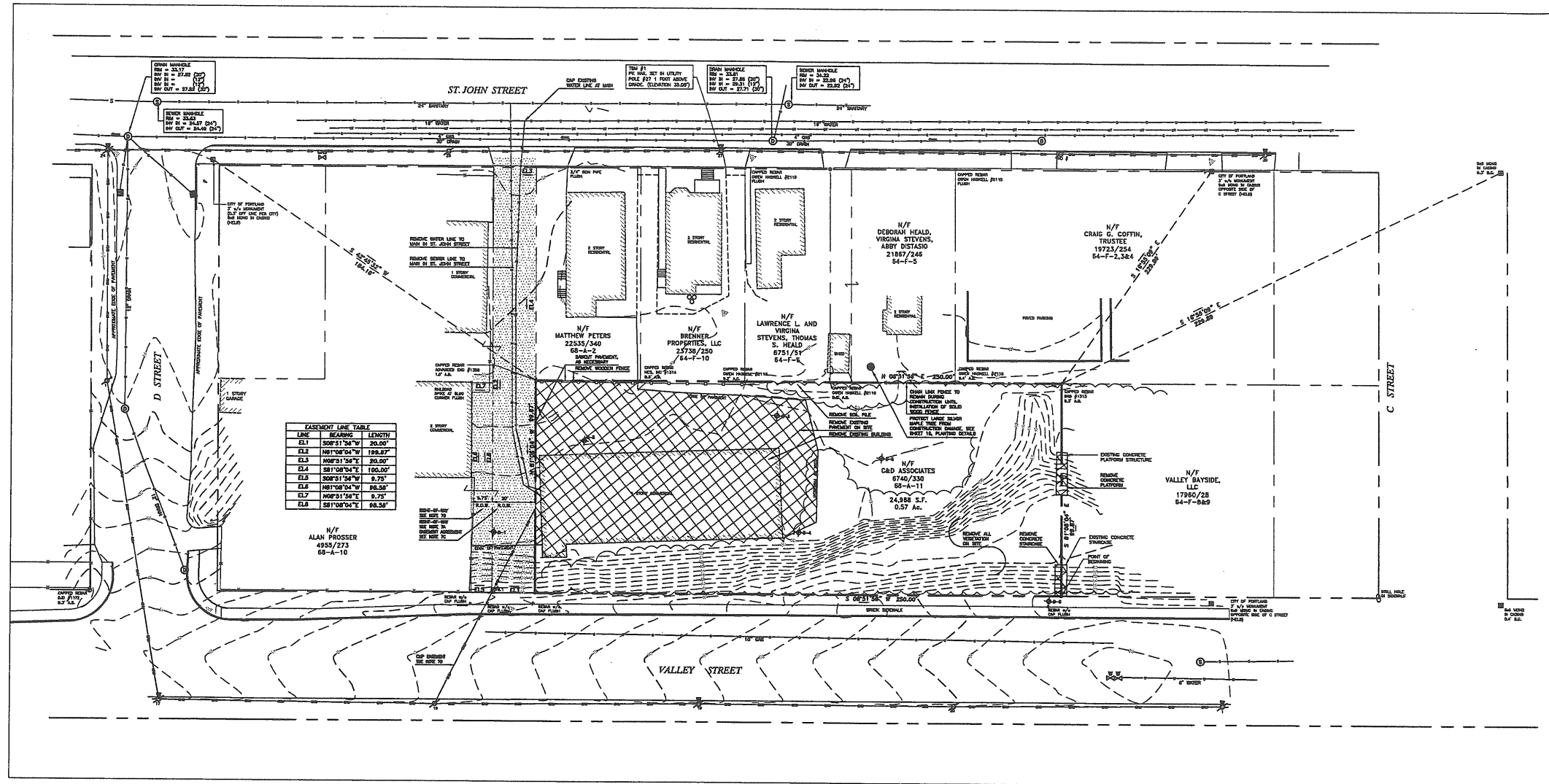
PROJECT: 29745 DRAWING NAME: 29745.DWG  
 DATE: JULY 12, 2007 SCALE: 1" = 20'  
 FIELD BY: JAP / SGB DRAWN BY: JAP

**ALTA/ACSM LAND TITLE SURVEY**  
 198 VALLEY STREET, PORTLAND, MAINE  
 Owner:  
**C & D ASSOCIATES**  
 195-REAR ST. JOHN STREET, PORTLAND, MAINE 04101  
 Prepared For:  
**AVESTA HOUSING**  
 307 CUMBERLAND AVENUE, PORTLAND, MAINE 04101

SURVEYING ENGINEERING LAND PLANNING  
**Northeast Civil Solutions**  
 INCORPORATED  
 153 US ROUTE 1, SCARBOROUGH, MAINE 04074  
 Tel: 207.883.1000 Fax: 207.883.1001 e-mail: info@northeastcivilsolutions.com  
 800.862.2227

**STAMP AND SIGNATURE**  
 M. JOHANN BUSMAN  
 MAINE P.L.S. # 1314  
 DATE: 7/12/2007

ALTA/ACSM LAND TITLE SURVEY SURVEY PROJECT 29745 NORTHEAST CIVIL SOLUTIONS, INC.

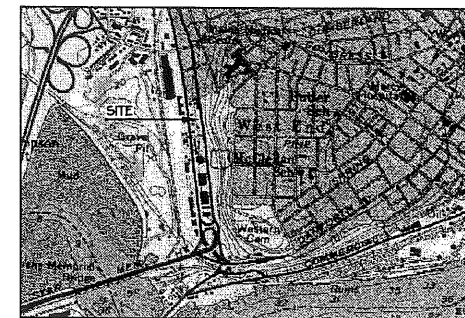


**NOTES**

1. THE BASIS OF BEARING FOR THIS SURVEY WAS TAKEN FROM THE PLAN REFERENCED IN NOTE 4.A. BELOW. SAID BEARING IS MAGNETIC, 2005.
2. DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
3. RECORD OWNERSHIP OF THE PARCEL SURVEYED CAN BE FOUND IN A DEED FROM PETER HOLMES TO C + D ASSOCIATES DATED APRIL 23, 1985 AND RECORDED IN DEED BOOK 6740, PAGE 330.
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
  - A. "CONDOMINIUM PLAN OF 205 ST. JOHN STREET, PORTLAND, MAINE" BY NORTHEAST CIVIL SOLUTIONS, INC. DATED JUNE 30, 2005, (UNRECORDED).
  - B. "PLAN OF LANDS ON ST. JOHN STREET" BY WILLIAM A GOODWIN, CITY CIVIL ENGINEER, DATED JULY, 1879 AND RECORDED IN PLAN BOOK 4, PAGE 21.
5. THE PARCEL SURVEYED IS IDENTIFIED ON THE CITY OF PORTLAND ASSESSOR'S MAP G4, BLOCK F, PARCEL 20 AND MAP G8, BLOCK A, PARCEL 11.
6. THE WIDTH AND LAYOUT OF VALLEY STREET, ST. JOHN STREET, C STREET + D STREET ARE BASED ON CITY OF PORTLAND PUBLIC WORKS RECORDS. SAID WIDTHS OF ALL THESE STREETS ARE 60 FEET.
7. REFERENCE IS MADE TO THE FOLLOWING EASEMENTS OF RECORD:
  - A. "A 20' WIDE ACCESS RIGHT-OF-WAY" FOR THE BENEFIT OF THE SUBJECT PARCEL OVER MAP G8, BLOCK A, PARCEL 10 AS RECORDED IN DEED BOOK 4323, PAGE 133.
  - B. "A 9.75' WIDE RIGHT-OF-WAY" FOR THE BENEFIT OF THE SUBJECT PARCEL OVER MAP G8, BLOCK A, PARCEL 10 AS RECORDED IN DEED BOOK 32746, PAGE 149.
  - C. "EASEMENT AGREEMENT FOR 20' WIDE RIGHT-OF-WAY" OVER MAP G8, BLOCK A, PARCEL 10 AS RECORDED IN DEED BOOK 32746, PAGE 150.
  - D. "EASEMENT TO CENTRAL MAINE POWER CO. FOR INSTALL AND MAINTENANCE OF POWER LINES FROM POLE 18 TO POLE 18.1" AS RECORDED IN DEED BOOK 4932, PAGE 312.
8. THIS SURVEY WAS CONDUCTED WITH 6 INCHES OF SNOW AND ICE.
9. ELEVATIONS AND CONTOURS ARE BASED ON NGVD 1929 DATUM TAKEN FROM THE DISK CALLED FOR AS RM-34 ON FIRM PANEL 230051 0013 B. SEE PLAN FOR TBM DESCRIPTION.
10. UNDERGROUND GAS AND WATER LINE LOCATIONS ON ST. JOHN STREET WERE TAKEN FROM CITY OF PORTLAND PUBLIC WORKS RECORDS FROM 1998. VERIZON LINES WERE FIELD LOCATED. SEWER AND DRAIN LINES AND INVERTS WERE FIELD LOCATED AS WELL. ALL UTILITY LOCATIONS SHALL BE CONSIDERED APPROXIMATE.

**LEGEND**

	EXISTING
PROPERTY LINE	---
MONUMENT FOUND	■ MON
REBAR FOUND	••
CONTOUR	70
CATCHBASIN	■
SEWER MANHOLE	⊙
DRAIN MANHOLE	⊙
WATER VALVE	⊙
GAS VALVE	⊙
UTILITY POLE	⊙
UTILITY POLE WITH LIGHT	⊙
WATER SERVICE	—W—
SEWER SERVICE	—S—
STORM DRAIN	—D—
GAS SERVICE	—G—
UNDERGROUND TELEPHONE	—UT—
OVERHEAD WIRES	—OHU—
FENCE	—F—
TEST BORING	⊕



LOCATION MAP  
NOT TO SCALE

Prepared For:  
Applicant:



307 Cumberland Avenue  
Portland, Maine 04101  
Tel: (207) 555-7777

Prepared By:  
**MITCHELL & ASSOCIATES**  
Landscape Architects  
The Staples School  
70 Center Street  
Portland, Maine 04101  
Tel: (207) 774-4427

**GP** Gorrill-Palmer  
Consulting Engineers, Inc.  
Civil and Civil Engineering Services  
15 Shaker Road  
Orono, ME 04469  
Tel: 207-857-8918  
Fax: 207-857-8912

**FLORENCE HOUSE**  
 190 Valley Street  
 Portland, Maine

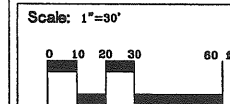
Date:  
SEPTEMBER 4, 2007

Issued For:  
SITE PLAN AND  
SUBDIVISION REVIEW

Revisions:  
October 2, 2007 - Per Planning  
Staff and Board Comments.  
October 17, 2007 - Per Planning  
Staff Comments.

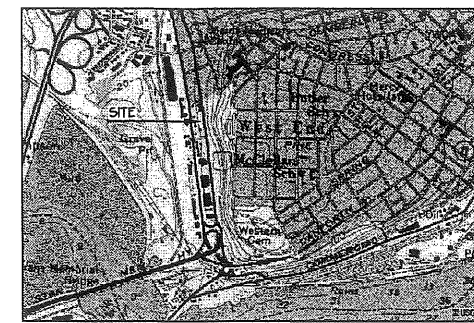
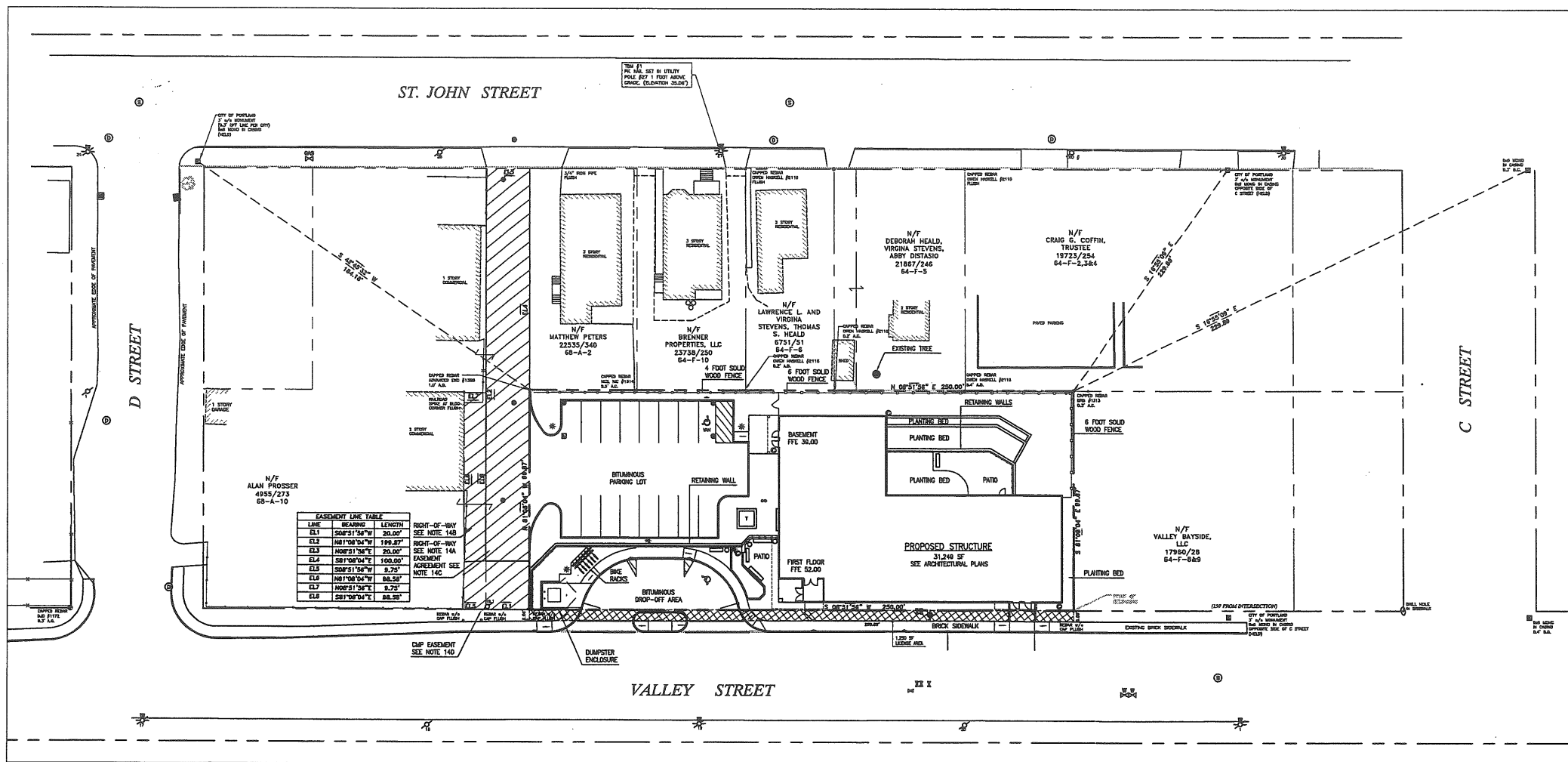
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Title:  
EXISTING  
CONDITIONS AND  
DEMOLITION PLAN



North:

Sheet No:  
**1**



LOCATION MAP  
NOT TO SCALE

**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE		
SETBACK LINE		
REBAR FOUND		
EASEMENT AREA		
LICENSE AREA		
CATCHBASIN		
MANHOLE		
ELECTRIC TRANSFORMER		
WATER VALVE		
FIRE HYDRANT		
GAS VALVE		
UTILITY POLE		
UTILITY POLE WITH LIGHT		
LIGHT POLE		
SECURITY CAMERA		
FENCE		
SIGN		

Prepared For:  
Applicant:  
**AVESTA HOUSING**  
307 Cumberland Avenue  
Portland, Maine 04101  
Tel: (207) 553-7777

Prepared By:  
**MITCHELL & ASSOCIATES**  
Landscape Architects  
The Staples School  
70 Center Street  
Portland, Maine 04101  
Tel: (207) 774-4427

Gorrill-Palmer  
Consulting Engineers, Inc.  
Traffic and Civil Engineering Services  
15 Shaker Road  
Orono, ME 04459 FAX: 207-887-8812

**FLORENCE HOUSE**  
Portland, Maine  
190 Valley Street

**GENERAL NOTES**

- SITE IS SUBJECT TO CONDITIONAL ZONE AGREEMENT TITLED "AVESTA FLORENCE HOUSE LP, FLORENCE HOUSE HOUSING CORPORATION AND FLORENCE HOUSE CONDOMINIUM ASSOCIATION" APPROVED BY PORTLAND CITY COUNCIL ON SEPTEMBER 17, 2007.
- TOTAL SITE AREA: 24,968 SF OR 0.57 ACRES
- ZONING DISTRICT: B-2 COMMUNITY BUSINESS ZONE R-6 RESIDENTIAL ZONE
- SPACE AND BULK REQUIREMENTS: SEE CONDITIONAL ZONE AGREEMENT (CZA)
- REQUIRED PROPOSED  
MAXIMUM LOT SIZE: 24,968 SF 24,968 SF  
DENSITY: (SEE CZA) SEE NOTE BELOW  
MINIMUM FRONT SETBACK: NONE NONE  
MINIMUM REAR SETBACK: (SEE CZA) VARIES, SEE PLAN  
MINIMUM SIDE SETBACK: 5 FEET 5 FEET  
MAXIMUM LOT COVERAGE: 40% 33%  
MAXIMUM BUILDING HEIGHT: 45 FEET 45 FEET  
OPEN SPACE RATIO: 26% 26%  
PARKING REQUIREMENTS: 16 SPACES 14 SPACES  
MINIMUM LOT SIZE: N/A  
MINIMUM STREET FRONTAGE: 40 FEET 250 FEET  
MINIMUM LOT WIDTH: 50 FEET 250 FEET  
MAXIMUM IMPERVIOUS SURFACE: 74% 74%
- DENSITY NOTE: NO MORE THAN 40 BEDS FOR WOMEN ONLY ON THE FIRST FLOOR INCLUDING UP TO 25 EMERGENCY SHELTER BEDS AND 15 SAFE HAVEN BEDS; AND UP TO 25 AFFORDABLE RENTAL EFFICIENCY APARTMENTS ON THE SECOND AND THIRD FLOORS.
- BUILDING SUMMARY:
 

FLOOR LEVEL	AREA	DWELLING UNITS/ BEDSPACES
BASEMENT (UNIT 1)	8,138 SF	0
FIRST FLOOR (UNIT 1)	8,021 SF	25-40 BEDSPACES
SECOND FLOOR (UNIT 2)	7,545 SF	12 DWELLING UNITS
THIRD FLOOR (UNIT 2)	7,545 SF	13 DWELLING UNITS

 TOTAL BUILDING SQUARE FOOTAGE: 31,249 SF  
NUMBER OF STORIES: 3 STORIES (PLUS BASEMENT)
- BOUNDARY LINE AND TOPOGRAPHIC INFORMATION BASED ON SURVEY PREPARED BY NORTHEAST CIVIL SOLUTIONS, FROM PLANS DATED JANUARY 31, 2007.
- BENCHMARK IS PK NAL SET IN UTILITY POLE #27 ONE FOOT ABOVE GRADE ON THE EASTERN SIDE OF ST. JOHN STREET BETWEEN C STREET AT D STREET WITH AN ELEVATION OF 35.06'.
- THE BASIS OF BEARING FOR THIS SURVEY WAS TAKEN FROM THE PLAN REFERENCED IN NOTE 13.A. BELOW. SAID BEARING IS MAGNETIC, 2005.
- DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
- RECORD OWNERSHIP OF THE PARCEL SURVEYED CAN BE FOUND IN A DEED FROM PETER HOLMES TO C + D ASSOCIATES DATED APRIL 23, 1985 AND RECORDED IN DEED BOOK 6740, PAGE 330.
- THE PARCEL IS IDENTIFIED ON THE CITY OF PORTLAND ASSESSOR'S MAP G4, BLOCK F, PARCEL 20 AND MAP G8, BLOCK A, PARCEL 11.
- THE WIDTH AND LAYOUT OF VALLEY STREET, ST. JOHN STREET, C STREET + D STREET ARE BASED ON CITY OF PORTLAND PUBLIC WORKS RECORDS. SAID WIDTHS OF ALL THESE STREETS ARE 60 FEET.
- REFERENCE IS MADE TO THE FOLLOWING PLANS:
  - "CONDOMINIUM PLAN OF 205 ST. JOHN STREET, PORTLAND, MAINE" BY NORTHEAST CIVIL SOLUTIONS, INC. DATED JUNE 30, 2005. (UNRECORDED).
  - "PLAN OF LANDS ON ST. JOHN STREET" BY WILLIAM A. GOODWIN, CIVIL ENGINEER, DATED JULY, 1874 AND RECORDED IN PLAN BOOK 4, PAGE 21.
- REFERENCE IS MADE TO THE FOLLOWING EASEMENTS OF RECORD:
  - "A 20' WIDE ACCESS RIGHT-OF-WAY" FOR THE BENEFIT OF THE SUBJECT PARCEL OVER MAP G8, BLOCK A, PARCEL 10 AS RECORDED IN DEED BOOK 4323, PAGE 133.
  - "A 9.75' WIDE RIGHT-OF-WAY" FOR THE BENEFIT OF THE SUBJECT PARCEL OVER MAP G8, BLOCK A, PARCEL 10 AS RECORDED IN DEED BOOK 12746, PAGE 149.
  - "EASEMENT AGREEMENT FOR 20' WIDE RIGHT-OF-WAY" OVER MAP G8, BLOCK A, PARCEL 10 AS RECORDED IN DEED BOOK 12746, PAGE 150.
  - "EASEMENT TO CENTRAL MAINE POWER CO. FOR INSTALL AND MAINTENANCE OF POWER LINES FROM POLE 18 TO POLE 18.1" AS RECORDED IN DEED BOOK 4932, PAGE 312.
- A LICENSE, COVERING A 1,250 SF AREA, HAS BEEN GRANTED BY THE CITY OF PORTLAND FOR THE PROPERTY FRONTAGE ALONG VALLEY STREET FOR MAINTENANCE OF PAVING AND VEGETATION.
- ELEVATIONS AND CONTOURS ARE BASED ON NGVD 1929 DATUM TAKEN FROM THE DISK CALLED FOR AS RM-34 ON FIRM PANEL 230051 0013 B. SEE PLAN FOR TBM DESCRIPTION.

Approved: Portland Planning Board

Date: \_\_\_\_\_

Chair, \_\_\_\_\_

Board Members, \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Date: OCTOBER 17, 2007

Revisions:

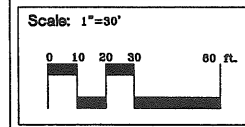
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Title: SUBDIVISION PLAT



North:

Sheet No: 1

SEAL



Prepared For:  
Applicant:



307 Cumberland Avenue  
Portland, Maine 04101  
Tel: (207) 555-7777

Prepared By:  
**MITCHELL & ASSOCIATES**  
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**Gp** Gorrill-Palmer  
Consulting Engineers, Inc.  
Traffic and Civil Engineering Services  
15 Shaker Road  
Orono, ME 04459 FAX: 207-687-8910

# FLORENCE HOUSE

Portland, Maine  
190 Valley Street

Date:  
SEPTEMBER 4, 2007

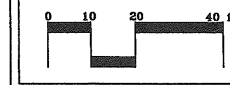
Issued For:  
SITE PLAN AND  
SUBDIVISION REVIEW

Revisions:  
October 2, 2007 - Per Planning  
Staff and Board Comments.  
October 17, 2007 - Per Planning  
Staff Comments.

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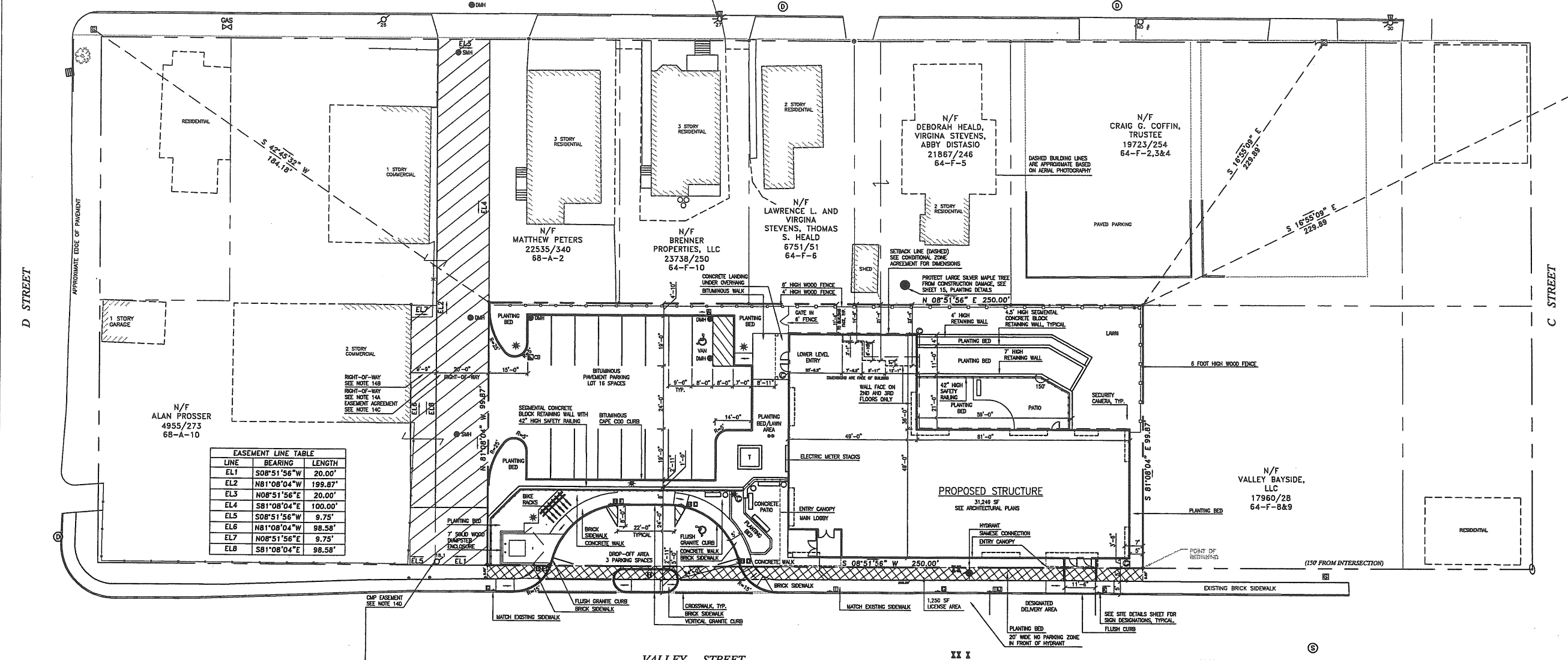
Title:  
LAYOUT &  
LIGHTING PLAN

Scale: 1"=20'



North  
Sheet No:  
**2**

ST. JOHN STREET



LINE	BEARING	LENGTH
EL1	S08°51'56"W	20.00'
EL2	N81°08'04"W	199.87'
EL3	N08°51'56"E	20.00'
EL4	S81°08'04"E	100.00'
EL5	S08°51'56"W	9.75'
EL6	N81°08'04"W	98.58'
EL7	N08°51'56"E	9.75'
EL8	S81°08'04"E	98.58'

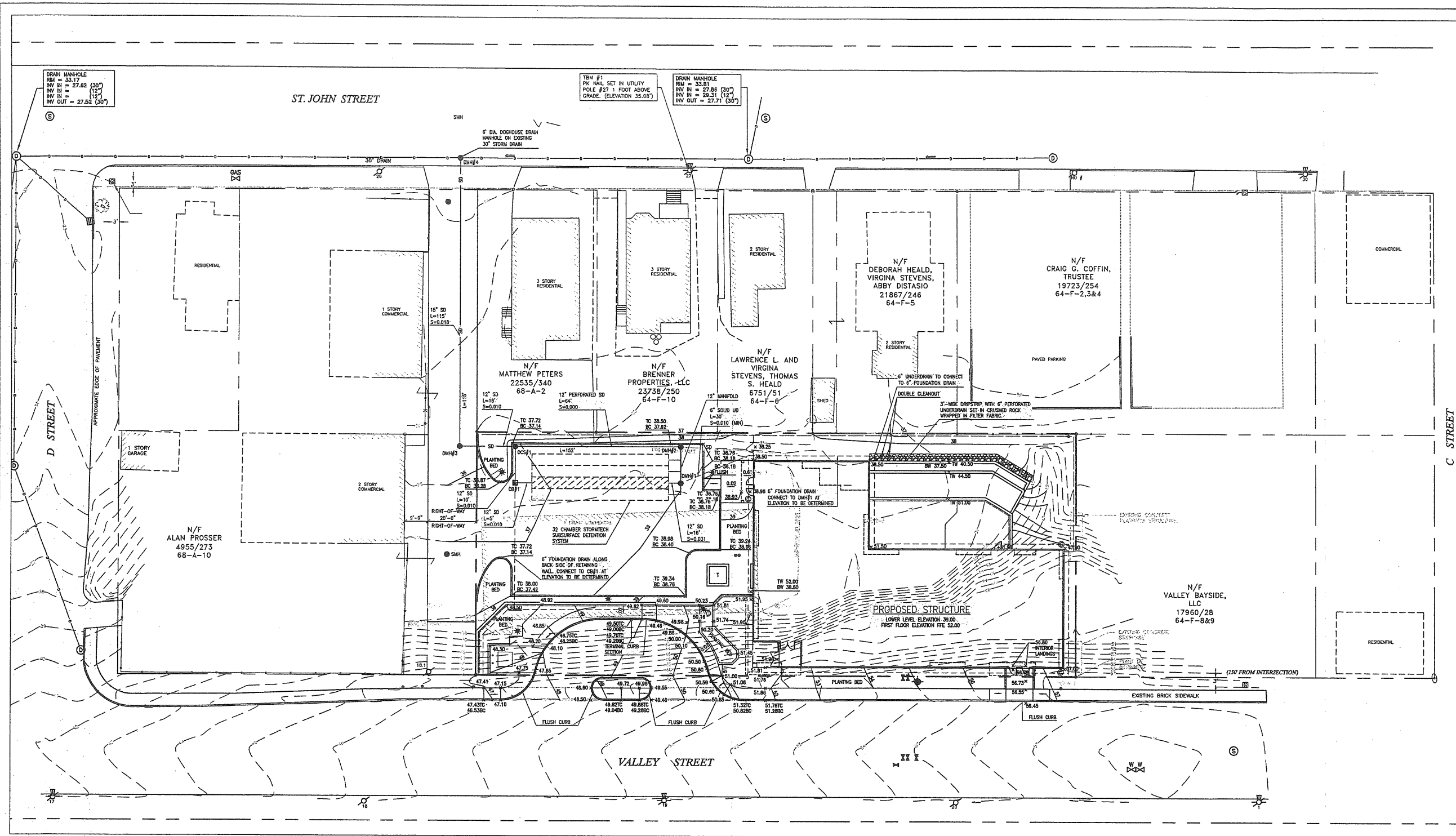
	EXISTING	PROPOSED
PROPERTY LINE		
SETBACK LINE		
REBAR FOUND		
EASEMENT AREA		
CATCHBASIN		
SEWER MANHOLE		
DRAIN MANHOLE		
ELECTRIC TRANSFORMER		
WATER VALVE		
FIRE HYDRANT		
GAS VALVE		
UTILITY POLE		
UTILITY POLE WITH LIGHT		
LIGHT POLE		
SECURITY CAMERA		
FENCE		
SIGN		

1. SITE IS SUBJECT TO CONDITIONAL ZONE AGREEMENT TITLED "AVESTA FLORENCE HOUSE LP, FLORENCE HOUSE HOUSING CORPORATION AND FLORENCE HOUSE CONDOMINIUM ASSOCIATION" APPROVED BY PORTLAND CITY COUNCIL ON SEPTEMBER 17, 2007.	2. TOTAL SITE AREA: 24,968 SF OR 0.57 ACRES	3. ZONING DISTRICT: CONDITIONAL ZONE AGREEMENT WITH UNDERLYING ZONES: B-2 COMMUNITY BUSINESS ZONE R-6 RESIDENTIAL ZONE
4. SPACE AND BULK REQUIREMENTS: SEE CONDITIONAL ZONE AGREEMENT (CZA)	REQUIRED: 24,968 SF (SEE CZA)	PROPOSED: 24,968 SF (SEE NOTE BELOW)
MAXIMUM LOT SIZE: NONE	DENSITY: NONE	MINIMUM FRONT SETBACK: NONE
MINIMUM REAR SETBACK: NONE	MINIMUM SIDE SETBACK: 5 FEET	MAXIMUM LOT COVERAGE: 40%
MAXIMUM BUILDING HEIGHT: 45 FEET	OPEN SPACE RATIO: 26%	PARKING REQUIREMENTS: 16 SPACES
MINIMUM LOT SIZE: N/A	MINIMUM STREET FRONTAGE: 40 FEET	MINIMUM LOT WIDTH: 50 FEET
MINIMUM INTERVIOUS SURFACE: 74%	DENSITY NOTE: NO MORE THAN 40 BEDS FOR WOMEN ONLY ON THE FIRST FLOOR INCLUDING UP TO 25 EMERGENCY SHELTER BEDS AND 15 SAFE HAVEN BEDS; AND UP TO 25 AFFORDABLE RENTAL EFFICIENCY APARTMENTS ON THE SECOND AND THIRD FLOORS.	

FLOOR LEVEL	AREA	DWELLING UNITS/ BEDSPACES
BASEMENT (CUNT 1)	8,138 SF	0
FIRST FLOOR (CUNT 1)	8,021 SF	25-40 BEDSPACES
SECOND FLOOR (CUNT 2)	7,545 SF	12 DWELLING UNITS
THIRD FLOOR (CUNT 2)	7,545 SF	13 DWELLING UNITS
TOTAL BUILDING SQUARE FOOTAGE:	31,249 SF	
NUMBER OF STORIES:	3 STORIES (PLUS BASEMENT)	

- 5. BOUNDARY LINE AND TOPOGRAPHIC INFORMATION BASED ON SURVEY PREPARED BY NORTHEAST CIVIL SOLUTIONS, FROM PLANS DATED JANUARY 31, 2007.
- 6. BENCHMARK IS PK NAIL SET IN UTILITY POLE #27 ONE FOOT ABOVE GRADE ON THE EASTERN SIDE OF ST. JOHN STREET BETWEEN C STREET AT D STREET WITH AN ELEVATION OF 35.06'.
- 7. THE BASIS OF BEARING FOR THIS SURVEY WAS TAKEN FROM THE PLAN REFERENCED IN NOTE 13.A. BELOW. SAID BEARING IS MAGNETIC, 2005.
- 8. DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
- 9. RECORD OWNERSHIP OF THE PARCEL SURVEYED CAN BE FOUND IN A DEED FROM PETER HOLMES TO C + D ASSOCIATES DATED APRIL 23, 1985 AND RECORDED IN DEED BOOK 6740, PAGE 330.
- 10. THE PARCEL IS IDENTIFIED ON THE CITY OF PORTLAND ASSESSOR'S MAP G4, BLOCK F, PARCEL 20 AND MAP G8, BLOCK A, PARCEL 11.
- 11. THE WIDTH AND LAYOUT OF VALLEY STREET, ST. JOHN STREET, C STREET + D STREET ARE BASED ON CITY OF PORTLAND PUBLIC WORKS RECORDS. SAID WIDTHS OF ALL THESE STREETS ARE 60 FEET.
- 12. REFERENCE IS MADE TO THE FOLLOWING PLANS:
  - A. "CONDOMINIUM PLAN OF 205 ST. JOHN STREET, PORTLAND, MAINE" BY NORTHEAST CIVIL SOLUTIONS, INC. DATED JUNE 30, 2005.
  - B. "PLAN OF LANDS ON ST. JOHN STREET" BY WILLIAM A. GOODWIN, CIVIL ENGINEER, DATED JULY, 1879 AND RECORDED IN PLAN BOOK 4, PAGE 21.
  - C. "EASEMENT AGREEMENT FOR 20' WIDE RIGHT-OF-WAY" OVER MAP G8, BLOCK A, PARCEL 10 AS RECORDED IN DEED BOOK 4323, PAGE 133.
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  - D. "EASEMENT TO CENTRAL MAINE POWER CO. FOR INSTALL AND MAINTENANCE OF POWER LINES FROM POLE 18 TO POLE 18.1" AS RECORDED IN DEED BOOK 4932, PAGE 312.
- 14. A LICENSE, COVERING A 1,250 SF AREA, HAS BEEN GRANTED BY THE CITY OF PORTLAND FOR THE PROPERTY FRONTAGE ALONG VALLEY STREET FOR MAINTENANCE OF PAVING AND VEGETATION.
- 15. ELEVATIONS AND CONTOURS ARE BASED ON NGVD 1929 DATUM TAKEN FROM THE DISK CALLED FOR AS RH-34 ON FIRM PANEL 230051 0013 B. SEE PLAN FOR TBM DESCRIPTION.

- 16. UNDERGROUND GAS AND WATER LINE LOCATIONS ON ST. JOHN STREET WERE TAKEN FROM CITY OF PORTLAND PUBLIC WORKS RECORDS FROM 1998. VERIZON LINES WERE FIELD LOCATED. SEWER AND DRAIN LINES AND INVERTS WERE FIELD LOCATED AS WELL. ALL UTILITY LOCATIONS SHALL BE CONSIDERED APPROXIMATE.
- 17. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND KEEPING STREETS CLEAN DURING CONSTRUCTION. A MAINTENANCE PLAN SHALL BE PREPARED AND APPROVED BY THE OWNERS REPRESENTATIVE.
- 18. DIMENSIONS ARE FROM FACE OF CURB.
- 19. SITE POLE AND BUILDING MOUNTED LIGHTING TO BE MANUFACTURED BY KM LIGHTING. SITE POLE MOUNTED LIGHTING TO BE SFS, SMALL STRUCTURAL, 175 WATT METAL HALIDE, WHITE (WH-P). BUILDING MOUNTED LIGHTING TO BE SFS, SMALL STRUCTURAL, 70 WATT METAL HALIDE, WHITE (WH-P).
- 20. SITE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL LIGHT POLE BASES AND TRENCHING FOR CONDUIT.
- 21. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONDUIT, POLE MOUNTED LIGHT FIXTURES AND POLES.
- 22. EXACT LOCATIONS OF SECURITY CAMERAS TO BE CONFIRMED AS PART OF THE MANAGEMENT PLAN.
- 23. ALL MATERIALS AND INSTALLATION DETAILS SHALL MEET M.D.O.T. AND/OR CITY OF PORTLAND STANDARD SPECIFICATIONS.



Prepared For:  
Applicant:

**AVESTA HOUSING**  
307 Cumberland Avenue  
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Tel: (207) 553-7777

Prepared By:  
**MITCHELL & ASSOCIATES**  
Landscape Architects  
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**Gorrill-Palmer**  
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**FLORENCE HOUSE**  
 190 Valley Street  
 Portland, Maine

Date:  
SEPTEMBER 4, 2007

Issued For:  
SITE PLAN AND  
SUBDIVISION REVIEW

Revisions:  
October 2, 2007 - Per Planning  
Staff and Board Comments.

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Title:  
**GRADING AND  
DRAINAGE PLAN**

Scale: 1"=20'

North:

Sheet No:  
**3**

**LEGEND**

	EXISTING	PROPOSED		EXISTING	PROPOSED
PROPERTY LINE			WATER SERVICE		
MONUMENT FOUND			SEWER SERVICE		
REBAR FOUND			STORM DRAIN		
CONTOUR			GAS SERVICE		
SPOT GRADE			UNDERGROUND TELEPHONE		
CATCHBASIN			OVERHEAD WIRES		
FIELD INLET			UNDERGROUND ELECTRIC		
SEWER MANHOLE			TELEPHONE + CABLE		
DRAIN MANHOLE			UNDERGROUND SECONDARY ELECTRIC		
WATER VALVE			FENCE		
GAS VALVE			TEST BORING		
UTILITY POLE					
UTILITY POLE WITH LIGHT					
LIGHT POLE					

**UTILITY NOTES**

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.
2. DMH#2 SHALL HAVE A WEIRWALL UP TO ELEVATION 33.00 TO DIRECT RUNOFF TO THE POND.

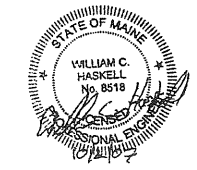
**BUILDING AVERAGE GRADE**

38.50	
38.50	
51.50	
47.00	
57.00	
51.98	
51.50	
+ 38.50	
374.48	
	$\frac{374.48}{8} = 46.81$

NOTE:  
THE AVERAGE GRADE CALCULATION IS BASED ON PROPOSED AVERAGE GRADE IN ACCORDANCE WITH THE ZONING ADMINISTRATOR METHODOLOGY.

**STORM DRAIN STRUCTURES**

STRUCTURE	SIZE	RIM	INV. IN	INV. OUT
CB#1	4' DIA	36.28	TBD (UD)	31.62
				33.00
DMH#1	6' DIA	38.00	TBD (FD)	31.62
DMH#2	4' DIA	38.00	33.00	31.00
DMH#3	4' DIA	35.70	30.62	30.42
DMH#4	6' DIA	EXISTING GRADE	27.63 (EXISTING)	27.63 (EXISTING)
			28.35	
OCS	6' DIA		31.00	30.80



Prepared For:  
Applicant:



307 Cumberland Avenue  
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Tel: (207) 553-7777

Prepared By:  
**MITCHELL & ASSOCIATES**  
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**GP** Gorrell-Palmer  
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Oray, ME 04039 FAX: 207-857-8212

**FLORENCE HOUSE**  
Portland, Maine  
190 Valley Street

Date:  
SEPTEMBER 4, 2007

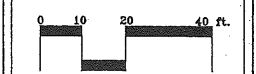
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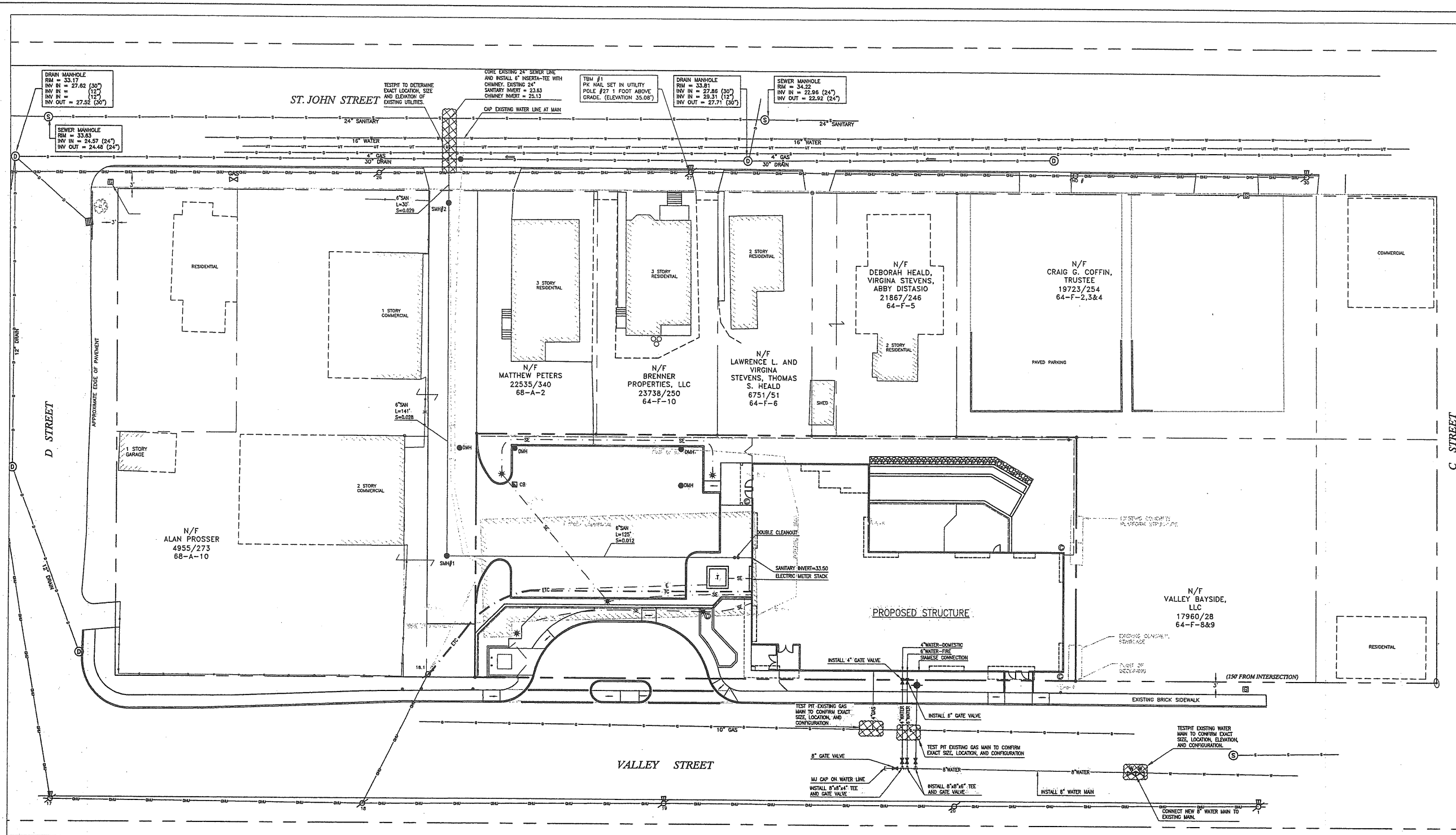
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Title:  
UTILITIES PLAN

Scale: 1"=20'



North: Sheet No:  
**4**



**LEGEND**

	EXISTING	PROPOSED		EXISTING	PROPOSED
PROPERTY LINE			WATER SERVICE		
MONUMENT FOUND			SEWER SERVICE		
REBAR FOUND			STORM DRAIN		
CONTOUR			GAS SERVICE		
SPOT GRADE			UNDERGROUND TELEPHONE		
CATCHBASIN			OVERHEAD WIRES		
FIELD INLET			UNDERGROUND ELECTRIC TELEPHONE + CABLE		
SEWER MANHOLE			UNDERGROUND SECONDARY ELECTRIC		
DRAIN MANHOLE			FENCE		
WATER VALVE			TEST BORING		
GAS VALVE					
UTILITY POLE					
UTILITY POLE WITH LIGHT					
LIGHT POLE					

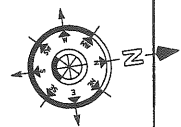
**UTILITY NOTES**

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.
2. NEAREST FIRE HYDRANT IS LOCATED ON THE NORTHEASTERN CORNER OF C STREET AND ST. JOHN STREET AT A DISTANCE OF 405 FEET FROM THE PROPERTY LINE ON VALLEY STREET.

**SANITARY STRUCTURES**

STRUCTURE	SIZE	RM	INV. IN	INV. OUT
BUILDING	2'x2'	-	-	33.50
SMH#1	4' DIA	37.15	32.00	31.80
SMH#2	4' DIA	33.90	28.00	26.00

EXISTING GRADE



Abr.	Botanical Name	Common Name	Size	Qty	Note	Comments
Acl	Acer x freemanii 'Amelroy'	Freeman Maple	2.5' cal	7	Tree	45x12'
Amx	Amelanchier x grandiflora 'Princess Diana'	Shadbush	1.75' cal	3	Tree	25x10'
Ben	Betula nigra 'Nanango'	Row Birch	2.5' cal	3	Tree	50x40'
Com	Cornus mas	Corneliancherry	1.75' cal	1	Tree	15x12'
Coo	Cotinus obovatus	American Smoke tree	5-6'	2	Tree	20x12'
Mal	Malus Spring Snow	Crabapple	2' cal	3	Tree	18 x10' -White flowers
Nys	Nyssa sylvatica	Black Gum	2' cal	4	Tree	75x60' red-orange in fall
Pif	Pinus Resolva	Limber Pine	6-7'	3	Tree	25x10'
Thy	Thuja occidentalis 'Capitata'	Japanese Yew	6-7'	2	Tree	20x12'
Thn	Thuja occidentalis 'Nana'	Dark American Arborvitae	10'	6	Tree	25x12'
Ara	Aronia arbutifolia 'Briarcliff'	Red Chokeberry	#5	6	Shrub	10x6'
Azp	Azalea arboreas x viscosum 'Pink and Sweet'	Pink and Sweet Azalea	#3	3	Shrub	6x6'
Azx	Azalea Exbury 'Knappl Red'	Knappl Red Azalea	#3	6	Shrub	6x6'
Cho	Chamaecyparis obtusa 'Compacta'	Compact Hinoki Falsecypress	2.5-3'	1	Shrub	10x6'
Hya	Hydrangea arborescens 'petalstar'	Climbing Hydrangea	#3	3	Shrub	20'
Hym	Hydrangea macrophylla 'Blushing Bride'	Blushing Bride Hydrangea	#3	14	Shrub	4x5'
Juc	Juniperus chinensis 'Casino Gold'	Juniper	#2	5	Shrub	2x4'
Jus	Juniperus chinensis 'Sea Green'	Juniper	#5	21	Shrub	4x6'
Rhr	Rhododendron 'Roseum Elegans'	Roseum Elegans Rhododendron	4-5'	2	Shrub	8x8'
Roc	Rosa 'Caroline Sunshine'	Shrub Rose	#3	6	Shrub	3.5h yellow
Spb	Spiraea betulifolia 'Toi'	Birchleaf Spirea	#3	6	Shrub	10x6'
Syt	Syringa x hobocottiana 'Pocahontas'	Ulm	4-5'	6	Shrub	10x6'
Tam	Taxus x media 'Brownii'	Yew	2-2.5'	3	Shrub	3x5'
The	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	5-6'	4	Shrub	18x4'
Vip	Viburnum prunifolium	Blackhaw Viburnum	4-5'	8	Shrub	15-10'
Vim	Vincetoxicum	Periwinkle	clump	48	Groundcover	1-3' will spread
Wat	Waldsteinia ternata	Barren Strawberry	3" pot	44	Groundcover	1-3' will spread
Perennials to be announced.						

**G**  
**GAWRON TURGEON ARCHITECTS**  
 29 Black Point Road  
 Scarborough, ME 04074  
 www.gawronturgeon.com  
 Tel. 207 . 883 . 6307  
 Fax. 207 . 883 . 0361

**AVESTA HOUSING**  
**FLORENCE HOUSE**  
 PORTLAND, MAINE

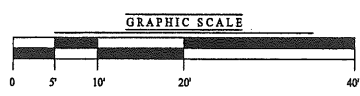
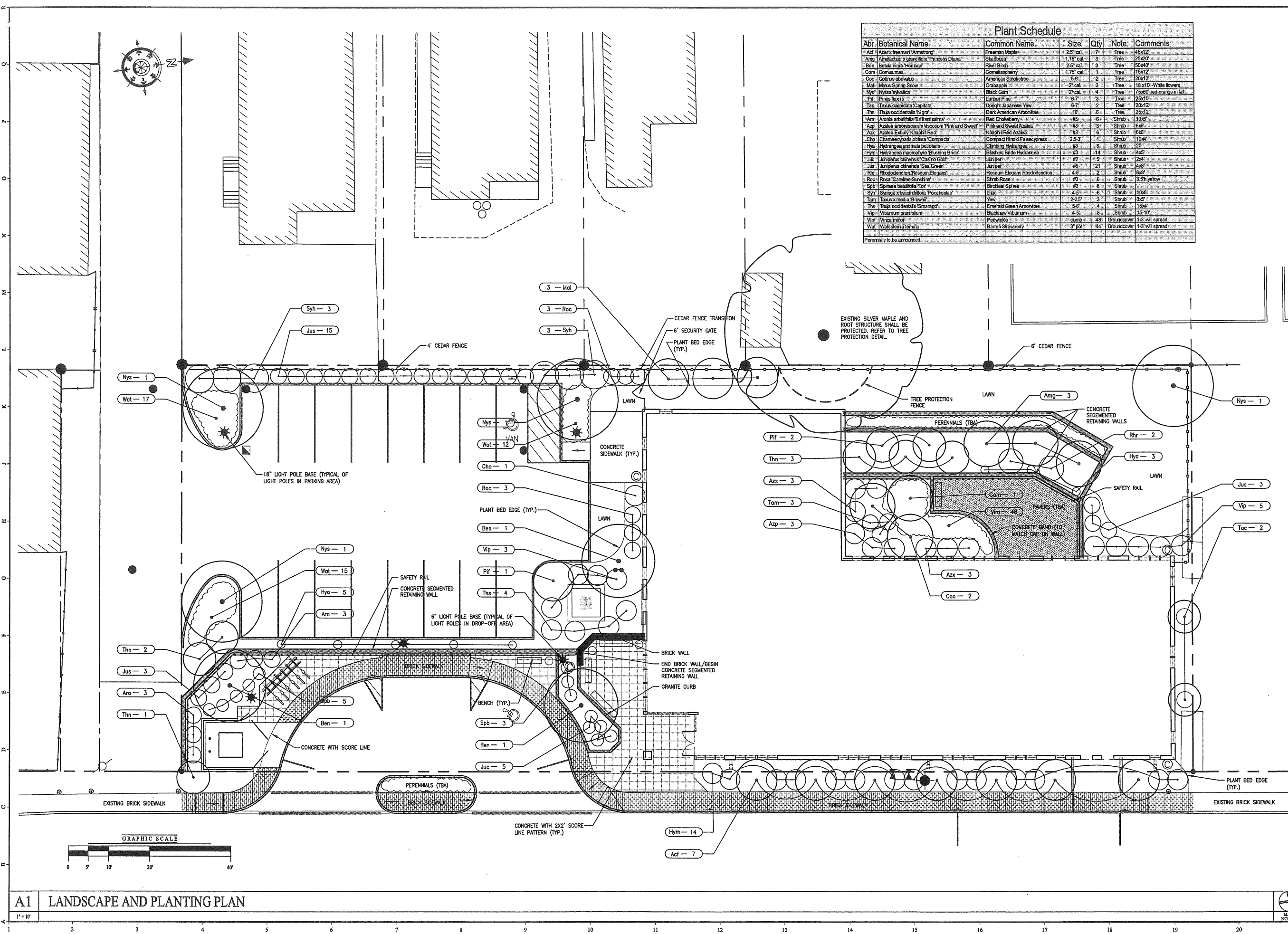
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1	04.02.07	CONTRACT ZONE SUB
2	05.23.07	CONTRACT ZONE REV
3	07.10.07	CONTRACT ZONE REV
4	09.04.07	SITE PLAN AND SUBDIVISION REVIEW
5	10.02.07	FINAL SITE PLAN REVIEW
6	10.11.07	FINAL SITE PLAN PLANT SIZE REV.

DATE: 10.17.07  
 PROJECT #: 100405  
 DRAWN BY: KLD  
 CHECKED BY: RS  
 DRAWING SCALE: 1" = 10'-0"

SHEET TITLE  
 LANDSCAPE & PLANTING PLAN

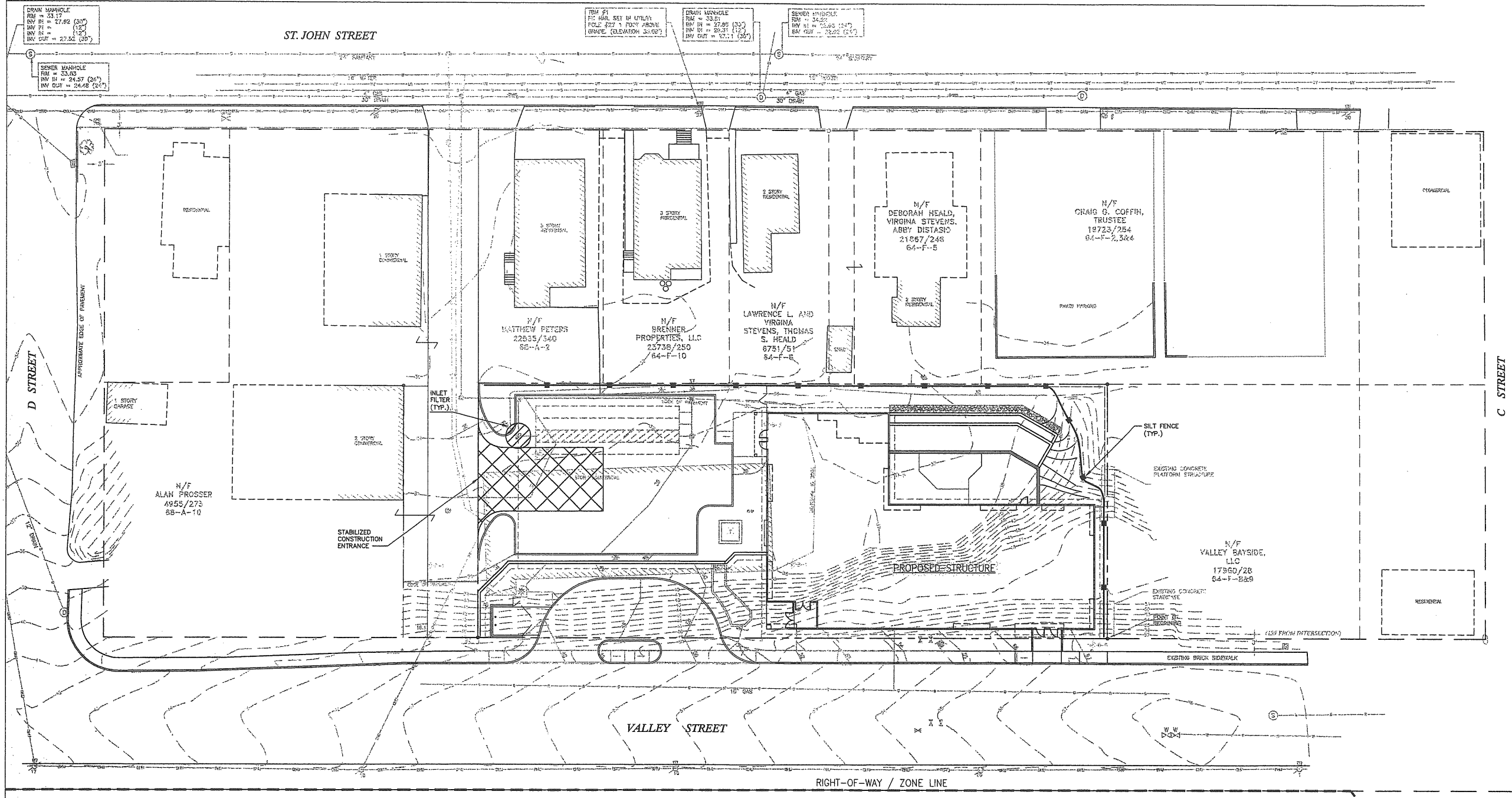
Sheet No.: **5**

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**A1 LANDSCAPE AND PLANTING PLAN**

rec'd  
10-18-07



Prepared For:  
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Date:  
SEPTEMBER 4, 2007

Issued For:  
SITE PLAN AND  
SUBDIVISION REVIEW

Revisions:

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Title:  
**EROSION AND  
SEDIMENTATION  
CONTROL PLAN**

Scale: 1"=20'

0 10 20 40 ft.

North:

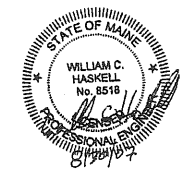
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**6**

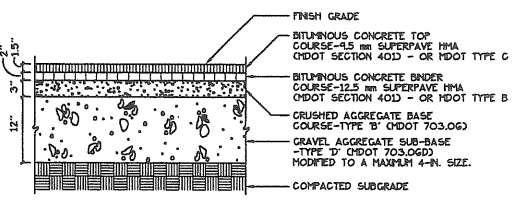
**LEGEND**

	EXISTING	PROPOSED		EXISTING	PROPOSED
PROPERTY LINE	---	---	WATER SERVICE	W	WATER
MONUMENT FOUND	■ MON		SEWER SERVICE	S	SS
REBAR FOUND	●●		STORM DRAIN	D	SD
CONTOUR	70	70	GAS SERVICE	G	GAS
SPOT GRADE	+39.66	+39.66	UNDERGROUND TELEPHONE	UT	
CATCHBASIN	■	CB	OVERHEAD WIRES	OHU	
FIELD INLET		FI	UNDERGROUND ELECTRIC		E/TC
SEWER MANHOLE	⊙	SMH	TELEPHONE + CABLE		SC
DRAIN MANHOLE	⊙	DMH	UNDERGROUND SECONDARY ELECTRIC		
WATER VALVE	⊙		FENCE	---	---
GAS VALVE	⊙		TEST BORING	⊕	
UTILITY POLE	⊥				
UTILITY POLE WITH LIGHT	⊥				
LIGHT POLE		*			

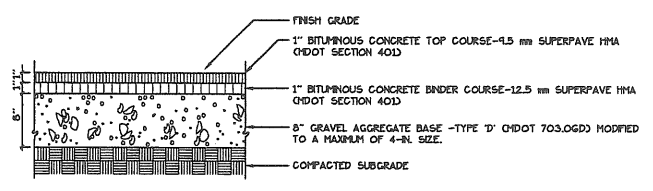
**NOTES**

- REFER TO DRAWING 13 FOR EROSION AND SEDIMENTATION CONTROL DETAILS AND NOTES.
- ALL SLOPES STEEPER THAN 3:1 SHALL BE PROTECTED WITH CURLEX BLANKETS BY AMERICAN EXCELSIOR. INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- FOR TEMPORARY STABILIZATION INSTALL TENAX MULTIMAT FABRIC ON ALL SLOPES EQUAL TO OR STEEPER THAN 8% BETWEEN OCTOBER 1 AND APRIL 15 AND EQUAL TO OR STEEPER THAN 15% BETWEEN APRIL 15 AND OCTOBER 1. INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR SHALL MINIMIZE FUGITIVE DUST EMISSIONS BY SWEEPING THE ADJACENT STREETS AS REQUIRED AND BY APPLYING WATER OR OTHER ENVIRONMENTALLY SOUND DUST CONTROL SOLUTION (CALCIUM CHLORIDE) ON SITE AS REQUIRED.

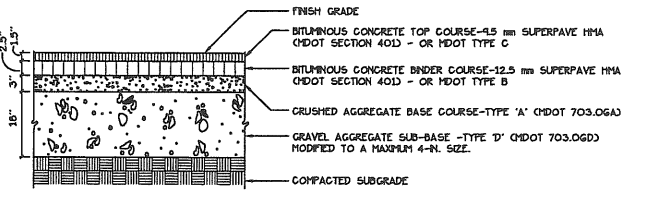




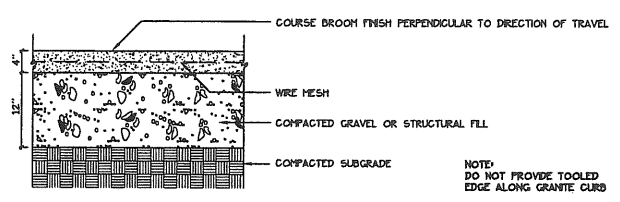
1 BITUMINOUS PAVEMENT - DRIVEWAY  
NOT TO SCALE



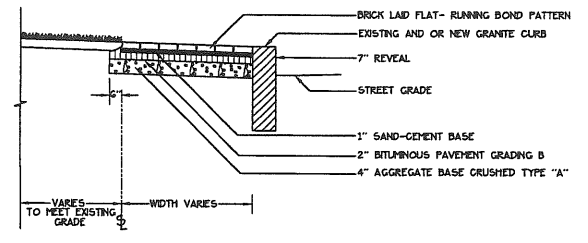
2 BITUMINOUS SIDEWALK  
NOT TO SCALE



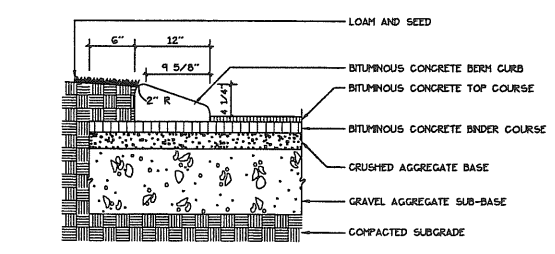
3 BITUMINOUS PAVEMENT - PUBLIC RIGHT-OF-WAY  
NOT TO SCALE



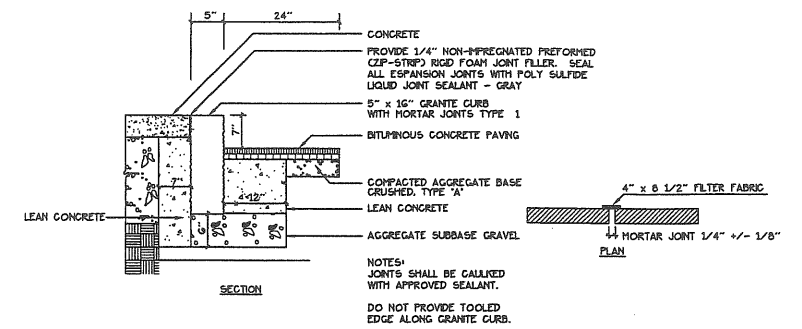
4 CONCRETE DUMPSTER PAD  
NOT TO SCALE



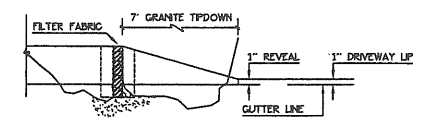
5 BRICK SIDEWALK WITH GRANITE CURB  
NOT TO SCALE



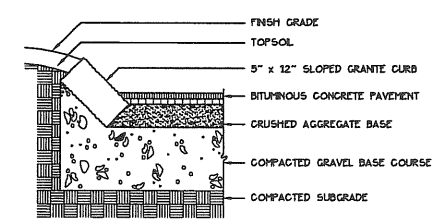
6 CAPE COD CURB  
NOT TO SCALE



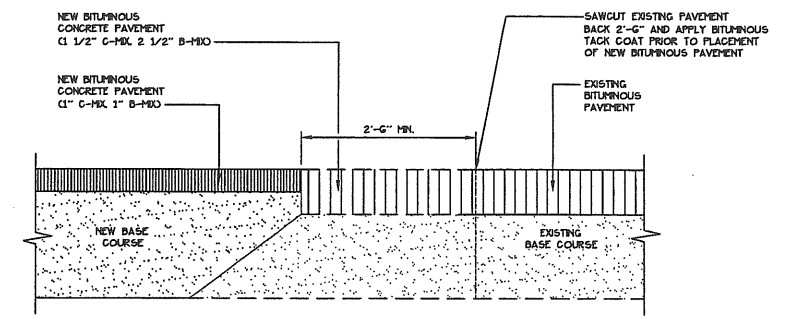
7 VERTICAL GRANITE CURB  
NOT TO SCALE



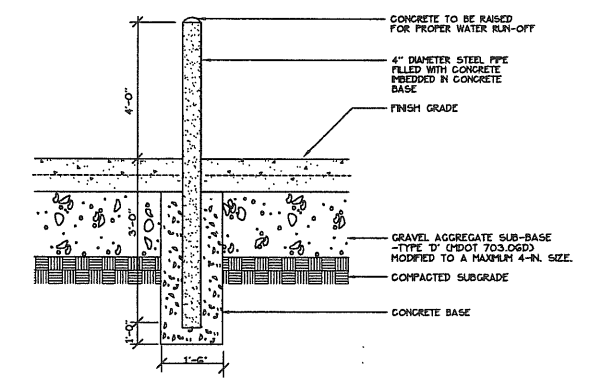
8 GRANITE TIPDOWN CURB  
NOT TO SCALE



9 SLOPED GRANITE CURB  
NOT TO SCALE

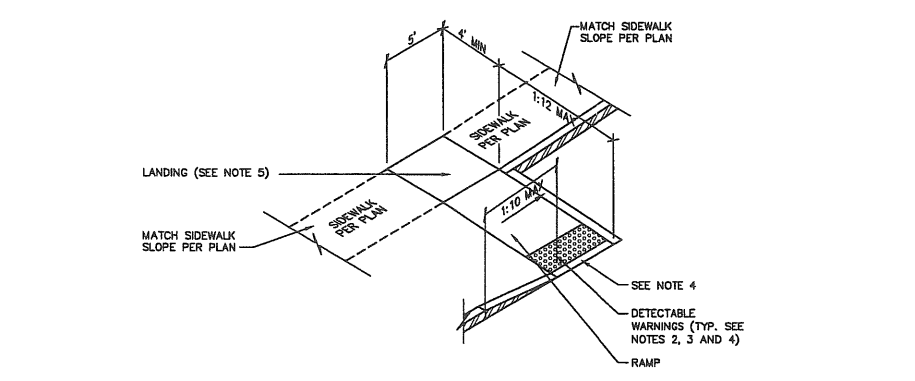
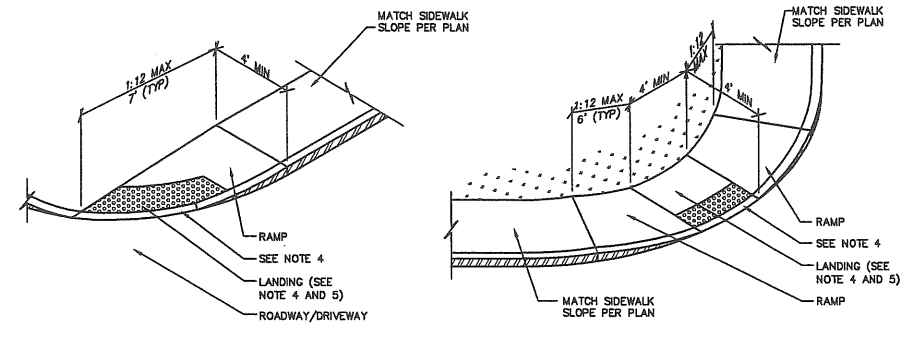


10 PAVEMENT SAWCUT DETAIL  
NOT TO SCALE



11 BOLLARD DETAIL  
NOT TO SCALE

- NOTE:**
- CURB RAMP LENGTHS ARE BASED ON SIX (6) INCH CURB REVEAL HEIGHT AND NO RUNNING SLOPE. RAMP LENGTHS SHALL BE ADJUSTED AS NECESSARY TO ACCOMMODATE VARYING CURB REVEAL HEIGHTS AND TO MATCH RUNNING SLOPES OF ADJACENT ROADWAY AND SIDEWALK SLOPES TO MAINTAIN A RAMP THAT DOES NOT EXCEED THE MAXIMUM RAMP SLOPE OF 1:12.
  - DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRIANGULAR DORIES AND SHALL HAVE A BASE DIAMETER OF 0.4 INCHES (C23) AND 1.4 INCHES (C36) MAXIMUM. A TOP DIAMETER OF 50 PERCENT OF THE BASE DIAMETER MINIMUM TO 65 PERCENT OF THE BASE DIAMETER MAXIMUM AND A HEIGHT OF 0.2 INCHES (C3.3) MAXIMUM. A CENTER-TO-CENTER SPACING OF 1.6 INCHES (C16) MINIMUM AND 2.4 INCHES (C24) MAXIMUM AND A BASE-TO-BASE SPACING OF 0.65 INCHES (C6.5) MAXIMUM MEASURED BETWEEN THE MOST ADJACENT DORIES ON A SQUARE GRID.
  - DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE. DETECTABLE WARNINGS USED ON INTERIOR SURFACES SHALL DIFFER FROM ADJOINING WALKING SURFACES IN RESISTENCY OR SOUND-ON-CARE CONTACT.
  - ALL ACCESSIBLE ROUTE SIDEWALKS INTERSECTING ROADWAYS, DRIVEWAYS, OR OTHER VEHICULAR CROSSINGS REQUIRE DETECTABLE WARNINGS. DETECTABLE WARNING ZONES SHALL BE INSTALLED SIX (6) INCHES (OR THE HORIZONTAL THICKNESS OF THE ADJACENT CURB) FROM THE FLOW LINE OF THE CURB, EXTEND INTO THE SIDEWALK FOR A 24\"/>



12 BARRIER FREE RAMP  
NOT TO SCALE

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190 Valley Street  
Portland, Maine

Date:  
SEPTEMBER 4, 2007

Issued For:  
SITE PLAN AND  
SUBDIVISION REVIEW

Revisions:

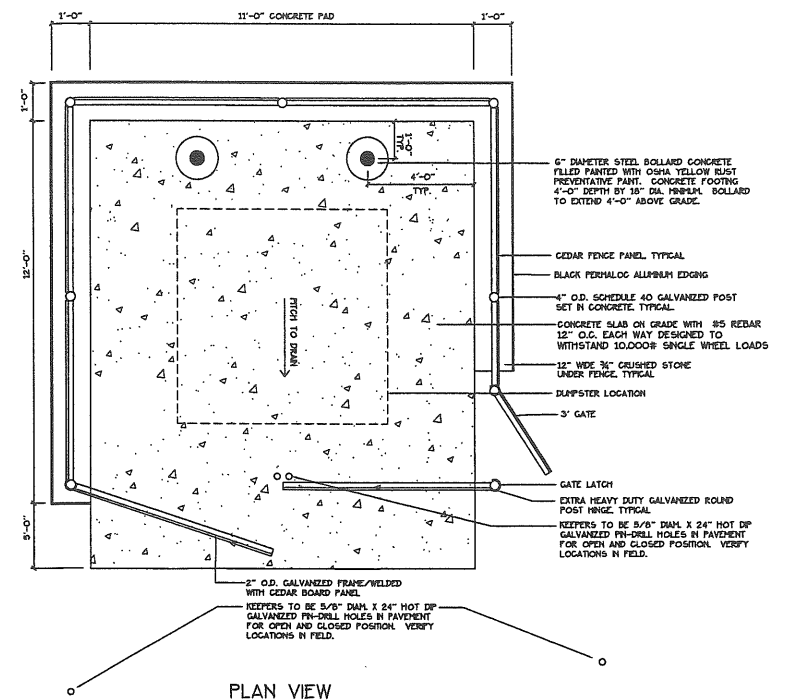
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Title:  
SITE DETAILS

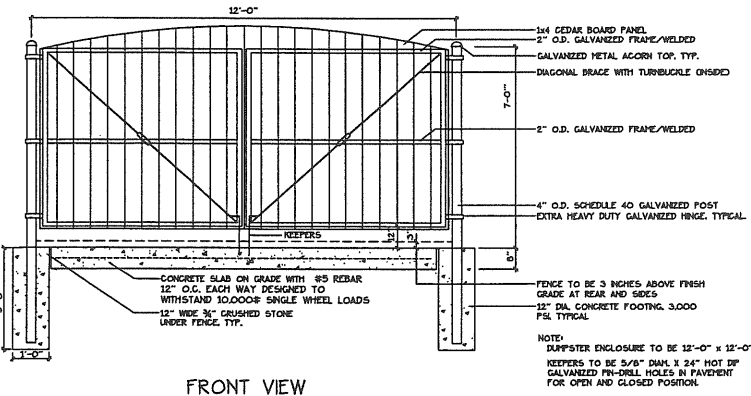
Scale:

North: Sheet No:  
**7**

DATE PLOTTED: 09/04/07 11:14 AM

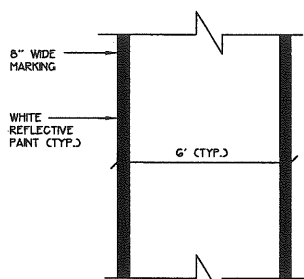


PLAN VIEW

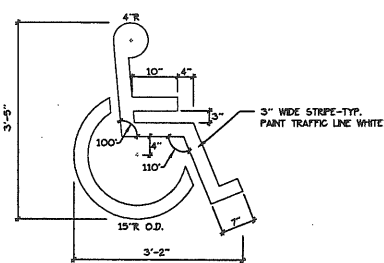


FRONT VIEW

1 DUMPSTER ENCLOSURE AND SLAB  
NOT TO SCALE

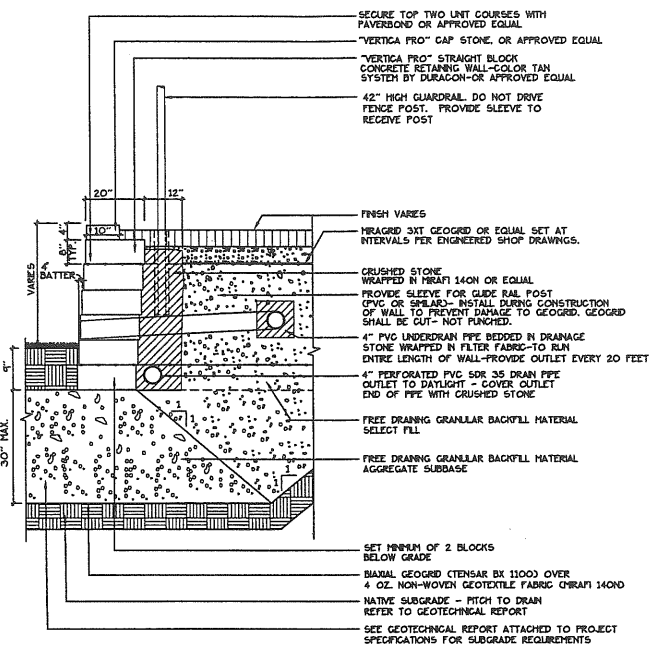


2 PAINTED CROSSWALK DETAIL  
NOT TO SCALE

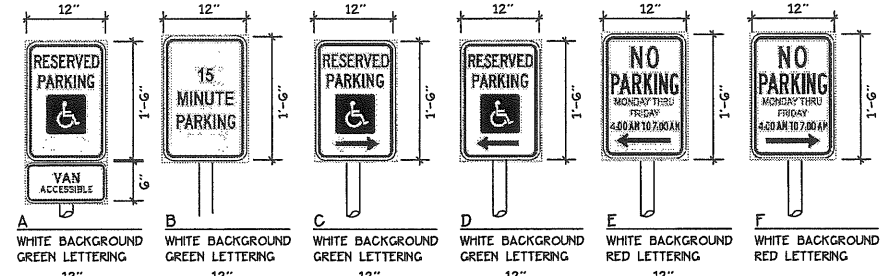


3 ACCESSIBLE SPACE MARKINGS  
NOT TO SCALE

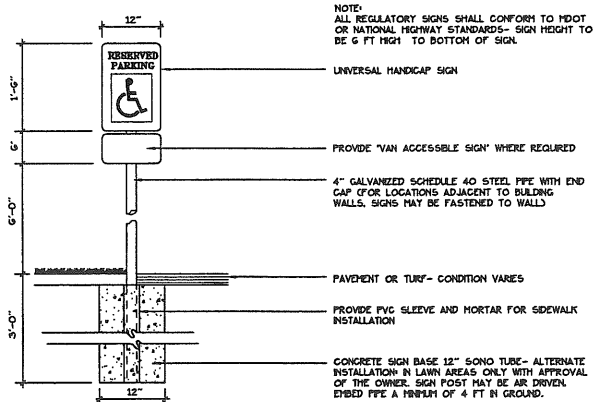
NOTES:  
CONTRACTOR SHALL PROVIDE RETAINING WALL DESIGN AND SHOP DRAWINGS STAMPED BY A MAINE PROFESSIONAL ENGINEER. ENGINEER SHALL REFER TO GEOTECHNICAL REPORT INCLUDED IN PROJECT SPECIFICATIONS.  
GEOTEXTILE GRID IS TO BE CUT, NOT PUNCTURED, WHERE GUYE RAIS OR FENCE POSTS INTERSECT WITH GEOTEXTILE GRID.



4 CONCRETE SEGMENTAL RETAINING WALL WITH GUARD RAIL  
NOT TO SCALE



SIGNAGE LEGEND



5 SIGNAGE  
NOT TO SCALE

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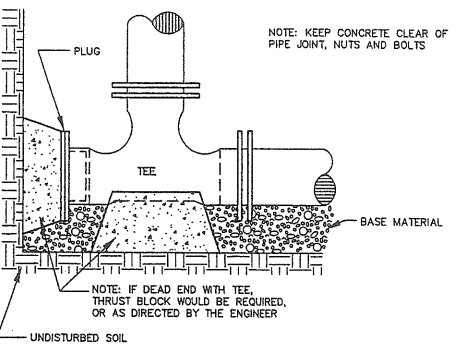
Revisions:  
October 2, 2007 - Per Planning  
Staff and Board Comments.  
October 17, 2007 - Per Planning  
Staff Comments.

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Title:  
SITE DETAILS

Scale:

North: Sheet No:  
**8**



NOTE: KEEP CONCRETE CLEAR OF PIPE JOINT, NUTS AND BOLTS

STANDARD TEE BLOCKING

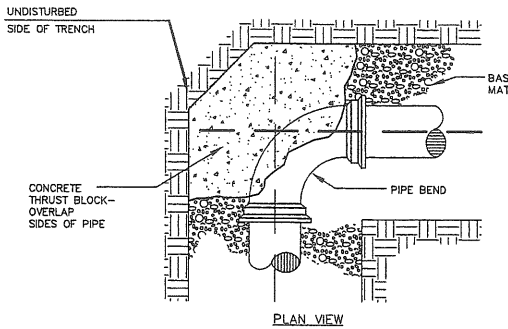
1. INSTALL POLY BARRIER BETWEEN PIPE AND ALL THRUST BLOCKS.
2. ANY MODIFICATION TO THRUST BLOCK SIZING OR PIPE RESTRAINT REVISIONS SHALL BE APPROVED IN WRITING BY THE ENGINEER PRIOR TO IMPLEMENTATION IN THE FIELD
3. ANY WORK RELATING TO WATER PIPING OR DETAILS SHALL BE IN ACCORDANCE WITH THE PORTLAND WATER DISTRICT SPECIFICATIONS

PIPE SIZE	1/32 BEND	1/16 BEND	1/8 BEND	1/4 BEND	TEES/CAPS
4"	1.8	3.6	7.0	12.8	9.1
6"	3.7	7.3	14.3	26.4	8.7
8"	6.4	12.6	24.7	45.5	32.2

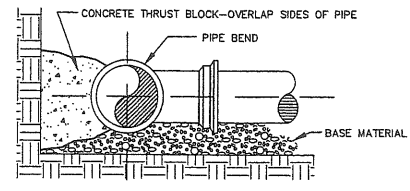
BEARING SURFACE REQUIRED IN SQUARE FEET

NOTE: KEEP CONCRETE CLEAR OF PIPE JOINT, NUTS AND BOLTS

THRUST BLOCK NOTES



PLAN VIEW

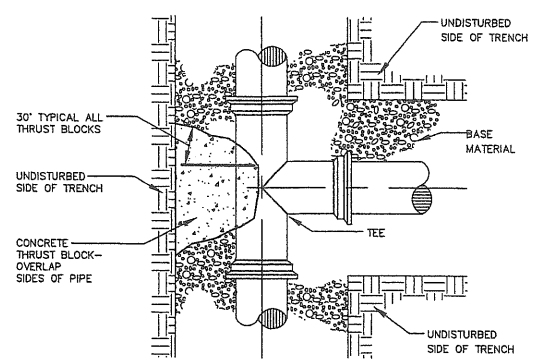


SECTION

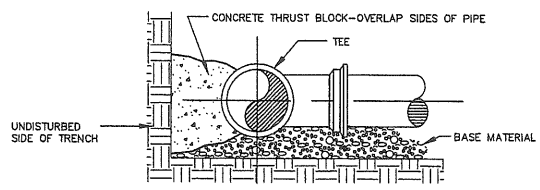
TYPICAL THRUST BLOCK PLACEMENT ON BENDS

THRUST BLOCKS

N.T.S.



PLAN VIEW

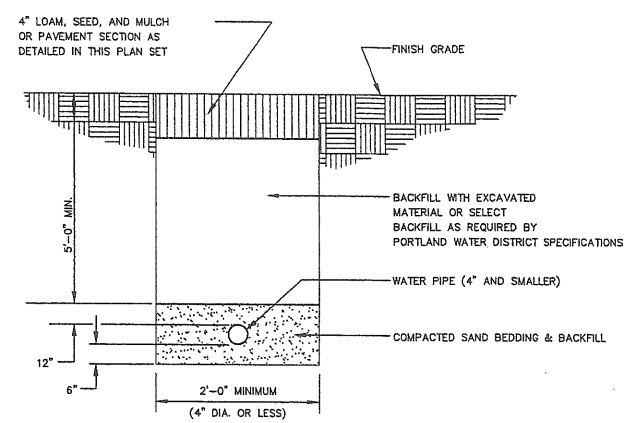


SECTION

TYPICAL THRUST BLOCK PLACEMENT ON TEES

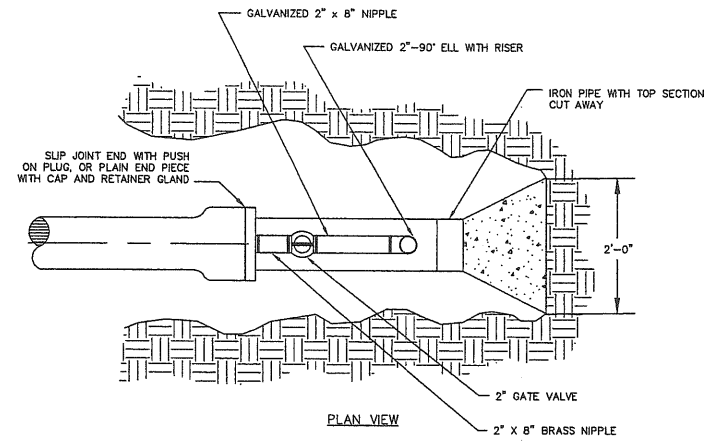
THRUST/RETAINER GLAND SCHEDULE	
1/4 BEND (90°)	USE POURED-IN-PLACE THRUST BLOCK w/RETAINERS
1/8 BEND (45°)	THRUST BLOCK w/RETAINERS
1/16 BEND (22 1/2°)	THRUST BLOCK
1/32 BEND (11 1/4°)	THRUST BLOCK

THE ABOVE SCHEDULE IS SUBJECT TO THE APPROVAL OF THE ON-SITE INSPECTOR DUE TO SOILS AND WORKING PRESSURES IN THE AREA.

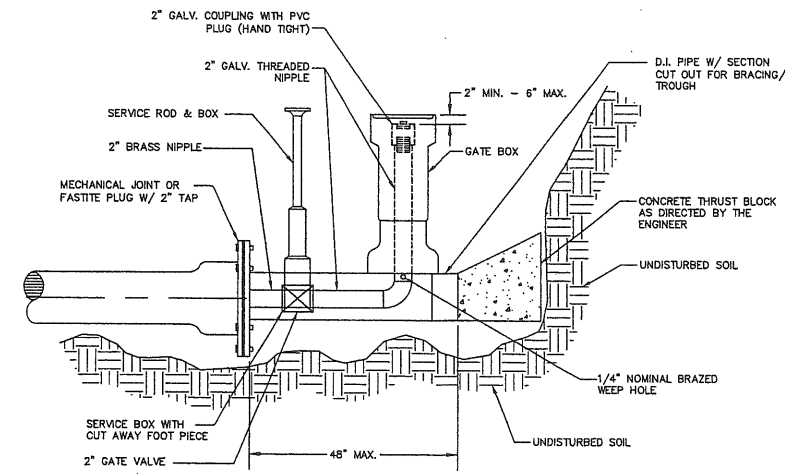


WATER SERVICE TRENCH SECTION

N.T.S.



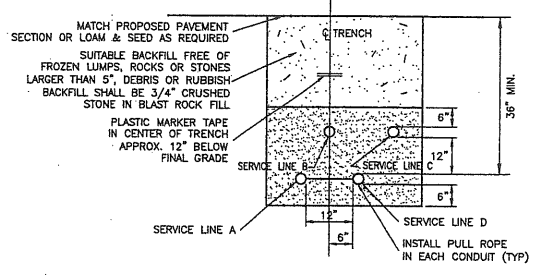
PLAN VIEW



SECTION

STANDARD 2" BLOW OFF

N.T.S.

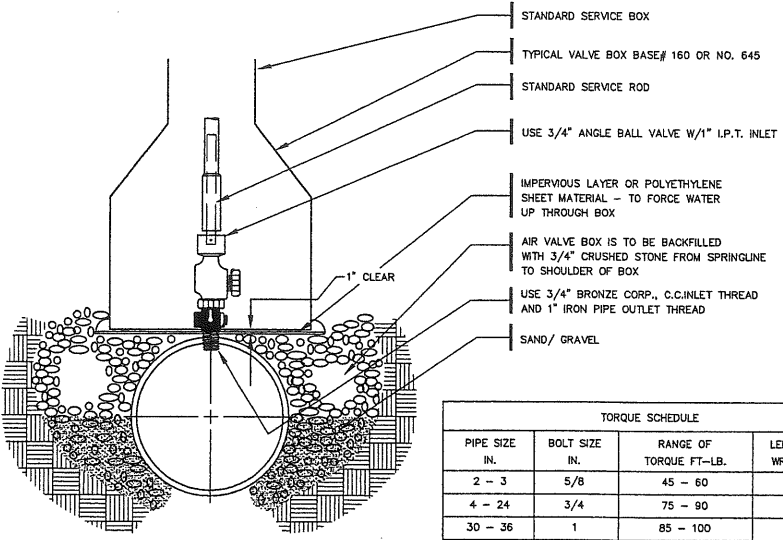


SERVICE	CONDUIT SIZE	CONDUIT TYPE	UTILITY	REMARKS
A	2-5"	SCHEDULE 40 PVC ELECTRICAL GRADE	PRIMARY POWER	SEE NOTE
B	2-4"	SCHEDULE 40 PVC	TELEPHONE	SEE NOTE
C	2-4"	SCHEDULE 40 PVC	CABLE	SEE NOTE
D	2-4"	SCHEDULE 40 PVC ELECTRICAL GRADE	FIRE ALARM	SEE NOTE

NOTE: ONE CONDUIT CAPPED FOR SPARE, PROVIDE GALVANIZED STEEL LONG SWEEP AT RISER POLE AND EXTEND GALVANIZED CONDUIT TO 10" ABOVE GRADE AT POLE WITH STAND-OFF BRACKETS

UTILITY TRENCH - PRIMARY AND SECONDARY POWER, TELEPHONE, AND CABLE

N.T.S.



TORQUE SCHEDULE			
PIPE SIZE IN.	BOLT SIZE IN.	RANGE OF TORQUE FT.-LB.	LENGTH OF WRENCH IN "
2 - 3	5/8	45 - 60	8
4 - 24	3/4	75 - 90	10
30 - 36	1	85 - 100	12
42 - 48	1 1/4	105 - 120	14

THE TORQUE LOADS MAY BE APPLIED WITH TORQUE MEASURING OR TORQUE INDICATING WRENCHES, WHICH MAY ALSO BE USED TO CHECK THE APPLICATION OF APPROXIMATE TORQUE LOADS APPLIED BY A PERSON TRAINED TO GIVE AN AVERAGE PULL ON A DEFINITE LENGTH OF REGULAR SOCKET WRENCH.

SEE NOTE 3 IN THRUST BLOCK NOTES DETAIL

TYPICAL AIR VALVE SECTION (1")

N.T.S.

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SITE PLAN AND SUBDIVISION REVIEW

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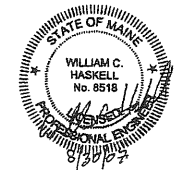
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UTILITY DETAILS

Scale: NONE

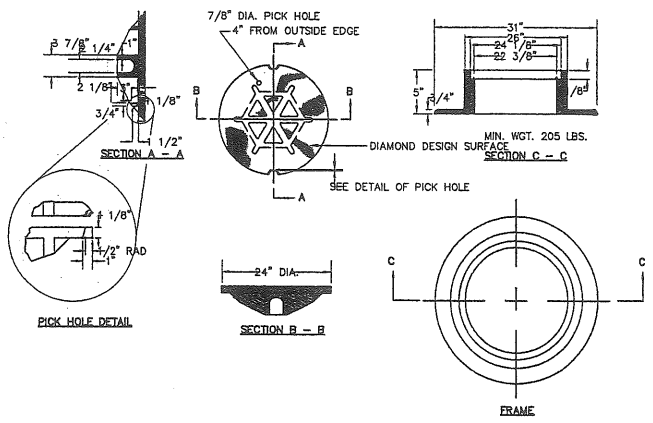
North:

Sheet No:

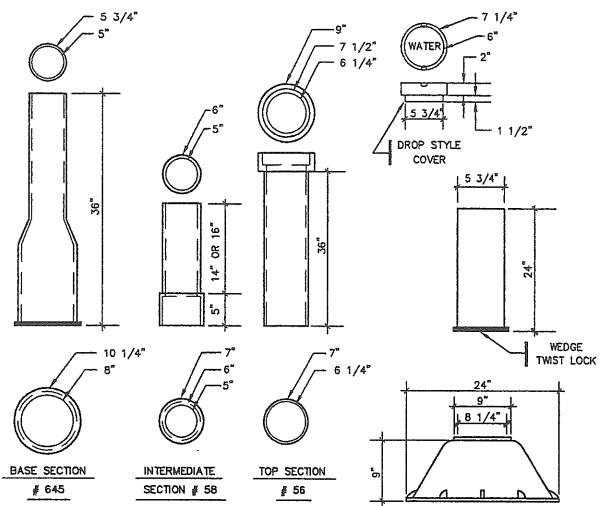
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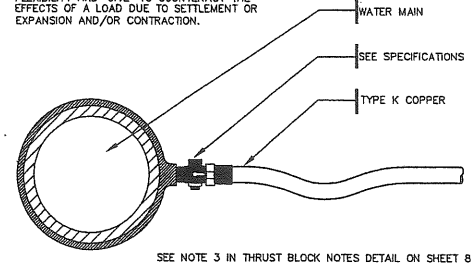


**TYPE "A" MANHOLE COVER AND FRAME**  
N.T.S.

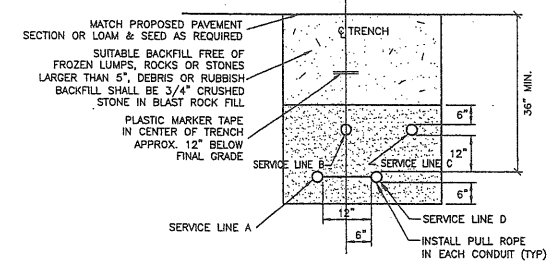


**TYPICAL VALVE BOXES**  
N.T.S.

NOTE: SERVICE CONNECTIONS (DIRECT TAPS AND SERVICE CLAMPS) WILL BE INSTALLED SO THAT THE OUTLET IS AT AN ANGLE OF NOT MORE THAN 45° ABOVE THE HORIZONTAL. ALWAYS PUT A BEND OR "GOOSENECK" IN THE SERVICE LINE PRIOR TO CONNECTING TO PROVIDE FLEXIBILITY AND "GIVE" TO COUNTERACT THE EFFECTS OF A LOAD DUE TO SETTLEMENT OR EXPANSION AND/OR CONTRACTION.

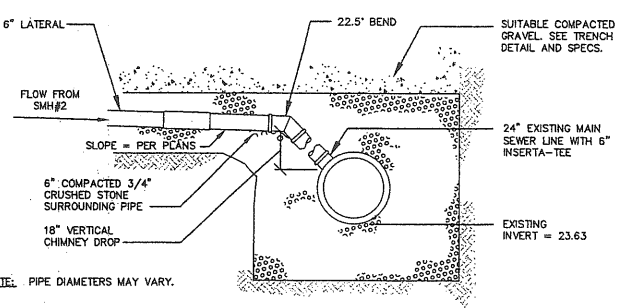


**WATER SERVICE**  
(1 1/2" AND 2 1/2" C.C. OR IRON PIPE THREAD)  
N.T.S.



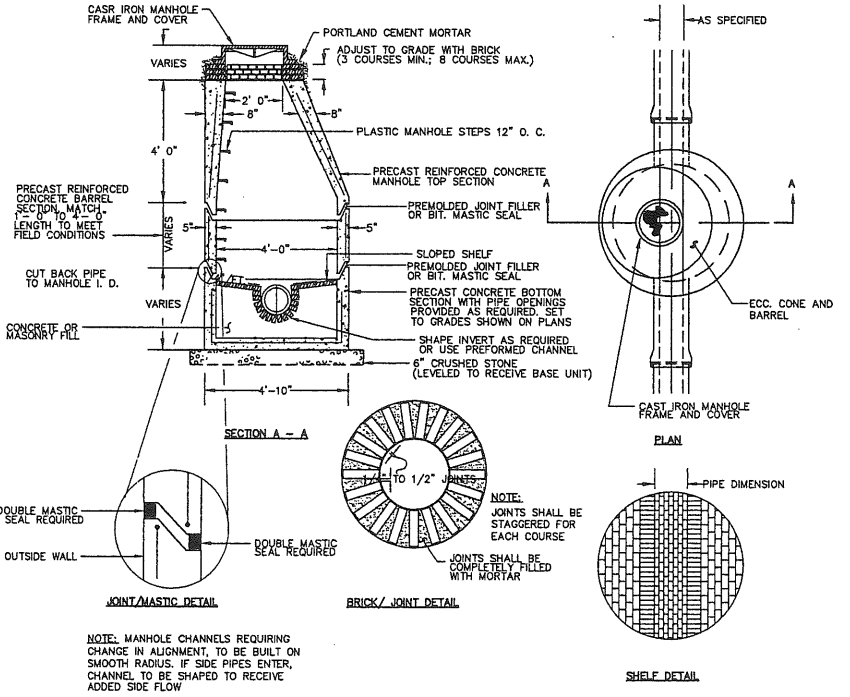
SERVICE	CONDUIT SIZE	CONDUIT TYPE	GRASS AND PAVED AREAS	UTILITY	REMARKS
A	2-5"	SCHEDULE 40 PVC ELECTRICAL GRADE		PRIMARY POWER	SEE NOTE
B	2-4"	SCHEDULE 40 PVC		TELEPHONE	SEE NOTE
C	2-4"	SCHEDULE 40 PVC		CABLE	SEE NOTE
D	2-4"	SCHEDULE 40 PVC ELECTRICAL GRADE		FIRE ALARM	SEE NOTE

**UTILITY TRENCH - PRIMARY AND SECONDARY POWER, TELEPHONE, AND CABLE**  
N.T.S.



**SANITARY LATERAL CONNECTION**  
N.T.S.

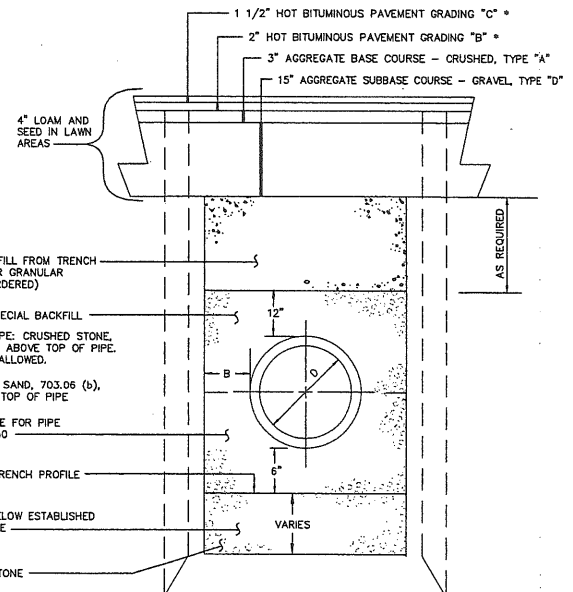
- GENERAL NOTES**
- ALL CONCRETE SHALL BE A CLASS "A" AND HAVE A MINIMUM ULTIMATE STRENGTH OF 4000 PSI PER SQ. INCH AT THE END OF 28 DAYS, UNLESS OTHERWISE NOTED.
  - PRECAST REINFORCED CONE BARREL MANUFACTURE PER ASTM SPEC. C-478-67
  - SEWER BRICK TO CONFORM TO ASTM SPEC. DESIGNATE ON C-32-63, GRADE MA AND SA.
  - ALL MANHOLES SHALL HAVE A BITUMINOUS WATERPROOFING APPLIED TO THE EXTERIOR SURFACE. IF CONSTRUCTION OF BRICK MASONRY, THE SMOOTH MORTAR SURFACE SHALL BE PLASTERED WITH A SMOOTH MORTAR FINISH 3/8" THICK. AFTER THE MORTAR HAS SET, THE SURFACE SHALL BE WATERPROOFED AS REQUIRED BY SUPPLEMENTAL SPECIFICATIONS SECTION 604.
  - CASTINGS SHALL CONFORM TO ASTM DESIGNATION A48-CLASS 35. ALL PARTS OF CASTINGS, EXCEPT FINISHED SURFACE, SHALL RECEIVE A COAT OF COAL TAR PITCH VARNISH OR ASPHALTUM PAINT WHICH SHALL BE SMOOTH AND TOUGH BUT NOT BRITTLE.
  - MANHOLES MAY BE CONSTRUCTED OF MASONRY, PRECAST REINFORCED CONCRETE, OR CAST IN PLACE.
  - ALL PRECAST MANHOLES AND CATCH BASINS SHALL BE IDENTIFIED BY STATION AND OFFSET, PAINTED ON THE SIDE OF THE STRUCTURE BY THE MANUFACTURER.
  - STORM AND SEWER MANHOLES SHALL HAVE SOLID COVERS WITH ONE DRILLED HOLE.
  - EXISTING MANHOLE AND CATCH BASIN FRAMES AND COVERS SHALL BE SALVAGED BY THE CONTRACTOR, AND REMAIN THE PROPERTY OF THE CITY OF PORTLAND.
  - CASCO TRAPS SHALL BE PROVIDED WITHIN ALL CATCH BASINS WITH 12" OUTLETS.



**PRECAST CONCRETE MANHOLE TYPE "A"**  
N.T.S.

PIPE DIAMETER	DIMENSION
D	B
12" AND SMALLER	0'-10"
15"	0'-8 1/4"
18" AND LARGER	0'-6 1/2"

NOTE: TRENCH PAVEMENT REPLACEMENT SHALL EXTEND 9" BEYOND EDGE OF TRENCH.



**TYPICAL PIPE INSTALLATION DETAIL**  
N.T.S.

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Date: **SEPTEMBER 4, 2007**

Issued For: **SITE PLAN AND SUBDIVISION REVIEW**

Revisions:  
October 2, 2007 - Per Planning Staff and Board Comments.

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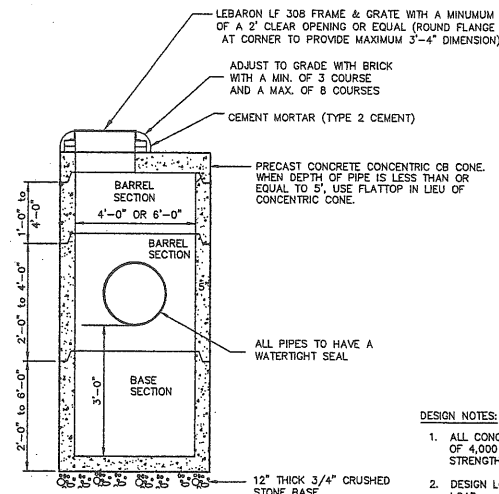
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Scale: NONE

North

Sheet No: **10**

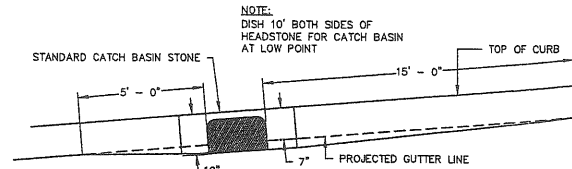




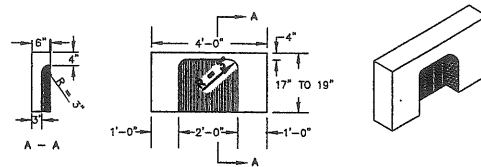
- DESIGN NOTES:**
1. ALL CONCRETE TO HAVE A MIN. OF 4,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
  2. DESIGN LOAD FOR H-20 WHEEL LOAD.
  3. CATCH BASIN TO CONFORM TO ASTM-C478 SPECIFICATIONS.
  4. REINFORCE TO 0.12 IN SQ./LF..

NOTE: 1. INLET HOODS SHALL BE PROVIDED ON CATCH BASIN OUTLET PIPES LESS THAN 18"

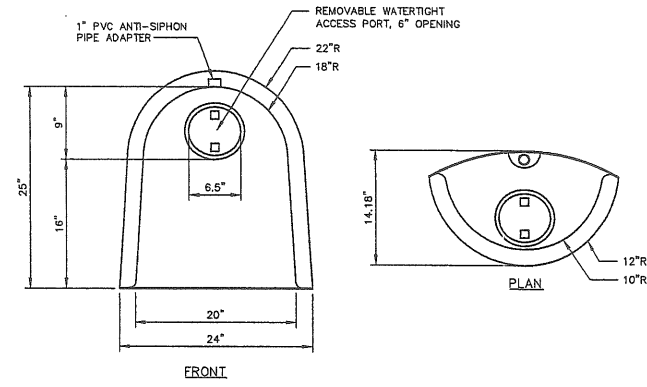
**PRECAST CATCH BASIN**  
N.T.S.



**TYPICAL PAVEMENT GRADING ON SLOPES FOR CATCH BASIN AND INLET**

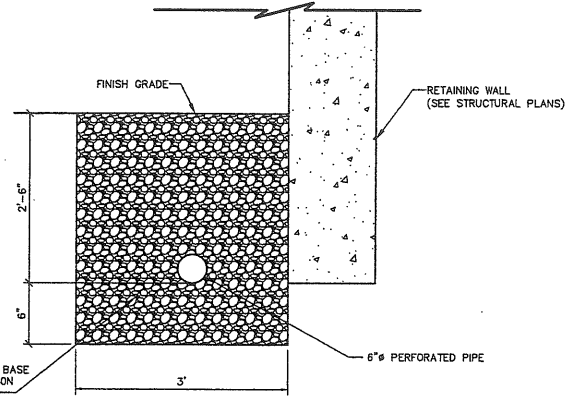


**CATCH BASIN INLET STONE**  
N.T.S.

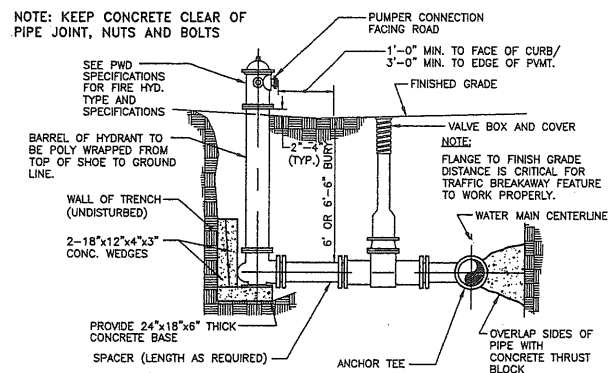
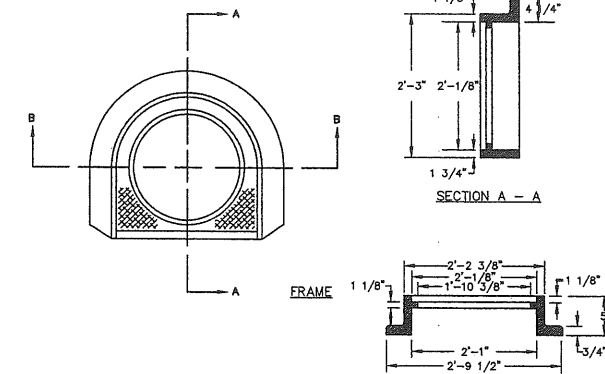
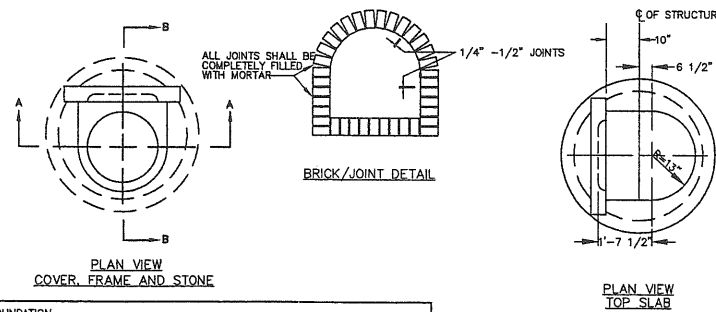
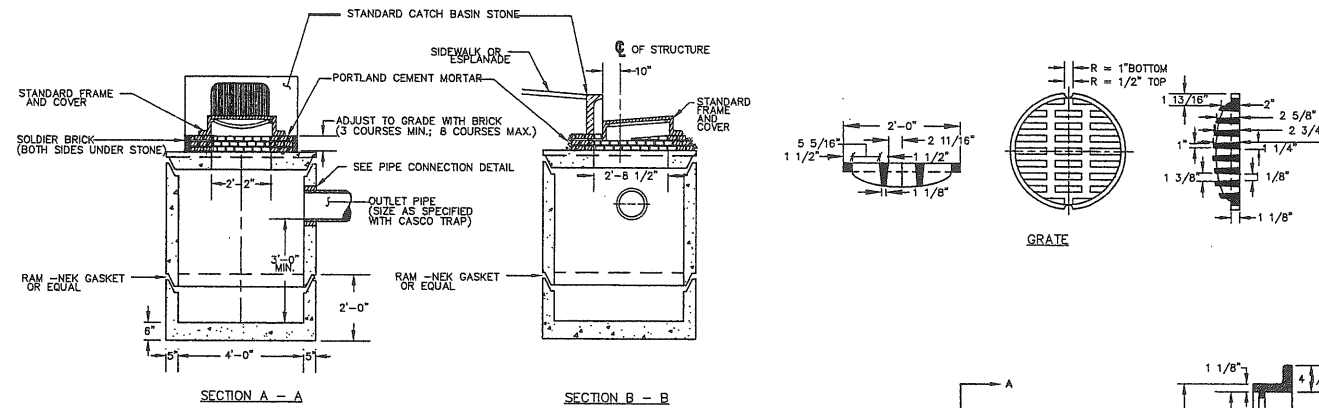


- NOTES:**
1. FOR USE ON CATCH BASIN OUTLET PIPES LESS THAN 18" IN DIAMETER.
  2. USE SNOOT MODEL #18R ON 12" & 15" PIPES TO PROVIDE UNRESTRICTED FLOW CAPACITY. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

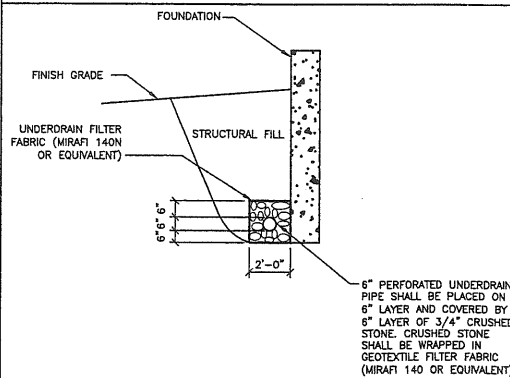
**THE SNOOT**  
N.T.S.



**STONE DRIP STRIP**  
N.T.S.



SEE NOTE 3 IN THRUST BLOCK NOTES DETAIL  
**FIRE HYDRANT INSTALLATION**  
N.T.S.



**FOUNDATION DRAIN**  
N.T.S.

- GENERAL NOTES**
1. ALL CONCRETE SHALL BE A CLASS "A" AND HAVE A MINIMUM ULTIMATE STRENGTH OF 4000 LBS. PER SQ. INCH AT THE END OF 28 DAYS, UNLESS OTHERWISE NOTED.
  2. PRECAST REINFORCED CONE BARREL MANUFACTURE PER ASTM SPEC. C-478-87
  3. SEWER BRICK TO CONFORM TO ASTM SPEC. DESIGNATE ON C-32-83, GRADE MA AND SA.
  4. ALL MANHOLES SHALL HAVE A BITUMINOUS WATERPROOFING APPLIED TO THE EXTERIOR SURFACE. IF CONSTRUCTION OF BRICK MASONRY, THE SMOOTH MORTAR SURFACE SHALL BE PLASTERED WITH A SMOOTH MORTAR FINISH 3/8" THICK. AFTER THE MORTAR HAS SET, THE SURFACE SHALL BE WATERPROOFED AS REQUIRED BY SUPPLEMENTAL SPECIFICATIONS SECTION 604.
  5. CASTINGS SHALL CONFORM TO ASTM DESIGNATION A48-CLASS 35. ALL PARTS OF CASTINGS, EXCEPT FINISHED SURFACE, SHALL RECEIVE A COAT OF COAL TAR PITCH VARNISH OR ASPHALTUM PAINT WHICH SHALL BE SMOOTH AND TOUGH BUT NOT BRITTLE.

**PRECAST CONCRETE CATCH BASIN TYPE "E"**  
N.T.S.

6. MANHOLES MAY BE CONSTRUCTED OF MASONRY, PRECAST REINFORCED CONCRETE, OR CAST IN PLACE.
7. ALL PRECAST MANHOLES AND CATCH BASINS SHALL BE IDENTIFIED BY STATION AND OFFSET, PAINTED ON THE SIDE OF THE STRUCTURE BY THE MANUFACTURER.
8. STORM AND SEWER MANHOLES SHALL HAVE SOLID COVERS WITH ONE DRILLED HOLE.
9. EXISTING MANHOLE AND CATCH BASIN FRAMES AND COVERS SHALL BE SALVAGED BY THE CONTRACTOR, AND REMAIN THE PROPERTY OF THE CITY OF PORTLAND.
10. CASCO TRAPS SHALL BE PROVIDED WITHIN ALL CATCH BASINS WITH 12" OUTLETS.

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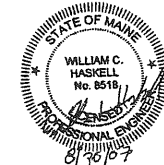
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**UTILITY AND  
DRAINAGE DETAILS**

Scale: NONE

North:

Sheet No:

**11**



**STORMTECH PRODUCT SPECIFICATIONS**

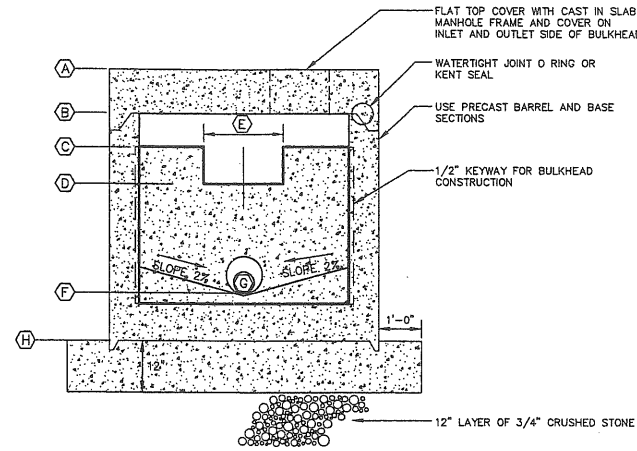
- 1.0 GENERAL**  
 1.1 STORMTECH CHAMBERS ARE DESIGNED TO CONTROL STORMWATER RUNOFF. AS A SUBSURFACE RETENTION SYSTEM, STORMTECH CHAMBERS RETAIN AND ALLOW EFFECTIVE INFILTRATION OF WATER INTO THE SOIL, AS A SUBSURFACE DETENTION SYSTEM, STORMTECH CHAMBERS DETAIN AND ALLOW FOR THE METERED FLOW OF WATER TO AN OUTFALL.
- 2.0 CHAMBER PARAMETERS**  
 2.1 THE CHAMBER SHALL BE INJECTION MOLDED OF POLYPROPYLENE RESIN TO BE INHERENTLY RESISTANT TO ENVIRONMENTAL STRESS CRACKING (ESCR), AND TO MAINTAIN ADEQUATE STIFFNESS THROUGH HIGHER TEMPERATURES EXPERIENCED DURING INSTALLATION AND SERVICE.  
 2.2 THE NOMINAL CHAMBER DIMENSIONS OF THE STORMTECH SC-740 SHALL BE 30.0 INCHES TALL, 51.0 INCHES WIDE AND 90.7 INCHES LONG. THE NOMINAL CHAMBER DIMENSIONS OF THE STORMTECH SC-310 SHALL BE 18.0 INCHES TALL, 34.0 INCHES WIDE AND 90.7 INCHES LONG. THE INSTALLED LENGTH OF A JOINED CHAMBER SHALL BE 85.4 INCHES.  
 2.3 THE CHAMBER SHALL HAVE A CONTINUOUSLY CURVED SECTION PROFILE.  
 2.4 THE CHAMBER SHALL BE OPEN-BOTTOMED.  
 2.5 THE CHAMBER SHALL INCORPORATE AN OVERLAPPING CORRUGATION JOINT SYSTEM TO ALLOW CHAMBER ROWS OF ALMOST ANY LENGTH TO BE CREATED. THE OVERLAPPING CORRUGATION JOINT SYSTEM SHALL BE EFFECTIVE WHILE ALLOWING A CHAMBER TO BE TRIMMED TO SHORTEN ITS OVERALL LENGTH.  
 2.6 THE NOMINAL STORAGE VOLUME OF A JOINED STORMTECH SC-740 CHAMBER SHALL BE 74.9 CUBIC FEET PER CHAMBER WHEN INSTALLED PER STORMTECH'S TYPICAL DETAILS (INCLUDES THE VOLUME OF CRUSHED ANGULAR STONE WITH AN ASSUMED 40% POROSITY). THIS EQUATES TO 2.2 CUBIC FEET OF STORAGE/SQUARE FOOT OF BED. THE NOMINAL STORAGE VOLUME OF AN INSTALLED STORMTECH SC-310 CHAMBER SHALL BE 31.0 CUBIC FEET PER CHAMBER WHEN INSTALLED PER STORMTECH'S TYPICAL DETAILS (INCLUDES THE VOLUME OF CRUSHED ANGULAR STONE WITH AN ASSUMED 40% POROSITY). THIS EQUATES TO 1.3 CUBIC FEET OF STORAGE/SQUARE FOOT OF BED.
- THE CHAMBER SHALL HAVE FORTY-EIGHT ORIFICES PENETRATING THE SIDEWALLS TO ALLOW FOR LATERAL CONVEYANCE OF WATER.
- 2.8 THE CHAMBER SHALL HAVE TWO ORIFICES NEAR ITS TOP TO ALLOW FOR EQUALIZATION OF AIR PRESSURE BETWEEN ITS INTERIOR AND EXTERIOR.  
 2.9 THE CHAMBER SHALL HAVE BOTH OF ITS ENDS OPEN TO ALLOW FOR UNIMPEDED HYDRAULIC FLOWS AND VISUAL INSPECTIONS DOWN A ROW'S ENTIRE LENGTH.  
 2.10 THE CHAMBER SHALL HAVE 14 CORRUGATIONS.  
 2.11 THE CHAMBER SHALL HAVE A CIRCULAR, INDENTED, FLAT SURFACE ON THE TOP OF THE CHAMBER FOR AN OPTIONAL 4-INCH INSPECTION PORT OR CLEAN-OUT.  
 2.12 THE CHAMBER SHALL BE ANALYZED AND DESIGNED USING AASHTO METHODS FOR THERMOPLASTIC CULVERTS CONTAINED IN THE LRFD BRIDGE DESIGN SPECIFICATIONS, 2ND EDITION, INCLUDING INTERIM SPECIFICATIONS THROUGH 2001. DESIGN LIVE LOAD SHALL BE THE AASHTO HS20 TRUCK. DESIGN SHALL CONSIDER EARTH AND LIVE LOADS AS APPROPRIATE FOR THE MINIMUM TO MAXIMUM SPECIFIED DEPTH OF FILL.  
 2.13 THE CHAMBER SHALL BE MANUFACTURED IN AN ISO 9001:2000 CERTIFIED FACILITY.  
 3.0 END CAP PARAMETERS  
 3.1 THE END CAP SHALL BE INJECTION MOLDED OF POLYPROPYLENE RESIN TO BE INHERENTLY RESISTANT TO ENVIRONMENTAL STRESS CRACKING, AND TO MAINTAIN ADEQUATE STIFFNESS THROUGH HIGHER TEMPERATURES EXPERIENCED DURING INSTALLATION AND SERVICE.  
 3.2 THE END CAP SHALL BE DESIGNED TO FIT INTO ANY CORRUGATION OF A CHAMBER, WHICH ALLOWS: CAPPING A CHAMBER THAT HAS ITS LENGTH TRIMMED; SEGMENTING ROWS INTO STORAGE BASINS OF VARIOUS LENGTHS.  
 THE END CAP SHALL HAVE SAW GUIDES TO ALLOW EASY CUTTING FOR VARIOUS DIAMETERS OF PIPE THAT MAY BE USED TO INLET THE SYSTEM.  
 THE END CAP SHALL HAVE EXCESS STRUCTURAL ADEQUACIES TO ALLOW CUTTING AN ORIFICE OF ANY SIZE AT ANY INVERT ELEVATION.  
 THE PRIMARY FACE OF AN END CAP SHALL BE CURVED OUTWARD TO RESIST HORIZONTAL LOADS GENERATED NEAR THE EDGES OF BEDS.  
 THE END CAP SHALL BE MANUFACTURED IN AN ISO 9001:2000 CERTIFIED FACILITY.

**STORMTECH GENERAL NOTES**

1. STORMTECH LLC ("STORMTECH") REQUIRES INSTALLING CONTRACTORS TO USE AND UNDERSTAND STORMTECH'S LATEST INSTALLATION INSTRUCTIONS PRIOR TO BEGINNING SYSTEM INSTALLATION.  
 2. OUR TECHNICAL SERVICES DEPARTMENT OFFERS INSTALLATION CONSULTATIONS TO INSTALLING CONTRACTORS. CONTACT OUR TECHNICAL SERVICES REPRESENTATIVE AT LEAST 30 DAYS PRIOR TO SYSTEM INSTALLATION TO ARRANGE A PRE-INSTALLATION CONSULTATION. OUR REPRESENTATIVES CAN THEN ANSWER QUESTIONS OR ADDRESS COMMENTS ON THE STORMTECH CHAMBER SYSTEM AND INFORM THE INSTALLING CONTRACTOR OF THE MINIMUM INSTALLATION REQUIREMENTS BEFORE BEGINNING THE SYSTEM'S CONSTRUCTION. CALL 1-888-892-2694 TO SPEAK TO A TECHNICAL SERVICE REPRESENTATIVE OR VISIT WWW.STORMTECH.COM TO RECEIVE A COPY OF OUR INSTALLATION INSTRUCTIONS.  
 3. STORMTECH'S REQUIREMENTS FOR SYSTEMS WITH PAVEMENT DESIGN (ASPHALT, CONCRETE PAVERS, ETC.): MINIMUM COVER IS 18 INCHES NOT INCLUDING PAVEMENT; MAXIMUM COVER IS 96 INCHES INCLUDING PAVEMENT. FOR INSTALLATIONS THAT DO NOT INCLUDE PAVEMENT, WHERE RUTTING FROM VEHICLES MAY OCCUR, MINIMUM REQUIRED COVER IS 24 INCHES. MAXIMUM COVER IS 96 INCHES.  
 4. THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE DESIGN ENGINEER.  
 5. AASHTO M288 CLASS 2 NON-WOVEN GEOTEXTILE (FILTER FABRIC) MUST BE USED AS INDICATED IN THE PROJECT PLANS.  
 6. STONE PLACEMENT BETWEEN CHAMBERS ROWS AND AROUND PERIMETER MUST FOLLOW INSTRUCTIONS AS INDICATED IN THE MOST CURRENT VERSION OF STORMTECH'S INSTALLATION INSTRUCTIONS.  
 7. BACKFILLING OVER THE CHAMBERS MUST FOLLOW REQUIREMENTS AS INDICATED IN THE MOST CURRENT VERSION OF STORMTECH'S INSTALLATION INSTRUCTIONS.  
 8. THE CONTRACTOR MUST REFER TO STORMTECH'S INSTALLATION INSTRUCTIONS FOR A TABLE OF ACCEPTABLE VEHICLE LOADS AT VARIOUS DEPTHS OF COVER. THIS INFORMATION IS ALSO AVAILABLE AT STORMTECH'S WEBSITE: WWW.STORMTECH.COM. THE CONTRACTOR IS RESPONSIBLE FOR PREVENTING VEHICLES THAT EXCEED STORMTECH'S REQUIREMENTS FROM TRAVELING ACROSS OR PARKING OVER THE STORMWATER SYSTEM. TEMPORARY FENCING, WARNING TAPE AND APPROPRIATELY LOCATED SIGNS ARE COMMONLY USED TO PREVENT UNAUTHORIZED VEHICLES FROM ENTERING SENSITIVE CONSTRUCTION AREAS.  
 9. THE CONTRACTOR MUST APPLY EROSION AND SEDIMENT CONTROL MEASURES TO PROTECT THE STORMWATER SYSTEM DURING ALL PHASES OF SITE CONSTRUCTION PER LOCAL CODES AND DESIGN ENGINEER'S SPECIFICATIONS.  
 10. STORMTECH PRODUCT WARRANTY IS LIMITED. SEE CURRENT PRODUCT WARRANTY FOR DETAILS. TO ACQUIRE A COPY CALL STORMTECH AT 1-888-892-2694 OR VISIT WWW.STORMTECH.COM.

SUBSURFACE DETENTION SYSTEM MAY BE SUBSTITUTED WITH AN ENGINEER APPROVED EQUIVALENT THAT PROVIDES EQUAL DETENTION STORAGE

- NOTES:**  
 1. SUBMIT MANUFACTURER'S DETENTION SYSTEM DRAWINGS FOR ENGINEER'S REVIEW AND APPROVAL.  
 2. SEE SHEET 3, GRADING AND DRAINAGE PLAN FOR ADDITIONAL STORM DRAIN DESIGN DATA.



SECTION A-A  
 OUTLET CONTROL STRUCTURE  
 NOT TO SCALE  
 SEE SCHEDULE A

**SCHEDULE A  
 OUTLET CONTROL STRUCTURE**

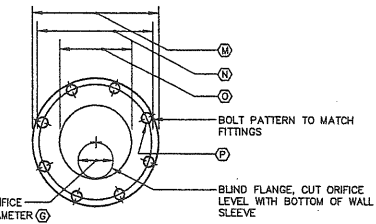
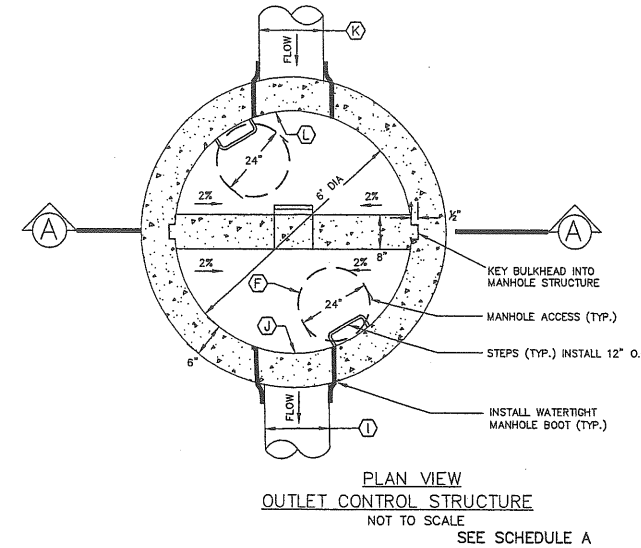
ITEM DESCRIPTION	DIMENSION/ELEVATION
(A) TOP OF STRUCTURE	*
(B) UNDERSIDE TOP SLAB	*
(C) TOP CONCRETE BULKHEAD	34.50
(D) WEIR INVERT	33.50
(E) WEIR LENGTH	6"
(F) ORIFICE INVERT	31.00
(G) ORIFICE DIAMETER	3"
(H) WALL SLEEVE I.D.	8"
(I) BOTTOM OF STRUCTURE	*
(J) PIPE DIAMETER	12"
(K) INVERT OUT	30.80
(L) PIPE DIAMETER	12"
(M) INVERT IN	31.00

\*STRUCTURE DIMENSIONS SHALL BE PER MANUFACTURER'S DESIGN

**NOTES:**  
 STRUCTURE SHALL CONFORM TO MANHOLE DESIGN REQUIREMENTS AND SHALL BE H-20 LOAD RATED.

**1 1/2" CRUSHED ANGULAR STONE GRADATION**

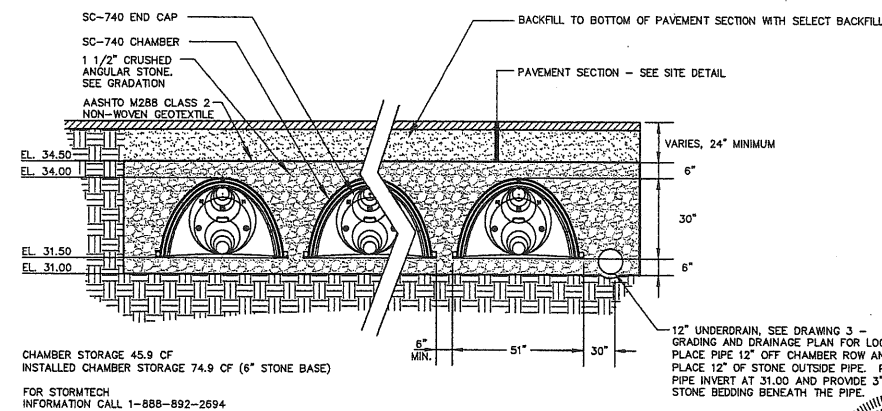
SIEVE	% PASSING BY WEIGHT
2"	100
1 1/2"	90 - 100
1"	20 - 55
3/4"	0 - 15
3/8"	0 - 5



**SCHEDULE C ORIFICE**

DESCRIPTION	DIMENSION
(M) FLANGE O.D.	13.5"
(N) BOLT CIRCLE	11.75"
(O) NOMINAL PIPE DIA.	8"
(P) BOLT HOLE DIA.	7/8"

ORIFICE DETAIL  
 SEE SCHEDULE C



CHAMBER CROSS SECTION  
 N.T.S.

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 SEPTEMBER 4, 2007

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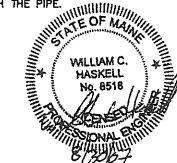
Title:  
**DETENTION SYSTEM  
 DETAILS**

Scale: NONE

North:

Sheet No.:

**12**



**I. EROSION CONTROL MEASURES AND SITE STABILIZATION**

THE PRIMARY EMPHASIS OF THE EROSION/SEDIMENTATION CONTROL PLAN TO BE IMPLEMENTED FOR THE INFRASTRUCTURE CONSTRUCTION IS AS FOLLOWS:

- DEVELOPMENT OF A CAREFUL CONSTRUCTION SEQUENCE.
- RAPID REVEGETATION OF DENUDED AREAS TO MINIMIZE THE PERIOD OF SOIL EXPOSURE.
- RAPID STABILIZATION OF DRAINAGE PATHS TO AVOID RILL AND GULLY EROSION.
- THE USE OF ON-SITE MEASURES TO CAPTURE SEDIMENT (SILT FENCE, CHECK DAMS, ETC.).

THE FOLLOWING TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL DEVICES WILL BE IMPLEMENTED AS PART OF THE SITE DEVELOPMENT. THESE DEVICES SHALL BE INSTALLED AS INDICATED ON THE PLANS OR AS DESCRIBED WITHIN THIS REPORT FOR FURTHER REFERENCE. SEE THE MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES.

**A. TEMPORARY EROSION CONTROL MEASURES**

THE FOLLOWING MEASURES ARE PLANNED AS TEMPORARY EROSION/SEDIMENTATION CONTROL MEASURES DURING CONSTRUCTION:

- UTILIZE THE EXISTING ENTRANCE ONTO PREBLE STREET EXTENSION. IF ACCESS SHALL BE REQUIRED AT THE PROPOSED ENTRANCE ONTO MARGINAL WAY AT THE NORTHERLY PROPERTY LINE WITH THE ADJUTING PROPERTY, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AND MAINTAINED DURING CONSTRUCTION TO PREVENT OFF-TRACKING OF DIRT AND DEBRIS.
- SILTATION FENCE OR WOOD WASTE COMPOST BERMS SHALL BE INSTALLED DOWNSTREAM OF ANY DISTURBED AREAS TO TRAP RUNOFF BORNE SEDIMENTS UNTIL ADEQUATE CATCH (90% OR GREATER) HAS OCCURRED. THE SILT FENCE AND/OR THE WOOD WASTE COMPOST BERMS SHALL BE INSTALLED PER THE DETAILS PROVIDED IN THIS PACKAGE AND INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. REPAIRS SHALL BE MADE IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THE FENCE OR BERM LINE. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR THE EDGES, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND FENCE OR BERM, THE BARRIER SHALL BE REPLACED WITH A STONE CHECK DAM. WOOD WASTE COMPOST BERMS ARE NOT TO BE USED ADJACENT TO WETLAND AREAS THAT ARE TO BE LEFT UNDISTURBED.
- STRAW OR HAY MULCH INCLUDING HYDROSEEDING IS INTENDED TO PROVIDE COVER FOR DENUDED OR SEEDING AREAS UNTIL REVEGETATION IS ESTABLISHED. MULCH PLACED BETWEEN APRIL 15TH AND SEPTEMBER 15TH ON SLOPES OF LESS THAN 15 PERCENT SHALL BE ANCHORED BY APPLYING WATER; MULCH PLACED ON SLOPES OF EQUAL TO OR STEEPER THAN 15 PERCENT SHALL BE COVERED BY A FABRIC NETTING AND ANCHORED WITH STAPLES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION. MULCH PLACED BETWEEN SEPTEMBER 15TH AND APRIL 15TH ON SLOPES EQUAL TO OR STEEPER THAN 8 PERCENT SHALL BE COVERED WITH A FABRIC NETTING AND ANCHORED WITH STAPLES IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. SLOPES STEEPER THAN 3:1 AND THE DRAINAGE SWALE LOCATED IN THE I-295 RIGHT-OF-WAY THAT ARE TO BE REVEGETATED SHALL RECEIVE CURLEX BLANKETS BY AMERICAN EXCELSEOR OR ENGINEER APPROVED EQUIVALENT. MULCH APPLICATION RATES ARE PROVIDED IN ATTACHMENT A OF THIS SECTION. MULCH SHALL NOT BE PLACED OVER SNOW.
- TEMPORARY STOCKPILES OF STUMPS, GRUBBINGS, OR COMMON EXCAVATION WILL BE PROTECTED AS FOLLOWS:
  - TEMPORARY STOCKPILES SHALL NOT BE LOCATED WITHIN 100 FEET OF ANY WETLANDS THAT ARE TO BE LEFT UNDISTURBED AND ANY SLOPES EXCEEDING 15%.
  - STOCKPILES SHALL BE STABILIZED WITHIN 7 DAYS BY EITHER TEMPORARILY SEEDING THE STOCKPILE WITH A HYDROSEED METHOD CONTAINING AN EMULSIFIED MULCH TACKIFIER OR BY COVERING THE STOCKPILE WITH MULCH.
  - STOCKPILES SHALL BE SURROUNDED BY SILT FENCE OR WOOD-WASTE COMPOST BERMS AT THE TIME OF FORMATION.
- ALL DENUDED AREAS WITHIN 100 FEET OF AN UNDISTURBED WETLAND THAT HAVE BEEN ROUGH GRADED AND ARE NOT LOCATED WITHIN A ROADWAY SUBBASE AREA SHALL RECEIVE MULCH OR EROSION CONTROL MESH FABRIC WITHIN 7 DAYS OF INITIAL SOIL DISTURBANCE. ALL AREAS WITHIN 50 FEET OF UNDISTURBED WETLAND AREA SHALL BE MULCHED PRIOR TO ANY PREDICTED RAIN EVENT REGARDLESS OF THE 7-DAY WINDOW. IN OTHER AREAS, THE TIME PERIOD MAY BE EXTENDED TO 14 DAYS. ALL DISTURBED AREAS LOCATED WITHIN 100 FEET OF A PROTECTED NATURAL RESOURCE MUST BE PROTECTED WITH A DOUBLE ROW OF SEDIMENT BARRIERS. FOR WORK CONDUCTED BETWEEN SEPTEMBER 15TH AND APRIL 15TH OF ANY CALENDAR YEAR, ALL DENUDED AREAS WILL BE COVERED WITH HAY MULCH APPLIED AT TWICE THE NORMAL APPLICATION RATE AND ANCHORED WITH FABRIC NETTING. THE TIME PERIOD FOR APPLYING MULCH AS NOTED IN PARAGRAPH I.A.5 SHALL BE LIMITED TO 7 DAYS FOR ALL AREAS.
- MARGINAL WAY AND PREBLE STREET EXTENSION SHALL BE SWEEPED TO CONTROL OFF-TRACKING OF MUDD, DEBRIS, AND DUST AS NECESSARY.
- DURING GRUBBING OPERATIONS STONE CHECK DAMS WILL BE INSTALLED AT ANY EVIDENT CONCENTRATED FLOW DISCHARGE POINTS.
- SILT FENCING WITH A MAXIMUM STAKE SPACING OF 6 FEET SHOULD BE USED, UNLESS THE FENCE IS SUPPORTED BY WIRE FENCE REINFORCEMENT OF MINIMUM 14 GAUGE AND WITH A MAXIMUM MESH SPACING OF 6 INCHES, IN WHICH CASE STAKES MAY BE SPACED A MAXIMUM OF 10 FEET APART. THE BOTTOM OF THE FENCE SHOULD BE ANCHORED.
- WOOD WASTE COMPOST/BARK BERMS MAY BE USED IN LIEU OF SILTATION FENCING. BERMS SHALL BE REMOVED AND SPREAD INTO A LAYER NOT TO EXCEED 3" THICK UPSTREAM AREAS ARE COMPLETED AND A 90% CATCH OF VEGETATION IS ATTAINED. WOOD WASTE EROSION TUBES MAY ALSO BE USED FOR PERIMETER SEDIMENT CONTROL OR CHECK DAMS, OR TO REDUCE SLOPE LENGTHS. THESE TUBES MAY BE CREATED BY FILLING FILTREXX MESH TUBES OR APPROVED EQUIVALENT WITH WOOD WASTE MATERIAL AND STAKING THE TUBE TO THE GROUND WHERE THE CONTROL IS NECESSARY.
- INLET PROTECTION MEASURES SHALL BE IMPLEMENTED FOR ALL CATCH BASINS LOCATED WITHIN THE DISTURBED CONSTRUCTION AREA. MEASURES SHALL BE MAINTAINED REGULARLY AND SHALL NOT CAUSE FLOODING IN PUBLIC RIGHT-OF-WAYS.
- WATER SHALL BE FURNISHED AND APPLIED IN ACCORDANCE WITH MDOT SPECIFICATIONS - SECTION 637 - DUST CONTROL.
- LOAM AND SEED IS INTENDED TO SERVE AS THE PRIMARY PERMANENT REVEGETATIVE MEASURE FOR ALL DENUDED AREAS NOT PROVIDED WITH OTHER EROSION CONTROL MEASURES SUCH AS RIPRAP. APPLICATION RATES ARE PROVIDED IN ATTACHMENT A OF THIS SECTION. SEEDING SHALL NOT OCCUR OVER SNOW.

**B. PERMANENT EROSION CONTROL MEASURES**

THE FOLLOWING PERMANENT EROSION CONTROL MEASURES HAVE BEEN DESIGNED AS PART OF THE EROSION AND SEDIMENTATION CONTROL PLAN:

- ALL AREAS DISTURBED DURING CONSTRUCTION BUT NOT SUBJECT TO OTHER RESTORATION (BUILDING, PAVING, RIPRAP, ETC.) SHALL BE LOAMED, LIMED, FERTILIZED, MULCHED, AND SEEDED. FABRIC NETTING ANCHORED WITH STAPLES SHALL BE PLACED OVER THE MULCH IN AREAS AS NOTED IN PARAGRAPH I.A.5. ALL DISTURBED AREAS WITHIN 100 FEET OF AN UNDISTURBED WETLAND AREA SHALL BE MULCHED PRIOR TO ANY PREDICTED RAIN EVENT REGARDLESS OF THE 7-DAY WINDOW. NATIVE TOPSOIL SHALL BE STOCKPILED AND REUSED FOR FINAL RESTORATION IF DEEMED TO BE OF SUFFICIENT QUALITY.

**II. IMPLEMENTATION SCHEDULE**

THE FOLLOWING CONSTRUCTION SEQUENCE SHALL BE REQUIRED TO INSURE THAT THE EFFECTIVENESS OF THE EROSION AND SEDIMENTATION CONTROL MEASURES IS OPTIMIZED:

NOTE: FOR ALL GRADING ACTIVITIES, THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION NOT TO OVEREXPOSE THE SITE BY LIMITING THE DISTURBED AREA.

- INSTALL PERIMETER SILTATION FENCE AND/OR WOOD WASTE BERMS PRIOR TO GRUBBING RESPECTIVE AREAS.
- CLEAR AND GRUB AREA AS NECESSARY FOR CONSTRUCTION.
- REMOVE EXISTING PAVEMENT WITHIN WORK LIMITS.
- DURING GRUBBING OPERATIONS, INSTALL STONE CHECK DAMS AT ANY EVIDENT CONCENTRATED FLOW DISCHARGE POINTS.
- COMMENCE EARTHWORK OPERATIONS FOR PROPOSED DRIVEWAYS AND BUILDING FOUNDATION.
- CONTINUE GRADING TO SUBGRADE AS NECESSARY.
- COMMENCE INSTALLATION OF UNDERGROUND UTILITIES.
- COMPLETE REMAINING EARTHWORK OPERATIONS.
- INSTALL SUBBASE AND BASE COURSE GRAVELS FOR DRIVEWAYS.
- COMPLETE INSTALLATION OF UTILITY APPURTENANCES.
- INSTALL SURFACE COURSE GRAVELS FOR THE DRIVEWAYS.
- LOAM, LIME, FERTILIZE, SEED, AND MULCH REMAINING DISTURBED AREAS.
- REMOVE ACCUMULATED SEDIMENT FROM AHEAD OF ANY SEDIMENT BARRIERS AS NECESSARY.
- ONCE THE SITE IS STABILIZED AND A 90% CATCH OF VEGETATION HAS BEEN OBTAINED, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.
- TOUCH UP LOAM AND SEED.

NOTE: ALL DENUDED AREAS NOT SUBJECT TO FINAL PAVING, RIPRAP, OR GRAVEL SHALL BE REVEGETATED.

PRIOR TO CONSTRUCTION OF THE PROJECT, THE CONTRACTOR SHALL SUBMIT TO THE OWNER A SCHEDULE FOR THE COMPLETION OF THE WORK, WHICH WILL SATISFY THE FOLLOWING CRITERIA:

- THE ABOVE CONSTRUCTION SEQUENCE SHALL GENERALLY BE COMPLETED IN THE SPECIFIED ORDER. HOWEVER, SEVERAL SEPARATE ITEMS MAY BE CONSTRUCTED SIMULTANEOUSLY. WORK MUST ALSO BE SCHEDULED OR PHASED TO PREVENT THE EXTENT OF THE EXPOSED AREAS AS SPECIFIED BELOW. THE INTENT OF THE ABOVE SEQUENCE IS TO PROVIDE FOR SUFFICIENT EROSION AND SEDIMENTATION CONTROL AND TO HAVE STRUCTURAL MEASURES SUCH AS SILT FENCE AND CONSTRUCTION ENTRANCE IN PLACE BEFORE LARGE AREAS OF LAND ARE DENUDED.
- THE WORK SHALL BE CONDUCTED IN SECTIONS WHICH WILL:
  - LIMIT THE AMOUNT OF EXPOSED AREA TO THOSE AREAS IN WHICH WORK IS EXPECTED TO BE UNDERTAKEN DURING THE PROCEEDING 30 DAYS.
  - REVEGETATE DISTURBED AREAS AS RAPIDLY AS POSSIBLE. ALL AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 7 DAYS OF FINAL GRADING OR BEFORE A STORM EVENT, OR TEMPORARILY STABILIZED WITHIN 7 DAYS OF INITIAL DISTURBANCE OF SOIL FOR AREAS WITHIN 100 FEET OF AN UNDISTURBED WETLAND AREA AND WITHIN 14 DAYS FOR ALL OTHER AREAS. AREAS WITHIN 100 FEET OF AN UNDISTURBED WETLAND SHALL BE MULCHED PRIOR TO ANY PREDICTED RAIN EVENT REGARDLESS OF THE 7-DAY WINDOW.

**III. WINTER STABILIZATION PLAN**

IF A SUMMER/FALL CONSTRUCTION SCHEDULE IS NOT POSSIBLE AND CONSTRUCTION IS NECESSARY BETWEEN SEPTEMBER 15TH AND APRIL 15TH OF ANY CALENDAR YEAR, THE CONTRACTOR SHALL SUBMIT A SCHEDULE, WHICH WILL SATISFY THE FOLLOWING CRITERIA:

- THE EXTENT OF EXPOSED AREA SHALL BE LIMITED TO THOSE AREAS IN WHICH WORK IS EXPECTED TO BE UNDERTAKEN DURING THE PROCEEDING 15 DAYS AND CAN BE MULCHED IN THE EVENT OF A PREDICTED SNOW EVENT.
- ALL DISTURBED AREAS SHALL BE COVERED WITH MULCH WITHIN 7 DAYS OF FINAL GRADING. MULCH SHALL NOT BE PLACED OVER SNOW.
- ONCE FINAL GRADE HAS BEEN ESTABLISHED, THE CONTRACTOR MAY CHOOSE TO DORMANT SEED THE DISTURBED AREAS PRIOR TO PLACEMENT OF MULCH AND PLACEMENT OF STAPLE-ANCHORED FABRIC NETTING.
  - IF DORMANT SEEDING IS USED FOR THE SITE, ALL DISTURBED AREAS SHALL RECEIVE 6" OF LOAM AND SEED AT AN APPLICATION RATE OF 5 LBS. PER 1000 S.F. SEEDING SHALL NOT OCCUR OVER SNOW. ALL AREAS SEEDING DURING THE WINTER MONTHS SHALL BE INSPECTED IN THE SPRING FOR ADEQUATE CATCH. ALL AREAS INSUFFICIENTLY VEGETATED (LESS THAN 80% CATCH) SHALL BE REVEGETATED BY REPLACING LOAM, SEED, AND MULCH AS NECESSARY TO ACHIEVE 80% CATCH.
  - IF DORMANT SEEDING IS NOT USED FOR THE SITE, ALL DISTURBED AREAS SHALL BE REVEGETATED IN THE SPRING.
- THE AREA OF DENUDED NON-STABILIZED CONSTRUCTION AREA SHALL BE LIMITED TO THE MINIMUM AREA PRACTICABLE. AN AREA SHALL BE CONSIDERED DENUDED UNTIL THE SUBBASE GRAVEL IS INSTALLED OR THE AREAS OF FUTURE LOAM AND SEED HAVE BEEN LOAMED, SEEDING, AND MULCHED AT A RATE TWICE THAT SPECIFIED IN THE SEEDING PLAN (E.G. 115 LBS. PER 1,000 S.F. X 2 = 230 LBS. PER 1,000 S.F.).
- THE ABOVE SCHEDULE SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER.

THE CONTRACTOR SHALL INSTALL ANY ADDED MEASURES THAT MAY BE NECESSARY TO CONTROL EROSION AND SEDIMENTATION FROM THE SITE DEPENDENT UPON THE ACTUAL SITE AND WEATHER CONDITIONS.

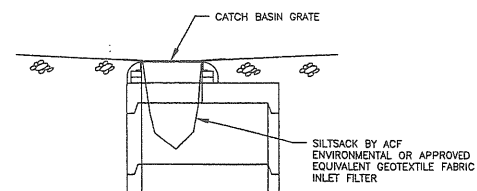
THE CONTRACTOR SHALL NOTE THAT NO AREAS WITHIN 100 FEET OF AN UNDISTURBED WETLAND SHALL REMAIN DENUDED FOR LONGER THAN 7 DAYS BEFORE BEING TEMPORARILY STABILIZED. ALL OTHER AREAS SHALL BE STABILIZED WITHIN 14 DAYS. FOR CONSTRUCTION BETWEEN SEPTEMBER 15TH AND APRIL 15TH OF ANY CALENDAR YEAR, ALL AREAS SHALL BE TEMPORARILY STABILIZED WITHIN 7 DAYS.

**IV. INSPECTION AND MAINTENANCE**

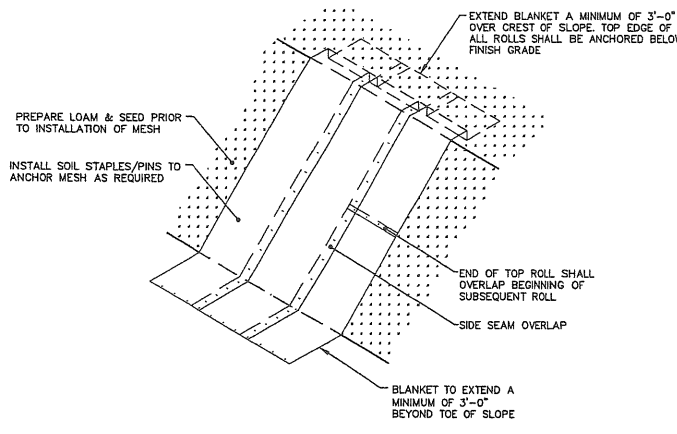
THE FOLLOWING INSPECTION AND MAINTENANCE STANDARDS SHALL BE REQUIRED TO INSURE THE EFFECTIVENESS OF THE EROSION AND SEDIMENTATION CONTROL MEASURES ARE OPTIMIZED DURING CONSTRUCTION.

FOR FURTHER REFERENCE, SEE THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION CHAPTER 500 STORMWATER MANAGEMENT RULES AND THE MAINE CONSTRUCTION GENERAL PERMIT (MCGP) REQUIREMENTS.

- INSPECT DISTURBED AND IMPERVIOUS AREAS, EROSION CONTROL MEASURES, MATERIALS STORAGE AREAS EXPOSED TO PRECIPITATION AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE. INSPECTION SHOULD OCCUR AT LEAST ONCE A WEEK AS WELL AS BEFORE AND AFTER A STORM EVENT, AND PRIOR TO COMPLETING PERMANENT STABILIZATION MEASURES.
  - MAINTAIN ALL EROSION AND STORMWATER CONTROL MEASURES UNTIL AREAS ARE PERMANENTLY STABILIZED. IF MAINTENANCE, MODIFICATION, AND/OR INSTALLATION OF ADDITIONAL BEST MANAGEMENT PRACTICES (BMPs) ARE NECESSARY, IMPLEMENTATION MUST BE COMPLETED WITHIN 7 CALENDAR DAYS AND PRIOR TO ANY STORM EVENT.
  - HOUSEKEEPING
- THE FOLLOWING STANDARDS SHALL BE REQUIRED. FOR FURTHER REFERENCE, SEE THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION CHAPTER 500 STORMWATER MANAGEMENT RULES.
- SPILL PREVENTION CONTROLS MUST BE UTILIZED TO PREVENT POLLUTANTS FROM BEING DISCHARGED FROM MATERIALS ON-SITE.
  - DURING CONSTRUCTION, LIQUID PETROLEUM PRODUCTS AND OTHER HAZARDOUS MATERIALS WITH THE POTENTIAL TO CONTAMINATE GROUNDWATER MAY NOT BE STORED OR HANDLED IN AREAS OF THE SITE DRAINING TO AN INFILTRATION AREA OR ADJACENT TO THE STORMWATER CATCH BASINS AND DRAIN MANHOLES.
  - ACTION MUST BE TAKEN TO ENSURE ACTIVITIES DO NOT RESULT IN NOTICEABLE EROSION OF SOILS OR FUGITIVE DUST EMISSIONS DURING OR AFTER CONSTRUCTION.
  - LITTER, CONSTRUCTION DEBRIS, AND CHEMICALS EXPOSED TO STORMWATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE.
  - WATER COLLECTED AS A RESULT OF TRENCH DEWATERING MUST BE SPREAD THROUGH NATURAL WOODED BUFFERS OR REMOVED TO AREAS THAT ARE SPECIFICALLY DESIGNED TO COLLECT THE MAXIMUM AMOUNT OF SEDIMENT POSSIBLE, LIKE A COFFERDAM SEDIMENTATION BASIN. AVOID ALLOWING THE WATER TO FLOW OVER DISTURBED AREAS OF THE SITE.
  - IDENTIFY AND PREVENT CONTAMINATION BY NON-STORMWATER DISCHARGES.
  - ADDITIONAL REQUIREMENTS MAY BE APPLIED ON A SITE-SPECIFIC BASIS.



**INLET PROTECTION**  
N.T.S.

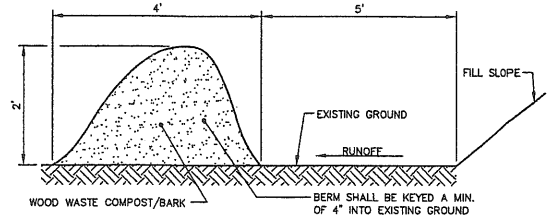


- INSTALL EROSION CONTROL MESH IN ACCORDANCE WITH PRODUCT MANUFACTURERS RECOMMENDATIONS WITH CONSIDERATION SPECIFIC TO SITE CONDITIONS.
- SLOPE SURFACE SHALL BE PREPARED TO A SMOOTH EVEN SURFACE THAT IS FREE OF ROCKS, SOIL CLODS, STICKS, AND OTHER DEBRIS. MESH MUST HAVE GOOD SOIL CONTACT. APPLY PERMANENT SEEDING PRIOR TO PLACING MESH.
- OVERLAP SIDES AND ENDS OF MESH; UPHILL SEGMENTS MUST LAP OVER DOWNHILL SEGMENTS. THE TOPMOST SEGMENT SHALL BE KEVED INTO THE SOIL AND COVERED BY LOAM & SEED. ANCHOR THE MESH TO THE GROUND SURFACE USING SOIL STAPLES/PINS PER MANUFACTURER'S RECOMMENDATIONS.

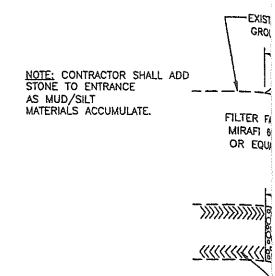
**EROSION CONTROL MESH**  
N.T.S.

**NOTES:**

- THE WOOD WASTE COMPOST/BARK MIX SHALL CONFORM TO THE FOLLOWING STANDARDS:
  - MOISTURE CONTENT - 30-60%
  - pH - 5.0 - 8.0
  - SCREEN SIZE - 100% LESS THAN 3", MAX. 70% LESS THAN 1".
  - NO LESS THAN 40% ORGANIC MATERIAL (DRY WEIGHT) BY LOSS OF IGNITION.
  - NO STONES LARGER THAN 2" IN DIAMETER.
  - SILTS, CLAYS OR SUGAR SANDS ARE NOT ACCEPTABLE IN THE MIX.
- THE COMPOST BERM SHALL BE PLACED, UNCOMPACTED, ALONG A RELATIVELY LEVEL CONTOUR.
- THE WOOD WASTE COMPOST/BARK FILTER BERM MAY BE USED IN LIEU OF SILTATION FENCE, AT THE TOE OF SHALLOW SLOPES, ON FROZEN GROUND, LEDGE OUT CROPS, VERY ROOTED FORESTED AREA OR AT THE EDGE OF GRAVEL PARKING AREAS.
- BERMS SHALL REMAIN IN PLACE UNTIL UPSTREAM AREA IS COMPLETED OR 70% CATCH OF VEGETATION IS ATTAINED. BERMS SHALL BE REMOVED BY SPREADING SUCH THAT NATIVE EARTH CAN BE SEEN BELOW.
- WOOD WASTE COMPOST/BARK FILTER BERM SHALL NOT BE USED IN WETLAND AREAS.

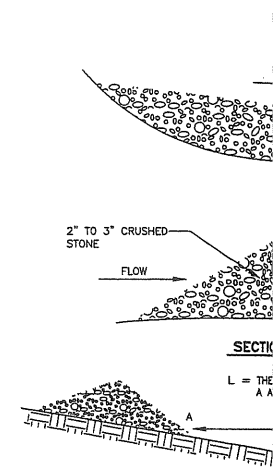


**WOOD WASTE COMPOST/BARK FILTER BERM**  
N.T.S.



NOTE: CONTRACTOR SHALL ADD STONE TO ENTRANCE AS MUD/SILT MATERIALS ACCUMULATE.

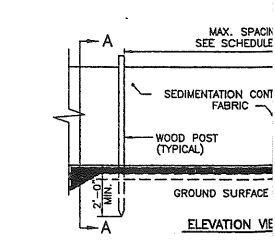
**STABILIZED CONSTRUCTION ENTRANCE**



SPACING BETWEEN STONES

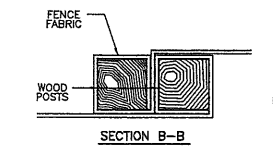
S <sub>0</sub>	(FT./FT.)
0.020	
0.030	
0.040	
0.050	
0.080	
0.100	

**STONE CHECK DAM**



SCHEDULE "A"

REINFORCEMENT	MAX. SF
SILT FENCE	6
WIRE REINFORCEMENT	10



**SILTATION FENCE**



**GAWRON  
TURGEON  
ARCHITECTS**  
29 Black Point Road  
Scarborough, ME 04074  
www.gawronturgeon.com  
Tel. 207 . 883 . 6307  
Fax. 207 . 883 . 0361



**FLORENCE HOUSE**  
PORTLAND, MAINE



**REVISIONS**

#	DATE	DESCRIPTION
1	04.02.07	CONTRACT ZONE SUB
2	05.23.07	CONTRACT ZONE REV
3	07.20.07	CONTRACT ZONE REV
4	09.04.07	SITE PLAN AND SUBDIVISION REVIEW
5	10.02.07	FINAL SITE PLAN REVIEW

DATE: 09.04.07

PROJECT #: 100405

DRAWN BY: KLD

CHECKED BY: RS

DRAWING SCALE: N.T.S.

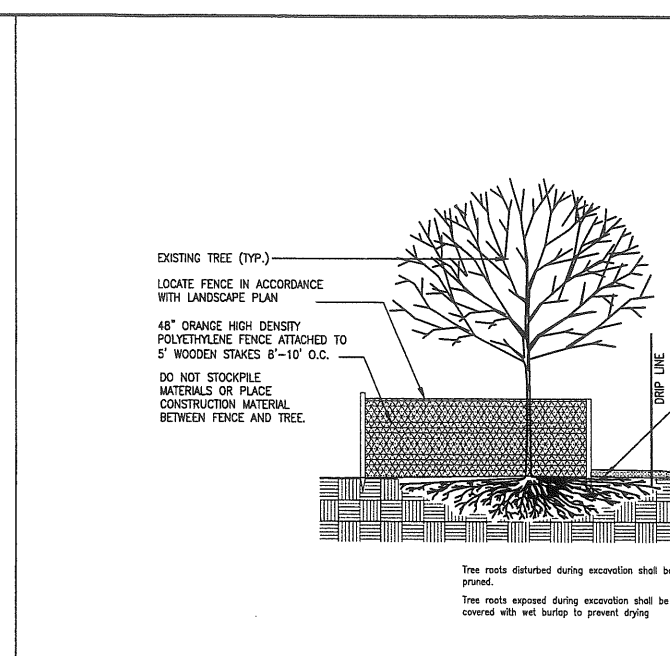
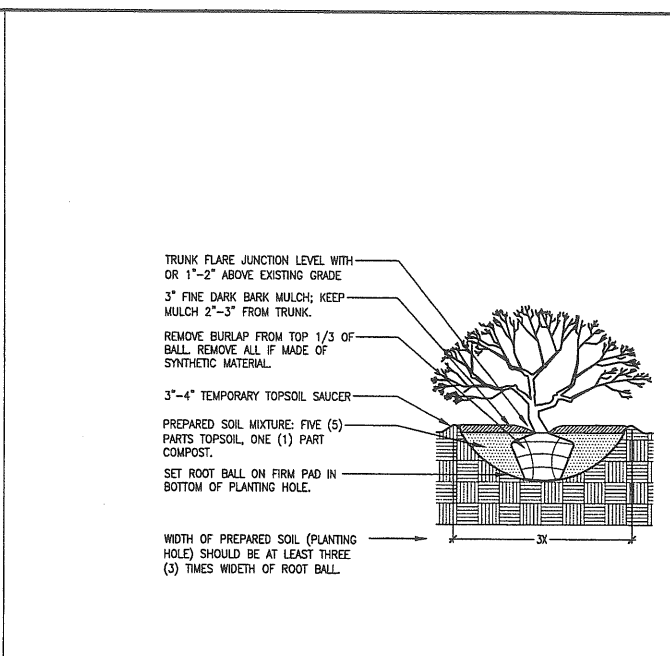
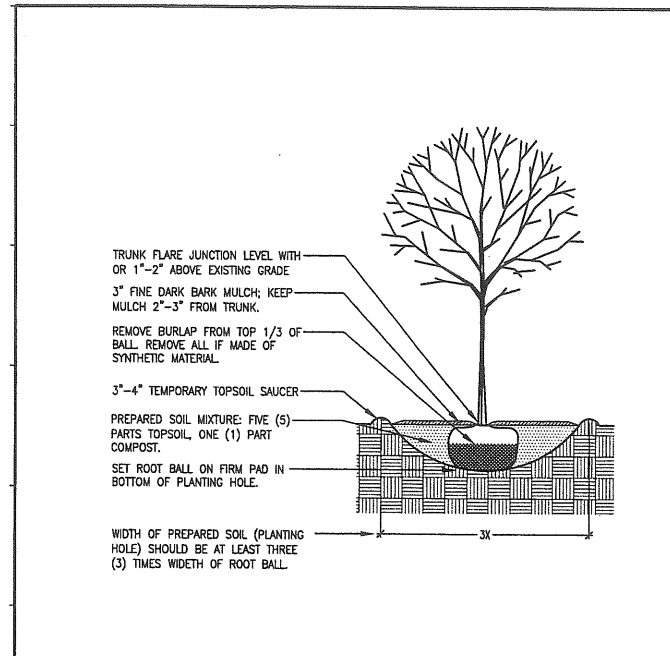
**SHEET TITLE**

PLANTING DETAILS

Sheet No.:

**15**

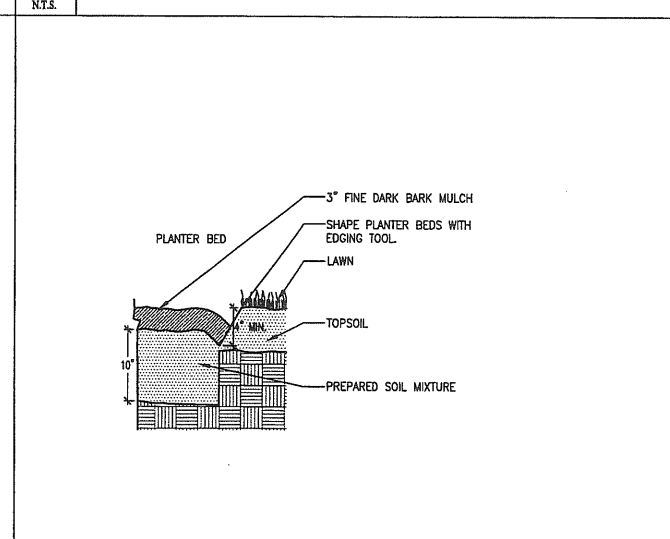
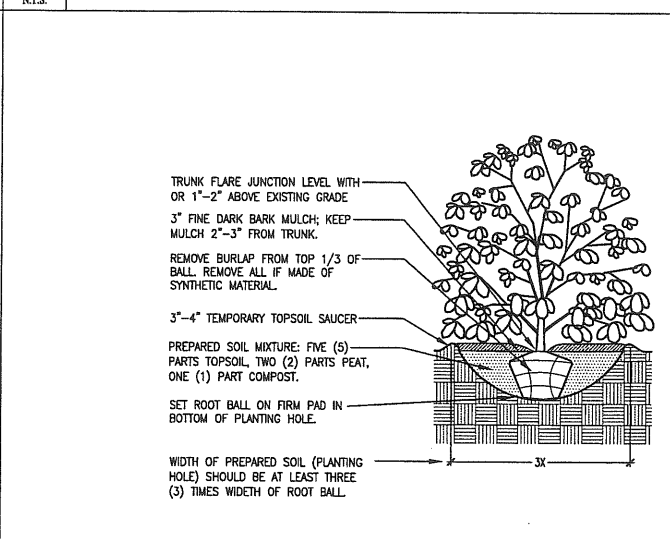
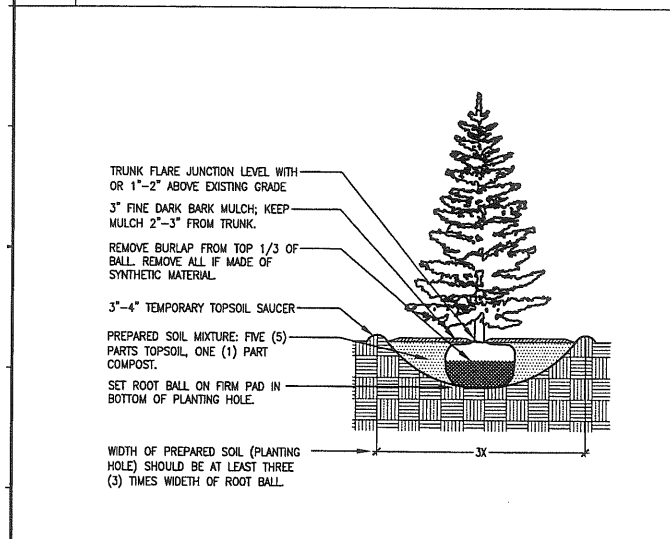
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L1 DECIDUOUS TREE PLANTING SECTION  
N.T.S.

L6 SHRUB PLANTING SECTION  
N.T.S.

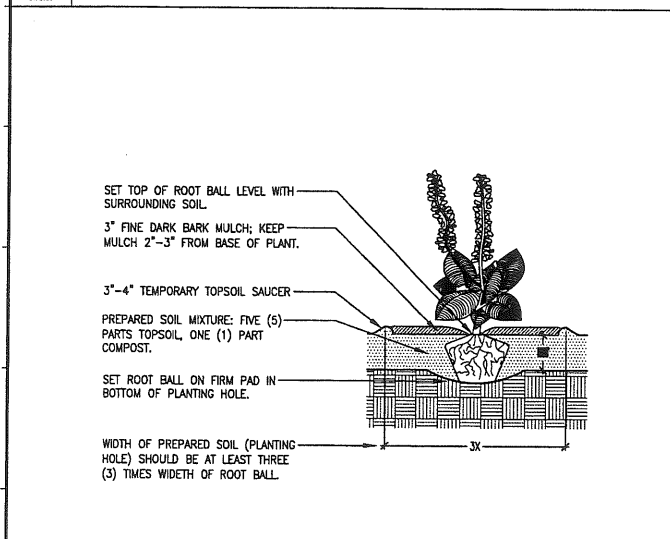
L12 TREE PROTECTION DETAIL  
N.T.S.



F1 EVERGREEN TREE PLANTING SECTION  
N.T.S.

F6 BROADLEAF EVERGREEN PLANTING SECTION  
N.T.S.

F12 PLANT BED EDGE SECTION  
N.T.S.



A6 NOT USED  
N.T.S.

A12 NOT USED  
N/A

A1 PERENNIAL PLANTING SECTION  
N.T.S.

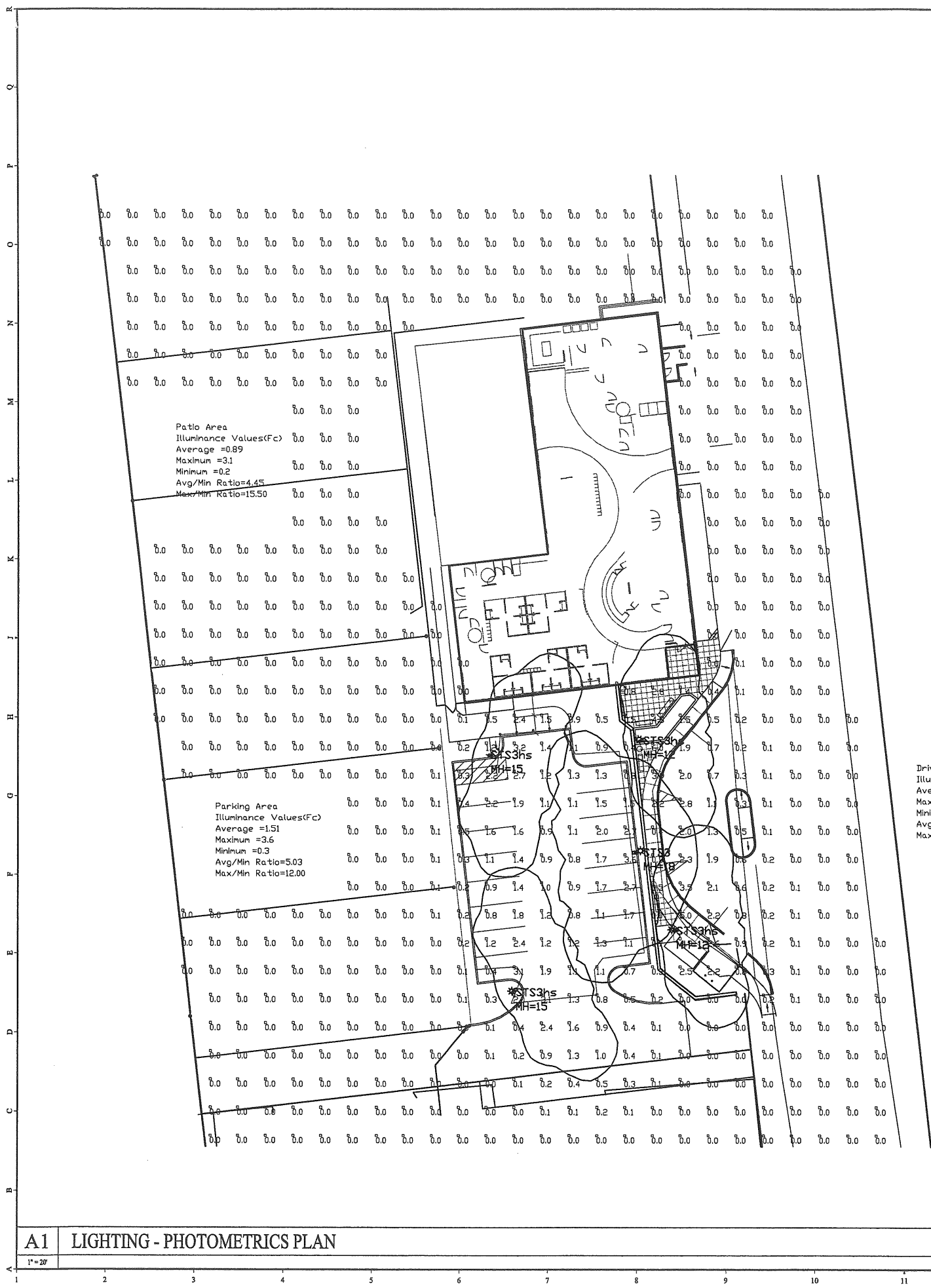
**PLANTING NOTES:**

- ALL PLANTING BEDS TO RECEIVE 10" OF PREPARED SOIL MIXTURE: ALL PLANT MATERIAL EXCEPT BROADLEAF EVERGREENS - FIVE (5) PARTS TOPSOIL, ONE (1) PART COMPOST; BROADLEAF EVERGREENS - FIVE (5) PARTS TOPSOIL, TWO (2) PARTS PEAT, ONE (1) PART COMPOST.
- ALL DISTURBED AREAS TO RECEIVE 4" TOPSOIL AND SEED UNLESS OTHERWISE NOTED.
- GRASS SEED SHALL BE A COMMERCIAL PRODUCT FROM A REPUTABLE MANUFACTURER AND SHALL BE CERTIFIED TO BE NOT MORE THAN ONE (1) YEAR OLD AND OF THE GENERAL PROPORTIONS BY WEIGHT OF THE FOLLOWING SEED TYPE:  
**LAWN SEED MIX:**  
BOTANICAL NAME (COMMON NAME) WT. PURITY GERMINATION  
POA PRATENSIS (KENTUCKY BLUE) 25% 85% 85%  
FETUCA RUBRA (RED FESCUE) 35% 98% 90%  
LOLIUM PERENE (PERENNIAL RYE) 20% 95% 90%  
LOLIUM MULTIFLORUM (ANNUAL RYE) 20% 95% 90%  
APPLICATION RATE : 5 LBS PER 1,000 SQUARE FEET
- PRIOR TO PLANT INSTALLATION, LANDSCAPE CONTRACTOR SHALL MEET WITH LANDSCAPE ARCHITECT ON SITE FOR PRE-CONSTRUCTION WALKTHROUGH.
- THE LANDSCAPE ARCHITECT SHALL APPROVE PLANT SPACING AND LAYOUT PRIOR TO PLANTING.
- THE PLANT SCHEDULE SHALL HAVE PRECEDENCE OVER ANY CONFLICTS WITH PLANT QUANTITIES SHOWN ON THE PLAN.
- INSTALLATION OF PLANT MATERIAL: AS SHOWN IN DETAILS. PLANTS SHALL MEET REQUIREMENTS SPECIFIED IN PLANT SCHEDULE ACCORDING TO "AMERICAN STANDARD FOR NURSERY STOCK - MAY 12, 2004".
- ALL PLANT MATERIAL SHALL BE INSTALLED IN MULCHED PLANT BEDS. TREES THAT ARE LOCATED IN LAWN AREA SHALL HAVE A MINIMUM 4" DIAMETER CIRCULAR MULCH BED.
- ALL LABELS, TAGS OR OTHER FOREIGN MATERIAL SHALL BE REMOVED FROM PLANT MATERIAL LIMBS AND STEMS.
- LANDSCAPE CONTRACTOR SHALL PROVIDE ONE (1) YEAR REPLACEMENT GUARANTEE FOR ALL NEW PLANT MATERIAL AND SHALL MAINTAIN AND WATER ALL PLANTS (INCLUDING GRASSES AND LAWN) UNTIL ACCEPTANCE.

**SUBMITTALS AND SUBSTITUTIONS NOTES:**

- PLANT VARIETY SUBSTITUTIONS SHALL BE BASED ON SIMILAR CHARACTERISTICS OF THE SPECIFIED PLANT. APPROVALS SHALL BE BASED ON MATURE SIZE, COLOR, BLOOM TIMES, SHAPE, SOLAR AND SOIL PREFERENCES.
- THE CONTRACTOR SHALL SUBMIT A PLANT LIST A MINIMUM OF 30 DAYS PRIOR TO INSTALLATION FOR APPROVAL.
- ALL PLANT SUBSTITUTIONS SHALL BE REQUESTED IN WRITING AND APPROVED BY THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL NOT RECEIVE PAYMENT FOR ANY SUBSTITUTED PLANT MATERIAL THAT HAS NOT BEEN PRE-APPROVED.

**A17 PLANTING NOTES**  
N/A



Patio Area  
Illuminance Values(Fc)  
Average =0.89  
Maximum =3.1  
Minimum =0.2  
Avg/Min Ratio=4.45  
Max/Min Ratio=15.50

Parking Area  
Illuminance Values(Fc)  
Average =1.51  
Maximum =3.6  
Minimum =0.3  
Avg/Min Ratio=5.03  
Max/Min Ratio=12.00

Drive Through  
Illuminance Values(Fc)  
Average =1.65  
Maximum =5.0  
Minimum =0.3  
Avg/Min Ratio=5.50  
Max/Min Ratio=16.67

Luminaire Schedule						
Symbol	Qty	Label	Description	Lumens	LLF	Filename
☐	1	STS3	1A/STS3_175MHxxx_xx	12800	0.720	STS3-175M.ies
☐	4	STS3hs	1A/STS3_175MHxxx_xx_HS	12800	0.720	STS3-175M-HS.ies
☐	1	STS4hs	1A/STS4_175MHxxx_xx_HS	12800	0.720	STS4-175M-HS.ies

Luminaire Location Summary							
SeqNo	Status	Label	X	Y	Z	Orient	Tilt
1	On	STS4hs	2973.375	2810.625	15	6.981	0
4	On	STS3	3050	2672	18	185.947	0
2	On	STS3hs	3050	2712	12	6.882	0
5	On	STS3hs	3062	2644	12	6.882	0
3	On	STS3hs	2995	2706.875	15	344.219	0
6	On	STS3hs	3004	2622	15	25.989	0

Numeric Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts	Illuminance	Fc	0.28	6.0	0.0	N.A.	N.A.

Statistical Area Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
Drive Through	1.65	5.0	0.3	5.50	16.67
Parking Area	1.51	3.6	0.3	5.03	12.00
Patio Area	0.89	3.1	0.2	4.45	15.50

**KIM LIGHTING**

MAILING: PO BOX 60680  
CITY OF INDUSTRY, CA 91716-0680  
SHOPPING: 16555 EAST GALE AVE.  
CITY OF INDUSTRY, CA 91745

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PROJECT NAME:  
Florence House Ltg.

KIM LIGHTING SALES AGENCY:  
Swaney Lighting Assoc. 107  
Bev White

FILE: kim\_florence\_swl DATE: 10.oct03/23/2007

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APPLICATIONS DEPARTMENT  
CALCULATIONS BY: TONY HESTON  
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**REVISIONS**

#	DATE	DESCRIPTION
1	04.02.07	CONTRACT ZONE SUB.
2	05.22.07	CONTRACT ZONE REV.
3	07.10.07	CONTRACT ZONE REV.
4	09.04.07	SITE PLAN AND SUBDIVISION REVIEW
5	10.02.07	FINAL SITE PLAN REVIEW

DATE:	09.04.07
PROJECT #:	100405
DRAWN BY:	KLD
CHECKED BY:	RS
DRAWING SCALE:	1" = 20'-0"

**SHEET TITLE**

LIGHTING -  
PHOTOMETRICS PLAN

Sheet No.:

# 16

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