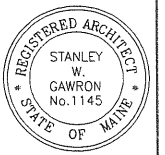


64-F-20

190 Valley St.

Florence House

Avesta Florence House



**Gawron
Turgeon
ARCHITECTS**

29 Black Point Road
Scarborough, Maine 04074
www.gawronturgeon.com
207-883-4307 tel 207-883-0361 fax



FLORENCE HOUSE
190 VALLEY STREET
PORTLAND, MAINE



#	DATE	DESCRIPTION
1	4.03.07	CONTRACT ZONE SUBMISSION
2	5.01.07	CONTRACT ZONE SUBMISSION
3	7.10.07	CONTRACT ZONE SUBMISSION
4	9.04.07	SITE PLAN AND SUBMISSION REVIEW
5	10.02.07	FINAL SITE PLAN REVIEW
6	11.15.07	50% REVIEW SET
7	12.04.07	100% MAINE HOUSING REVIEW SET
8	05.02.08	100% MAINE HOUSING REVIEW SET
9	07.31.08	100% MAINE HOUSING REVIEW SET
10	09.02.08	100% BD DOCUMENTS

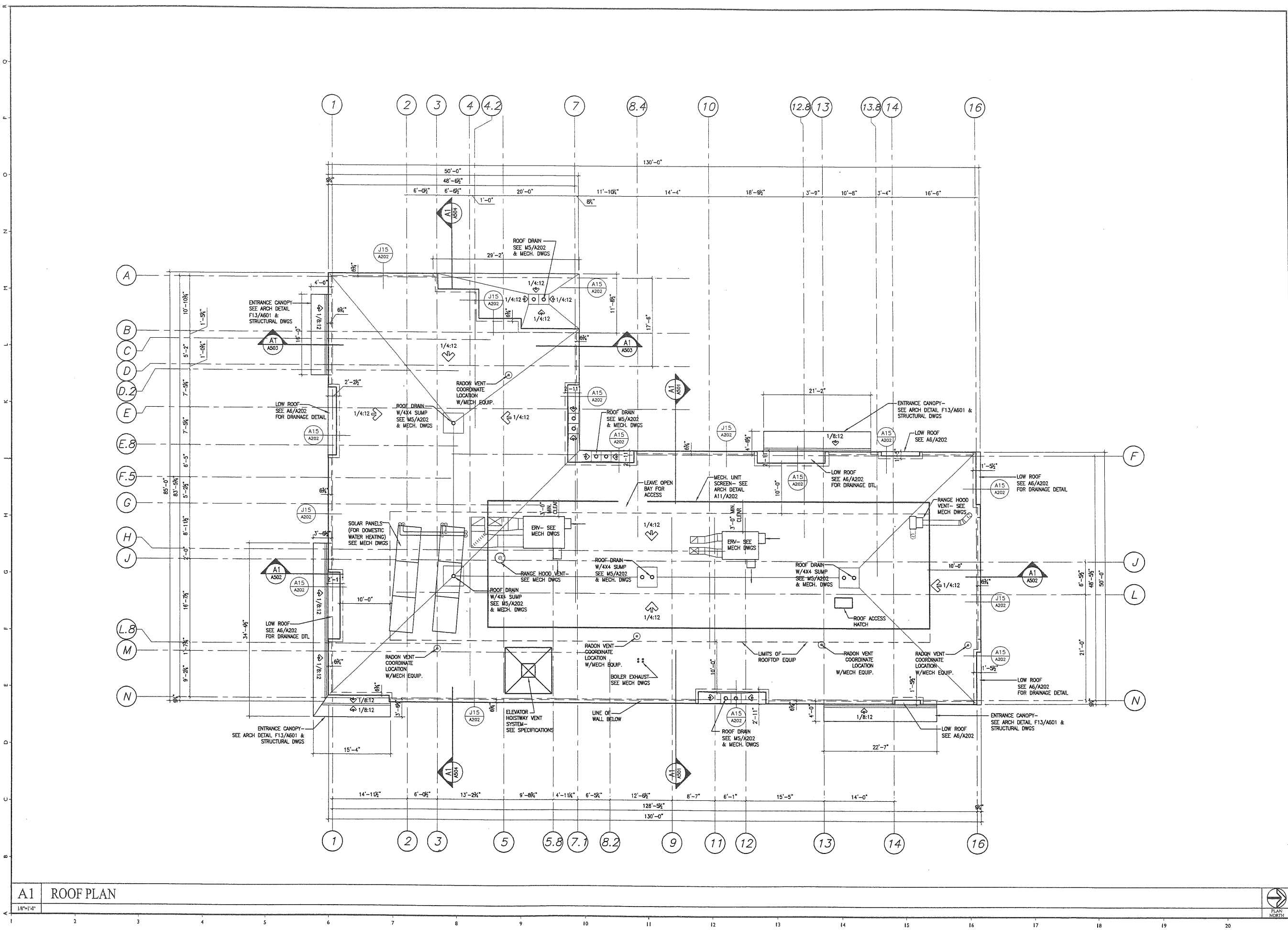
DATE:	09/02/08
PROJECT #:	100405
DRAWN BY:	AEP
CHECKED BY:	RLD
DRAWING SCALE:	1/8" = 1'-0"

SHEET TITLE

ROOF PLAN

A201

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A1 ROOF PLAN

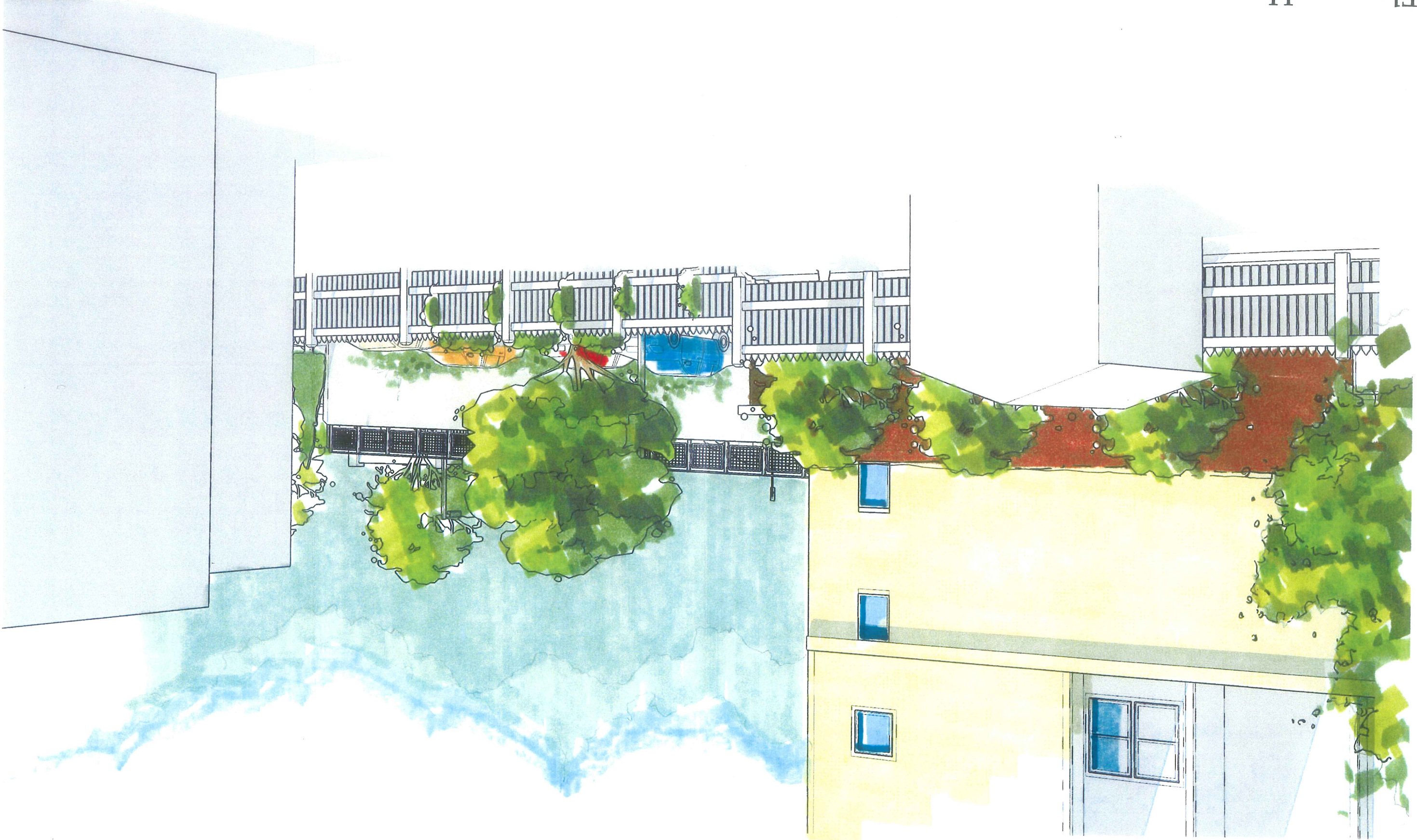
1/8"=1'-0"



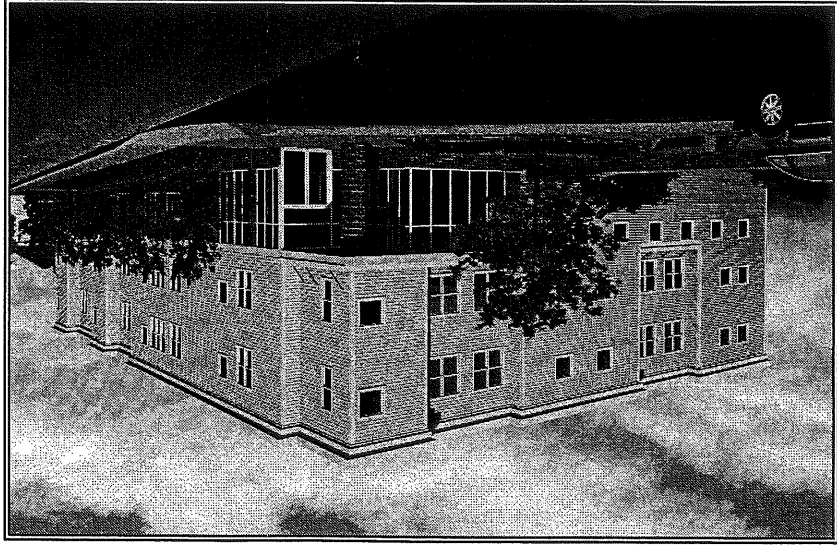
Florence House- Bird's Eye View
Along Rear Property Line



Florence House
View from Heald Driveway



FLORENCE HOUSE



PREPARED BY:

LANDSCAPE ARCHITECT AND SITE PLANNER
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 BMR@MITCHELLASSOCIATES.COM

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 FAX: 207.883.1001

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 SHARIT GEOTECHNICAL SERVICES
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 LEWISTON, MAINE 04240
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 FAX: 207.784.9288
 CONTACT: BILL PETERSEN

E-MAIL: BPE@TELECOMMUNICATIONS.COM

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 CENTRAL MAINE POWER
 ELECTRICAL DISTRIBUTION ENGINEERING
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 PHONE: 207.542.2987
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E-MAIL: NBRUNAVARDI@PW.DOR.ME
 PHONE: 207.883.2907

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 NORTHEAST CIVIL SOLUTIONS
 123 US ROUTE ONE
 SCARBOROUGH, MAINE 04074
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CABLE
 TIME WARNER CABLE OF MAINE
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 PORTLAND, MAINE 04102
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 CONTACT: LARRY FALOW@TWOCABLE.COM

E-MAIL: LFALOW@TWOCABLE.COM
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 NORTHERN UTILITIES
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 122 WEST ROAD
 PORTSMOUTH, NEW HAMPSHIRE 03802-0808
 PHONE: 603.882.2947
 CONTACT: LEIGH ELLIOTT

APPLICANT

AVESTA FLORENCE HOUSE LP
 FLORENCE HOUSE HOUSING CORPORATION
 FLORENCE HOUSE CONDOMINIUM ASSOCIATION
 307 CAMERLAND AVENUE
 PORTLAND, MAINE 04101
 PHONE: 207.854.7790 x.228
 CONTACT: BOB KELLEY
 E-MAIL: DKELLEY@AVESTAHOUSING.ORG

PERMITS:

TYPE OF PERMIT:
 COMMON ZONE AGREEMENT
 GOVERNING BODY:
 CITY OF PORTLAND
 389 CONGRESS STREET
 PORTLAND, MAINE 04101

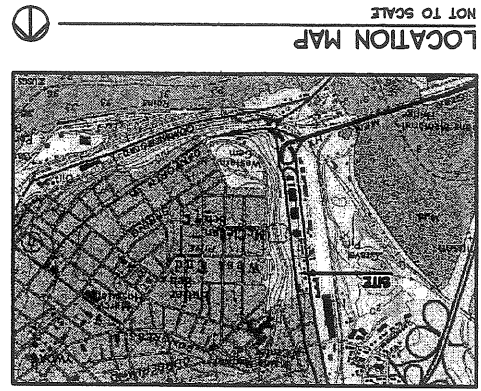
STATUS:
 SUBMITTED: APRIL 2, 2007
 PLANNING BOARD WORKSHOP: APRIL 24, 2007
 PLANNING BOARD WORKSHOP: JUNE 24, 2007
 PLANNING BOARD WORKSHOP: JULY 24, 2007
 PLANNING BOARD HEARING: AUGUST 14, 2007
 CITY COUNCIL 1ST HEADING: SEPTEMBER 6, 2007
 CITY COUNCIL 2ND HEADING: SEPTEMBER 17, 2007

TYPE OF PERMIT:
 SITE PLAN AND
 SUBMISSION APPLICATIONS
 CITY OF PORTLAND
 389 CONGRESS STREET
 PORTLAND, MAINE 04101
 TEL: 207.574.5720
 E-MAIL: JF@PORTLANDMAINE.GOV

STATUS:
 SUBMITTED: APRIL 2, 2007
 PLANNING BOARD WORKSHOP: APRIL 24, 2007
 PLANNING BOARD WORKSHOP: JUNE 24, 2007
 PLANNING BOARD WORKSHOP: JULY 24, 2007
 PLANNING BOARD HEARING: AUGUST 14, 2007
 CITY COUNCIL 1ST HEADING: SEPTEMBER 6, 2007
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SHEET 4	LANDSCAPE AND PLANTING PLAN
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SHEET 98	LANDSCAPE AND PLANTING PLAN
SHEET 99	LANDSCAPE AND PLANTING PLAN
SHEET 100	LANDSCAPE AND PLANTING PLAN



LOCATION MAP
 NOT TO SCALE

CP
 Sheet No.:
 North:
 Scale:

THIS
 COVER PAGE

Revisions:

Date: SEPTEMBER 4, 2007
 Issued For: SITE PLAN AND SUBDIVISION REVIEW

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FLORENCE HOUSE
 Portland, Maine

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 Consulting Engineers, Inc.
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 Fax: (207) 774-4477

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 Tel: (207) 866-7777

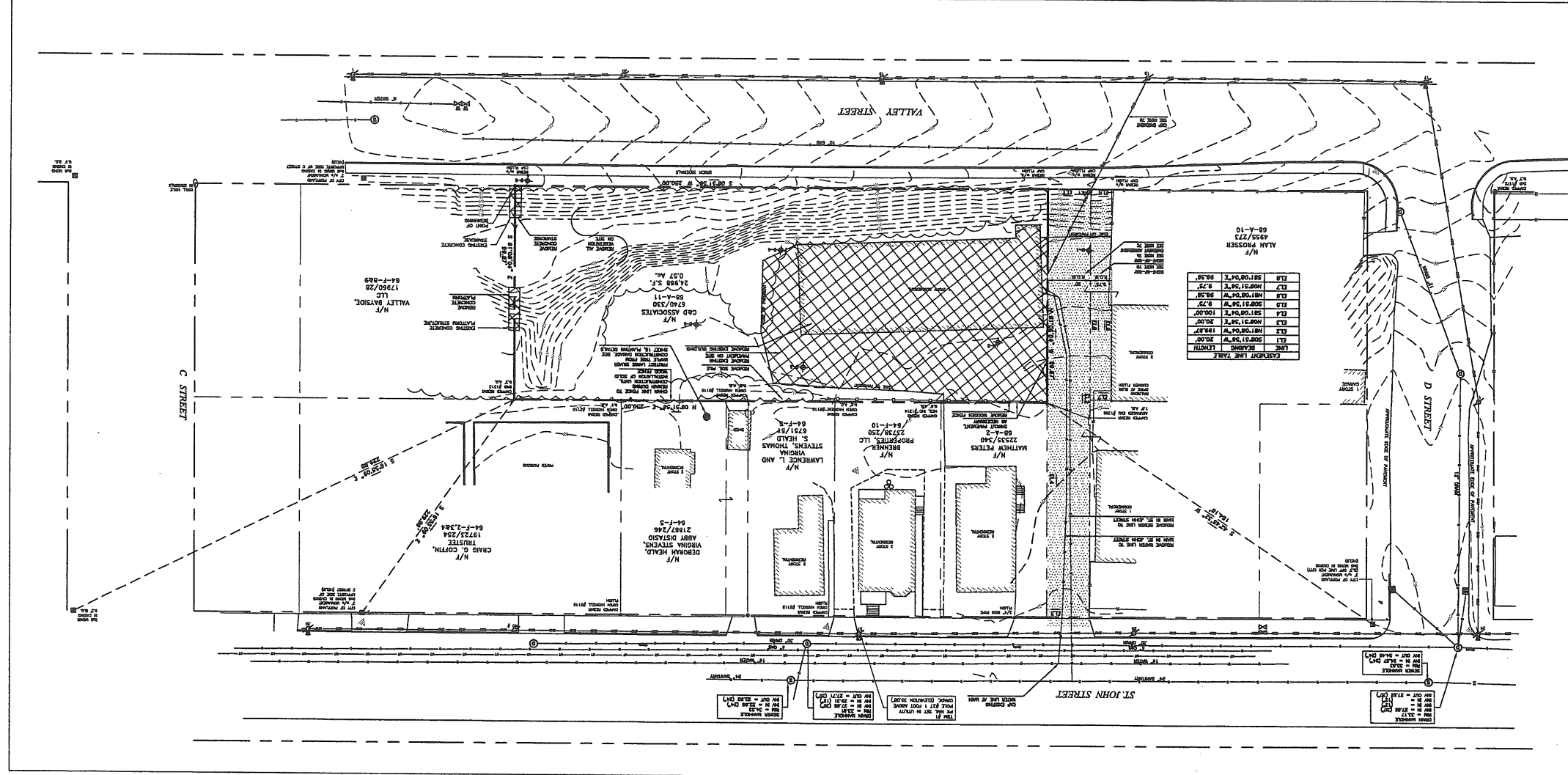
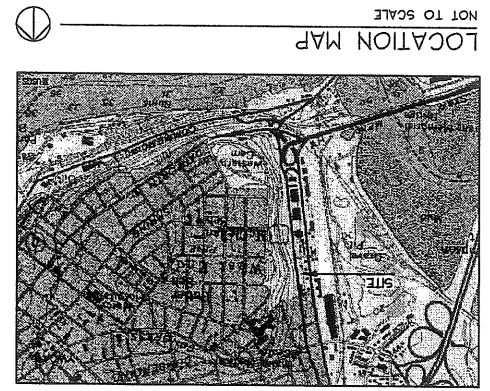
Prepared By:
 MITCHELL & ASSOCIATES
 Landscape Architects
 The Douglas School
 70 Center Street
 Portland, Maine 04101
 Tel: (207) 774-4477

NOTES

1. THE BASIS OF BEARING FOR THIS SURVEY WAS TAKEN FROM THE PLAN REFERENCED IN NOTE 4.A. BELOW. SAID BEARING IS MAGNETIC.
2. DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
3. RECORD OWNERSHIP OF THE PARCEL SURVEYED CAN BE FOUND IN A DEED FROM PETER HOLMES TO C + D ASSOCIATES DATED APRIL 23, 1989 AND RECORDED IN DEED BOOK 6740, PAGE 330.
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
 - A. CONDOMINIUM PLAN OF 205 ST. JOHN STREET, PORTLAND, MAINE BY NORTHEAST CIVIL SOLUTIONS, INC. DATED JUNE 30, 2005. (UNRECORDED).
 - B. PLAN OF LANDS ON ST. JOHN STREET, BY WILLIAM A. GOODWIN, CIVIL ENGINEER, DATED JULY, 1879 AND RECORDED IN PLAN BOOK 4, PAGE 21.
 5. THE PARCEL SURVEYED IS IDENTIFIED ON THE CITY OF PORTLAND ASSESSOR'S MAP 64, BLOCK F, PARCEL 20 AND MAP 68, BLOCK A, PARCEL 11.
 6. THE WIDTH AND LAYOUT OF VALLEY STREET, ST. JOHN STREET, C STREET + D STREET ARE BASED ON CITY OF PORTLAND PUBLIC WORKS RECORDS. SAID WIDTHS OF ALL THESE STREETS ARE 60 FEET.
7. REFERENCE IS MADE TO THE FOLLOWING EASEMENTS OF RECORD:
 - A. "A 20' WIDE ACCESS RIGHT-OF-WAY" FOR THE BENEFIT OF THE SUBJECT PARCEL OVER MAP 68, BLOCK A, PARCEL 10 AS RECORDED IN DEED BOOK 4323, PAGE 133.
 - B. "A 4.75' WIDE RIGHT-OF-WAY" FOR THE BENEFIT OF THE SUBJECT PARCEL OVER MAP 68, BLOCK A, PARCEL 10 AS RECORDED IN DEED BOOK 12746, PAGE 149.
 - C. "EASEMENT AGREEMENT FOR 20' WIDE RIGHT-OF-WAY" OVER MAP 68, BLOCK A, PARCEL 10 AS RECORDED IN DEED BOOK 12746, PAGE 150.
 - D. "EASEMENT TO CENTRAL MAINE POWER CO. FOR INSTALL AND MAINTENANCE OF POWER LINES FROM POLE 18 TO POLE 18.1" AS RECORDED IN DEED BOOK 4932, PAGE 312.
 8. THIS SURVEY WAS CONDUCTED WITH 6 INCHES OF SNOW AND ICE. ELEVATIONS AND CONTOURS ARE BASED ON NGVD 1929 DATUM TAKEN FROM THE BENCHMARK CALLED FOR AS BM-34 ON RYM PANEL 230051 0013 B. SEE PLAN FOR BENCHMARK DESCRIPTION.
 9. UNDERGROUND GAS AND WATER LINE LOCATIONS ON ST. JOHN STREET WERE TAKEN FROM CITY OF PORTLAND PUBLIC WORKS RECORDS FROM 1998. VERIZON LINES WERE FIELD LOCATED AS SEWER AND DRAIN LINES AND INVERTS WERE FIELD LOCATED AS WELL. ALL UTILITY LOCATIONS SHALL BE CONSIDERED APPROXIMATE.

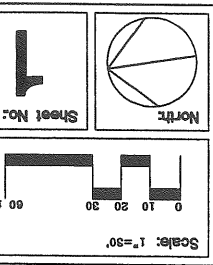
LEGEND

EXISTING	PROPERTY LINE
MONUMENT FOUND	REBAR FOUND
CONTOUR	CATCHBASIN
SEWER MANHOLE	DRAIN MANHOLE
WATER VALVE	GAS VALVE
UTILITY POLE	UTILITY POLE WITH LIGHT
WATER SERVICE	SEWER SERVICE
STORM DRAIN	GAS SERVICE
UNDERGROUND TELEPHONE	OVERHEAD WIRES
FENCE	TEST BORING



EASEMENT LINE TABLE

LINE BEARING	LENGTH	AREA	REMARKS
N 81° 15' 00" E	10.00'	100.00	AS SHOWN ON PLAN
S 81° 15' 00" W	10.00'	100.00	AS SHOWN ON PLAN
S 00° 00' 00" W	10.00'	100.00	AS SHOWN ON PLAN
N 81° 15' 00" E	10.00'	100.00	AS SHOWN ON PLAN
TOTAL			
		400.00	



DATE: SEPTEMBER 4, 2007

ISSUED FOR: SITE PLAN AND SUBDIVISION REVIEW

REVISIONS:
 October 2, 2007 - Per Planning Staff and Board Comments.
 October 17, 2007 - Per Planning Staff Comments.

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TITLE: EXISTING CONDITIONS AND DEMOLITION PLAN

FLORENCE HOUSE

190 Valley Street
Portland, Maine

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 Portland, Maine 04101
 Tel: (207) 553-7777

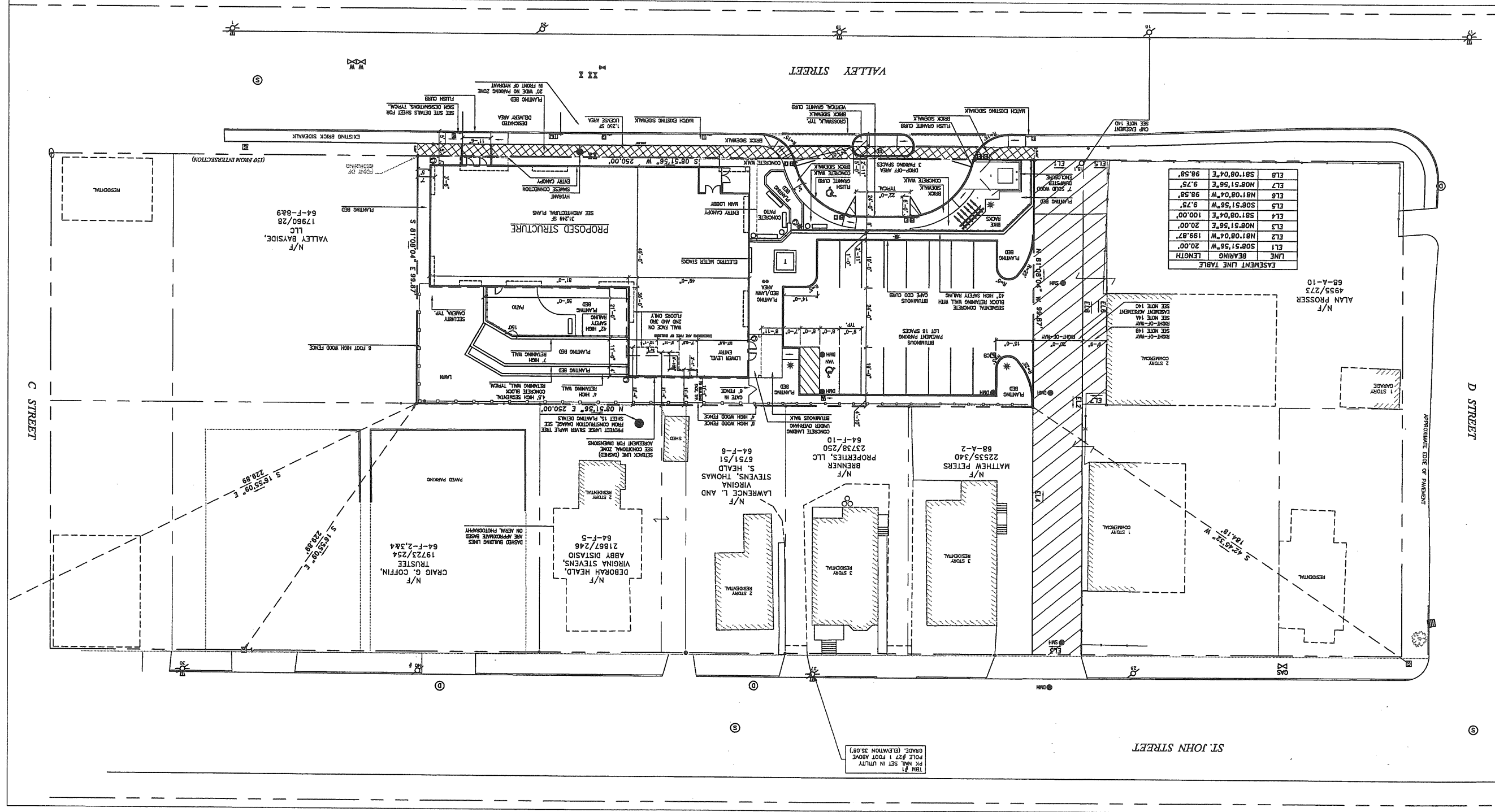
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 Tel: (207) 857-8810
 Fax: (207) 857-8810

PROPOSED	EXISTING	LEGEND
		PROPERTY LINE
		SETBACK LINE
		REAR FOUND
		EASEMENT AREA
		CATCHBASIN
		SEWER MANHOLE
		DRAIN MANHOLE
		ELECTRIC TRANSFORMER
		WATER VALVE
		FIRE HYDRANT
		GAS VALVE
		UTILITY POLE
		UTILITY POLE WITH LIGHT
		LIGHT POLE
		SECURITY CAMERA
		FENCE
		SIGN

GENERAL NOTES

- SITE IS SUBJECT TO CONDITIONAL ZONE AGREEMENT TITLED "AVESTA FLORENCE HOUSE LP FLORENCE HOUSE HOUSING CORPORATION AND FLORENCE HOUSE CONDOMINIUM ASSOCIATION" APPROVED BY PORTLAND CITY COUNCIL ON SEPTEMBER 17, 2007.
 - TOTAL SITE AREA: 24,968 SF OR 0.57 ACRES
 - ZONING DISTRICT: B-2 COMMUNITY BUSINESS ZONE WITH UNDERLYING ZONES: B-2 RESIDENTIAL ZONE
 - SPACE AND BULK REQUIREMENTS (CZ4)
 - REQUIRED: 24,968 SF
 - REPROPOSED: 24,968 SF
5. BUILDING SUMMARY:
- | | |
|--------------------------------|-----------------|
| AREA | 8,138 SF |
| FLOOR LEVEL | 25-40 BEDSPACES |
| 1ST FLOOR (UNIT 1) | 7,545 SF |
| 2ND FLOOR (UNIT 2) | 7,545 SF |
| 3RD FLOOR (UNIT 2) | 7,545 SF |
| TOTAL BUILDING SQUARE FOOTAGE: | 31,244 SF |
| 3 STORIES PLUS BASEMENT | |
6. BOUNDARY LINE AND TOPOGRAPHIC INFORMATION BASED ON SURVEY PREPARED BY NORTHEAST CIVIL SOLUTIONS, FROM PLANS DATED JANUARY 31, 2007.
7. BENCHMARK IS PER MAP SET IN UTILITY POLE #27 ONE FOOT ABOVE GRADE ON THE EASTERN SIDE OF ST. JOHN STREET BETWEEN C STREET AT D STREET WITH AN ELEVATION OF 35.06.
8. THE BASIS OF BEARING FOR THIS SURVEY WAS TAKEN FROM THE PLAN REFERENCED IN NOTE 13.A. BELOW. SAID BEARING IS MAGNETIC, 2005.
9. DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
10. RECORD OWNERSHIP OF THE PARCEL SURVEYED CAN BE FOUND IN A DEED FROM PETER HOLMES TO C + D ASSOCIATES DATED APRIL 23, 1985 AND RECORDED IN DEED BOOK 6740, PAGE 330.
11. THE PARCEL IS DETERMINED ON THE CITY OF PORTLAND ASSESSOR'S MAP G4, BLOCK F, PARCEL 20 AND MAP G8, BLOCK A, PARCEL 11.
12. THE WIDTH AND LAYOUT OF VALLEY STREET, ST. JOHN STREET, C STREET + D STREET ARE BASED ON CITY OF PORTLAND PUBLIC WORKS RECORDS. SAID WIDTHS OF ALL THESE STREETS ARE 60 FEET.
13. REFERENCE IS MADE TO THE FOLLOWING PLANS:
 - A. "CONDOMINIUM PLAN OF 205 ST. JOHN STREET, PORTLAND, MAINE" BY NORTHEAST CIVIL SOLUTIONS, INC., DATED JUNE 30, 2005.
 - B. "PLAN OF LANDS ON ST. JOHN STREET" BY WILLIAM A. GOODWIN, CITY PLANNING, DATED JULY, 1979 AND RECORDED IN PLAN BOOK 4, PAGE 21.
14. REFERENCE IS MADE TO THE FOLLOWING EASEMENTS OF RECORD:
 - A. A 20' WIDE ACCESS RIGHT-OF-WAY FOR THE BENEFIT OF THE SUBJECT PARCEL OVER MAP G8, BLOCK A, PARCEL 10 AS RECORDED IN DEED BOOK 4932, PAGE 133.
 - B. A 47.5' WIDE RIGHT-OF-WAY FOR THE BENEFIT OF THE SUBJECT PARCEL OVER MAP G8, BLOCK A, PARCEL 10 AS RECORDED IN DEED BOOK 12746, PAGE 149.
 - C. EASEMENT AGREEMENT FOR 20' WIDE RIGHT-OF-WAY OVER MAP G8, BLOCK A, PARCEL 10 AS RECORDED IN DEED BOOK 12746, PAGE 150.
 - D. EASEMENT TO CENTRAL MAIN POWER CO. FOR INSTALL AND MAINTENANCE OF POWER LINES FROM POLE 18 TO POLE 18.1 AS RECORDED IN DEED BOOK 4932, PAGE 312.
15. A LICENSE, COVERING A 1250 SF AREA, HAS BEEN GRANTED BY THE CITY OF PORTLAND FOR THE PROPERTY FRONTAGE ALONG VALLEY STREET FOR MAINTENANCE OF MAINTENANCE OF PAVING AND VEGETATION.
16. ELEVATIONS AND CONTOURS ARE BASED ON NAVD 1929 DATUM TAKEN FROM THE DISK CALLED FOR AS RM-34 ON FIRM PANEL 230051 0013 B. SEE PLAN FOR TBM DESCRIPTION.
17. UNDERGROUND GAS AND WATER LINE LOCATIONS ON ST. JOHN STREET WERE TAKEN FROM CITY OF PORTLAND PUBLIC WORKS RECORDS. STREETS TAKEN FROM CITY OF PORTLAND PUBLIC WORKS RECORDS FROM 1998. VERSION LINES WERE FIELD LOCATED. SEWER AND DRAIN LINES AND INVERTS WERE FIELD LOCATED AS WELL. ALL UTILITY LOCATIONS SHALL BE CONSIDERED APPROXIMATE.
18. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND KEEPING STREETS CLEAN DURING CONSTRUCTION. A MAINTENANCE PLAN SHALL BE PREPARED AND APPROVED BY THE OWNERS REPRESENTATIVE.
19. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND KEEPING RECORDS OF ALL CONDUIT, POLE MOUNTED LIGHT FIXTURES AND POLES.
20. SITE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL LIGHT POLE BASES AND TRENCHING FOR CONDUIT. METAL HALIDE WHITE (MH-P).
21. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL LIGHT POLE BASES AND TRENCHING FOR CONDUIT. METAL HALIDE WHITE (MH-P).
22. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND KEEPING RECORDS OF ALL CONDUIT, POLE MOUNTED LIGHT FIXTURES AND POLES.
23. EXACT LOCATIONS OF SECURITY CAMERAS TO BE CONTROLLED AS PART OF THE MANAGEMENT PLAN.
24. ALL MATERIALS AND INSTALLATION DETAILS SHALL MEET M.D.O.T. AND/OR CITY OF PORTLAND STANDARD SPECIFICATIONS.



EASEMENT LINE TABLE

LINE	BEARING	LENGTH
EL1	S08°51'58"W	20.00'
EL2	N81°08'04"W	199.87'
EL3	N08°51'56"E	20.00'
EL4	S81°08'04"E	100.00'
EL5	S08°51'56"W	9.75'
EL6	N81°08'04"W	98.58'
EL7	N08°51'56"E	9.75'
EL8	S81°08'04"E	98.58'

Scale: 1"=60'

Sheet No. 2

LAYOUT & LIGHTING PLAN

This: []

Revisions: []

Issued For: []

Date: []

FLORENCE HOUSE

190 Valley Street
Portland, Maine

Applicant: []

Prepared By: []

MITCHELL & ASSOCIATES

70 Center Street
Portland, Maine 04101
Tel: (207) 774-4427

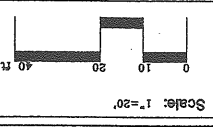
Consulting Engineers, Inc.

70 Center Street
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AVESTA HOUSING



Sheet No. 3



GRAVING AND DRAINAGE PLAN

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Revisions:
October 2, 2007 - For Planning Staff and Board Comments.

Issued For:
SUBDIVISION REVIEW

Date:
SEPTEMBER 4, 2007

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UTILITY NOTES

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-684-6848 AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.

2. DM#2 SHALL HAVE A WEIRWALL UP TO ELEVATION 33.00 TO DIRECT RUNOFF TO THE POND.

NOTE:
THE AVERAGE GRADE CALCULATION IS BASED ON THE ZONING ADMINISTRATOR METHODOLOGY.
PROPOSED AVERAGE GRADE IN ACCORDANCE WITH THE ZONING ADMINISTRATOR METHODOLOGY.

STRUCTURE	SIZE	RM	INV. IN	INV. OUT
CB#1	4' DIA	36.28	TBD	31.62
DM#1	6' DIA	38.00	TBD	33.00
DM#2	4' DIA	38.00	33.00	31.00
DM#3	4' DIA	35.70	30.62	30.42
DM#4	6' DIA	EXISTING	27.63	27.63
OC5	6' DIA	EXISTING	28.35	30.80

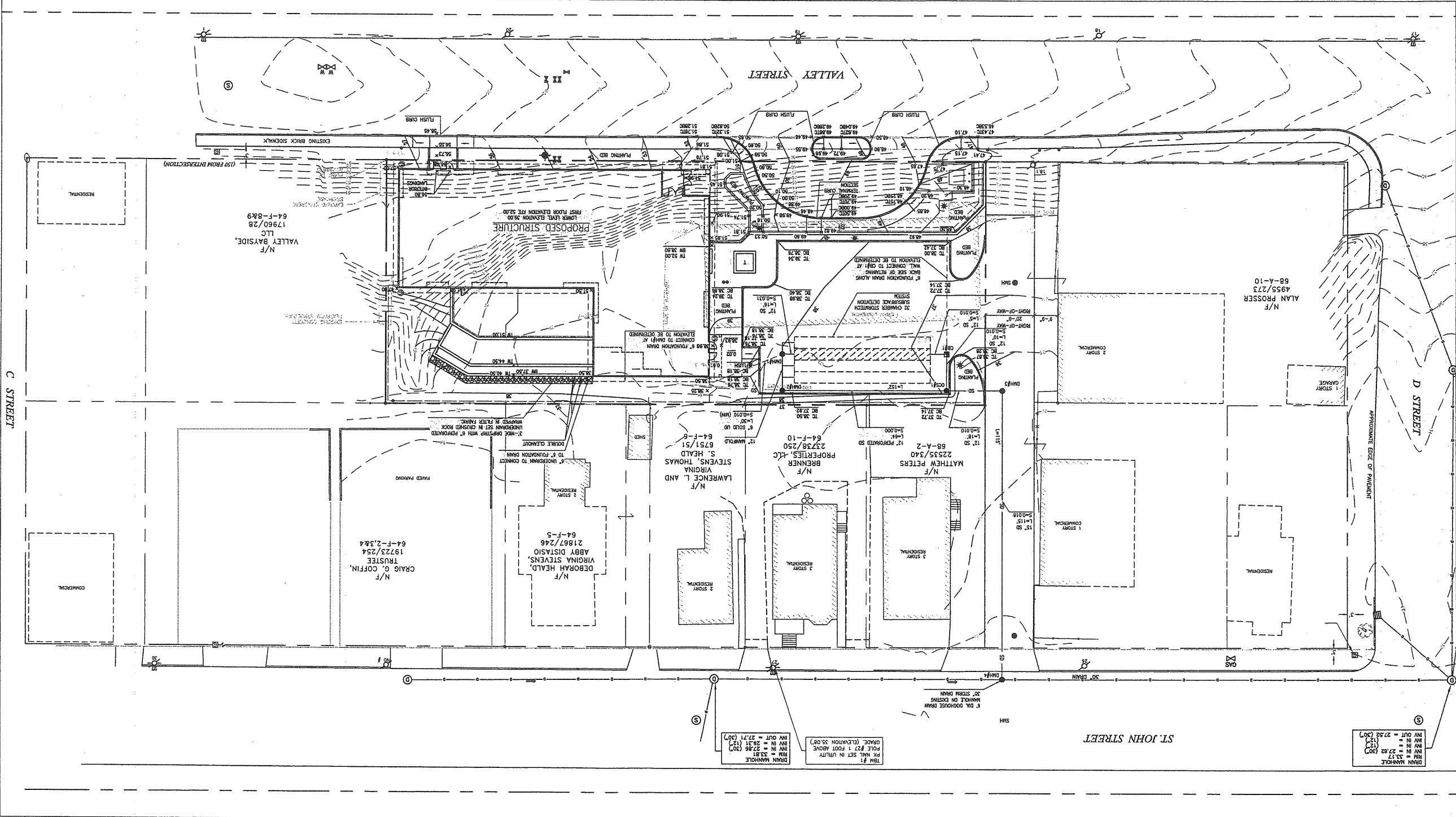
BUILDING AVERAGE GRADE
 $\frac{374.48}{8} = 46.81$

STORM DRAIN STRUCTURES

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	---	MONUMENT FOUND
---	---	REBAR FOUND
---	---	CONTOUR
---	---	SPOT GRADE
---	---	CATCHBASIN
---	---	FIELD SLEET
---	---	SEWER MANHOLE
---	---	DRAIN MANHOLE
---	---	WATER VALVE
---	---	GAS VALVE
---	---	UTILITY POLE
---	---	UTILITY POLE WITH LIGHT
---	---	LIGHT POLE

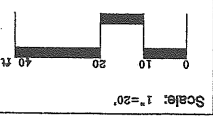
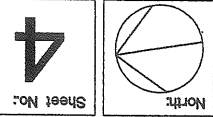
EXISTING	PROPOSED	DESCRIPTION
---	---	WATER SERVICE
---	---	SEWER SERVICE
---	---	STORM DRAIN
---	---	GAS SERVICE
---	---	UNDERGROUND TELEPHONE
---	---	OVERHEAD WIRES
---	---	UNDERGROUND ELECTRIC TELEPHONE + CABLE
---	---	UNDERGROUND ELECTRIC
---	---	SECONDARY ELECTRIC
---	---	FENCE
---	---	TEST BORING



TBM #1
MANHOLE SET IN UTILITY
POLE #27 1 FOOT ABOVE
GRADE (ELEVATION 35.00)
RM IN = 33.81
RM IN = 22.86 (12")
RM IN = 29.31 (12")
INV OUT = 27.71 (30")

DRAIN MANHOLE
RM IN = 33.17 (12")
RM IN = 22.82 (12")
RM IN = 27.92 (30")
INV OUT = 27.92 (30")

ST JOHN STREET



UTILITIES PLAN

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Prepared For: Applicant:

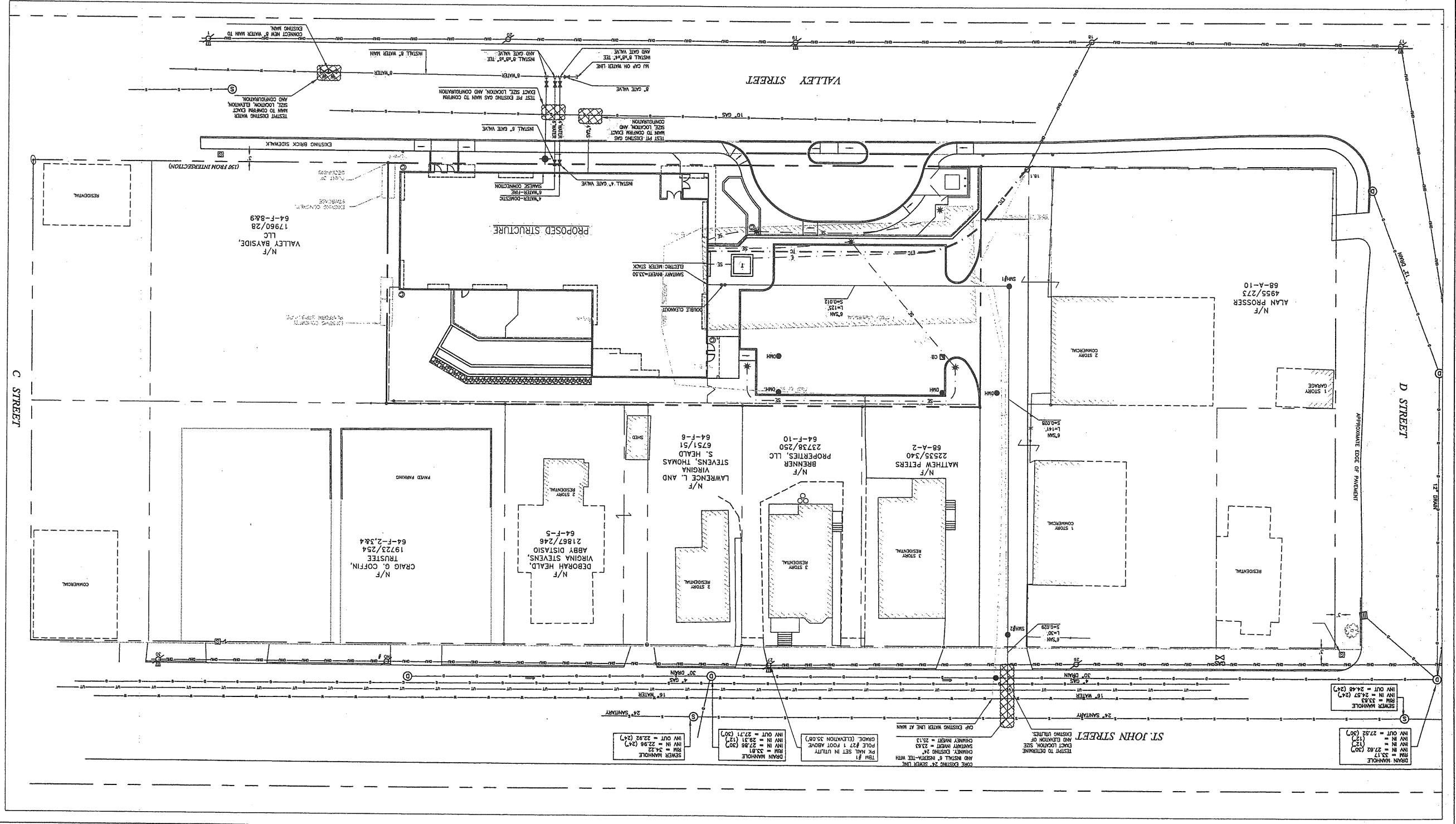


Table with columns: INV. IN, INV. OUT, GRADE, EXISTING, DIA. 4".

UTILITY NOTES 1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPARE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED...

LEGEND table with columns: PROPOSED, EXISTING, and symbols for various utilities like Water Service, Storm Drain, Gas Service, etc.



6
Sheet No.

North

Scale: 1"=20'

Title:
EROSION AND SEDIMENTATION CONTROL PLAN

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Date: **SEPTEMBER 4, 2007**

Issued For: **SITE PLAN AND SUBDIVISION REVIEW**

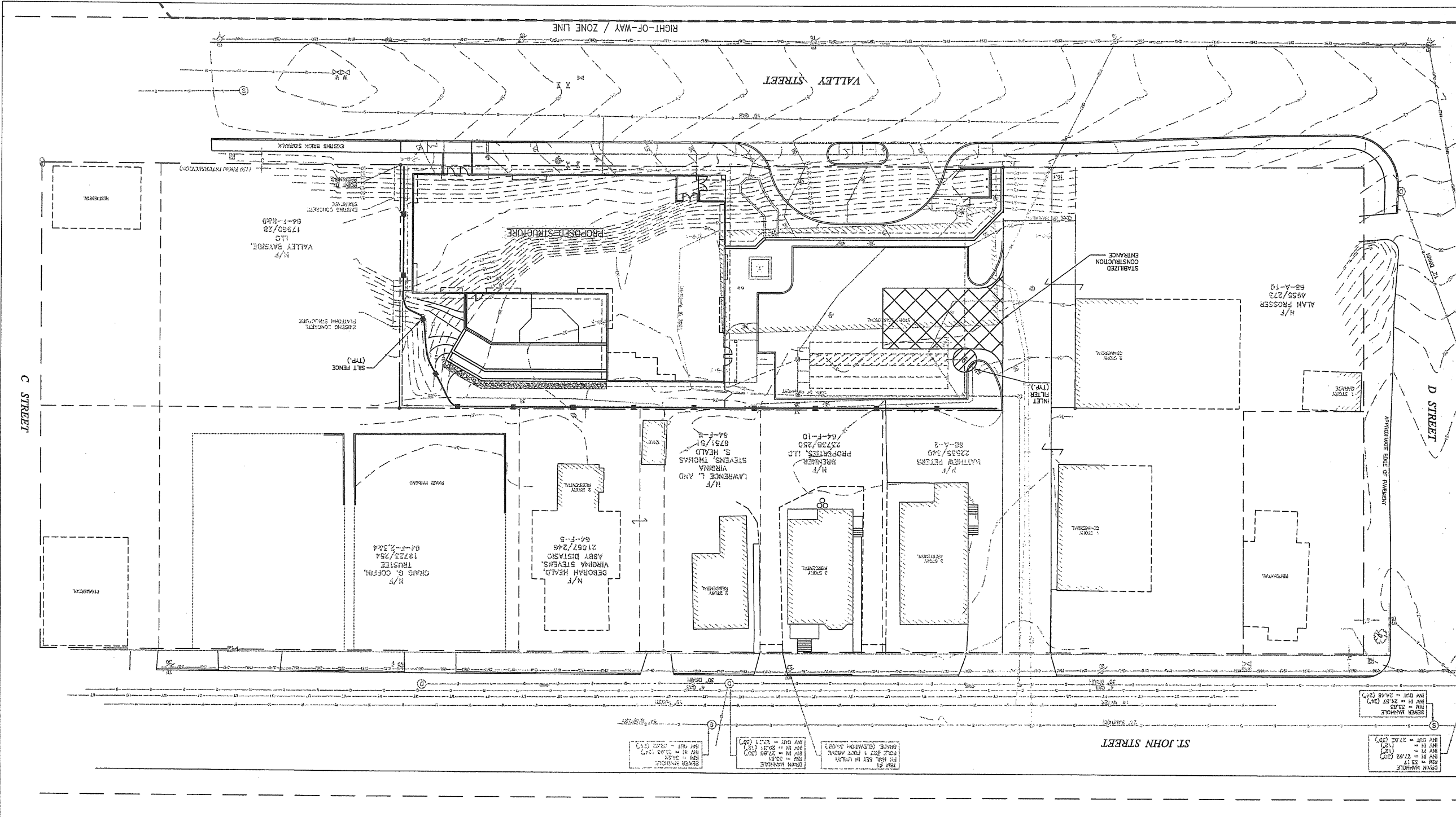
Revisions:

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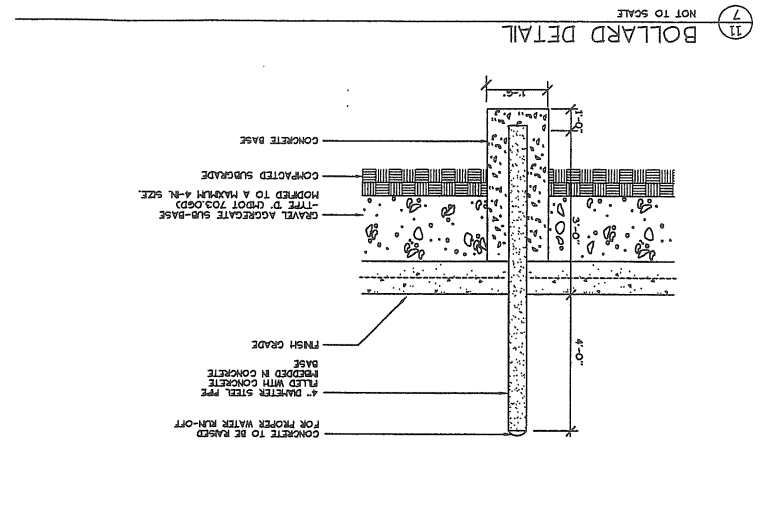
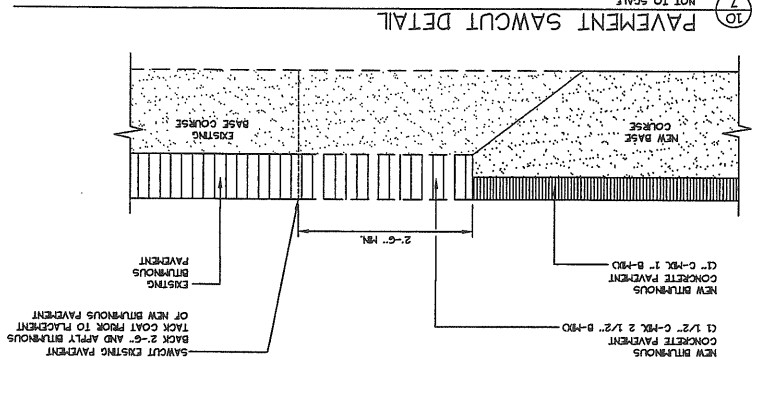
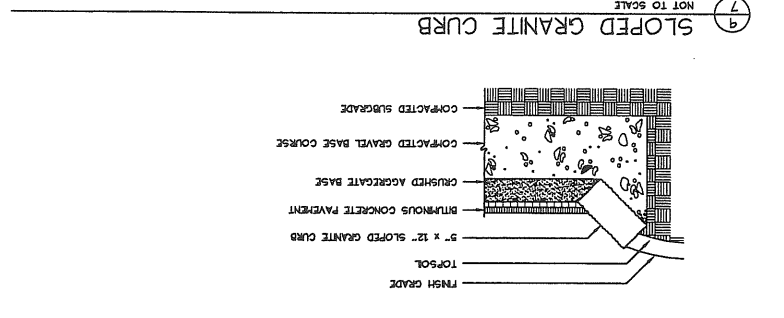
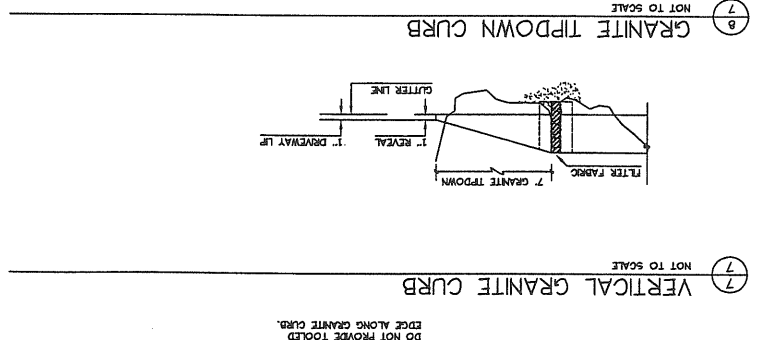
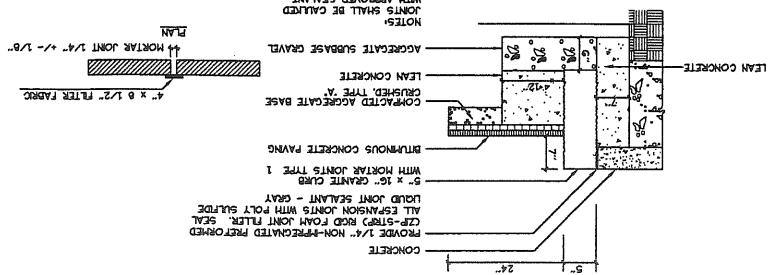
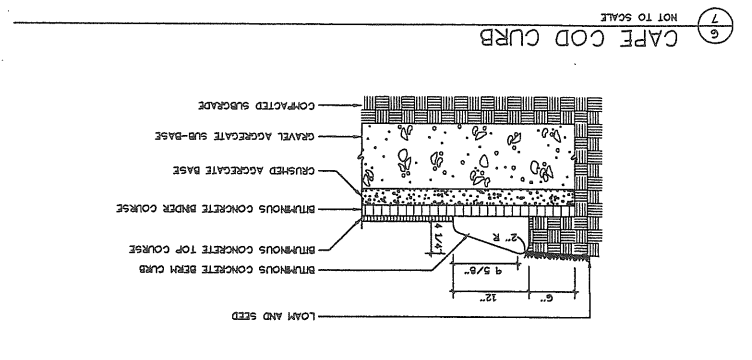
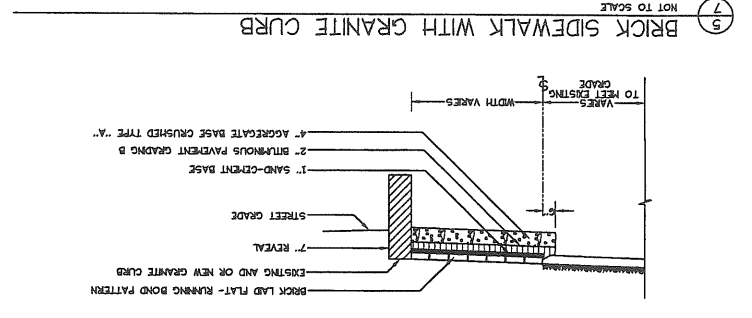
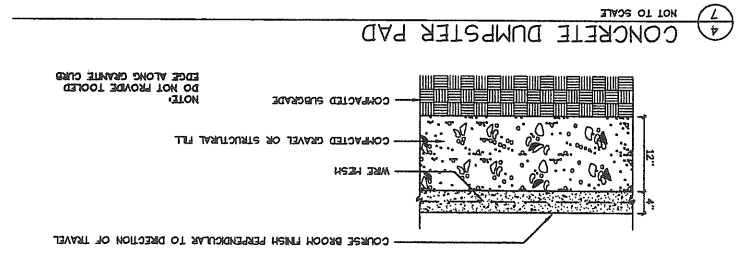
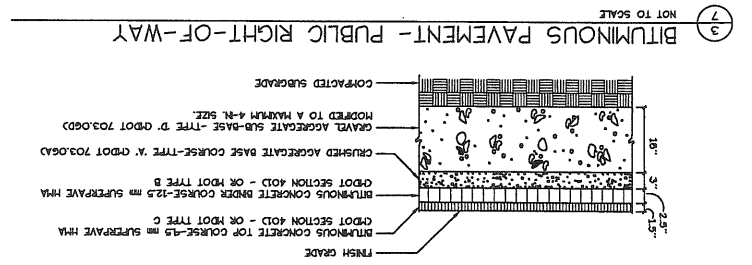
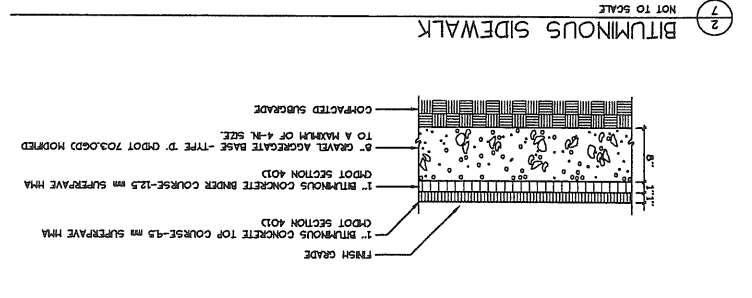
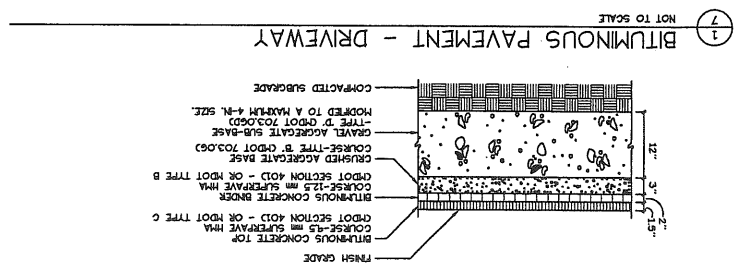


LEGEND

PROPOSED	EXISTING	PROPOSED	EXISTING
PROPERTY LINE	MONUMENT FOUND	REBAR FOUND	CONTOUR
SPOT GRADE	70	70	70
CATCHBASIN	CB	CB	CB
FIELD INLET	FI	FI	FI
SEWER MANHOLE	SMH	SMH	SMH
DRAIN MANHOLE	DMH	DMH	DMH
WATER VALVE	WV	WV	WV
GAS VALVE	GV	GV	GV
UTILITY POLE	UP	UP	UP
UTILITY POLE WITH LIGHT	UPL	UPL	UPL
LIGHT POLE	LP	LP	LP
TEST BORING	TB	TB	TB
FENCE	F	F	F
SECONDARY ELECTRIC	SE	SE	SE
UNDERGROUND ELECTRIC	UE	UE	UE
TELEPHONE + CABLE	TC	TC	TC
OVERHEAD WIRES	OW	OW	OW
UNDERGROUND TELEPHONE	UT	UT	UT
GAS SERVICE	G	G	G
STORM DRAIN	D	D	D
SEWER SERVICE	S	S	S
WATER SERVICE	W	W	W

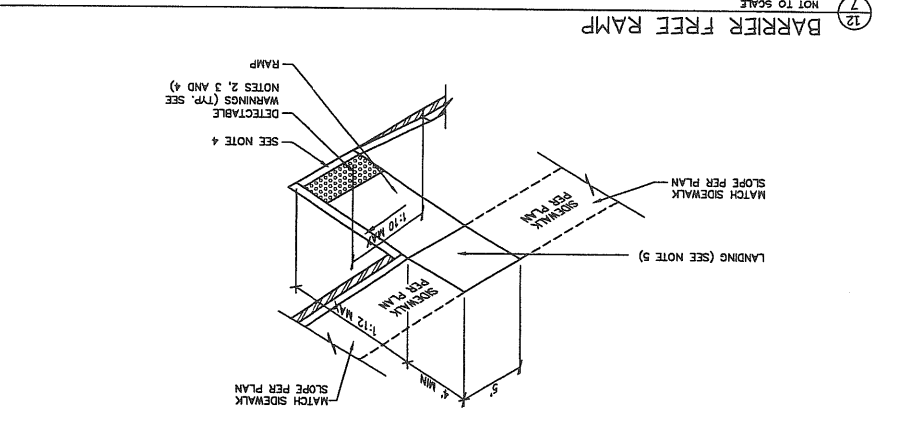
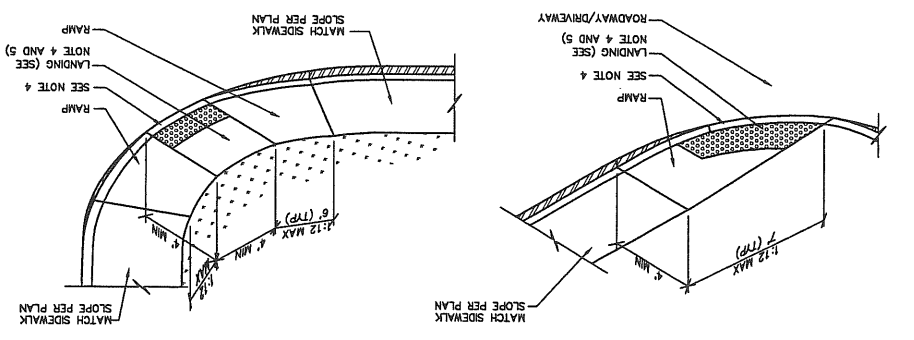
NOTES

- REFER TO DRAWING 13 FOR EROSION AND SEDIMENTATION CONTROL DETAILS AND NOTES.
- ALL SLOPES STEEPER THAN 3:1 SHALL BE PROTECTED WITH CURLEX BLANKETS BY AMERICAN EXCELOR. INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- FOR TEMPORARY STABILIZATION INSTALL TENSAX MULTIMAT FARRON ON ALL SLOPES EQUAL TO OR STEEPER THAN 3:1 BETWEEN OCTOBER 1 AND APRIL 15 AND EQUAL TO OR STEEPER THAN 1:1X BETWEEN APRIL 15 AND OCTOBER 1. INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR SHALL MINIMIZE FUTURE DUST EMISSIONS BY SWEEPING THE ADJACENT STREETS AS REQUIRED AND BY APPLYING WATER OR OTHER ENVIRONMENTALLY SOUND DUST CONTROL SOLUTION (CALCIUM CHLORIDE) ON SITES AS REQUIRED.



NOTE:

1. CURB LENGTHS ARE BASED ON 5% (24 IN) RISE PER FOOT AND NO RUNNING SLOPE. RAMP LENGTHS SHALL BE ADJUSTED TO ACCOMMODATE VARYING CURB RISES. RAMP SLOPES OF ADJACENT ROADWAY AND SIDEWALK SHALL BE MATCHED TO MATCH RAMPING SLOPES OF ADJACENT ROADWAY AND SIDEWALK SLOPES TO MAINTAIN A RAMP THAT DOES NOT EXCEED THE MAXIMUM RAMP SLOPE OF 1:12.
2. DETECTABLE WARNING SHALL CONSIST OF RAISED TRIANGULAR DOMES AND SHALL HAVE A BASE DIAMETER OF 0.9 INCHES (24 IN) AND A HEIGHT OF 0.2 INCHES (5 IN) AND A CENTER-TO-CENTER SPACING OF 16 INCHES (416 MM) AND A BASE-TO-BASE SPACING OF 0.65 INCHES (16.5 MM) (TYP) THEREBY RESEMBLING A TORUS.
3. DETECTABLE WARNING SHALL CONSIST OF RAISED TRIANGULAR DOMES OR OTHER VERTICAL CROSSINGS RESEMBLING DETECTABLE WARNING ZONES. DETECTABLE WARNING ZONES SHALL DIFFER FROM ADJACENT WALKING SURFACES IN REFLECTANCE OR SOUND-ON-CONTACT.
4. ALL ACCESSIBLE ROUTE SEPARATORS, DRIVEWAYS, OR OTHER VERTICAL CROSSINGS RESEMBLING DETECTABLE WARNING ZONES SHALL BE INSTALLED IN THE MIDDLE OF THE WALKING SURFACE. DETECTABLE WARNING ZONES SHALL NOT EXCEED A SLOPE OF 1:12 UNLESS OTHERWISE NOTED.
5. ALL LANDING AREAS SHALL BE 4 FEET WIDE BY 4 FEET LONG (OR 1200 MM BY 1200 MM). THE SLOPE OF THE LANDING AREA SHALL NOT EXCEED A SLOPE OF 1:48 IN ANY DIRECTION.
6. ALL ACCESSIBLE ROUTE SLOPES ADJOINING THE LANDING AREA, INCLUDING THE CURB RAMP, SHALL NOT EXCEED A SLOPE OF 1:20 UNLESS OTHERWISE NOTED.



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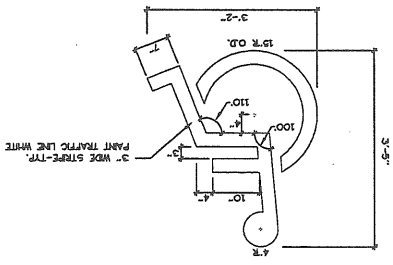
Date: SEPTEMBER 4, 2007
 Issued For: SITE PLAN AND SUBDIVISION REVIEW

Revisions:
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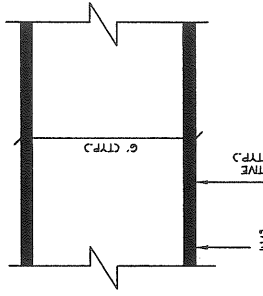
Title: **SITE DETAILS**

Scale: North
 Sheet No. 7

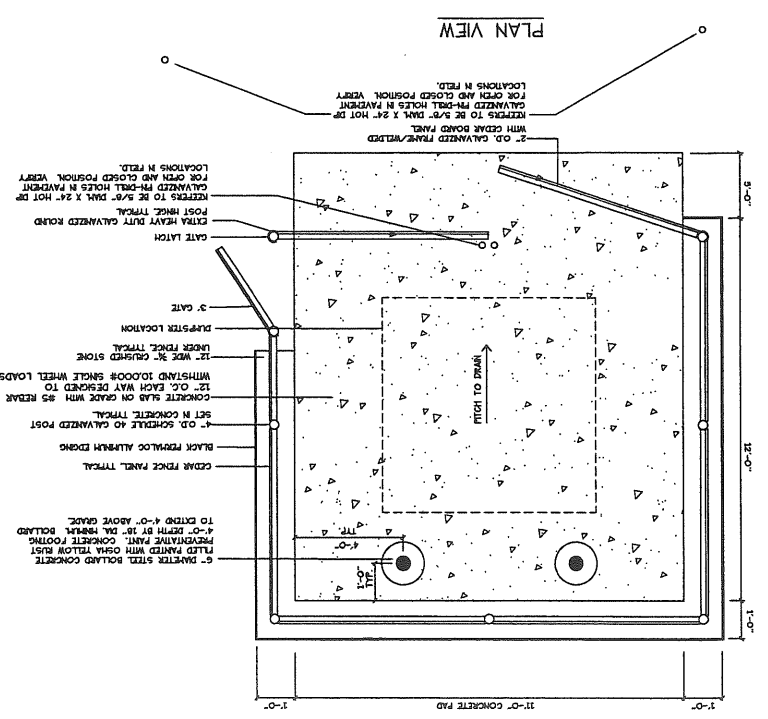
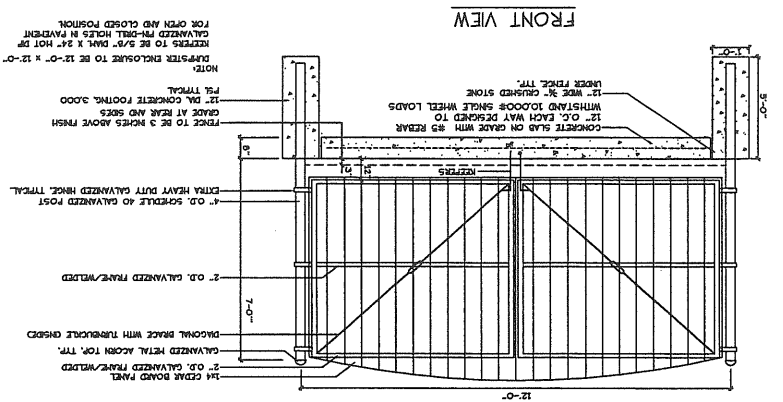
3 ACCESSIBLE SPACE MARKINGS
NOT TO SCALE



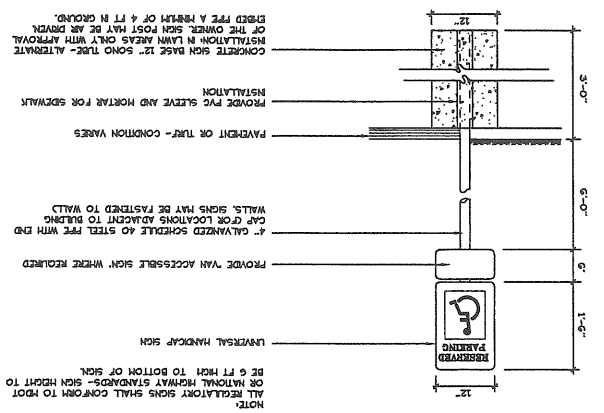
2 PAINTED CROSSWALK DETAIL
NOT TO SCALE



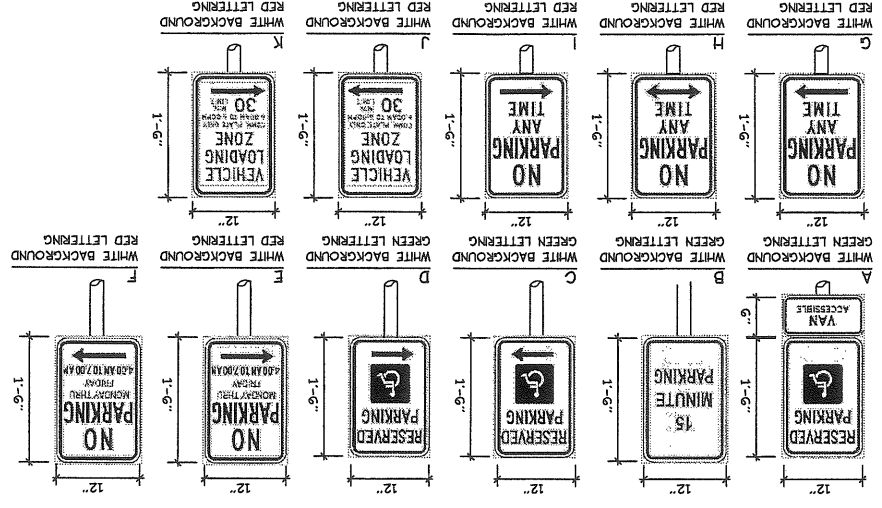
1 DUMPSTER ENCLOSURE AND SLAB
NOT TO SCALE



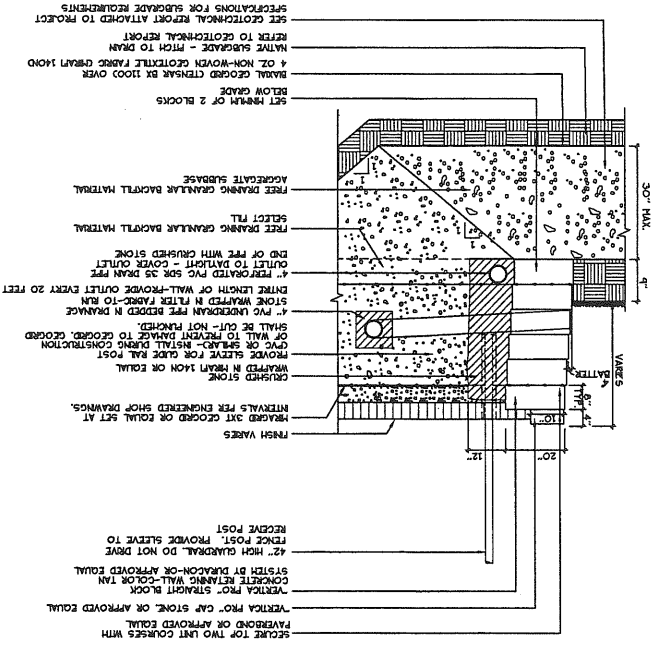
5 SIGNAGE
NOT TO SCALE



SIGNAGE LEGEND



4 CONCRETE SEGMENTAL RETAINING WALL WITH GUARD RAIL
NOT TO SCALE



NOTES:
1. CONTRACTOR SHALL PROVIDE RETAINING WALL DESIGN AND SHOP DRAWINGS.
2. STAMPED BY A REGISTERED PROFESSIONAL ENGINEER. ENGINEER SHALL REFER TO GEOTECHNICAL REPORT INCLUDED IN PROJECT SPECIFICATIONS.
3. GEOTECHNICAL REPORT IS TO BE SUBMITTED TO THE CITY OF PORTLAND.
4. FENCE POSTS INTERSECT WITH GEOTECHNICAL GRID.
5. GEOTECHNICAL REPORT IS TO BE SUBMITTED TO THE CITY OF PORTLAND, WHERE CURB RAILS OR

8
Sheet No. North

SITE DETAILS

Revisions:
October 2, 2007 - Per Planning Staff and Board Comments.
October 17, 2007 - Per Planning Staff Comments.
Issued For: SUBDIVISION REVIEW
Date: SEPTEMBER 4, 2007

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Scale: NONE

Title: UTILITY AND DRAINAGE DETAILS

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Revisions:
October 2, 2007 - P&E Planning Staff and Board Committee.

Issued For: SITE PLAN AND SUBDIVISION REVIEW

Date: SEPTEMBER 4, 2007

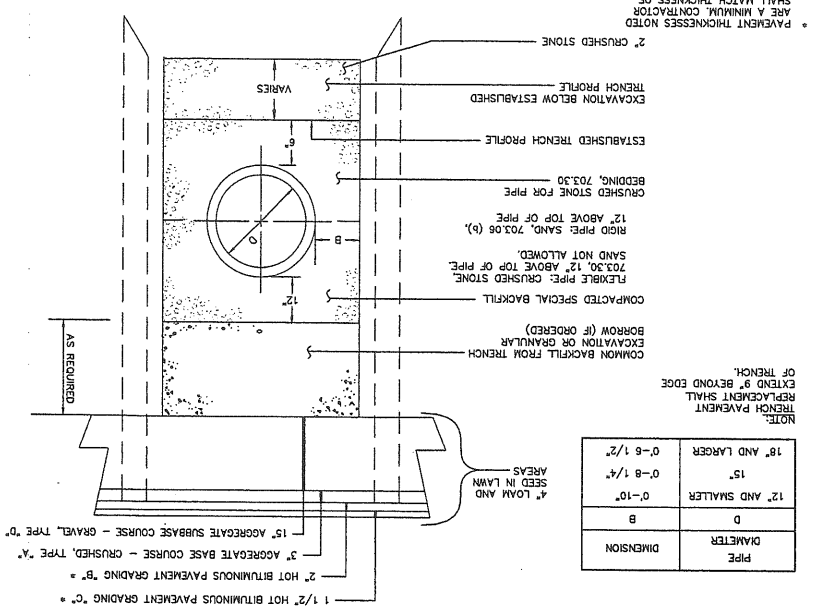
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TYPICAL PIPE INSTALLATION DETAIL
N.T.S.

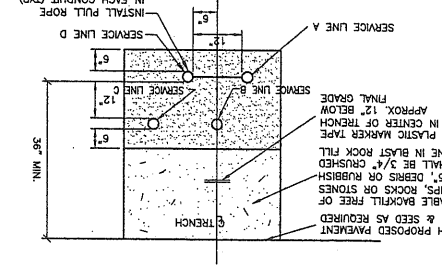


UTILITY TRENCH -
PRIMARY AND SECONDARY
POWER, TELEPHONE, AND CABLE
N.T.S.

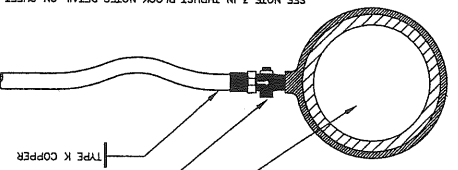
NOTE: ONE CONDUIT CAPPED FOR SPARE, PROVIDE GALVANIZED STEEL LONG SHEET MET RISSER ABOVE GRADE AT POLE WITH STAND-OFF BRACKETS POLE AND EXTEND GALVANIZED CONDUIT TO 10"

BEARERS	UTILITY	PRIMARY POWER	TELEPHONE	CABLE	FIRE ALARM
A	2'-5"	SCHEDULE 40 PVC ELECTRICAL GRADE	SCHEDULE 40 PVC	SCHEDULE 40 PVC	SCHEDULE 40 PVC
B	2'-4"	SCHEDULE 40 PVC	SCHEDULE 40 PVC	SCHEDULE 40 PVC	SCHEDULE 40 PVC
C	2'-4"	SCHEDULE 40 PVC	SCHEDULE 40 PVC	SCHEDULE 40 PVC	SCHEDULE 40 PVC
D	2'-4"	SCHEDULE 40 PVC	SCHEDULE 40 PVC	SCHEDULE 40 PVC	SCHEDULE 40 PVC

CONDUIT TYPE
BASES AND SIZES
FAMED AREAS
UTILITY
PRIMARY POWER
TELEPHONE
CABLE
FIRE ALARM

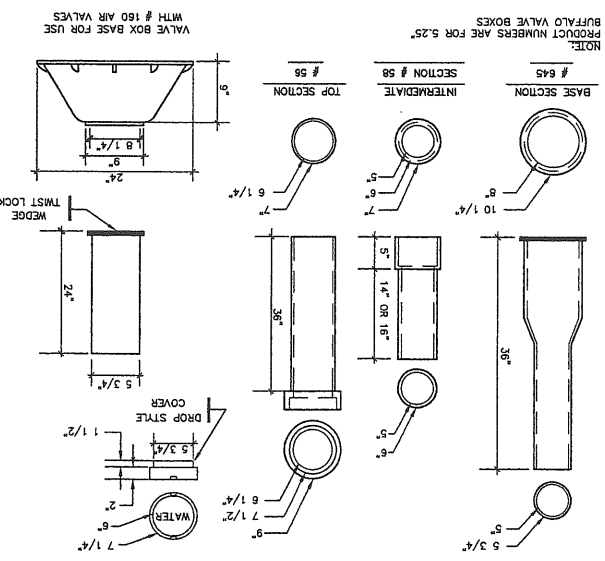


WATER SERVICE
(1 1/2" AND 2 1/2" C.C. OR IRON PIPE THREAD)
N.T.S.

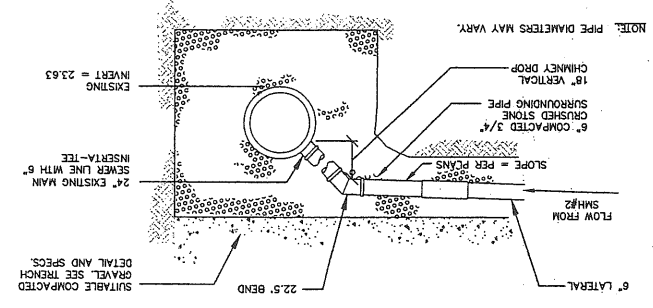


NOTE: SERVICE CONNECTIONS (DIRECT TAPS AND SERVICE CLAMPS) WILL BE INSTALLED SO THAT THE OUTLET IS AT AN ANGLE OF NOT MORE THAN 45° ABOVE THE HORIZONTAL. ALWAYS PUT A BEND OR GOOSENECK IN THE SERVICE LINE PRIOR TO CONNECTING TO PROVIDE FLEXIBILITY AND GIVE TO SETTLEMENT OR EXPANSION AND/OR CONTRACTION.

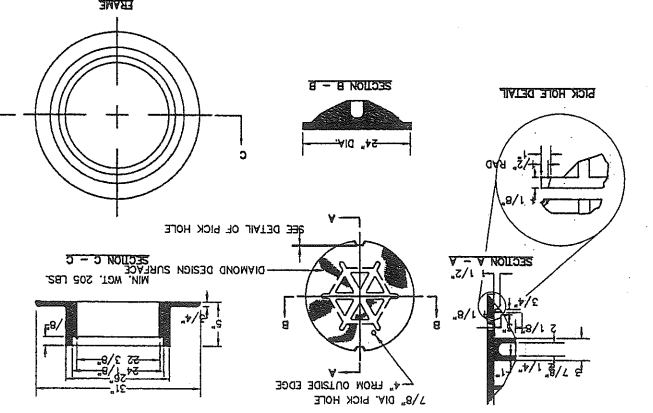
TYPICAL VALVE BOXES
N.T.S.



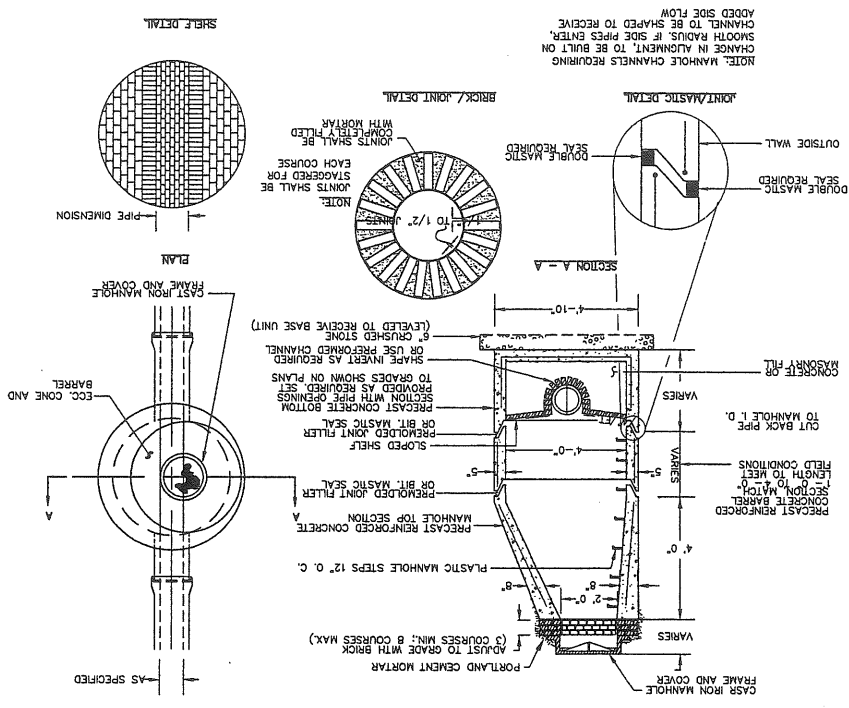
SANITARY LATERAL CONNECTION
N.T.S.



TYPE "A" MANHOLE COVER AND FRAME
N.T.S.



PRECAST CONCRETE MANHOLE TYPE "A"
N.T.S.



1. ALL CONCRETE SHALL BE A CLASS "A" AND HAVE A MINIMUM ULTIMATE STRENGTH OF 4000 PSI PER 50 INCH AT THE END OF 28 DAYS UNLESS OTHERWISE NOTED.
2. PRECAST REINFORCED CONCRETE MANHOLE MANUFACTURE PER ASTM SPEC. C-418-87.
3. ALL MANHOLES SHALL HAVE A BITUMINOUS WATERPROOFING APPLIED TO THE EXTERIOR SURFACE. IF CONSTRUCTION OF BRICK MASONRY, THE SMOOTH MORTAR SURFACE SHALL BE PLASTERED WITH A SMOOTH MORTAR FINISH 3/8" THICK.
4. AFTER THE MORTAR HAS SET, THE SURFACE SHALL BE WATERPROOFED AS REQUIRED BY SUPPLEMENTAL SPECIFICATIONS SECTION FOR.
5. CASTINGS SHALL CONFORM TO ASTM DESIGNATION A48-CLASS 35. ALL PARTS OF CASTINGS, EXCEPT FINISHED SURFACE, SHALL RECEIVE A COAT OF COAL TAR PITCH VARNISH OR ASPHALTUM PAINT WHICH SHALL BE SMOOTH AND TOUGH BUT NOT BRITTLE.
6. MANHOLES MAY BE CONSTRUCTED OF MASONRY, PRECAST REINFORCED CONCRETE OR CAST IN PLACE.
7. EXISTING MANHOLES AND CATCH BASINS SHALL BE IDENTIFIED BY STATION AND GETSET. PIPES ON THE SIDE OF THE STRUCTURE BY THE MANUFACTURER.
8. STORM AND SEWER MANHOLES SHALL HAVE SOLID COVERS WITH ONE DRILLED HOLE.
9. EXISTING MANHOLE AND CATCH BASIN FRAMES AND COVERS SHALL BE SMOOTHED BY THE CONTRACTOR, AND REMAIN THE PROPERTY OF THE CITY OF PORTLAND.
10. CASCO TRAPS SHALL BE PROVIDED WITHIN ALL CATCH BASINS WITH 12" OUTLETS.

GENERAL NOTES



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FLORENCE HOUSE
Valley Street

Date: SEPTEMBER 4, 2007

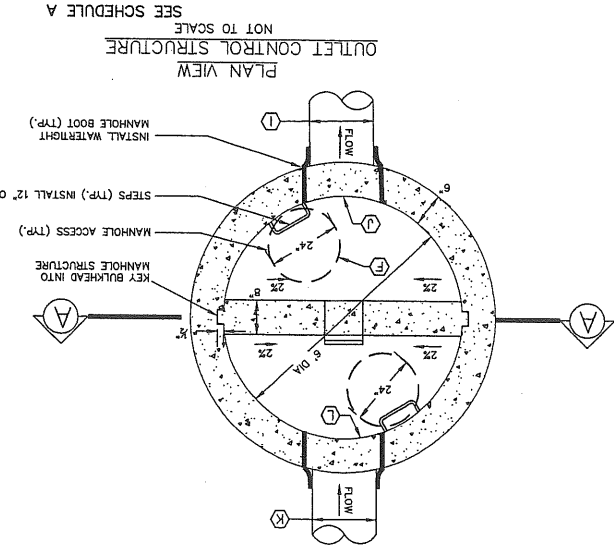
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SUBDIVISION REVIEW

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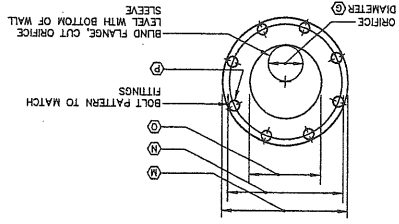
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DETENTION SYSTEM
DETAILS

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Sheet No. 12

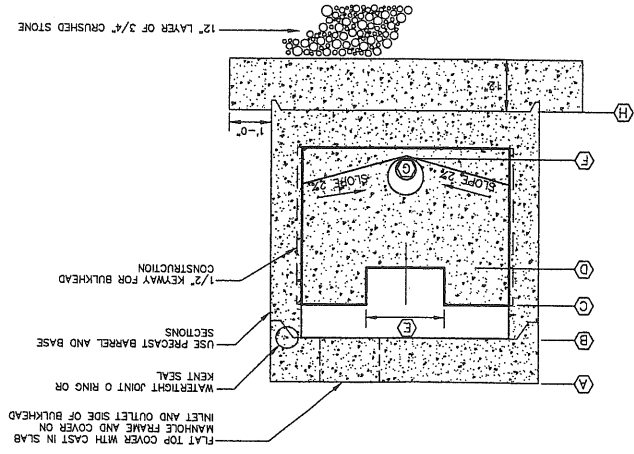


PLAN VIEW
OUTLET CONTROL STRUCTURE
NOT TO SCALE
SEE SCHEDULE A



ORIFICE DETAIL C
SEE SCHEDULE C

DESCRIPTION	DIMENSION
FLANGE O.D.	13.5"
BOLT CIRCLE	11.75"
NOMINAL PIPE DIA.	8"
BOLT HOLE DIA.	7/8"



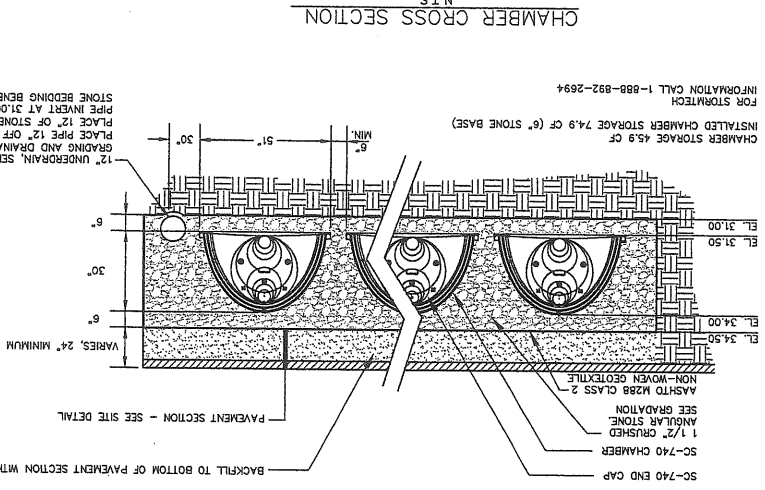
SECTION A-A
OUTLET CONTROL STRUCTURE
NOT TO SCALE
SEE SCHEDULE A

ITEM DESCRIPTION	DIMENSION/ELEVATION
TOP OF STRUCTURE	34.50
UNDERSIDE TOP SLAB	33.50
WEIR LENGTH	6"
ORIFICE INVERT	31.00
ORIFICE DIAMETER	3"
WALL SLEEVE I.D.	6"
BOTTOM OF STRUCTURE	12"
PIPE DIAMETER	30.80
INVERT OUT	12"
PIPE DIAMETER	12"
INVERT IN	31.00

*STRUCTURE DIMENSIONS SHALL BE PER MANUFACTURER'S DESIGN

NOTES:

STRUCTURE SHALL CONFORM TO MANHOLE DESIGN REQUIREMENTS AND SHALL BE H-20 LOAD RATED.



SIEVE	% PASSING BY WEIGHT
2"	100
1 1/2"	90 - 100
1"	20 - 55
3/4"	0 - 15
3/8"	0 - 5

1 1/2" CRUSHED ANGULAR STONE GRADATION

STORMTECH PRODUCT SPECIFICATIONS

1. STORMTECH CHAMBERS ARE DESIGNED TO CONTROL GENERAL FLOW OF WATER TO AN OUTFALL.
2. CHAMBER PARAMETERS SHALL BE AS FOLLOWS:
 - 2.1 CHAMBER SHALL HAVE A CIRCULAR INVERT, FLAT SURFACE ON THE TOP OF THE CHAMBER FOR AN OPTIONAL 4-INCH INSPECTION PORT OR CLEANOUT.
 - 2.2 THE CHAMBER SHALL BE ANNEALED AND DESIGNED USING ASHTRU METHODS FOR THERMOPLASTIC CONSTRUCTION INCLUDING STRESS CRACKING AND TO ENVIRONMENTAL STRESS CRACKING AND TO POLYPROPYLENE RESIN TO BE INHERENTLY RESISTANT TO ENVIRONMENTAL STRESS CRACKING AND TO OVERLAPPING JOINTS.
 - 2.3 THE CHAMBER SHALL BE OPEN-BOTTOMED.
 - 2.4 THE CHAMBER SHALL BE OPEN-BOTTOMED.
 - 2.5 THE CHAMBER SHALL INCORPORATE AN OVERLAPPING JOINT SYSTEM TO BE OPEN-BOTTOMED.
 - 2.6 THE CHAMBER SHALL HAVE A CONTINUOUSLY CURVED SECTION PROFILE.
 - 2.7 THE CHAMBER SHALL BE MANUFACTURED IN AN ISO 9001:2000 CERTIFIED FACILITY.
 - 2.8 END CAP PARAMETERS SHALL BE AS FOLLOWS:
 - 2.8.1 THE END CAP SHALL BE MANUFACTURED IN AN ISO 9001:2000 CERTIFIED FACILITY.
 - 2.8.2 THE END CAP SHALL BE DESIGNED TO FIT INTO ANY CORRELATION OF CHAMBER, WHICH ALLOWS SEGMENTING ROWS INTO STORAGE BASINS OF VARIOUS LENGTHS.
 - 2.8.3 THE END CAP SHALL HAVE GUIDES TO ALLOW EASY CUTTING FOR VARIOUS DIAMETERS OF PIPE THAT MAY BE USED TO INLET THE SYSTEM.
 - 2.8.4 THE END CAP SHALL HAVE EXCESS STRUCTURAL ADVANTAGES TO ALLOW CUTTING AN ORIFICE OF ANY SIZE AT ANY INVERT ELEVATION.
 - 2.8.5 THE PRIMARY FACE OF AN END CAP SHALL BE CURVED OUTWARD TO RESIST HORIZONTAL LOADS GENERATED NEAR THE EDGES OF BEDS.
 - 2.8.6 THE CHAMBER SHALL HAVE FORTY-EIGHT ORIFICES PENETRATING THE SIDEWALLS TO ALLOW FOR LATERAL CONVEYANCE OF WATER.
3. STORMTECH SERVICES DEPARTMENT OFFERS INSTALLATION CONSULTATIONS TO INSTALLING CONTRACTORS. CONTACT OUR TECHNICAL SERVICES DEPARTMENT TO ARRANGE A PRE-INSTALLATION CONSULTATION. OUR REPRESENTATIVES CAN THEN STORMTECH CHAMBER SYSTEM AND INFORM THE CONTRACTOR OF THE MINIMUM INSTALLATION REQUIREMENTS BEFORE BEGINNING THE SYSTEM CONSTRUCTION. CALL 1-888-888-2884 TO SPEAK TO A TECHNICAL SERVICE REPRESENTATIVE OR VISIT WWW.STORMTECH.COM TO RECEIVE A COPY OF OUR STORMTECH REQUIREMENTS FOR SYSTEMS WITH COMMONLY USED TO PREVENT UNAUTHORIZED VEHICLES FROM ENTERING EXISTING CONSTRUCTION VEHICLES.
4. THE CONTRACTOR MUST APPLY EROSION AND SEDIMENT CONTROL MEASURES TO PROTECT THE STORMTECH LOCAL CODES AND DESIGN ENGINEER'S SPECIFICATIONS.
5. STORMTECH PRODUCT WARRANTY IS LIMITED. SEE CURRENT PRODUCT WARRANTY FOR DETAILS. TO ACQUIRE A COPY CALL STORMTECH AT 1-888-888-2884 OR VISIT WWW.STORMTECH.COM.
6. STORMTECH MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITY TO THE DESIGN ENGINEER.
7. STORMTECH SHALL BE USED AS INDICATED IN THE PROJECT PLANS.
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100. STORMTECH SHALL BE USED AS INDICATED IN THE PROJECT PLANS.

NOTES:
1. SUBMIT MANUFACTURER'S DETENTION SYSTEM DRAWINGS FOR ENGINEER'S REVIEW AND APPROVAL.
2. SEE SHEET 3, GRADING AND DRAINAGE PLAN FOR ADDITIONAL STORM DRAIN DESIGN DATA.

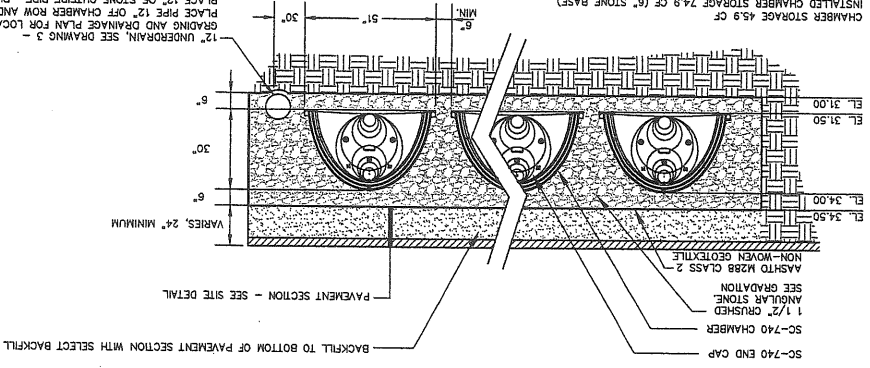
SUBSURFACE DETENTION SYSTEM MAY BE EQUIVALENT THAT PROVIDES EQUAL DETENTION STORAGE



CHAMBER CROSS SECTION
N.T.S.

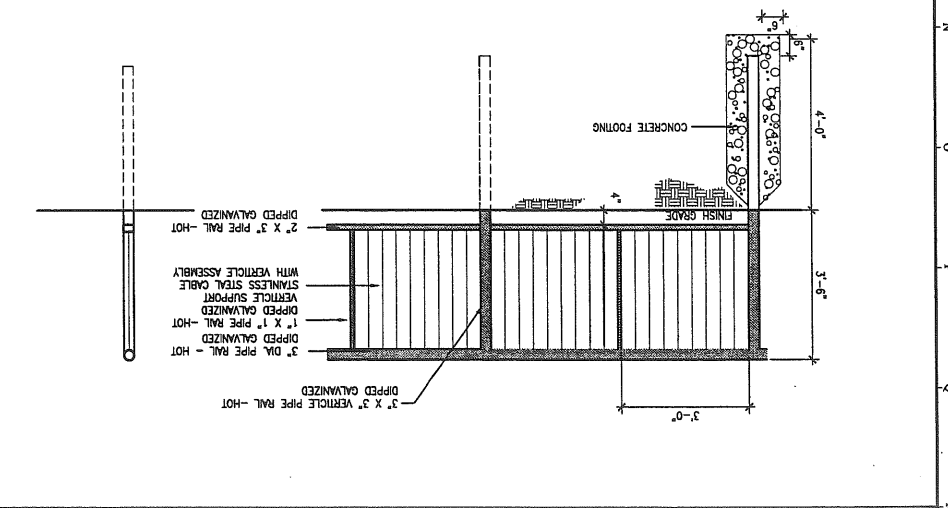
CHAMBER STORAGE 45.9 CF
INSTALL CHAMBER STORAGE 74.9 CF (6" STONE BASE)

1" UNDERLAY, SEE DRAWING 3
GRADING AND DRAINAGE PLAN FOR LOCATION
PLACE PIPE 12" OF CHAMBER ROW AND
PIPE INVERT AT 31.00 AND PROVIDE 3" OF
STONE BEDDING BENEATH THE PIPE.

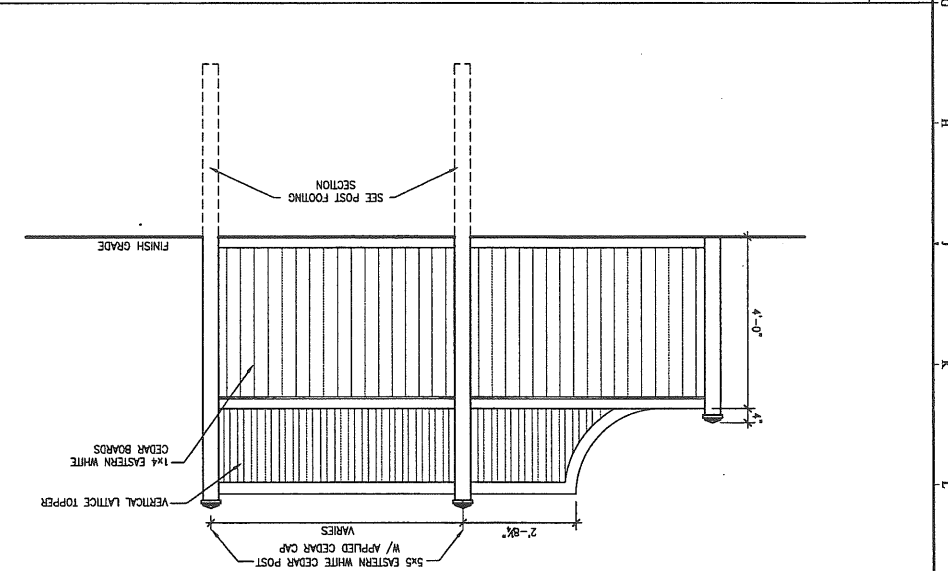


BACKFILL TO BOTTOM OF PAVEMENT SECTION WITH SELECT BACKFILL
SC-740 CHAMBER
1 1/2" CRUSHED ANGULAR STONE
ASPHALT M288 CLASS 2
NON-WOVEN GEOTEXTILE
VARIES, 24" MINIMUM

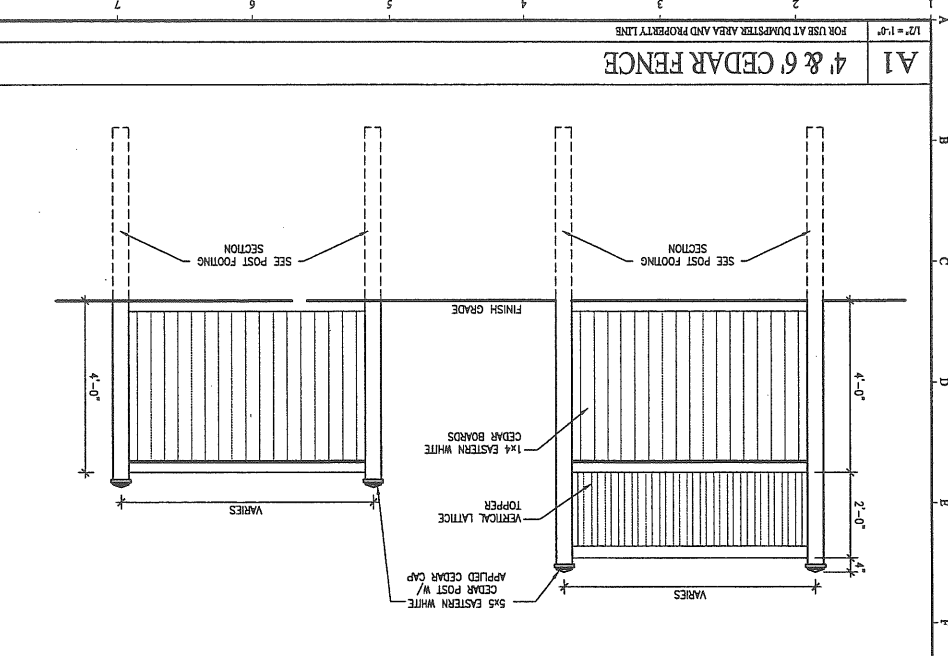
North



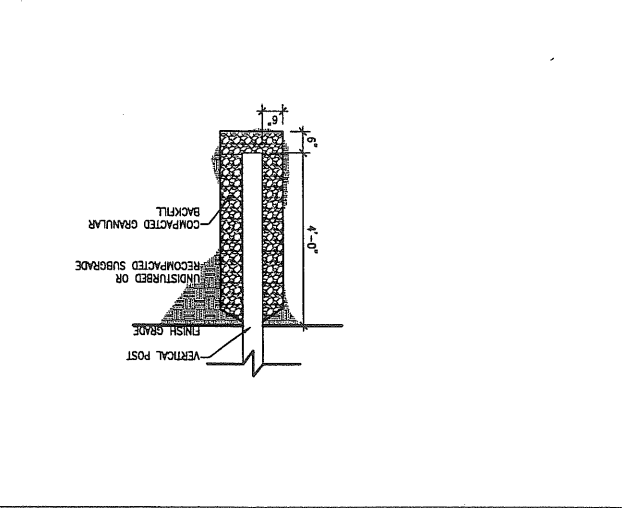
M1 SAFETY RAIL WITH CABLE VERTICALS



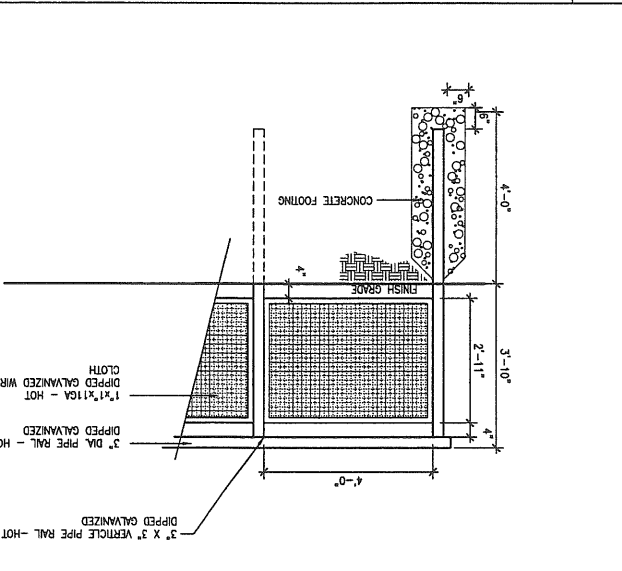
G1 CEDAR FENCE TRANSITION PANEL



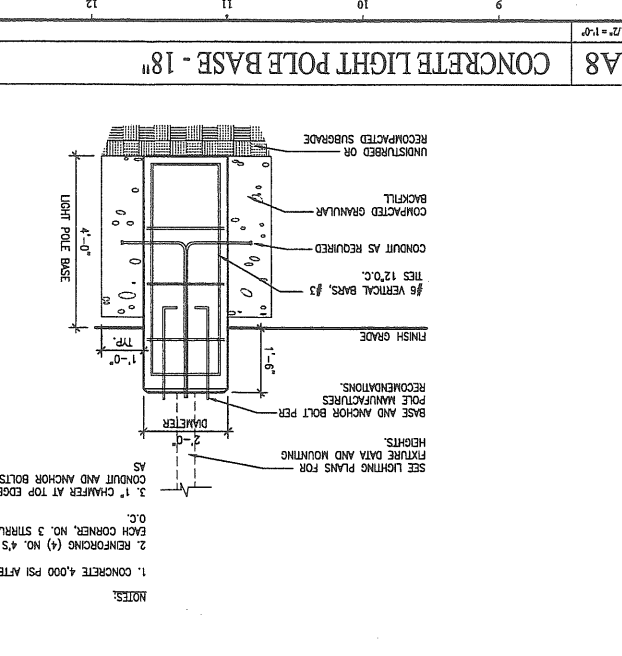
A1 4 & 6 CEDAR FENCE



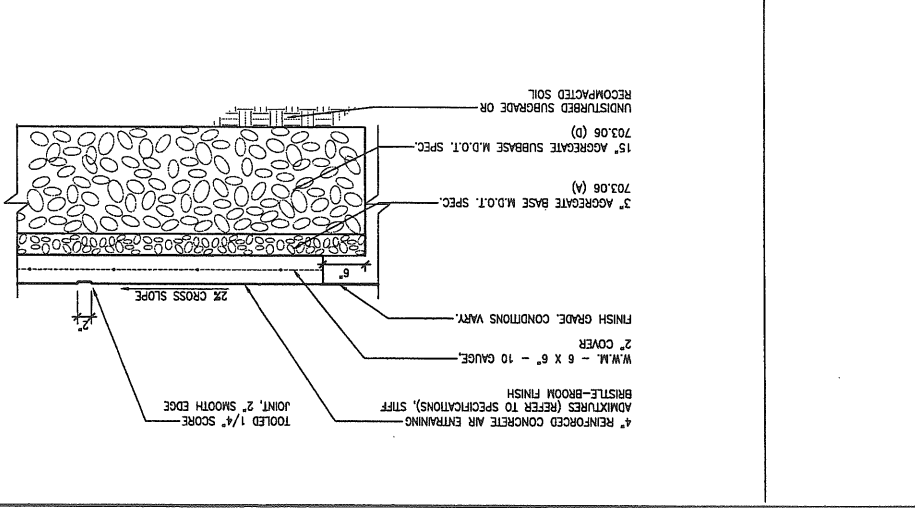
M8 POST FOOTING SECTION



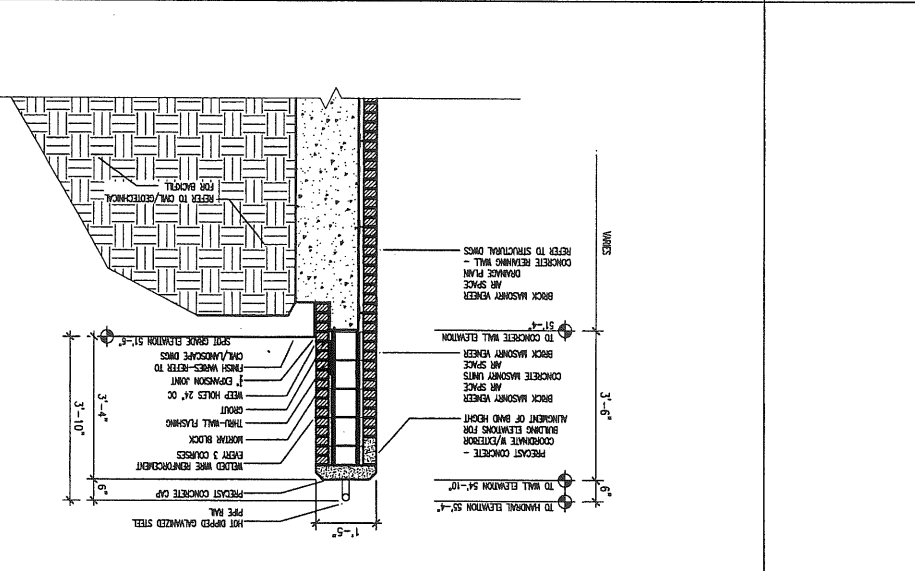
G8 SAFETY RAIL



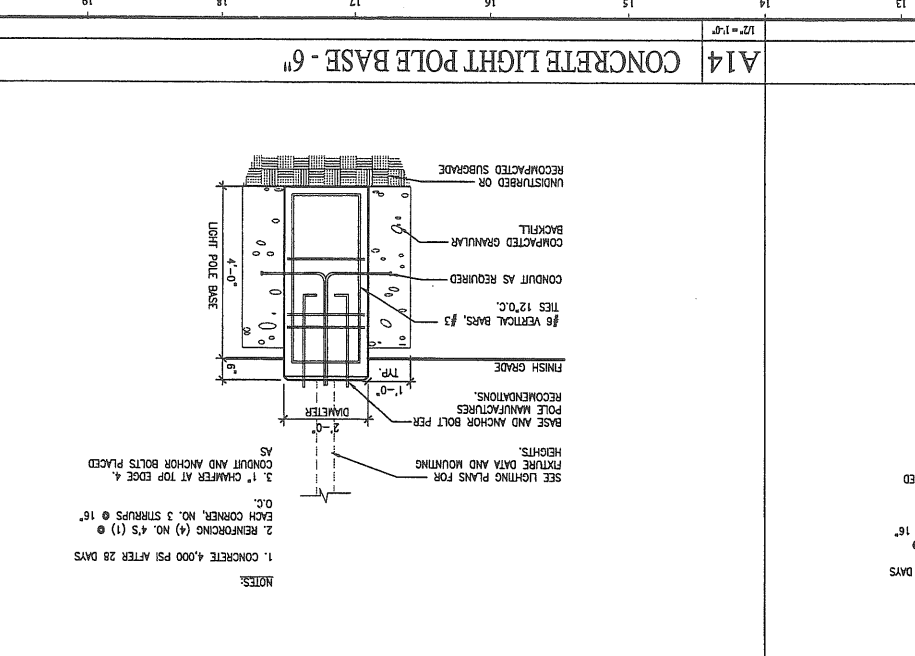
A8 CONCRETE LIGHT POLE BASE - 18"



G14 CONCRETE SIDEWALK SECTION



G14 BRICK RETAINING WALL SECTION



A14 CONCRETE LIGHT POLE BASE - 6"

GAWRON TURGEON ARCHITECTS
 29 Black Point Road
 Southport, ME 04074
 www.gawronturgeson.com
 Tel. 207.883.6307
 Fax. 207.883.0361

AVESTA HOUSING

FLORENCE HOUSE
 PORTLAND, MAINE

REVISIONS

DATE	DESCRIPTION
06/20/07	CONTACT ZONE SHOWN
07/10/07	CONTACT ZONE REV.
09/04/07	SITE PLAN AND SUBDIVISION REVIEW
10/22/07	FINAL SITE PLAN
10/27/07	REVISIONS

PROJECT # 100005
DATE 10.17.07
CHECKED BY: RS
DRAWING SCALE: VARIES
SHEET TITLE LANDSCAPE DETAILS
SHEET NO.: 14

14

Sheet No.: 14

LANDSCAPE DETAILS

SHEET TITLE

DRAWING SCALE: VARIES

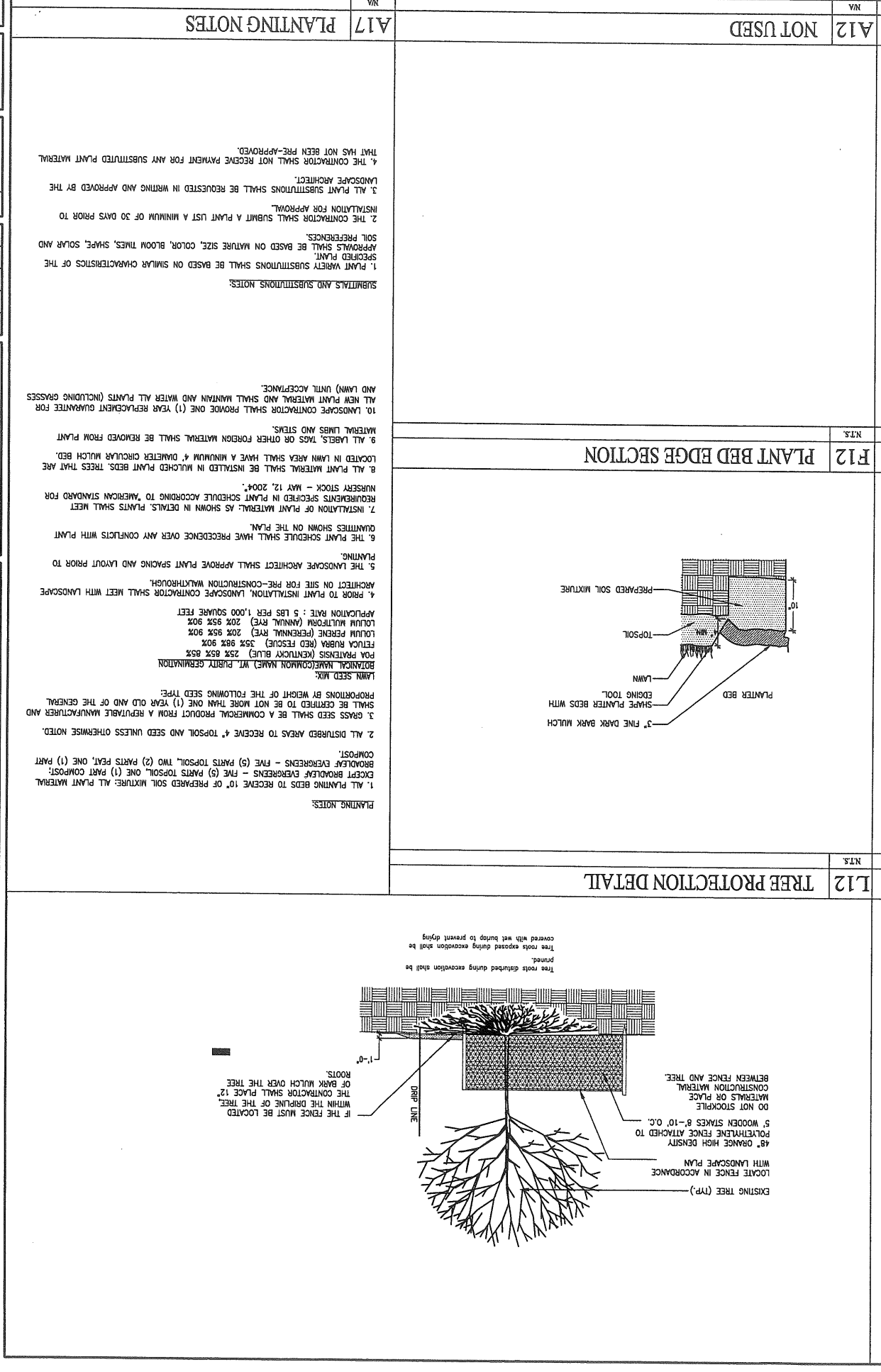
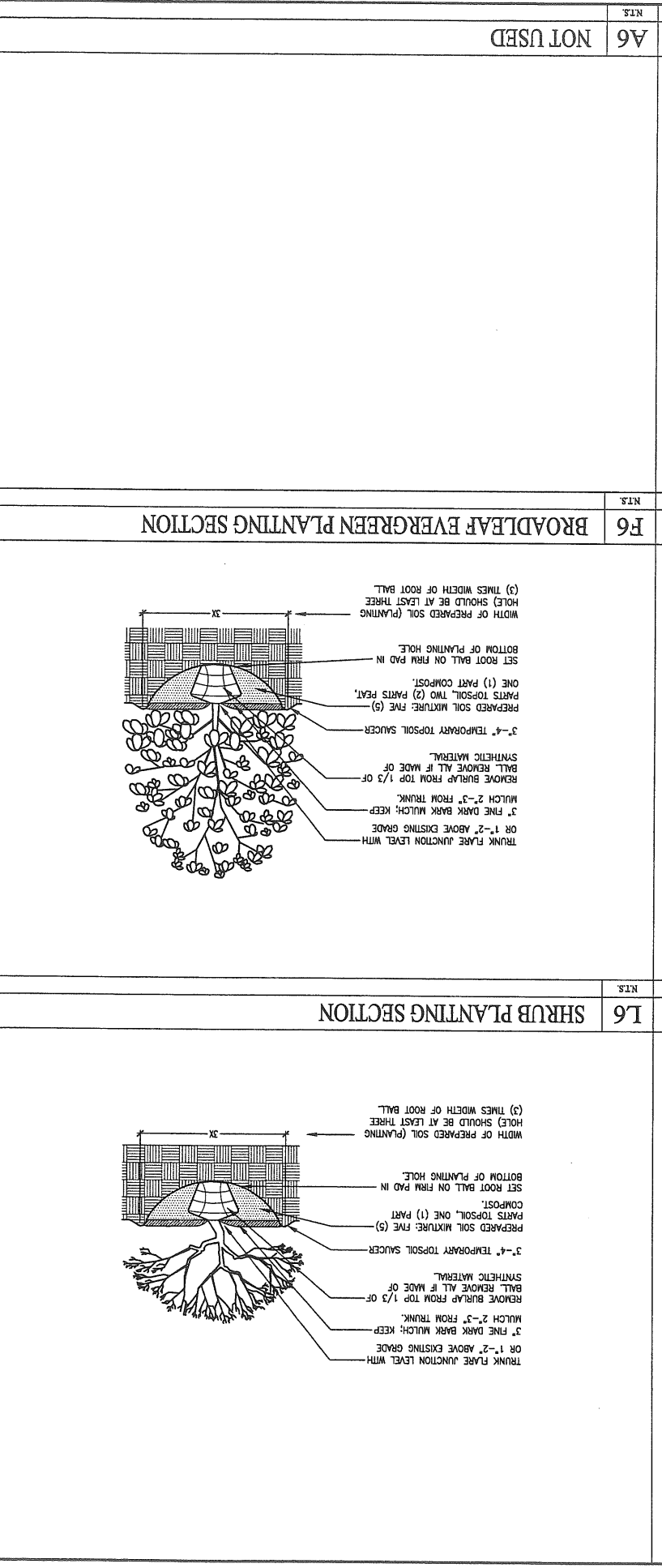
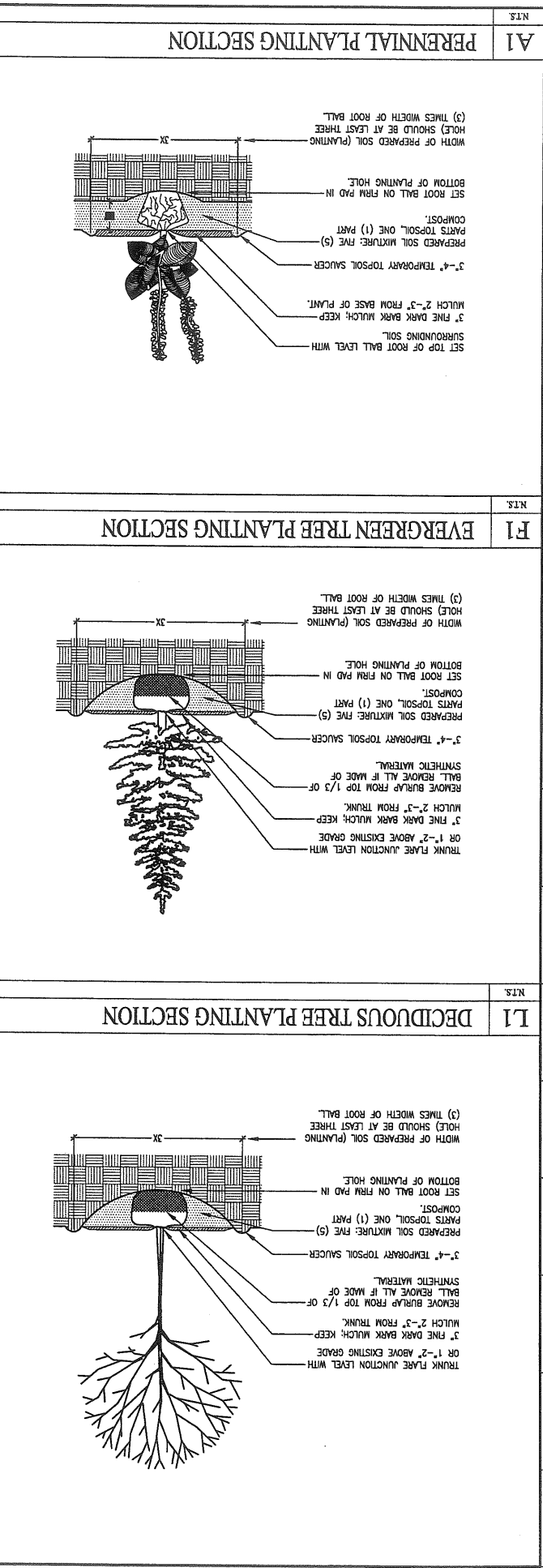
CHECKED BY: RS

DRAWN BY: KLD

PROJECT # 100005

DATE 10.17.07

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 FLORENCE HOUSE ARCHITECTS
 29 BLACK POINT ROAD
 SOUTHPORT, ME 04074



PLANTING NOTES:

1. ALL PLANTING BEDS TO RECEIVE 10" OF PREPARED SOIL MIXTURE. ALL PLANT MATERIAL EXCEPT BROADLEAF EVERGREENS - FIVE (5) PARTS TOPSOIL, TWO (2) PARTS PEAT, ONE (1) PART COMPOST.
2. ALL DISTURBED AREAS TO RECEIVE 4" TOPSOIL AND SEED UNLESS OTHERWISE NOTED.
3. GRASS SEED SHALL BE A COMMERCIAL PRODUCT FROM A REPUTABLE MANUFACTURER AND SHALL BE CERTIFIED TO BE NOT MORE THAN ONE (1) YEAR OLD AND OF THE GENERAL PROPORTIONS BY WEIGHT OF THE FOLLOWING SEED TYPE:
 BROADLEAF MAIZE (COMMON MAIZE), WT. PURITY GERMINATION
 POA PRATIENSIS (KENTUCKY BLUE) 25% 85% 85%
 FETUCA RUBRA (RED FESCUE) 35% 98% 90%
 LOLUM PERENE (PERENNIAL RYE) 20% 95% 90%
 LOLUM MULIFORM (ANNUAL RYE) 20% 95% 90%
 APPLICATION RATE : 5 LBS PER 1,000 SQUARE FEET
4. PRIOR TO PLANT INSTALLATION, LANDSCAPE CONTRACTOR SHALL MEET WITH LANDSCAPE ARCHITECT ON SITE FOR PRE-CONSTRUCTION WALKTHROUGH.
5. THE LANDSCAPE ARCHITECT SHALL APPROVE PLANT SPACING AND LAYOUT PRIOR TO PLANTING.
6. THE PLANT SCHEDULE SHALL HAVE PRECEDENCE OVER ANY CONFLICTS WITH PLANT QUANTITIES SHOWN ON THE PLAN.
7. INSTALLATION OF PLANT MATERIAL, AS SHOWN IN DETAILS, PLANTS SHALL MEET REQUIREMENTS SPECIFIED IN PLANT SCHEDULE ACCORDING TO AMERICAN STANDARD FOR NURSERY STOCK - MAY 12, 2004.
8. ALL PLANT MATERIAL SHALL BE INSTALLED IN MULCHED PLANT BEDS. TREES THAT ARE LOCATED IN LAWN AREA SHALL HAVE A MINIMUM 4" DIAMETER CIRCULAR MULCH BED.
9. ALL LABELS, TAGS OR OTHER FOREIGN MATERIAL SHALL BE REMOVED FROM PLANT MATERIAL UNDS AND STEMS.
10. LANDSCAPE CONTRACTOR SHALL PROVIDE ONE (1) YEAR REPLACEMENT GUARANTEE FOR ALL NEW PLANT MATERIAL AND SHALL MAINTAIN AND WATER ALL PLANTS (INCLUDING GRASSES AND LAWN) UNTIL ACCEPTANCE.

SUBSTITALS AND SUBSTITUTIONS NOTES:
 1. PLANT VARIETY SUBSTITUTIONS SHALL BE BASED ON SIMILAR CHARACTERISTICS OF THE SPECIFIED PLANT.
 APPEARANCES SHALL BE BASED ON MATURE SIZE, SHAPE, COLOR, BLOOM TIMES, SOLAR AND SOIL PREFERENCES.
 2. THE CONTRACTOR SHALL SUBMIT A PLANT LIST A MINIMUM OF 30 DAYS PRIOR TO INSTALLATION FOR APPROVAL.
 3. ALL PLANT SUBSTITUTIONS SHALL BE REQUESTED IN WRITING AND APPROVED BY THE LANDSCAPE ARCHITECT.
 4. THE CONTRACTOR SHALL NOT RECEIVE PAYMENT FOR ANY SUBSTITUTED PLANT MATERIAL THAT HAS NOT BEEN PRE-APPROVED.

Sheet No.: **15**

PLANTING DETAILS

DATE:	09.04.07
PROJECT #:	100405
DRAWN BY:	KJD
CHECKED BY:	RS
DRAWING SCALE:	NTS

SHEET TITLE

DATE:	09.04.07
PROJECT #:	100405
DRAWN BY:	KJD
CHECKED BY:	RS
DRAWING SCALE:	NTS

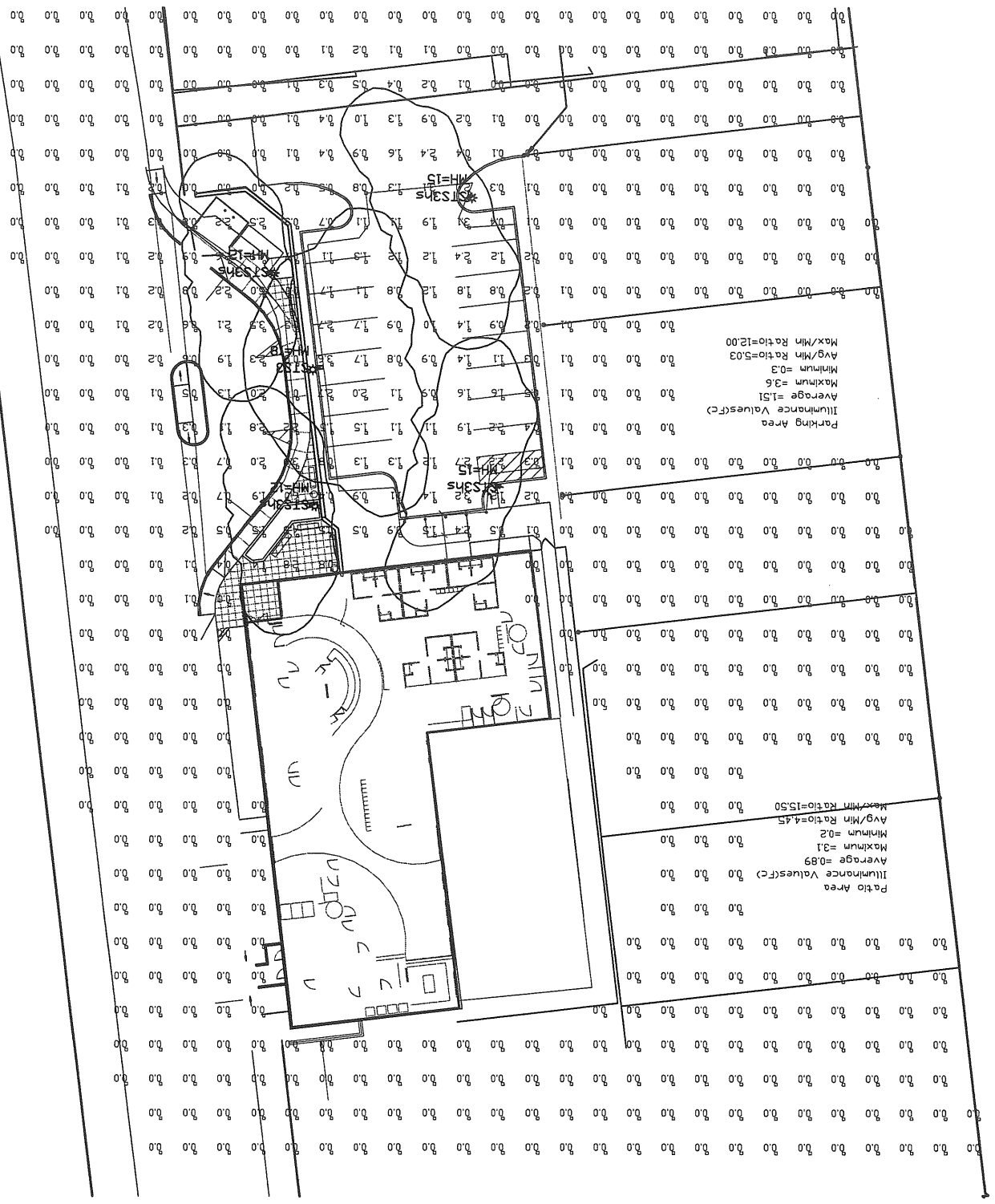
REVISIONS

#	DATE	DESCRIPTION
1	09.04.07	CONTRACT ZONE SUB
2	09.04.07	CONTRACT ZONE REV
3	09.04.07	CONTRACT ZONE REV
4	09.04.07	SEE PLAN AND REVISION
5	10.02.07	FINAL SITE PLAN

FLORENCE HOUSE
PORTLAND, MAINE

AVESTA HOUSING

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GAWRON
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Scarborough, ME 04074
www.gawronturgeon.com
Tel: 207.883.6307
Fax: 207.883.0361



Drive Through
 Illuminance Values(fc)
 Average = 1.65
 Maximum = 5.0
 Minimum = 0.3
 Avg/Min Ratio=5.50
 Max/Min Ratio=16.67

Parking Area
 Illuminance Values(fc)
 Average = 1.51
 Maximum = 3.6
 Minimum = 0.3
 Avg/Min Ratio=5.03
 Max/Min Ratio=12.00

Patio Area
 Illuminance Values(fc)
 Average = 0.89
 Maximum = 3.1
 Minimum = 0.2
 Avg/Min Ratio=4.45
 Max/Min Ratio=15.50

Statistical Area Summary

Label	Avg	Max	Min	Avg/Min	Max/Min
Drive Through	1.65	5.0	0.3	5.50	16.67
Parking Area	1.51	3.6	0.3	5.03	12.00
Patio Area	0.89	3.1	0.2	4.45	15.50

Numeric Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Calcpts	Illuminance	Fc	0.28	6.0	0.0	N.A.	N.A.

Luminaire Location Summary

Segno	Status	Label	X	Y	Z	Orient	Tilt
1	Dn	STS4s	2973.375	2810.625	15	6.981	0
4	Dn	STS3	3050	2672	18	185.947	0
2	Dn	STS3s	3050	2712	12	6.882	0
5	Dn	STS3s	3062	2644	12	6.882	0
3	Dn	STS3s	2995	2706.875	15	344.219	0
6	Dn	STS3s	3004	2622	15	25.989	0

Luminaire Schedule

Symbol	Qty	Label	Description	Lumens	LLF	Filename
☐	1	STS4s	1A/STS4_175MHxxx_xx_HS	12800	0.720	STS4-175M-HS.lis
☐	4	STS3s	1A/STS3_175MHxxx_xx_HS	12800	0.720	STS3-175M-HS.lis
☐	1	STS3	1A/STS3_175MHxxx_xx	12800	0.720	STS3-175M.lis

KIM LIGHTING

CITY OF INDUSTRIAL, CA 91745
 MAILING: PO BOX 6088
 CITY OF INDUSTRIAL, CA 91716-0088
 SHIRING: 1533 EAST GALE AVE.

PROJECT NAME:
 Florence House Ltg.

KIM LIGHTING SALES AGENCY,
 Sweeney Lighting Assoc. 107
 Bev White
 DATE: Km Florence swl 10.ddm03/23/2007

APPLICATIONS DEPARTMENT
 TONY HESTON
 656-968-5666 EXT# 330
 FACSIMILE: 626-303-4595
 EMAIL: kmappe@kimlighting.com

THESE DRAWINGS ARE FOR CONCEPTUAL
 USE ONLY AND ARE NOT INTENDED FOR
 CONSTRUCTION.

DATE: 09.04.07
 PROJECT #: 100405
 DRAWN BY: KLD
 CHECKED BY: RS
 DRAWING SCALE: 1" = 20'-0"

SHEET TITLE:
 LIGHTING - PHOTOMETRICS PLAN

Sheet No.: 16

REVISIONS

#	DATE	DESCRIPTION
1	04.07	CONTACT ZONE SUR
2	05.22	CONTACT ZONE REV
3	07.10	CONTACT ZONE REV
4	09.04	SITE PLAN AND SUBMISSION REVIEW
5	10.02	FINAL SITE PLAN

FLORENCE HOUSE
 PORTLAND, MAINE

AVESTA HOUSING

GAWRON TURGEON ARCHITECTS

29 Black Point Road
 Scarborough, ME 04074
 WWW.GAWRONTURGEON.COM
 TEL: 207.883.6307
 FAX: 207.883.0361

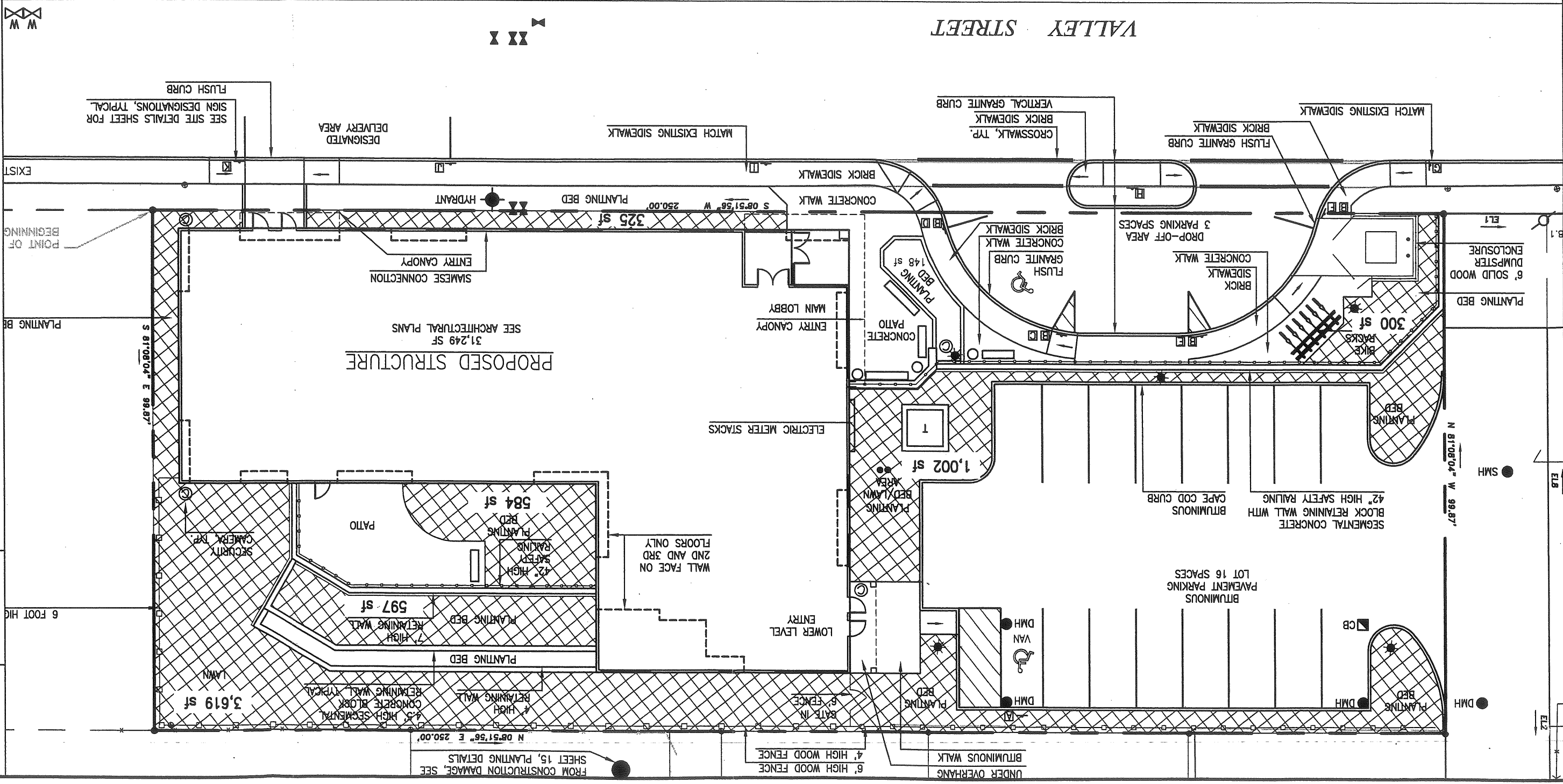
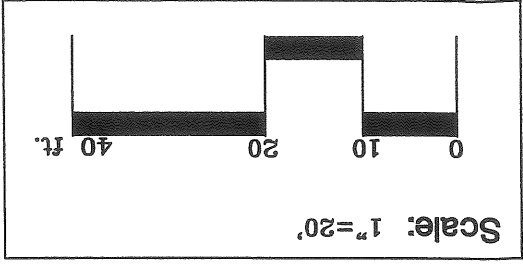


NOTES

1. TOTAL SITE AREA: 24,968 S.F.
2. ALL HATCHED AREAS ARE INCLUDED IN OPEN SPACE CALCULATION. EACH SEPARATE AREA HAS SQUARE FOOTAGE NOTED.
3. AS DEFINED IN R-G, SECTION 14-139, THE OPEN SPACE RATIO "SHALL NOT INCLUDE PARKING AREAS OR OTHER IMPERVIOUS SURFACES AS DEFINED IN SECTION 14-47." FROM SECTION 14-47: "IMPERVIOUS SURFACE: MEANS ANY SURFACE WHICH DOES NOT ABSORB RAIN AND INCLUDES ALL BUILDINGS, ROADS, SIDEWALKS, PARKING AREAS, AND ANY AREA PAVED WITH BRICKS, CONCRETE OR ASPHALT."

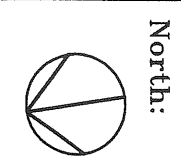
OPEN SPACE CALCULATION

3,619 S.F.
597 S.F.
584 S.F.
325 S.F.
1,002 S.F.
+ 300 S.F.
6,427 S.F.
24,968 S.F. = 26%



Mitchell & Associates
Landscape Architects
70 Center Street
Portland, Maine 04101
(207) 774-4427

Title: OPEN SPACE CALCULATION
Date: OCTOBER 2, 2007
Scale: 1"=20'
Project: FLORENCE HOUSE



A



**GAWRON
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REVISIONS		
#	DATE	DESCRIPTION

DATE:	
PROJECT #:	
DRAWN BY:	
CHECKED BY:	
DRAWING SCALE:	

SHEET TITLE
PATIO SECTION

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