



Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

PROJECT NAME: Florence House - Add Drainage @ Valley Street Side of Bldg.

PROJECT ADDRESS: 190 Valley Street CHART/BLOCK/LOT: #64 F020

APPLICATION FEE: 50⁰⁰ (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

Add limited drainage work along Valley Street side of Building.

CONTACT INFORMATION:

OWNER/APPLICANT Deb Keller

CONSULTANT/AGENT Mike Adams

Name: Arcis Florence House L.P.

Name: Garnett, Const. Corp.

Address: 307 Cumberland Ave.
Portland, Me 04101

Address: 3025 No. Bellast Ave.
Augusta, Maine 04332

Work #: 207-553-4477

Work #: 207-621-8505

Cell #: _____

Cell #: 207-557-5452

Fax #: _____

Fax #: 207-621-8508

Home #: _____

Home #: _____

E-mail: _____

E-mail: mikeadams@garnettconst.com

Criteria for an Administrative Authorization:
(see section 14-523(4) on pg .2 of this appl.)

Applicant's Assessment Planning Division
Y(yes), N(no), N/A

Criteria	Applicant's Assessment	Planning Division
	Y(yes), N(no), N/A	Y(yes), N(no), N/A
a) Is the proposal within existing structures?	<u>N</u>	_____
b) Are there any new buildings, additions, or demolitions?	<u>N</u>	_____
c) Is the footprint increase less than 500 sq. ft.?	<u>N</u>	_____
d) Are there any new curb cuts, driveways or parking areas?	<u>N</u>	_____
e) Are the curbs and sidewalks in sound condition?	<u>Y</u>	_____
f) Do the curbs and sidewalks comply with ADA?	<u>Y</u>	_____
g) Is there any additional parking?	<u>N</u>	_____
h) Is there an increase in traffic?	<u>N</u>	_____
i) Are there any known stormwater problems?	<u>Y</u>	_____
j) Does sufficient property screening exist?	<u>Y</u>	_____
k) Are there adequate utilities?	<u>Y</u>	_____
l) Are there any zoning violations?	<u>N</u>	_____
m) Is an emergency generator located to minimize noise?	<u>N/A</u>	_____
n) Are there any noise, vibration, glare, fumes or other impacts?	<u>N</u>	_____

Signature of Applicant: [Signature]

Date: 3/26/12



March 13, 2012

ADP #11388

Paul Koziell
The Morrison Group
30 Bonney Street
P. O. Box B
Freeport, Maine 04032

Re: Florence House

Dear Paul:

It is my understanding that The City of Portland and an AVESTA investor have requested clarification of some issues regarding the proposed drainage running from the canopy roof, to the right side of the building, which then potentially discharges onto the vacant lot.

Specifically I have been requested to address the following issues;

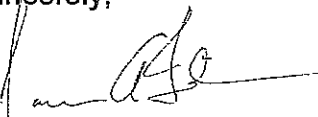
1. Verification that the proposed drainage system outlet will not cause any significant erosion. Given the very small catchment area, which is limited to the side entrance canopy roof and a small area between the canopy roof and end of the building, the amount of flow anticipated through the pipe and concentrated at the discharge is expected to be very minimal; furthermore, to ensure that no significant erosion is created at the discharge outlet we are proposing the contractor install a below grade discharge sump consisting of a 3 foot wide x 3 foot deep x 5 foot long hole lined with filter fabric, filled with 2 feet of $\frac{3}{4}$ " crushed stone and overlain by 12" of D50= 4" stone riprap. The proposed sump should be positioned beginning downstream of the discharge pipe and finished flush to existing grade.
2. The only water entering this proposed drainage system comes from the small canopy roof over the side entry door. The volume of water from this small catchment is minimal and will likely only present discharge at the underdrain outlet during a significant weather event. Most of the roof runoff is expected to dissipate into the ground next to the foundation and eventually get collected by the existing footing drain system. Addition of the below grade infiltration sump will significantly reduce and perhaps eliminate the occurrence of offsite drainage influences.
3. In the event of a new project on the abutting property, this proposed drainage system could easily connect or tie into the drainage system for the new project.

4. It would be impractical to connect or tie into the existing footing drainage system located at the foundation footing elevation, simply because the depth to the exiting footing drain is too deep to unearth by normal excavation means without creating potential damages and significant impacts to the existing site and building infrastructure.

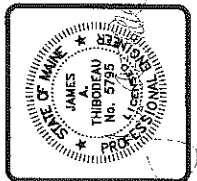
I trust this letter of clarification adequately addresses the concerns of AVESTA and the City of Portland.

Should any questions arise please do not hesitate to contact me.

Sincerely,



James A. Thibodeau
President
Associated Design Partners, Inc.



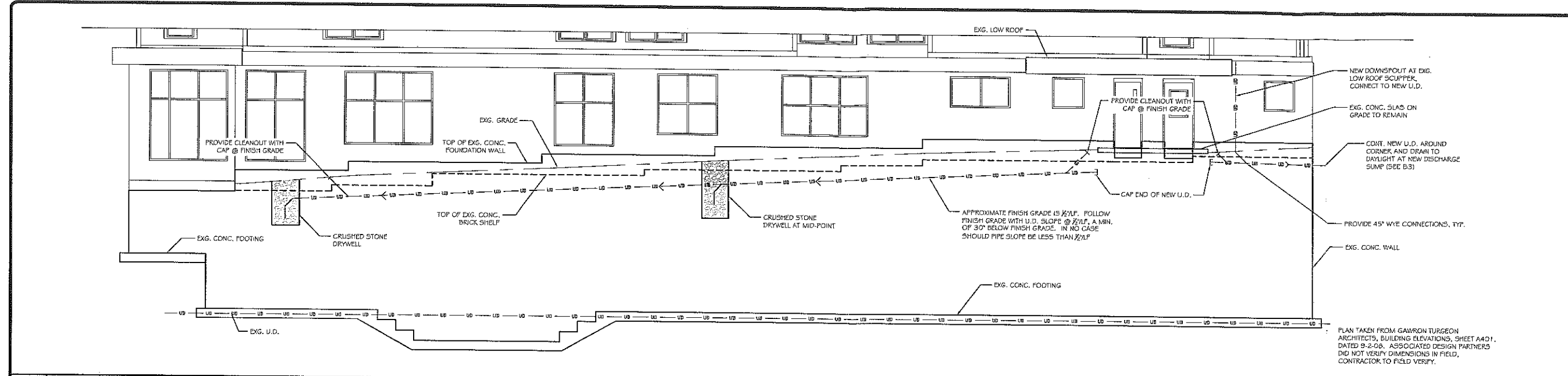
ASSOCIATED DESIGN PARTNERS INC.
 Office: (207) 878-1751
 Fax: (207) 878-1788
 E-Mail: adp@adpengineering.com
 80 Leighton Road
 Fairmount, Maine 04105

THIS DRAWING, DESIGN AND ELECTRONIC FILE ARE THE PROPERTY OF ASSOCIATED DESIGN PARTNERS, INC. THE REPRODUCTION, COPYING OR ANY OTHER USE OF THIS DOCUMENT WITHOUT WRITTEN CONSENT IS PROHIBITED.

PROJECT: FLORENCE HOUSE
PORTLAND, MAINE
 FOR:
SHEET TITLE: PARTIAL ELEVATION, PLAN, AND SECTION ISSUED FOR PERMITTING

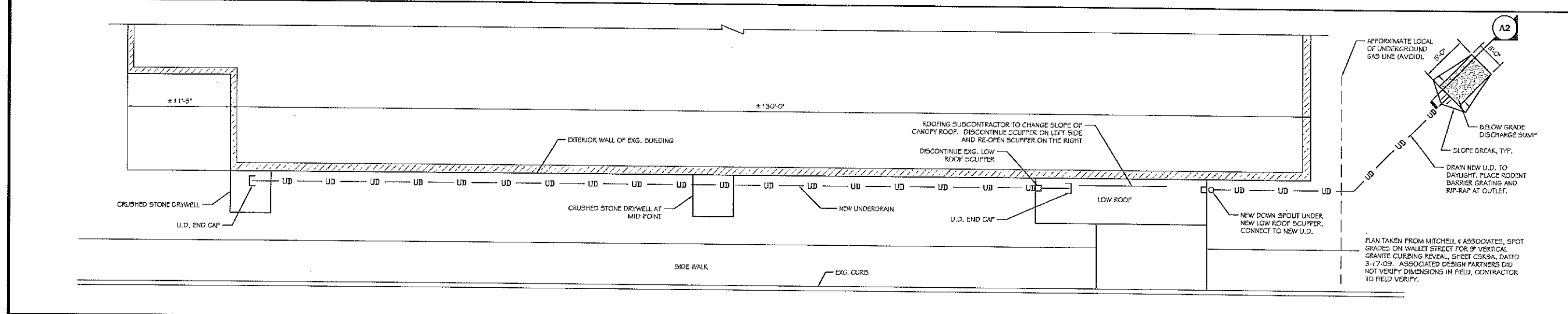
NO.	BY	DATE

DATE: 3-29-12
 SCALE: AS NOTED
 DESIGN BY: JAT
 DRAWN BY: RSC
 FILE #: 11388-101.dwg
 PROJECT NUMBER:
11388
 SHEET NO:
S101



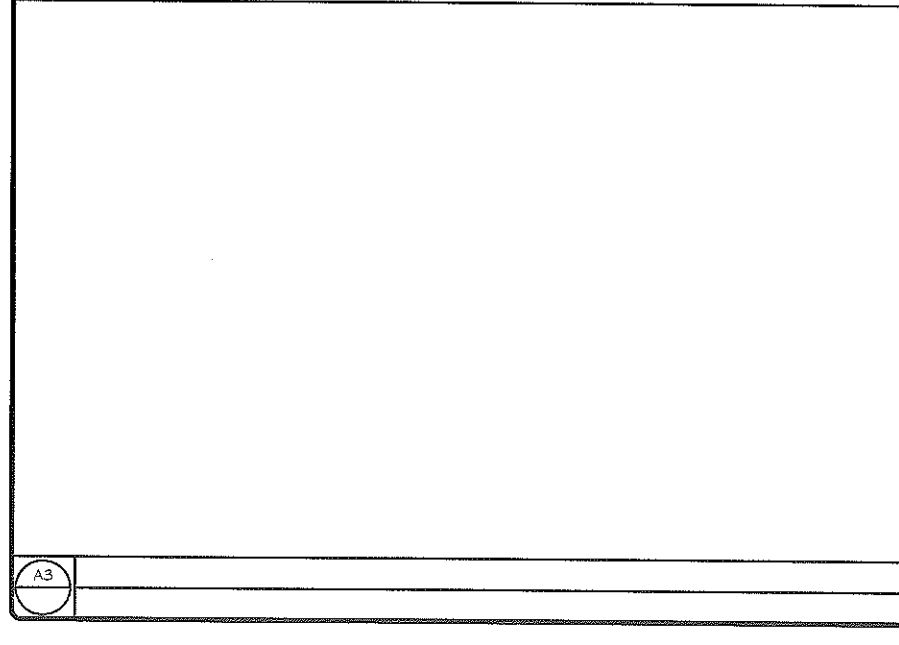
PLAN TAKEN FROM GAWRON TURGEON ARCHITECTS, BUILDING ELEVATIONS, SHEET A401, DATED 9-2-08. ASSOCIATED DESIGN PARTNERS DID NOT VERIFY DIMENSIONS IN FIELD, CONTRACTOR TO FIELD VERIFY.

C3 PROPOSED ELEVATION OF NEW DRAINAGE
 SCALE: 3/8" = 1'-0"

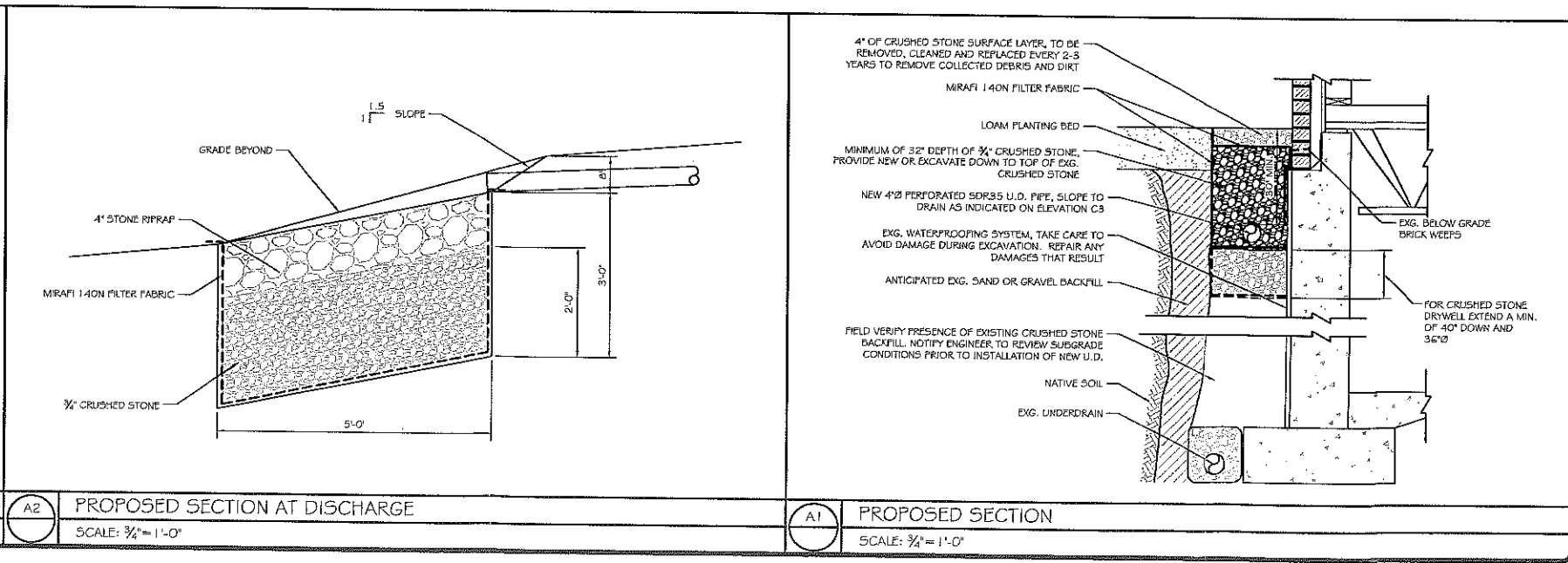


PLAN TAKEN FROM MITCHELL & ASSOCIATES, SPOT GRADES ON WALLET STREET FOR 9" VERTICAL GRANITE CURBING REVEAL, SHEET CSK9A, DATED 3-17-09. ASSOCIATED DESIGN PARTNERS DID NOT VERIFY DIMENSIONS IN FIELD, CONTRACTOR TO FIELD VERIFY.

B3 PROPOSED PLAN OF NEW DRAINAGE
 SCALE: 3/8" = 1'-0"



A2 PROPOSED SECTION AT DISCHARGE
 SCALE: 3/4" = 1'-0"



A1 PROPOSED SECTION
 SCALE: 3/4" = 1'-0"

A3

Philip DiPierro - Re: Fwd: FW: Message from KMBT_C450

From: Danielle West-Chuhta (Danielle West-Chuhta)
To: Philip DiPierro
Date: 4/10/2012 2:18 PM
Subject: Re: Fwd: FW: Message from KMBT_C450

Sure - please bring the prior license that I need to revise and plans for what they want to do - also we will need DPS review and approval (and should get them to e-mail their sign off asap).

Thanks,

Danielle

>>> Philip DiPierro 4/10/2012 2:14 PM >>>

Sure, they are proposing to excavate into the ROW along the Valley Street frontage to install an underdrain and drywell system in order to help facilitate and improve drainage.

I think you said the license would have to be revised to reflect the installation and maintenance of the drainage improvements, which may be partially located in the ROW. They will also need a temp. construction easement/license for the construction of the drainage improvements.

We can review tomorrow at Dev Rev if you like.

phil

>>> Danielle West-Chuhta (Danielle West-Chuhta) 4/10/2012 1:49 PM >>>

Could you please provide me with a brief reminder as to what needs to be done regarding the license.

Thanks,

Danielle

>>> Philip DiPierro 4/10/2012 12:28 PM >>>

Hi Danielle, attached is what was sent to me. Will this work?

phil



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 190 Valley Street		
Total Square Footage of Proposed Structure/Area N/A		Square Footage of Lot N/A
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# #64F020	Applicant * must be owner, Lessee or Buyer * Name Avesta Florence House, LP Address 307 Cumberland Avenue City, State & Zip Portland, ME 04101	Telephone: (207) 553-7777
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ 15,000.00 C of O Fee: \$ 75.00 Total Fee: \$ 255.00
Current legal use (i.e. single family) <u>Multi-Family</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? <u>Yes</u> If yes, please name <u>ReZone #1139</u> Project description: <u>Site Plan/Subdivision #2007/0156</u> <u>Drainage along Valley Street side of building.</u>		
Contractor's name: <u>Ganneston Construction Corp.</u> Address: <u>P. O. Box 27</u> City, State & Zip <u>Augusta, ME 04332</u> Telephone: <u>(207) 621-8505</u> Who should we contact when the permit is ready: <u>Mike Adams</u> Telephone: <u>(207) 621-8505</u> Mailing address: <u>Same</u> Cell: <u>(207) 557-0963</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Handwritten Signature] Date: 3/15/2012

This is not a permit; you may not commence ANY work until the permit is issue



Certificate of Design Application

ASSOCIATED DESIGN PARTNERS, INC

From Designer:

Date:

3-5-10

Job Name:

AVESTA FLORENCE HOUSE

Address of Construction:

190 VALLEY ST, PORTLAND ME

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2009 IBC Use Group Classification (s) NA

Type of Construction NA

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC NA

Is the Structure mixed use? NA If yes, separated or non separated or non separated (section 302.3) _____

Supervisory alarm System? NA Geotechnical/Soils report required? (See Section 1802.2) NA

Structural Design Calculations

NA Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.1.1, 1807)

Floor Area Use	Loads Shown
<u>NA</u>	

Wind loads (1603.1.4, 1609)

- NA Design option utilized (1609.1.1, 1609.6)
- NA Basic wind speed (1809.3)
- NA Building category and wind importance factor, I_w (table 1604.5, 1609.5)
- NA Wind exposure category (1609.4)
- NA Internal pressure coefficient (ASCE 7)
- NA Component and cladding pressures (1609.1.1, 1609.6.2.2)
- NA Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

- NA Design option utilized (1614.1)
- NA Seismic use group ("Category")
- NA Spectral response coefficients, S_s & S_{D1} (1615.1)
- NA Site class (1615.1.5)

- NA Live load reduction
- NA Roof *live* loads (1603.1.2, 1607.11)
- NA Roof snow loads (1603.7.3, 1608)
- NA Ground snow load, P_g (1608.2)
- NA If $P_g > 10$ psf, flat-roof snow load P_f
- NA If $P_g > 10$ psf, snow exposure factor, C_e
- NA If $P_g > 10$ psf, snow load importance factor, I_s
- NA Roof thermal factor, C_t (1608.4)
- NA Sloped roof snowload, P_s (1608.4)
- NA Seismic design category (1616.3)
- NA Basic seismic force resisting system (1617.6.2)
- NA Response modification coefficient, R_d and deflection amplification factor C_{di} (1617.6.2)
- NA Analysis procedure (1616.6, 1617.5)
- NA Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

- NA Flood Hazard area (1612.3)
- NA Elevation of structure

Other loads

- NA Concentrated loads (1607.4)
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Certificate of Design

Date: 3-5-12

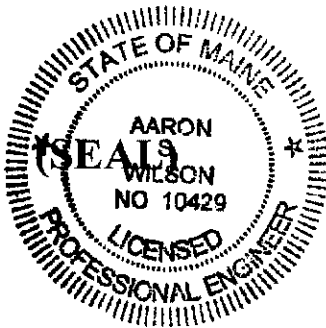
From: ASSOCIATED DESIGN PARTNERS, INC

These plans and / or specifications covering construction work on:

190 VALLEY ST

NEW PARTIAL EXTERIOR FOUNDATION DRAIN.

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



Signature: *Aaron Wilson*

Title: VICE PRESIDENT

Firm: ASSOCIATED DESIGN PARTNERS, INC

Address: 80 LEIGHTON RD

FALMOUTH, ME 04105

Phone: 878-1751

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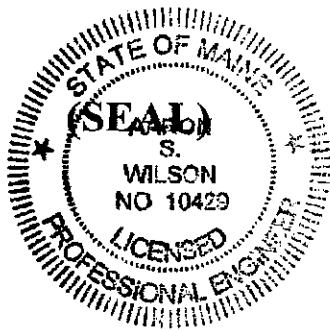
Accessibility Building Code Certificate

Designer: ASSOCIATED DESIGN PARTNERS, INC

Address of Project: 190 VALLEY ST

Nature of Project: INSTALL PARTIAL PERIMETER FOUNDATION DRAIN AT EXTERIOR
WORK DOES NOT INCLUDE ANY CHANGES TO ADA ACCESSIBILITY OF
EXISTING BUILDING.

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: *[Handwritten Signature]*

Title: VICE PRESIDENT

Firm: ASSOCIATED DESIGN PARTNERS, INC

Address: 80 LEIGHTON RD
FALMOUTH, ME 04105

Phone: 878-1751

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Should any questions arise please do not hesitate to contact me.

Sincerely,



James A. Thibodeau
President
Associated Design Partners, Inc.

Philip DiPierro - RE: Florence House - Valley Street

From: "Mike Adams" <MikeAdams@gannestonconstruction.com>
To: "Philip DiPierro" <PD@portlandmaine.gov>
Date: 3/21/2012 5:47 AM
Subject: RE: Florence House - Valley Street

Phil,

Thanks for your comments below.

I have forwarded to our team and Avesta for proper response and the added drainage detail requested.

Back to you as soon as I can.

From: Philip DiPierro [mailto:PD@portlandmaine.gov]
Sent: Tuesday, March 20, 2012 3:59 PM
To: Mike Adams
Cc: Barbara Barhydt; Jean Fraser
Subject: RE: Florence House - Valley Street

Hi Mike, I just received the application you submitted for the building permit. After having discussed this matter with my supervisor, a determination was made that it will require you to submit an application for an Administrative Authorization. I have attached the link to the application below.

Initial comments include the following:

-The construction of the underdrain and drywell system appears to be located, at least partially, in the City's right-of-way. Avesta currently has a license Agreement with the City to occupy this area for the plant beds and roof canopies, but the license will probably need to be revised to reflect the drainage improvements. You, or Avesta, will need to contact the City's Associate Corporation Counsel Danielle West-Chuhta to work out the language for the revisions.

-It appears that you are proposing to discharge the drainage onto the separate abutting lot owned by Avesta. Avesta will need to provide, as part of the application, written permission allowing this discharge onto the abutting lot.

-The plan you provided lacks a detail of the underdrain outlet onto the abutting lot. Please provide a detail of the stone filled sump overlain with riprap, as described in you letter for the building permit, for review.

These are only initial comments. I have added this project to the agenda for tomorrow's development review meeting. Additional comments from the review team may be forthcoming. Again, the link for the Administrative Authorization Application is below.

<http://www.portlandmaine.gov/planning/administrativeauthorization.pdf>

Please contact me with any questions. Thanks.

Phil

Philip DiPierro
Development Review Coordinator
City of Portland Planning Division
389 Congress Street
Portland, Maine 04101

Phone 207 874-8632
Fax 207 756-8258

>>> "Mike Adams" <MikeAdams@gannestonconstruction.com> 3/16/2012 1:11 PM >>>

Phil,

I intend to drop off to Jeanie on Tuesday and ask if there will be any site plan review fee?

From: Philip DiPierro [<mailto:PD@portlandmaine.gov>]
Sent: Thursday, March 15, 2012 3:47 PM
To: Mike Adams
Cc: Jeanie Bourke
Subject: Re: Florence House - Valley Street

Is this for the building permit application? I think it can be mailed in, but you should check with Jeanie.

I'll check with Barbara Barhydt, our Development Review Services Manager with the Planning Department to see if there are any site plan review fees.

Thanks.

Phil

Philip DiPierro
Development Review Coordinator
City of Portland Planning Division
389 Congress Street
Portland, Maine 04101

Phone 207 874-8632
Fax 207 756-8258

>>> "Mike Adams" <MikeAdams@gannestonconstruction.com> 3/15/2012 3:26 PM >>>

Very good,

I forgot about city office being closed after 1pm. Can I mail in the permit application with check to Jeannie B.?

----- Original Message -----

From: Philip DiPierro <PD@portlandmaine.gov>

To: Mike Adams; Jeanie Bourke <JMB@portlandmaine.gov>; Matt Doughty <MMD@portlandmaine.gov>

Cc: Debora Keller <dkeller@avestahousing.org>; Paul Koziell <pkaziell@cpmconstructors.com>

Sent: Thu Mar 15 14:10:27 2012

Subject: Re: Florence House - Valley Street

Thanks Mike, I'll let you know if we need anything else.

Phil

Philip DiPierro
Development Review Coordinator
City of Portland Planning Division
389 Congress Street
Portland, Maine 04101

Phone 207 874-8632

Fax 207 756-8258

>>> "Mike Adams" <MikeAdams@gannestonconstruction.com> 3/15/2012 7:48 AM >>>

Philip,

Attached is the requested description of work to clarify what we plan to do at Avesta's / Florence House Property.

I will be submitting this along with the related design drawing to the city formally along with a check for the permit.

Please let me know if anything else is required.

Thank you



Certificate of Design Application

ASSOCIATED DESIGN PARTNERS, INC

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3-5-10

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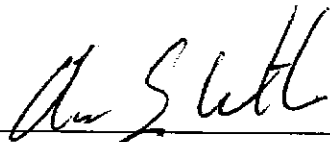
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Signature: 

Title: VICE PRESIDENT

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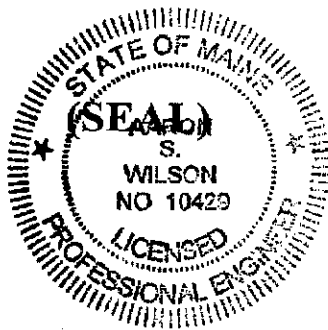
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Designer: ASSOCIATED DESIGN PARTNERS, INC

Address of Project: 190 VALLEY ST

Nature of Project: INSTALL PARTIAL PERIMETER FOUNDATION DRAIN AT EXTERIOR
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Signature: *[Handwritten Signature]*

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Re: Florence House

Dear Paul:

It is my understanding that The City of Portland and an AVESTA investor have requested clarification of some issues regarding the proposed drainage running from the canopy roof, to the right side of the building, which then potentially discharges onto the vacant lot.

Specifically I have been requested to address the following issues;

1. Verification that the proposed drainage system outlet will not cause any significant erosion. Given the very small catchment area, which is limited to the side entrance canopy roof and a small area between the canopy roof and end of the building, the amount of flow anticipated through the pipe and concentrated at the discharge is expected to be very minimal; furthermore, to ensure that no significant erosion is created at the discharge outlet we are proposing the contractor install a below grade discharge sump consisting of a 3 foot wide x 3 foot deep x 5 foot long hole lined with filter fabric, filled with 2 feet of $\frac{3}{4}$ " crushed stone and overlain by 12" of D50= 4" stone riprap. The proposed sump should be positioned beginning downstream of the discharge pipe and finished flush to existing grade.
2. The only water entering this proposed drainage system comes from the small canopy roof over the side entry door. The volume of water from this small catchment is minimal and will likely only present discharge at the underdrain outlet during a significant weather event. Most of the roof runoff is expected to dissipate into the ground next to the foundation and eventually get collected by the existing footing drain system. Addition of the below grade infiltration sump will significantly reduce and perhaps eliminate the occurrence of offsite drainage influences.
3. In the event of a new project on the abutting property, this proposed drainage system could easily connect or tie into the drainage system for the new project.

4. It would be impractical to connect or tie into the existing footing drainage system located at the foundation footing elevation, simply because the depth to the exiting footing drain is too deep to unearth by normal excavation means without creating potential damages and significant impacts to the existing site and building infrastructure.

I trust this letter of clarification adequately addresses the concerns of AVESTA and the City of Portland.

Should any questions arise please do not hesitate to contact me.

Sincerely,



James A. Thibodeau
President
Associated Design Partners, Inc.

Ganneston Construction Corp
PO Box 27, North Belfast Avenue
Augusta, ME 04332-0027

LETTER OF TRANSMITTAL

Tel: (207) 621-8505
Fax: (207) 621-8508

Phil DiPeno

To:

City of Portland
389 Congress Street
Portland, Maine 04101

Date: March 15, 2012
Attention: ~~Joannie B. / Code Enforcement Dept~~
RE: Florence House / Minor Drainage
Permit Application & Info

WE ARE SENDING YOU X ATTACHED UNDER SEPARATE COVER

COPIES	NO.	DESCRIPTION
3		Permit application and related information

REMARKS

Signed: Michael W. Adams, Sr. Project Manager Date: 15-Mar-12

From: Jeanie Bourke
To: Mike Adams; Philip DiPierro
Date: 3/19/2012 8:55 AM
Subject: Re: Florence House - Valley Street

The application can be mailed, address it to the Inspections Division Rm 315 so the administrative staff can process it.

All documents shall be submitted both hard copy and electronic, including the application.

Thanks,
Jeanie

Jeanie Bourke
CEO/LPI/Plan Reviewer

City of Portland
Planning & Urban Development Dept./ Inspections Division
389 Congress St. Rm 315
Portland, ME 04101
jmb@portlandmaine.gov
Direct: (207) 874-8715
Office: (207) 874-8703

>>> Philip DiPierro 3/15/2012 3:47 PM >>>

Is this for the building permit application? I think it can be mailed in, but you should check with Jeanie.

I'll check with Barbara Barhydt, our Development Review Services Manager with the Planning Department to see if there are any site plan review fees.

Thanks.

Phil

Philip DiPierro
Development Review Coordinator
City of Portland Planning Division
389 Congress Street
Portland, Maine 04101

Phone 207 874-8632
Fax 207 756-8258

>>> "Mike Adams" <MikeAdams@gannestonconstruction.com> 3/15/2012 3:26 PM
>>>

Very good,

I forgot about city office being closed after 1pm. Can I mail in the permit application with check to Jeannie B.?

----- Original Message -----

From: Philip DiPierro <PD@portlandmaine.gov>

To: Mike Adams; Jeanie Bourke <JMB@portlandmaine.gov>; Matt Doughty

<MMD@portlandmaine.gov>

Cc: Debora Keller <dkeller@avestahousing.org>; Paul Koziell

<pkoziell@cpmconstructors.com>

Sent: Thu Mar 15 14:10:27 2012

Subject: Re: Florence House - Valley Street

Thanks Mike, I'll let you know if we need anything else.

Phil

Philip DiPierro

Development Review Coordinator

City of Portland Planning Division

389 Congress Street

Portland, Maine 04101

Phone 207 874-8632

Fax 207 756-8258

>>> "Mike Adams" <MikeAdams@gannestonconstruction.com> 3/15/2012 7:48 AM

>>>

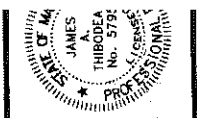
Philip,

Attached is the requested description of work to clarify what we plan to do at Avesta's / Florence House Property.

I will be submitting this along with the related design drawing to the city formally along with a check for the permit.

Please let me know if anything else is required.

Thank you



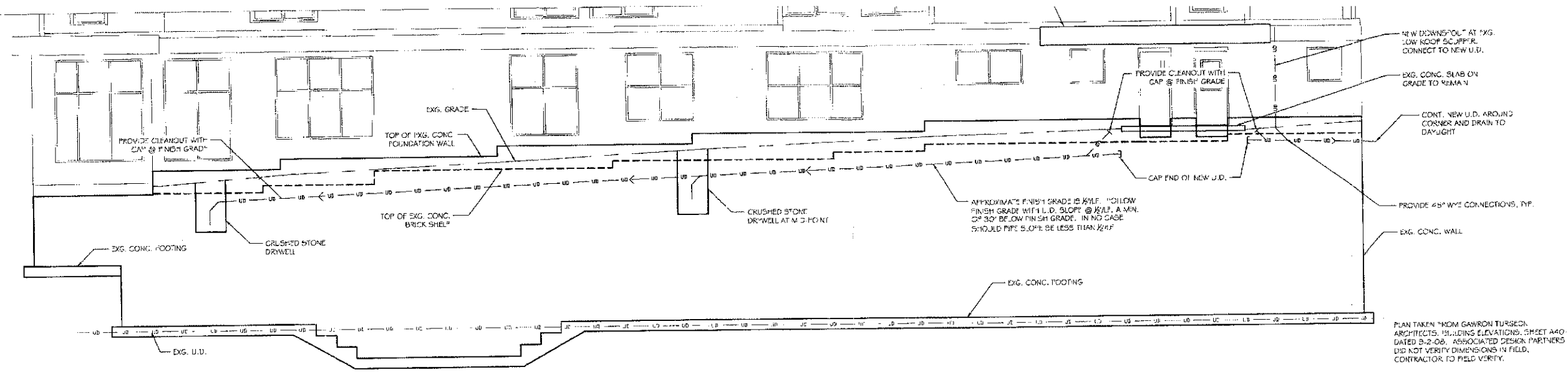
ASSOCIATED DESIGN PARTNERS INC.
 Office: (207) 878-1751
 Fax: (207) 878-1788
 E-Mail: adp@adpengineering.com
 80 Leighton Road
 Falmouth, Maine 04105

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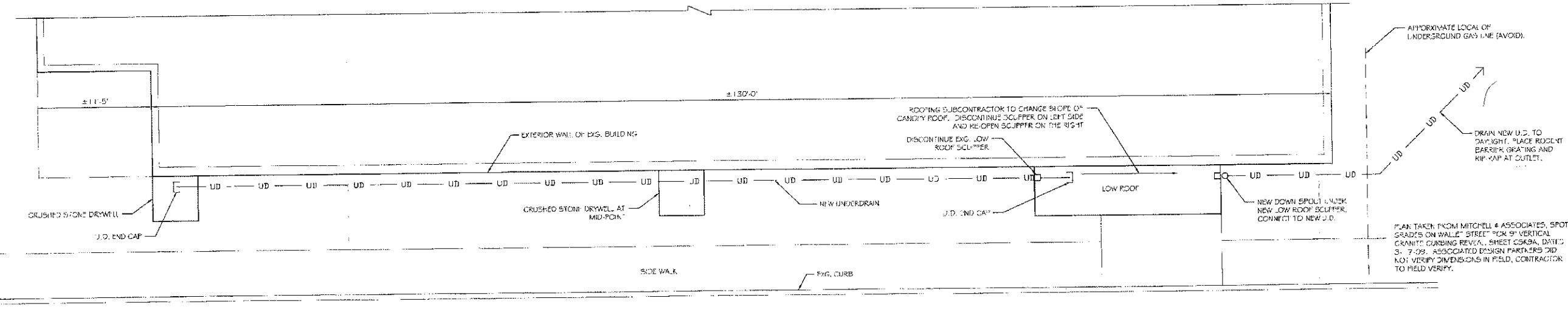
PROJECT: **FLORENCE HOUSE**
 PORTLAND, MAINE
 FOR:
 SHEET TITLE: **PARTIAL ELEVATION, PLAN, AND SECTION ISSUED FOR PERMITTING**

NO.	BY	REVISIONS	DESCRIPTION	DATE

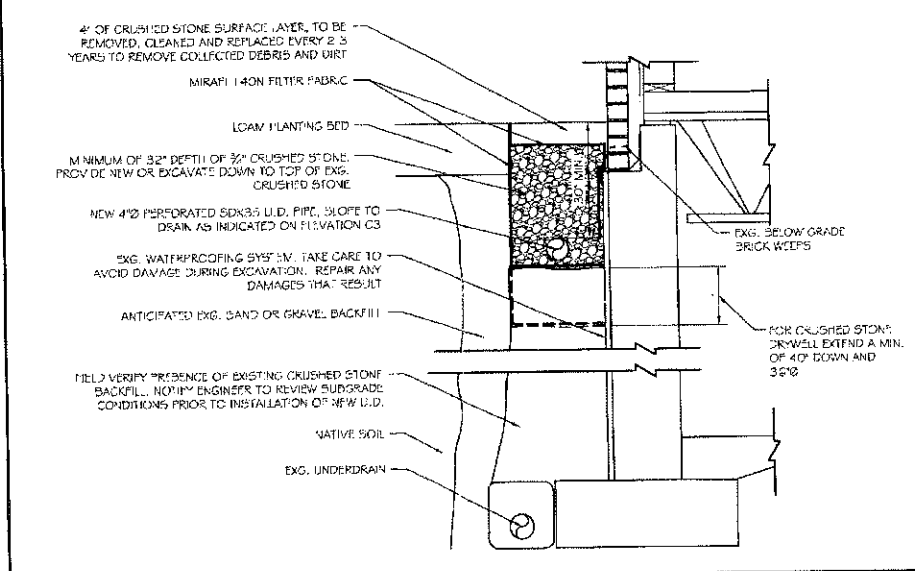
DATE: 2-3-12
 SCALE: AS NOTED
 DESIGN BY: JAT
 DRAWN BY: RSC
 FILE #: 11388-1101.dwg
 PROJECT NUMBER:
11388
 SHEET NO:
S101



C3 PROPOSED ELEVATION OF NEW DRAINAGE
 SCALE: 3/8" = 1'-0"



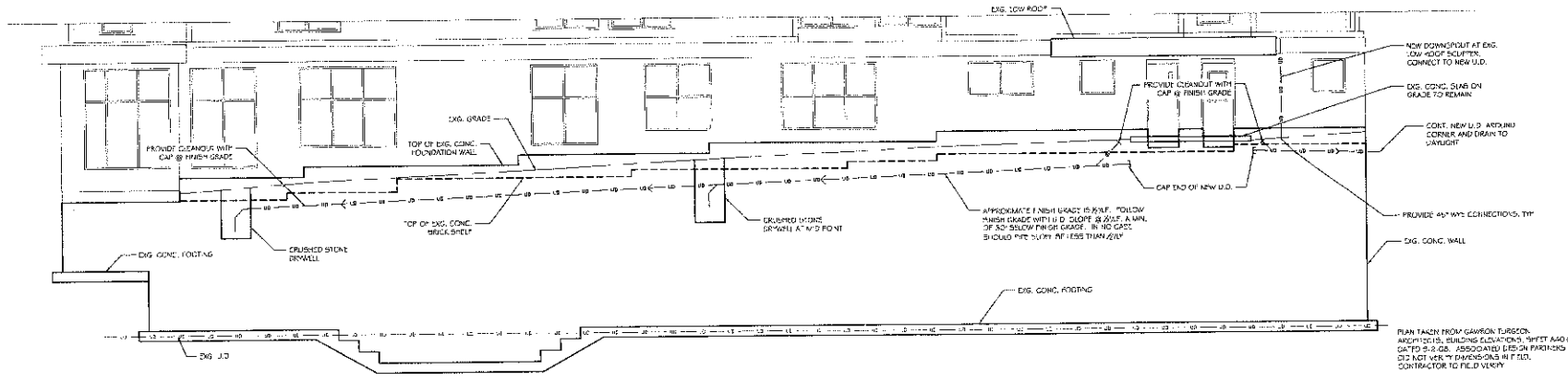
B3 PROPOSED PLAN OF NEW DRAINAGE
 SCALE: 3/8" = 1'-0"



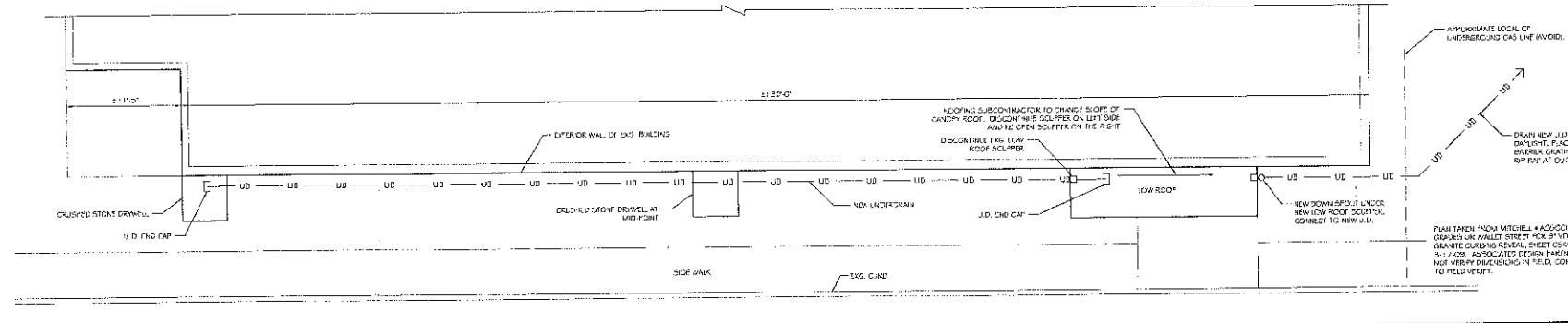
A1 PROPOSED SECTION
 SCALE: 3/8" = 1'-0"

A3

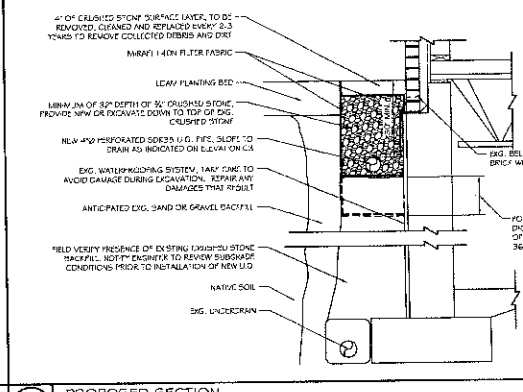
A2



C3 PROPOSED ELEVATION OF NEW DRAINAGE
SCALE: 3/4" = 1'-0"



B3 PROPOSED PLAN OF NEW DRAINAGE
SCALE: 3/4" = 1'-0"



A1 PROPOSED SECTION
SCALE: 3/4" = 1'-0"



ASSOCIATED DESIGN PARTNERS INC.
 Office: (207) 878-1788
 Fax: (207) 878-1788
 E-Mail: adp@adpartnersinc.com
 80 Leighton Road
 Falmouth, Maine 04105

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PROJECT: **FLORENCE HOUSE**
 PORTLAND, MAINE
 SHEET TITLE: **PARTIAL ELEVATION, PLAN, AND SECTION ISSUED FOR PERMITTING**

NO.	DATE	REVISIONS	DESCRIPTION
1			
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DATE: 2-3-12
 SCALE: AS NOTED
 DESIGN BY: JAT
 DRAWN BY: SSC
 FILE # 11388-101.dwg
 PROJECT NUMBER:
11388
 SHEET NO:
S101

DEVELOPMENT REVIEW COORDINATOR
POST APPROVAL PROJECT CHECKLIST

Date: 1/12/09

Project Name: Florence House

Project Address: 190 Valley Str.

Site Plan ID Number: 2007-0156

Planning Board/Authority Approval Date: 10/23/07

Site Plan Approval Date: 10/23/07

Performance Guarantee Accepted: 1/22/09

Inspection Fee Paid: 1/13/09

Amount of Disturbed Area in SF or Acres: < 1 Acre

MCGP/Chapter 500 Stormwater PBR: N/A

Plans/CADD Drawings Submitted: 1/22/09

Pre-Construction Meeting: 1/22/09

Conditions of Approval Met: 5/20/11

As-Builts Submitted: 8/5/11

Public Services Sign Off: 7/19/10

Certificate of Occupancy Memo Processed:
(Temporary or Permanent) 3/26/10 5/27/10
Temp issued Extended
Permanent issued 7/19/10
3/24/10 Reduction from \$487,200 to \$48,720

Performance Guarantee to Defect Guarantee: 7/19/10

Defect Guarantee Released: 8/9/11



PORTLAND, MAINE

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Planning and Urban Development
Penny St. Louis, Director

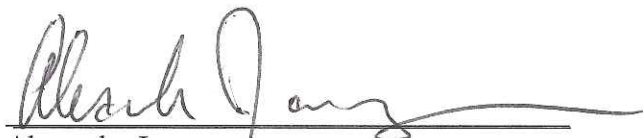
Planning Division
Alexander Jaegerman, Director

TO: Ellen Sanborn, Finance Department
FROM: Alexander Jaegerman, Planning Division Director
DATE: August 8, 2011
SUBJECT: Request for Release of Performance Guarantee
Florence House, 190 Valley Street
(ID# 2007-0156 Lead CBL # 064 F 020001)
(Avesta Florence House, LLC)

Please release the Performance Guarantee, letter of credit #20002961 for the Florence House Project, at 190 Valley Street.

Remaining Balance \$48,720.00

Approved:


Alexander Jaegerman
Planning Division Director

cc: Barbara Barhydt, Development Review Services Manager
Philip DiPierro, Development Review Coordinator

Philip DiPierro - Fwd: Florence House - Valley St - As Builts Submitted OK

From: Philip DiPierro
To: bpoulin@mitchellassociates.biz
Date: 7/26/2011 10:42 AM
Subject: Fwd: Florence House - Valley St - As Builts Submitted OK

Hi Betsy, it sounds like we can wrap this one up. See Bill's message below.

Please let me know when everything has been delivered to Chuck Wordell in Public Services. Also, did all the defective landscape punch list items get replaced that were identified during our most recent defect guarantee inspection?

Upon confirmation of the above items having been completed, I will release the defect guarantee. Thanks.

Phil

Philip DiPierro
Development Review Coordinator
City of Portland Planning Division
389 Congress Street
Portland, Maine 04101

Phone 207 874-8632
Fax 207 756-8258

>>> William Clark 7/25/2011 10:48 AM >>>
Hi Phil,

The as-builts from Mitchell Associates dated 7/12/2011 look good.

Looks like they put in the sewer and storm to St John Street exactly per plan as nothing shows as changed.

Please have them send the CD and Mylars to Charles Wordell. He can incorporate the storm and sewer into our GIS before it gets filed in the vault.

Thanks,

Bill

Philip DiPierro - Florence House - Valley St - As Builts Submitted OK

From: William Clark
To: Philip DiPierro
Date: 7/25/2011 10:48 AM
Subject: Florence House - Valley St - As Builts Submitted OK
CC: Barbara Barhydt; Charles Wordell; David Margolis-Pineo; Michelle Sweeney

Hi Phil,

The as-builts from Mitchell Associates dated 7/12/2011 look good.

Looks like they put in the sewer and storm to St John Street exactly per plan as nothing shows as changed.

Please have them send the CD and Mylars to Charles Wordell. He can incorporate the storm and sewer into our GIS before it gets filed in the vault.

Thanks,

Bill

Philip DiPierro - FW: Avesta Florence Housing LP

From: Debora Keller <dkeller@avestahousing.org>
To: "Philip DiPierro " <PD@portlandmaine.gov>
Date: 3/8/2011 11:44 AM
Subject: FW: Avesta Florence Housing LP

Hi Phil,

The Florence House (190 Valley Street) Letter of Credit expires on June 1, 2011. Obviously there's too much snow for an inspection now, but is it too early to set something up?

I'll need enough time to know if we need to renew this for one more year. Thanks.

Deb Keller

From: Twitchell, Kimberly J [mailto:Kimberly.Twitchell@tdbanknorth.com]
Sent: Tuesday, March 08, 2011 8:30 AM
To: Debora Keller
Subject: RE: Avesta Florence Housing LP

Deb,

Let's wait a little longer. We must notify the City by May 2nd if we don't intend to renew. I would hope we could get some indication from the City prior to that date on their intentions.

Thanks

Kim

Kimberly J. Twitchell
Commercial Real Estate
TD Bank, America's Most Convenient Bank
One Portland Square
P.O. Box 9540
Portland, Maine 04112-9540

(207) 761-8648 phone
(207) 761-8660 fax

kimberly.twitchell@tdbanknorth.com



America's Most Convenient Bank®

From: Debora Keller [mailto:dkeller@avestahousing.org]
Sent: Monday, March 07, 2011 5:08 PM
To: Twitchell, Kimberly J
Subject: RE: Avesta Florence Housing LP

Kimberly,

We won't know until the City is able to inspect and that won't happen prior to the snow melting.

Would it be easier to process a renewal and then cancel it – or to wait awhile longer before starting a renewal?

-Deb

Debora Keller, Director of Development
Avesta Housing
307 Cumberland Avenue
Portland, ME 04101
dkeller@avestahousing.org
www.avestahousing.org
(207)553-7780 ext 228

From: Twitchell, Kimberly J [mailto:Kimberly.Twitchell@tdbanknorth.com]
Sent: Monday, March 07, 2011 3:53 PM
To: Debora Keller
Subject: Avesta Florence Housing LP

Deb,

The above Letter of Credit # 20002961 in favor of the City of Portland expires on June 1, 2011. Will you need the Bank to renew this L/C or will the City return it?

Kim

Kimberly J. Twitchell
Commercial Real Estate
TD Bank, America's Most Convenient Bank
One Portland Square
P.O. Box 9540
Portland, Maine 04112-9540

(207) 761-8648 phone
(207) 761-8660 fax

kimberly.twitchell@tdbanknorth.com



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Memorandum
Department of Planning and Urban Development
Planning Division



TO: Inspections Department

FROM: Philip DiPierro, Development Review Coordinator

DATE: July 19, 2010

RE: C. of O. for #190 Valley Street, Florence House
(Id#2007-0156) (CBL 064 F 020001)

After visiting the site, I have the following comments:

Site work complete:

At this time, **I recommend issuing a Permanent Certificate of Occupancy.**

Cc: Inspection Services Manager
File: Barbara Barhydt, Development Review Services Manager
File: Urban Insight



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Director of Planning and Urban Development
Penny St. Louis Littell

Planning Division, Director
Alexander Jaegerman

May 3, 2010

Ethan Boxer-Macomber
Development Officer
307 Cumberland Avenue
Portland, Maine 04101

Dear Ethan:

Phil DiPierro inspected the site next to Florence House today. He confirmed that the site has been cleared of vegetation. He also confirmed that it appears there is no alteration of a watercourse, drain or swale, thus the site work does not trigger site plan review. Based upon his assessment, we recommend that you complete the stabilization of the site as soon as possible.

A stop work order was not placed on the project, but we did ask that no work be performed on the site over the weekend. We appreciate that Avesta and your contractor adhered to our request and you provided a more detailed summary of the pending site work. We look forward to seeing the plans for the community garden.

Thank you for the information in your May 3, 2010 letter and if you have any questions, please contact me.

Sincerely,


Barbara Barhydt
Development Review Services Manager

Cc: Deb Keller, Development Director
Mike Adams, Ganneston Construction
Alexander Jaegerman, Planning Division Director
Jean Fraser, Planner



Bank

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TD Bank, N.A.
Global Trade Finance
17 New England Executive Park
1st Floor
Burlington, MA 01803
w.w.w.tdbank.com

Date: May 20, 2010

IRREVOCABLE STANDBY LETTER OF CREDIT NUMBER 20002961

BENEFICIARY

Director of Planning and Development
City of Portland
Attn: Penny Littell
389 Congress Street
Portland, ME 04101

CUSTOMER

Avesta Housing Development Corporation
307 Cumberland Ave.
Portland, ME 04101
Attn: Deb Keller

Dear Beneficiary:

We hereby amend our Irrevocable Standby Letter of Credit Number **20002961**
Amendment Number 3:

- ✓ The Customer's name has been changed to read as shown above.
- ✓ The expiration date has been extended from April 16, 2011 to June 1, 2011.
- ✓ The auto renewal date will now be calculated from June 1, 2011.

All demands for payment and all other communications to the Bank relative to this Letter of Credit shall be in writing and addressed and presented to TD Bank, N.A, Global Trade Finance, 17 New England Executive Park, 1st Floor, and Burlington, MA 01803.

All other terms and conditions remain unchanged. This amendment is considered an integral part of the Letter of Credit and must be attached thereto.

TD Bank, N.A.

By: Kimberly J. Twitchell
Kimberly J. Twitchell
Its: Senior Vice President

Please address all inquires related to the contents of this item to the above address, Attn: Global Trade Finance, Standby Letter of Credit Dept., or by calling: Tom Maslin @ (781) 229-7139 or John Amuzzini @ 781-229 7141. Our Fax # (781) 229-7127

Diogo M...
DRC
5/27/10



Bank

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Global Trade Finance
17 New England Executive Park
1st Floor
Burlington, MA 01803
w.w.w.tdbank.com

5/12/10

Date: May __, 2010

IRREVOCABLE STANDBY LETTER OF CREDIT NUMBER 20002961

BENEFICIARY

Director of Planning and Development
City of Portland
Attn: Penny Littell
389 Congress Street
Portland, ME 04101

CUSTOMER

Avesta Housing Development Corporation
307 Cumberland Ave.
Portland, ME 04101
Attn: Deb Keller

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TD Bank, N.A.

By: _____

G. Thomas Maslin

Its: Vice President

Please address all inquires related to the contents of this item to the above address, Attn: Global Trade Finance, Standby Letter of Credit Dept., or by calling: Tom Maslin @ (781) 229-7139 or John Amuzzini @ 781-229 7141. Our Fax # (781) 229-7127



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TD Bank, N.A.
Global Trade Finance
17 New England Executive Park
1st Floor
Burlington, MA 01803
w.w.w.tdbank.com

Date: April 16, 2010

IRREVOCABLE STANDBY LETTER OF CREDIT NUMBER 20002961

BENEFICIARY

Director of Planning and Development
City of Portland
Attn: Penny Littell
389 Congress Street
Portland, ME 04101

CUSTOMER

Avesta Florence Housing LP
307 Cumberland Ave.
Portland, ME 04101
Attn: Deb Keller

Dear Beneficiary:

We hereby amend our Irrevocable Standby Letter of Credit Number **20002961**
Amendment Number 2:

- This Irrevocable Standby Letter of Credit has been reduced by US\$ 438,480.00 to a new aggregate balance of US\$ 48,720.00. This reduction is in accordance with a letter received from Ellen Sanborn, Finance Director of the City of Portland dated March 31, 2010.
- **Delete the following:** "This Irrevocable Standby Letter of Credit is now a Defect Letter of Credit and per the conditions contained within the expiry date is now April 6, 2011."
- **The following clause is reinstated to the terms of the Letter of Credit:** "This performance guarantee will automatically expire on **April 16, 2010** ("Expiration Date") or on the date when the City determines that all improvements guaranteed by this Letter of Credit are satisfactorily completed, whichever is earlier. It is a condition of this Letter of Credit that it is deemed to be automatically extended without amendment for period(s) of one year each from the current Expiration Date hereof, or any future Expiration Date, unless within thirty (30) days prior to any expiration, the Bank notifies the City by certified mail (restricted delivery to Ellen Sanborn, Director of Finance, City of Portland, 389 Congress Street, Portland, Maine 04101) that the Bank elects not to consider this Letter of Credit renewed for any such additional period."

**PAGE 2 OF AMENDMENT TO IRREVOCABLE STANDBY
LETTER OF CREDIT NUMBER 20002961**

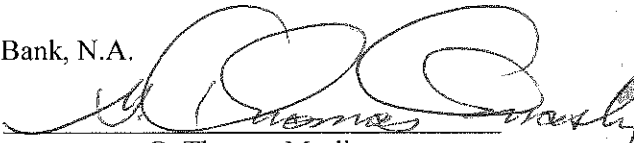
- In accordance with the auto renewal terms of this Irrevocable Standby Letter of Credit, the expiration date now reads as April 16, 2011.

All demands for payment and all other communications to the Bank relative to this Letter of Credit shall be in writing and addressed and presented to TD Bank, N.A., Global Trade Finance, 17 New England Executive Park, 1st Floor, and Burlington, MA 01803.

All other terms and conditions remain unchanged. This amendment is considered an integral part of the Letter of Credit and must be attached thereto.

TD Bank, N.A.

By:



G. Thomas Maslin

Its:

Vice President

Please address all inquires related to the contents of this item to the above address, Attn: Global Trade Finance, Standby Letter of Credit Dept., or by calling: Tom Maslin @ (781) 229-7139 or John Amuzzini @ 781-229 7141. Our Fax # (781) 229-7127

COPY



America's Most Convenient Bank®

TD Bank, N.A.
Global Trade Finance
17 New England Executive Park
1st Floor
Burlington, MA 01803
w.w.w.tdbank.com

Date: April 6, 2010

IRREVOCABLE STANDBY LETTER OF CREDIT NUMBER 20002961

BENEFICIARY

CUSTOMER

Director of Planning and Development
City of Portland
Attn: Penny Littell
389 Congress Street
Portland, ME 04101

Avesta Florence Housing LP
307 Cumberland Ave.

Dear Beneficiary:

We hereby amend our Irrevocable
Amendment Number 1:

- This Irrevocable Standby Letter of Credit shall be amended to increase the aggregate balance of the Letter of Credit from Ellen Sanborn to \$438,480.00.
- This Irrevocable Standby Letter of Credit shall be amended to change the conditions contained in the Letter of Credit to the conditions set forth in the attached Letter of Credit and per the attached Letter of Credit.

4/13/10

This amendment
has NOT been accepted.
See letter to
Tom Maslin.

438,480.00 to a new
Letter of Credit with a letter received
March 31, 2010.

Credit and per the

- **The following clause is deleted:** "This performance guarantee will automatically expire on **April 16, 2010** ("Expiration Date") or on the date when the City determines that all improvements guaranteed by this Letter of Credit are satisfactorily completed, whichever is earlier. It is a condition of this Letter of Credit that it is deemed to be automatically extended without amendment for period(s) of one year each from the current Expiration Date hereof, or any future Expiration Date, unless within thirty (30) days prior to any expiration, the Bank notifies the City by certified mail (restricted delivery to Ellen Sanborn, Director of Finance, City of Portland, 389 Congress Street, Portland, Maine 04101) that the Bank elects not to consider this Letter of Credit renewed for any such additional period."

All demands for payment and all other communications to the Bank relative to this Letter of Credit shall be in writing and addressed and presented to TD Bank, N.A, Global Trade Finance, 17 New England Executive Park, 1st Floor, and Burlington, MA 01803.

**PAGE 2 OF AMENDMENT TO IRREVOCABLE STANDBY
LETTER OF CREDIT NUMBER 20002961**

All other terms and conditions remain unchanged. This amendment is considered an integral part of the Letter of Credit and must be attached thereto.

TD Bank, N.A.

By: 

G. Thomas Maslin

Its:

Vice President

Please address all inquires related to the contents of this item to the above address, Attn: Standby Letter of Credit Dept., or by calling: Tom Maslin @ (781) 229-7139 or John Amuzzini @ 781-229 7141. Our Fax # (781) 229-7127



Bank

America's Most Convenient Bank®

TD Bank, N.A.
Global Trade Finance
17 New England Executive Park
1st Floor
Burlington, MA 01803
w.w.w.tdbank.com

Date: April 6, 2010

IRREVOCABLE STANDBY LETTER OF CREDIT NUMBER 20002961

BENEFICIARY

Director of Planning and Development
City of Portland
Attn: Penny Littell
389 Congress Street
Portland, ME 04101

CUSTOMER

Avesta Florence Housing LP
307 Cumberland Ave.
Portland, ME 04101
Attn: Deb Keller

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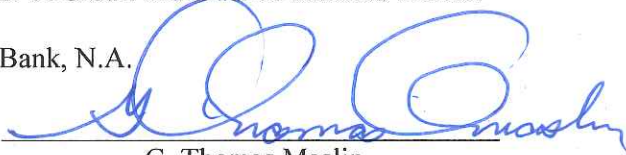
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PAGE 2 OF AMENDMENT TO IRREVOCABLE STANDBY
LETTER OF CREDIT NUMBER 20002961

All other terms and conditions remain unchanged. This amendment is considered an integral part of the Letter of Credit and must be attached thereto.

TD Bank, N.A.

By:



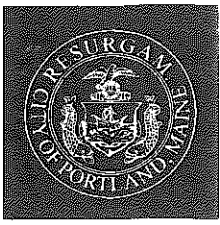
G. Thomas Maslin

Its:

Vice President

Please address all inquires related to the contents of this item to the above address, Attn: Standby Letter of Credit Dept., or by calling: Tom Maslin @ (781) 229-7139 or John Amuzzini @ 781-229 7141. Our Fax # (781) 229-7127

COPY



Strengthening a Remarkable City, Building a Community for Life www.portlandmaine.gov

Planning & Urban Development Department
Penny St. Louis Littell, Director

April 13, 2010

Mr. Tom Maslin
TD Bank, N.A.
Global Trade Finance
17 New England Executive Park
1 st Floor
Burlington, MA 01803

RE: Avesta Florence Housing LP, 307 Cumberland Ave., Portland, ME 04101, Attn: Deb Keller

Dear Mr. Maslin:

This letter is in response to our recent telephone conversation relating to the amendment to Irrevocable Standby Letter of Credit Number 20002961. As discussed, the amendment that you submitted cannot be accepted for the following reasons.

1. A portion of the site work covered by this Letter of Credit has not been completed; therefore the Irrevocable Standby Letter of Credit has not converted to a Defect Letter of Credit. Language relating to Conversion to a Defect Letter of Credit cannot be included with an amendment at this time.
2. The proposed amended expiration date of April 6, 2011 cannot be accepted. The Land Use Ordinance requires that no Performance Guarantee expire between November 1 and April 15 of the following year. I would recommend a revised expiration date of June 1, 2011.
3. The following clause cannot be deleted: "This performance guarantee will automatically expire on **April 16, 2010** ("Expiration Date") or on the date when the City determines that all improvements guaranteed by this Letter of Credit are satisfactorily completed, whichever is earlier. It is a condition of this Letter of Credit that it is deemed to be automatically extended without amendment for period(s) of one year each from the current Expiration Date hereof, or any future Expiration Date, unless within thirty (30) days prior to any expiration, the Bank notifies the City by certified mail (restricted delivery to Ellen Sanborn, Director of Finance, City of Portland, 389 Congress Street, Portland, Maine 04101) that the Bank elects not to consider this Letter of Credit renewed for any such additional period".

Please submit a revised amendment that addresses the items outlined above, and feel free to contact me with any questions.

Sincerely,

Philip DiPierro
Development Review Coordinator

Electronic cc: Peggy Axelsen, Finance Department



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life

www.portlandmaine.gov

Finance Department
Ellen Sanborn, Director

March 31, 2010

TD Bank, N.A.
17 New England Executive Park, 1st Floor
Burlington, MA 01803

Re: Avesta Florence Housing, LP – 307 Cumberland Avenue, Portland, ME
Letter of Credit No. 20002961 dated January 20, 2009

This is to inform you that I am authorizing the reduction in the above-named letter of credit by the amount of \$438,480.00, which leaves a balance of \$48,720.00 remaining.

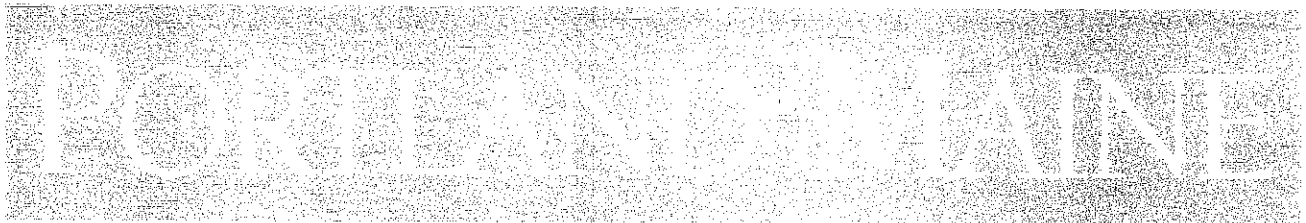
If you require any further information, please let me know.

Sincerely,

Ellen Sanborn
Finance Director

ES:mma

cc: Barbara Barhydt, Development Review Services Manager
Philip DiPierro, Development Review Coordinator



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Planning & Urban Development Department
Penny St. Louis Littell, Director

Planning Division
Alexander Jaegerman, Director

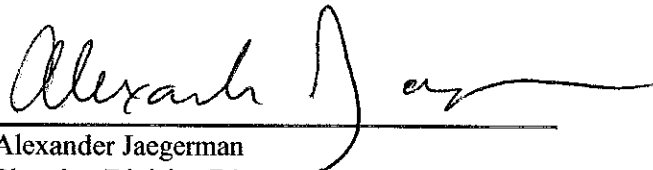
TO: Ellen Sanborn, Finance Department
FROM: Alexander Jaegerman, Planning Division Director
DATE: March 24, 2010
SUBJECT: Request for Reduction of Performance Guarantee
Florence House, 190 Valley Street
(ID# 2007-0156 Lead CBL # 064 F 020001)
(Avesta Florence House, LLC)

Please reduce the letter of credit #20002961 for the Florence House Project, at 190 Valley Street.

Original Amount	\$487,200.00
<u>This Reduction</u>	\$ 438,480.00
Remaining Balance	\$ 48,720.00

This is the first reduction for the project.

Approved:



Alexander Jaegerman
Planning Division Director

cc: Barbara Barhydt, Development Review Services Manager
Philip DiPierro, Development Review Coordinator
File: Urban Insight

TO: Inspections Department
FROM: Philip DiPierro, Development Review Coordinator
DATE: March 26, 2009
RE: C. of O. for #190 Valley Street, Florence House
(Id#2007-0156) (CBL 064 F 020001)

After visiting the site, I have the following comments:

Site work incomplete:

1. Landscaping, loaming & seeding,
2. Final paving & striping,
3. Expose covers in entry driveway for 1 drainage manhole & 1 sewer manhole prior to surface coat paving,
4. Submission of revised photometrics plan,
5. Repairs to brick sidewalk where needed,
6. Minor Miscellaneous site work,

I anticipate this work can be completed by **June 1, 2010**.

At this time, **I recommend issuing a temporary Certificate of Occupancy.**

Cc: Barbara Barhydt, Development Review Services Manager
Inspection Services Manager
File: Urban Insight

Luminaire Location Summary					
Label	X	Y	Z	Orient	Tilt
STS3HS-WM	3057.625	2859.875	11	8.13	0
STS3HS-WM	3064.125	2805.125	11	8.13	0
STS3	3057.25	2645.125	15	6.882	0
STS3	3056.25	2714.125	15	6.882	0
STS4hs	2995	2706.875	18	345.964	0
STS4hs	3003.875	2625.25	18	22.649	0
STS3HS-WM	3067.5	2773.875	11	8.13	0
STS4	3046.25	2626.5	18	130.799	0
K	3061.51	2838.016	8.3	6.582	0
K	3060.139	2849.89	8.3	6.582	0
K	3067.47	2737.829	12.7	6.582	0
K	3062.749	2742.322	12.7	6.582	0
K	3068.905	2742.762	12.7	6.582	0
K	3072.193	2743.41	12.7	6.582	0
K	3063.331	2737.347	12.7	6.582	0

Luminaire Location Summary					
Label	X	Y	Z	Orient	Tilt
K	3072.193	2743.41	12.7	6.582	0
K	3063.331	2737.347	12.7	6.582	0
K	3072.761	2738.439	12.7	6.582	0
K	3069.866	2733.074	12.7	6.582	0
K	3063.904	2732.386	12.7	6.582	0
K	3065.956	2731.469	12.7	6.582	0
K	3048.839	2730.644	12.7	6.582	0
K	3042.871	2729.956	12.7	6.582	0
K	3008.454	2831.683	9.25	6.582	0
K	3009.143	2825.727	9.25	6.582	0
K	3009.82	2819.754	9.25	6.582	0
K	3060.82	2843.974	8.3	6.582	0
K	3003.268	2725.703	-3.46	6.582	0
K	2997.307	2725.016	-3.46	6.582	0

Calculation Summary										
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min			
CalcPts	illumiance	Fc	0.35	5.2	0.0	N.A.	N.A.			
Parking Area - Perimeter Curb	illumiance	Fc	0.34	0.5	0.2	1.70	2.50			
Basement Canopy Area - Grid @ Negative 12-Foot	illumiance	Fc	1.97	3.3	0.5	3.94	6.60			
Parking Area	illumiance	Fc	1.34	3.8	0.2	6.70	19.00			
Drive Through	illumiance	Fc	1.72	3.8	0.6	2.87	6.33			

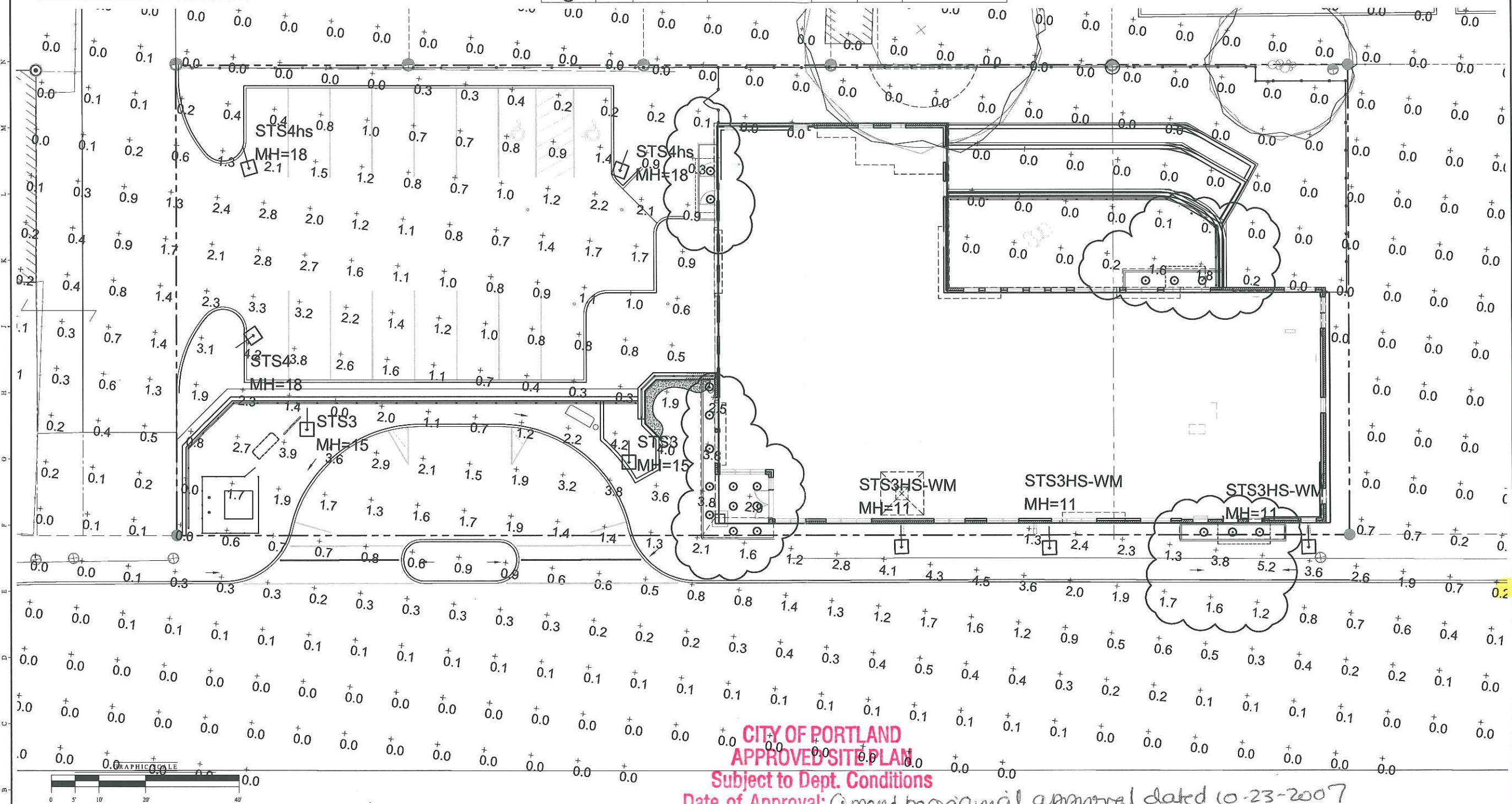
Luminaire Schedule						
Symbol	Qty	Label	Description	Lumens	LLF	Filename
☐	1	STS4	STS4_175MH-ED17	12800	0.720	sts4-175m.ies
☐	2	STS4hs	STS4_175MHxxx_xi_HS	12800	0.720	sts4-175m-hs.ies
☐	3	STS3HS-WM	STS3_100MH-ED17_HS	8800	0.720	sts3-100p-hs.ies
☐	2	STS3	STS3_175MH-ED17	12800	0.720	sts3-175m.ies
⊙	19	K	P83 (13W Source File)	1710	0.807	98043.IES

1. THIS LIGHTING DESIGN IS BASED ON LIMITED INFORMATION SUPPLIED BY OTHERS TO HUBBELL LIGHTING. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.

2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.

3. CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.

Statistical Area Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
Parking Area	1.34	3.8	0.2	6.70	19.00
Drive Through	1.72	3.8	0.6	2.87	6.33



HUBBELL
Hubbell Lighting, Inc.
701 MILLENNIUM BLVD
GREENVILLE, SC
29607

Gawron Turgeon ARCHITECTS
29 Black Point Road
Scarborough, Maine 04074
www.gawronturgeon.com
207-883-4307 tel 207-883-0261 fax

AVESTA HOUSING

FLORENCE HOUSE
190 VALLEY STREET
PORTLAND, MAINE

Preble Street

REVISIONS	
#	DATE DESCRIPTION
1	04.03.07 CONTRACT ZONE SUB.
2	05.23.07 CONTRACT ZONE REV.
3	07.10.07 CONTRACT ZONE REV.
4	09.04.07 SITE PLAN AND SUBDIVISION REVIEW
5	10.02.07 FINAL SITE PLAN REVIEW
6	10.23.07 FINAL SITE PLAN REVISIONS
7	11.16.07 50% REVIEW SET
8	12.17.07 MAINE HOUSING 50% REVIEW SET
9	05.02.08 MAINE HOUSING 90% REVIEW SET
10	07.31.08 MAINE HOUSING 100% REVIEW SET
11	09.02.08 100% BID DOCUMENTS
12	09.23.08 CITY STAFF REVIEW rev. PHOTOMETRICS
13	03.24.10 rev. PHOTOMETRICS

DATE:	03.24.10
PROJECT #:	100405
DRAWN BY:	KLD
CHECKED BY:	RS
DRAWING SCALE:	1" = 10'-0"

SHEET TITLE
LIGHTING - PHOTOMETRICS PLAN

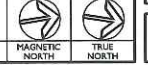
L401

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CITY OF PORTLAND APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: Amend to original approval dated 10-23-2007

This is diminimus app to small lights added in 4 places - approved 3.26.2010
(see sheets att.)

A1 LIGHTING - PHOTOMETRICS PLAN
1" = 10'





Compact Fluorescent

6" Single Vertical Lamp Housing
IC/Air-Tight/Energy Star

Recessed

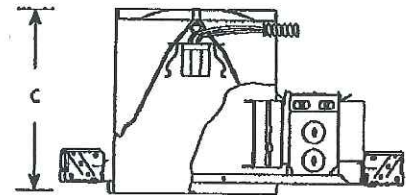
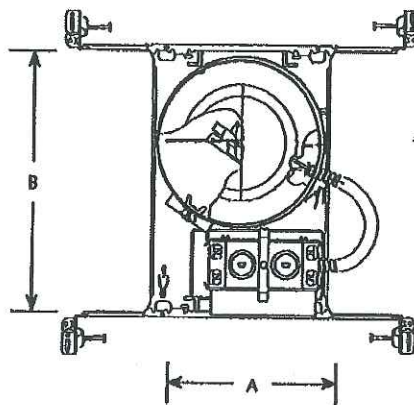
FLORENCE HOUSE
TYPE K
PROGRESS
P83-26ICAT/P8062-28
REXEL NE PROJECTS GROUP

Type _____
P83-26ICAT

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: toong 10-23-2007

amendment re adding
fluorescents as shown
on L401 Rev 13
approved 3-26-2010 *A*

Catalog No.	Lamping	Dimensions (Inches)		
		A	B	C
P83-26ICAT	(1) 26w Triple CF (4-pin)	7-7/8	10-3/4	7-1/2
		Ceiling Opening 6-7/8		



Specifications:

Wiring

- Universal junction box with snap-out sides
- Removable housing for field inspection of wiring
- Grounding pigtail
- Knockout free Romex clamps
- 1/2" & 3/4" Knock outs for rigid or BX fittings
- Electronic NPF 120-volt ballast with end of life protection
- Pre-installed 4-port wire quick connects

Construction

- Notched housing for chalkline alignment
- Full wrap-around plaster frame
- Removable K.O. for remodel use (P8607-01 plaster frame clips also required)
- Galvanized steel construction
- Toolless adjustment for 1/2" to 2-1/2" thick ceilings

Bar Hangers

- Integral 1/2 ga. fluted nail for wood joist construction
- Integral snap-on T-bar mounting clip
- Rigid male/female design spans 24" for suspended ceilings

- Lock to secure housing
- Captive with extension stop tab
- 90-degree mounting for tight spaces
- Joint alignment tab

Labeling

- UL-CUL listed for damp locations
- Not rated for through branch wiring, but can be daisy chained
- Complies with Washington State Energy Code (WSEC) requirement for Air tight
- Complies with California Title 24 Legislation
- Complies with Energy Star
- IC rated

Lamp/Trim

- Trim-Lok® action forces trim to fit snugly against the ceiling
- Socket mounts to trim for optimum performance, and provides consistent vertical lamp position
- Single-lamp vertical 26w (4-pin) G24q-3 or GX24q-3 compact fluorescent
- Foil gasket included to complete air-tight installation



Progress Lighting
701 Millennium Blvd.
Greenville, South Carolina
29607

www.progresslighting.com

Rev. 2/09



Compact Fluorescent

6" Fresnel Lens Shower Light
with Reflector
IC & Non-IC

Recessed

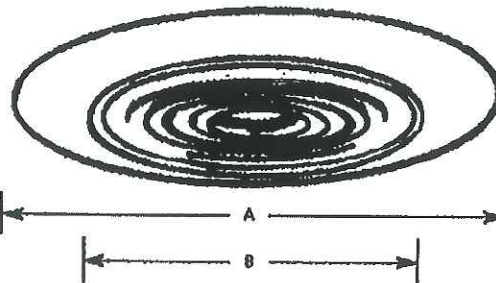
**CITY OF PORTLAND
APPROVED SITE PLAN**
Subject to Dept. Conditions
Date of Approval: asdiminimus

FLORENCE HOUSE
TYPE K
PROGRESS
P83-26ICAT/P8062-28
REXEL NE PROJECTS GROUP

Type _____
-28
P8062

app. adding this
light per L 401 Rev 3
orig app: 10-23-2007
this app: 03-26-2010

Catalog No.	Finish	Dimensions (Inches)	
		A	B
P8062	White -28	7-3/4	5-3/16



Lamp Wattage	IC	Non-IC
P83-AT	13w 4-pin Triple-tube CF	13w 4-pin Triple-tube CF
P83-ICAT	13w 4-pin Quad/Triple-tube CF	13w 4-pin Quad/Triple-tube CF
P88-ICAT	18w 4-pin Quad/Triple-tube CF	18w 4-pin Quad/Triple-tube CF
P183-EB	13w 4-pin Triple-tube CF	13w 4-pin Triple-tube CF
P83-26ICAT	26w 4-pin Triple-tube CF	26w 4-pin Triple-tube CF
P62-FB	N/A	26 or 32w 4-pin Triple-tube CF

Specifications:

Flange

- Bright white powdered painted metal flange
- No light leaks around trim flange
- Covers irregular ceiling openings

Trim

- Steel Construction
- Built -in bracket to accept Trim-Lok spring
- Trim-Lok action forces trim to fit snugly against the ceiling
- Full internal aluminum reflector
- Socket mounts to trim for optimum performance and consistent lamp position

Lamps

- Maximum overall length of lamp cannot exceed 4.8" (4-11/16")
- Available is Progress 7808-01 (26w)

Labels

- UL-CUL wet location listed

Progress Lighting
Post Office Box 5704
Spartanburg, South Carolina
29304-5704

www.progresslighting.com
Patent# 5,758,977

Rev.5/05

FLORENCE HOUSE
 TYPE K
 PROGRESS
 P83-26ICAT/P8062-28
 REXEL NE PROJECTS GROUP

P83
P83 WITH 8062-28

Report No. 98043

No. Lamps: 1 Type Lamp: 13W QUAD CF - GE Total Lumens: 860

Fixture Efficiency: 17.7%

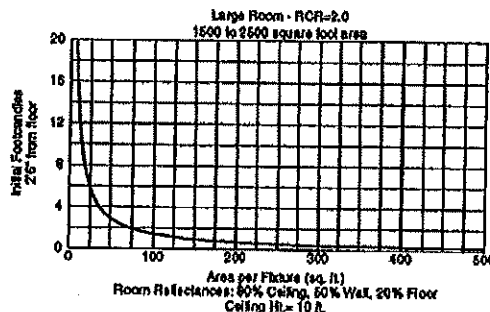
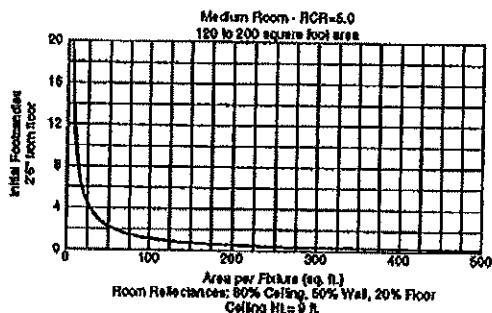
S/MH Ratio: 1.1

Single Fixture Data

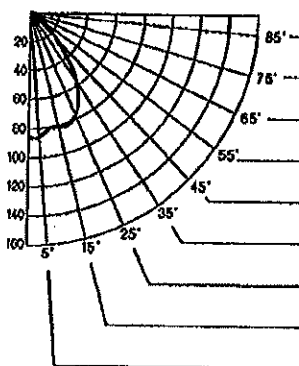
Ceiling Ht.(Ft.)	10% Values		Zero Degrees	50% Values	
	Beam Angle - 91°			Beam Angle - 62°	
	Ft.-C	Beam Dia.		Ft.-C	Beam Dia.
8	0.3	11	2.8	1.4	7
10	0.2	15	1.5	0.8	9
12	0.1	19	0.9	0.5	11
14	0.1	24	0.6	0.3	14
16	0.0	28	0.5	0.2	16

Ft.-C (Footcandles) are Initial and measured 2'-8" from floor

Quick Calculator Charts



DISTRIBUTION CURVE



INTENSITY DATA

DEGREES	DATA
90	0
85	2
80	4
75	6
70	8
65	10
60	11
55	13
50	17
45	27
40	42
35	57
30	69
25	77
20	81
15	81
10	81
5	88
0	88

ZONAL CAVITY COEFFICIENTS OF UTILIZATION

Effective Floor Cavity Reflectance 0.20

FC	Effective Floor Cavity Reflectance 0.20																	
	90		70		60		50		30		10		0					
FW	70	50	30	10	70	50	30	10	50	30	10	50	30	10	0			
0	21	21	21	21	20	20	20	20	20	20	19	19	19	18	18	18		
1	19	19	18	18	19	19	18	17	18	17	17	17	16	16	16	16		
2	18	17	16	16	18	17	16	15	16	15	15	15	14	15	14	14		
3	17	15	14	13	16	15	14	13	14	14	13	14	13	13	14	12	12	
4	16	14	13	12	15	14	12	11	13	12	11	13	12	11	12	12	11	11
5	15	13	11	10	14	12	11	10	12	11	10	12	11	10	11	11	10	10
6	14	12	10	9	13	11	10	9	11	10	9	11	10	9	11	10	9	9
7	13	11	9	8	12	11	9	8	10	9	8	10	9	8	10	9	8	8
8	12	10	9	8	12	10	8	8	10	8	8	9	8	8	9	8	7	7
9	11	9	8	7	11	9	8	7	9	8	7	9	8	7	8	8	7	7
10	11	9	7	6	10	8	7	6	8	7	6	8	7	6	8	7	6	6

CITY OF PORTLAND, MAINE
PLANNING BOARD

Michael J. Patterson, Chair
Janice E. Teyanian, Vice Chair
Thatcher Freund
Bill Hall
Lee Lowry III
Shalom Odokara
David Silk

*Closing on 1/15/09
BP to be issued*

November 9, 2007

Avesta Florence House LP; Florence House Housing Corporation
(FHHC); Florence House Condominium Association
C/O Debora Keller
Development Officer
Avesta Housing
307 Cumberland Avenue
Portland, ME. 04101

John D. Mitchell
Mitchell & Associates
The Staples School
70 Center Street
Portland ME. 04101

RE: Florence House
Vicinity of 190 Valley Street, Portland
CBL: 68-A-11 and 64-F-20
Application ID: Rezone #1139
Site Plan/Subdivision #2007-0156

Dear Ms Keller and Mr Mitchell:

On September 17th, 2007, the City Council adopted a Conditional Rezoning of 190 Valley Street. A copy of the City Council Motion and Conditional Zone Agreement are included as Attachments 1 and 2.

October 23rd, 2007, the Portland Planning Board considered the Florence House proposed subdivision/site plan for 190 Valley Street: a 31,272 sq. ft. residential building of 3 stories plus a partial daylight basement, comprising 25 studio apartments, 15 safe haven units and a maximum of 25 emergency shelter beds along with other accommodation, support facilities, parking, drop off area, and landscaping. The Planning Board voted 5-0 to approve the following motions regarding the proposed Florence House project:

On the basis of plans and materials submitted by the applicant and on the basis of information contained in Planning Board Report #47-07 relevant to standards for subdivision and site plan regulations, and other findings as follows:

1. That the plan is in conformance with the subdivision standards of the land use code with the following conditions of approval:
 - i. That the final recording subdivision plat will be completed to the satisfaction of the Corporation Counsel and include a list of any conditions imposed by the Planning Board, and will be submitted for the Planning Board's Signature; and
 - ii. That the applicant shall receive approval of its Condominium Documents and the issuance of a License from the City for uses within the right of right of way, through the City's Corporation Counsel office; and

done

done

done

- iii. That the developer shall contribute \$3000 towards the City's Street Tree Program to cover the cost of purchasing and planting fifteen (15) street trees in the vicinity of the project (based on the provision of one tree per unit less the cost of the ten (10) trees along Valley Street to be planted as part of the project). The contribution shall be provided prior to issuance of a Building Permit.

2. That the plan is in conformance with the site plan standards of the land use code with the following conditions of approval.

done

- i. That the applicant shall make a \$5,000 contribution to the City, prior to the issuance of a Building Permit, towards the implementation of traffic calming improvements on Valley Street between Congress Street and Commercial Street; and
- ii. That the applicant shall ensure that the approved Management Plan contained in this Report is forwarded to all those responsible for the building and its operation, and shall facilitate adherence to that Plan; and

done

- iii. That the applicant shall submit for review and approval by the Planning Authority, prior to the issuance of a Certificate of Occupancy, the location, size and design details of all signage; and

done

- iv. That the applicant shall submit for review and approval by the Planning Authority, prior to the issuance of a Building Permit, the details, size, specifications and materials of the trim boards, window trim and cornice (which should be dimensional stock), awnings and segmental blocks; and

done

- v. That the applicant should adhere to the arboricultural practices shown on the submitted letters, plans and details and those outlined in the comments from the City Arborist of 10.18.2007 to protect the large Silver Maple tree in the rear yard of 213 St John Street. If during the first 2 years from Certificate of Occupancy this tree becomes unstable due to root loss or other construction damage related to the project, the applicant shall be responsible for pruning, removal and replacement of the tree if necessary and agreed with the owner. If removal and replacement is necessary, the replacement tree should be of 3 inch caliper of the same species (or other species as agreed with the owner); and

done

- vi. That the applicant shall submit for review and approval by the Planning Authority, prior to the issuance of a Building Permit, details, catalog cuts and illumination information regarding the proposed wall-mounted lights on the Valley Street elevation; and

done ok

- vii. That the applicant shall brick over the entire island (in the pull-off right-of-way) to match the sidewalk in the event the planted portion becomes unsightly; and

done

- viii. That the applicant continue to work with the City's Urban Designer to refine the architecture to better align the windows to create a more unified design and to mitigate the blank wall facing the St John Street abutters; and

done

- ix. That the applicant shall submit for review and approval by Urban Designer Marsh, prior to the issuance of a Building Permit, the design, materials and specifications for screening the rooftop appurtenances; and

- x. That the applicant shall meet the noise standards of the Portland City Code and shall mitigate violations thereof.

The approval is based on the submitted site plan and subdivision plat and the findings related to site plan and subdivision review standards as contained in Planning Board Report #47-07 (attached as Attachment 3).

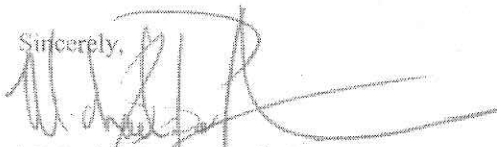
Please note the following provisions and requirements for all subdivision and site plan approvals:

1. Updated plans (seven sets) meeting the Planning Board's conditions of approval must be submitted for review and approval by the Planning Office **prior to the issuance of any permits.** If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.
2. The above approvals do not constitute approval of building plans, which must be reviewed and approved by Portland's Inspection Division.
3. Mylar copies of the construction drawing for the subdivision must be submitted to the Public Works Department prior to the release of the plat. Final sets of plans shall be submitted digitally to the Planning division on a CD or DVD, in Autocad format (*.dwg), release Autocad 2005 or greater.
4. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount must be submitted to and approved by the Planning Division and Public works prior to the recording of the subdivision plat and prior to the release of the building permit. The subdivision approval is valid for three (3) years.
5. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
6. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
7. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
8. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Jean Fraser at 874-8728.

Sincerely,



Michael J. Patterson, Chair
Portland Planning Board

- Attachments:
1. City Council Motion
 2. Conditional Zone Agreement
 3. Planning Board Report #47-07 and Addendum #1 (text only)
 4. City Arborist comments of 10.18.2007 and submitted Tree Preservation Guidelines
 5. Approved Management Plan

Electronic Distribution:

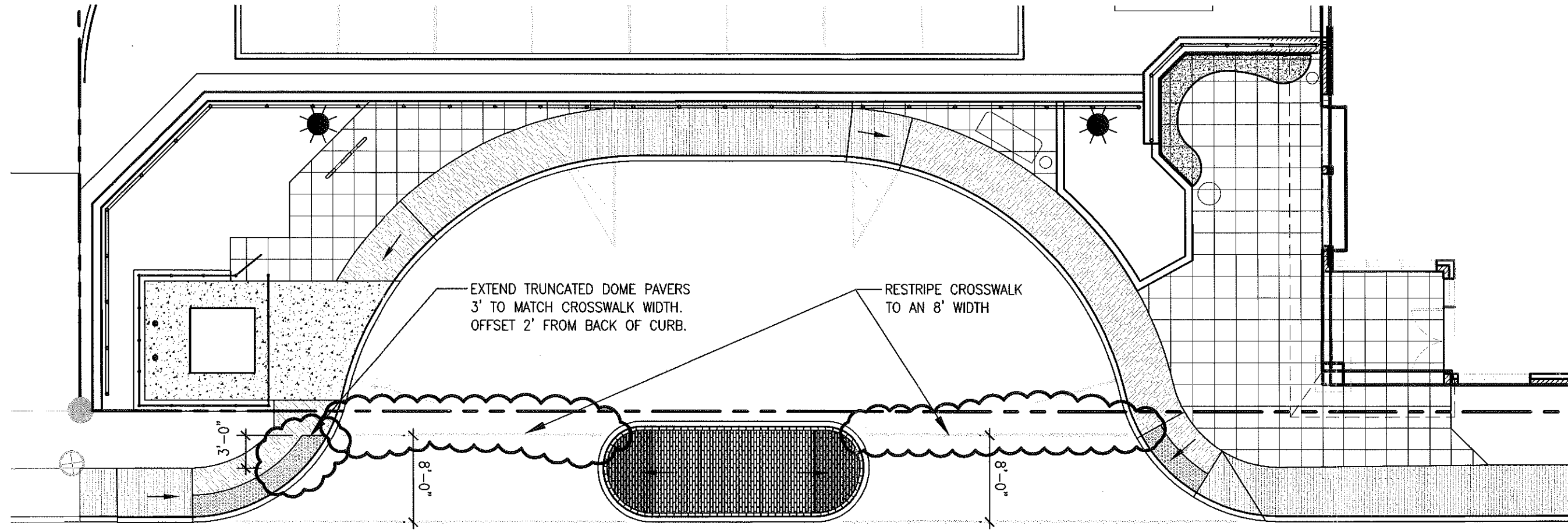
cc: Lee D. Urban, Planning and Development Department Director
Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Jean Fraser, Planner
Philip DiPierro, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Michael Bobinsky, Public Works Director
Jeannie Bourke, Inspections Division
Katherine Earley, Public Works
Bill Clark, Public works
Jim Carmody, Transportation Manager
Michael Farmer, Public Works
Jeff Tarling, City Arborist
Captain Greg Cass, Fire Prevention
Assessor's Office
Approval Letter File



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ARCHITECTS

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207-883-6307 tel 207-883-0361 fax

FLORENCE HOUSE
Traffic Island - Truncated Dome Pavers



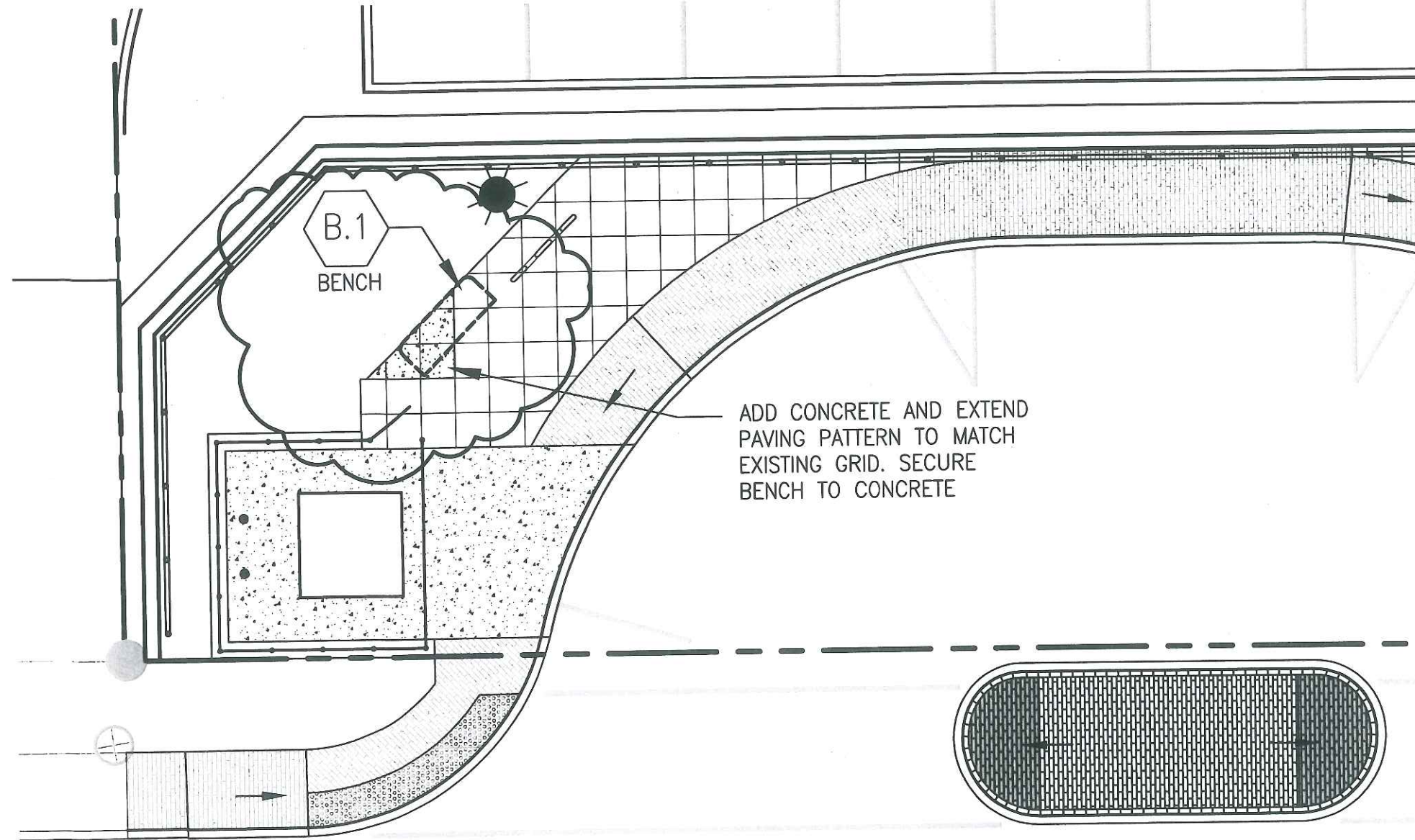
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DATE:	12.22.09
PROJECT #:	100405
DRAWN BY:	KLD
DRAWING SCALE:	1/4" = 1'-0"

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**CITY OF PORTLAND
APPROVED SITE PLAN**
Subject to Dept. Conditions
Date of Approval: *Original approval*
10-23-2007.

*The addition of a bench is approved
as a de minimus amendment
01-28-2010
J Jean Fraser*

B.1 MANUFACTURER: WABASH VALLEY MANUFACTURING, INC.
MODEL NUMBER: CN420 (P) - 6' BENCH WITH BACK, SURFACE MOUNT
MC104 (P)- 4 MOUNTING PLATE COVERS
PATTERN: PERFORATED
COLOR: MATCH EXISTING...DARK BRONZE
QUANTITY: 1
ADDRESS: WABASH VALLEY MANUFACTURING, INC.
P.O. BOX 5, 505 E. MAIN ST.
SILVER LAKE, IN 46982
PHONE NOS.: 260.352.2102
1.800.253.8619
WEBSITE: WWW.WABASHVALLEY.COM

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29 Black Point Road
Scarborough, Maine 04074
www.gawronturgeon.com
207-883-6307 tel 207-883-0361 fax

FLORENCE HOUSE
VALLEY STREET
PORTLAND, MAINE

REVISIONS		
#	DATE	DESCRIPTION

DATE: 01.28.10
PROJECT #: 100405
DRAWN BY: KLD
CHECKED BY: -
DRAWING SCALE: 1" = 10'

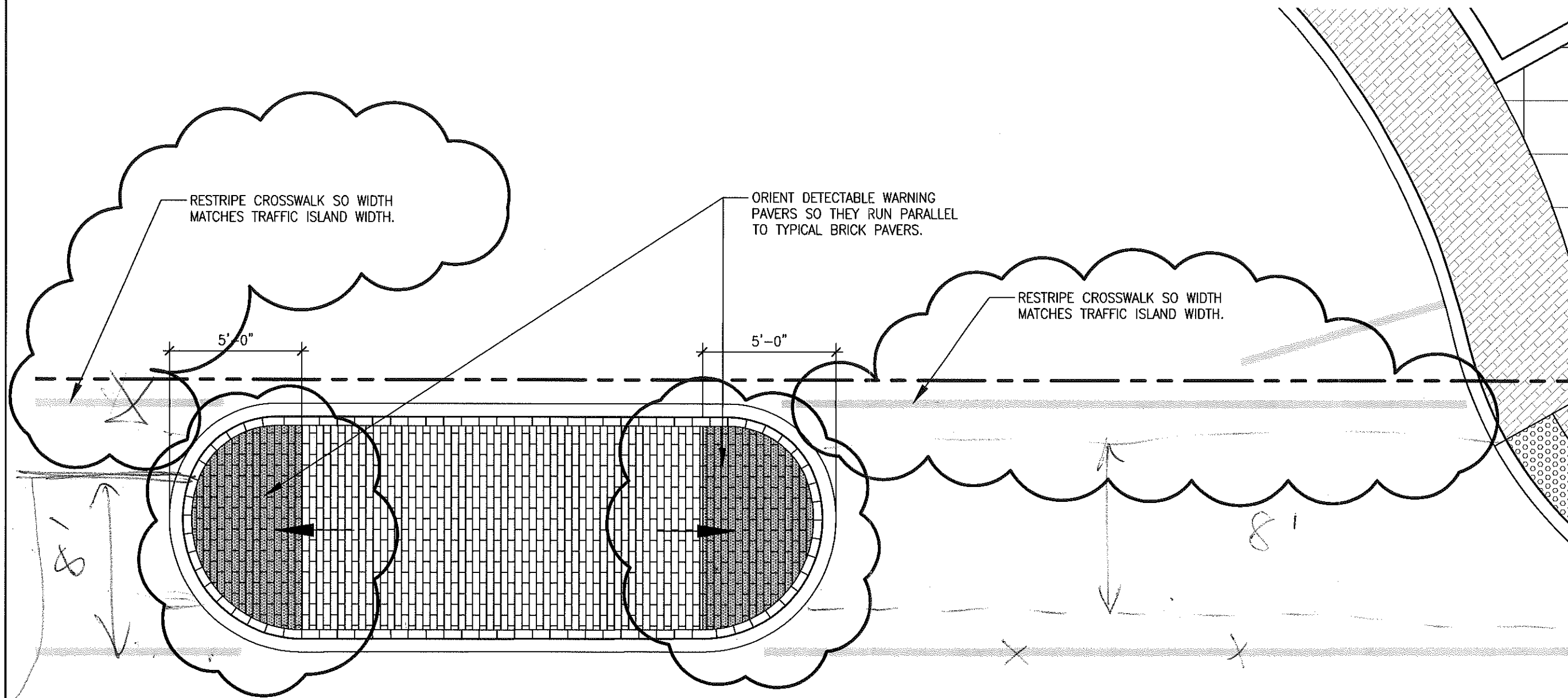
SHEET TITLE
ADDITIONAL BENCH

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*Phil
copy for
records*
*Jan
Re BENCH!*

12/17
Tom says:



132005100405 - Florence House 02 Landscape Working Drawings\100405 - Landscape Site Plan.dwg, CSK 80, 12/14/2009 3:12:07 PM, kdowning



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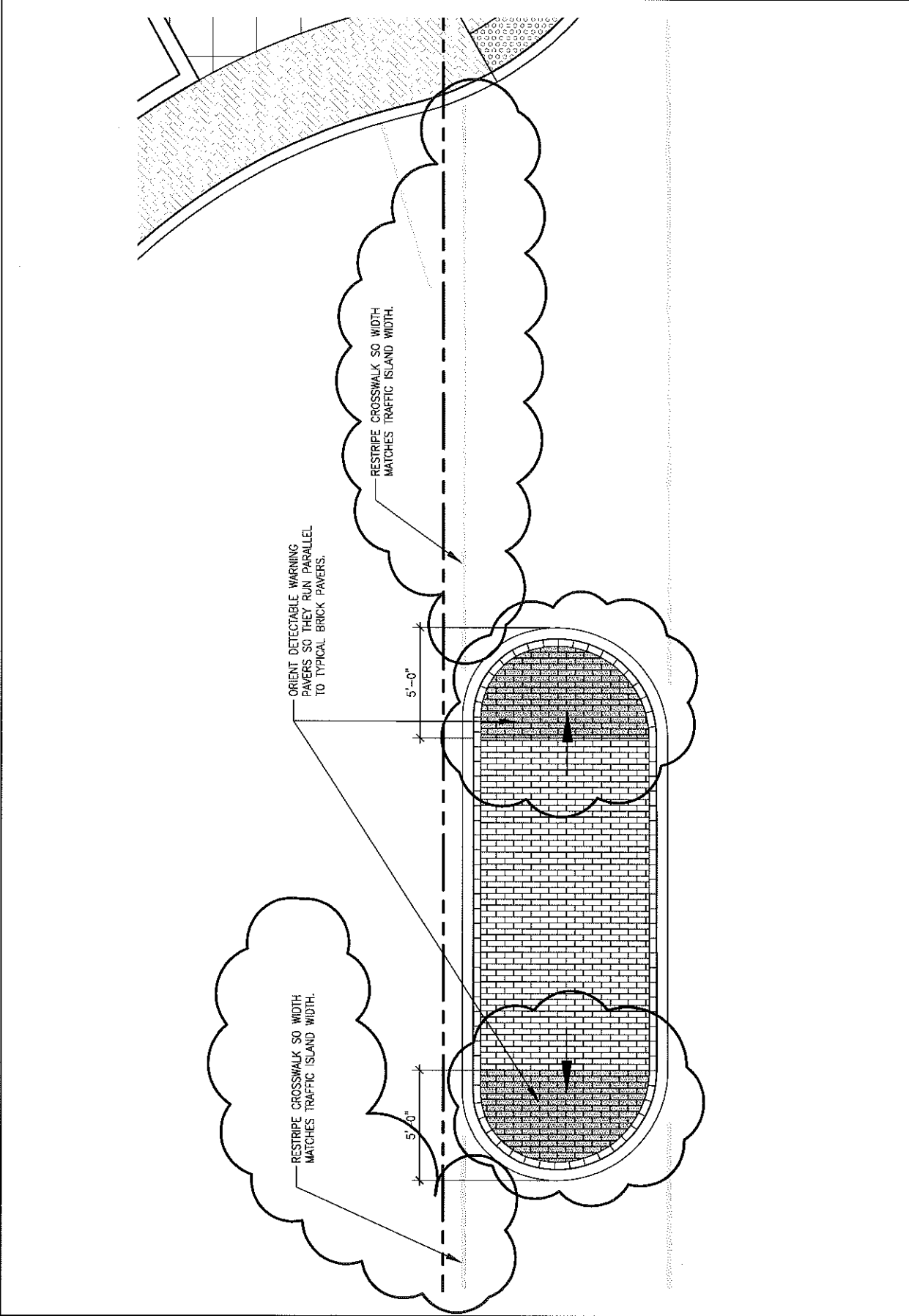
FLORENCE HOUSE
Traffic Island - Truncated Dome Pavers

DATE:	12.14.09
PROJECT #:	100405
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DRAWING SCALE:	1/4" = 1'-0"

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DATE	12.14.09
PROJECT #	100405
DRAWN BY	KLD
DRAWING SCALE	1/4" = 1'-0"



Philip DiPierro - FW: FH drop off modification

From: "Betsy Melrose" <BMelrose@mitchellassociates.biz>
To: "Philip DiPierro" <PD@portlandmaine.gov>
Date: 12/15/2009 10:57 AM
Subject: FW: FH drop off modification

Hello Phil-

Attached is a sketch for a modification at the Florence House project. Due to the radius of the curb, the contractor was having a hard time placing the truncated dome pavers on the radius. The pavers have many cuts and we think could become uneven in the future. We would like to modify the detail for a larger band of truncated dome pavers at the end of the islands and to re-stripe the crosswalk area to match the width of the island. Please see the attached sketch.

I assume this would be an acceptable change, but want to check with you.

Please call if you have any questions.

Thanks.
Betsy

From: Wendi Holden [mailto:w Holden@gawronturgeon.com]
Sent: Monday, December 14, 2009 3:33 PM
To: Betsy Melrose
Subject: FH drop off modification

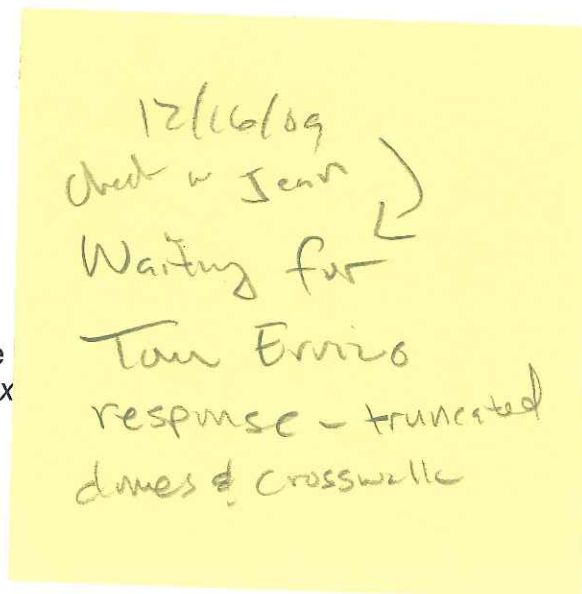
Hi Betsy,

I will call to explain....

Thank you
Wendi

Wendi Holden
Project Manager

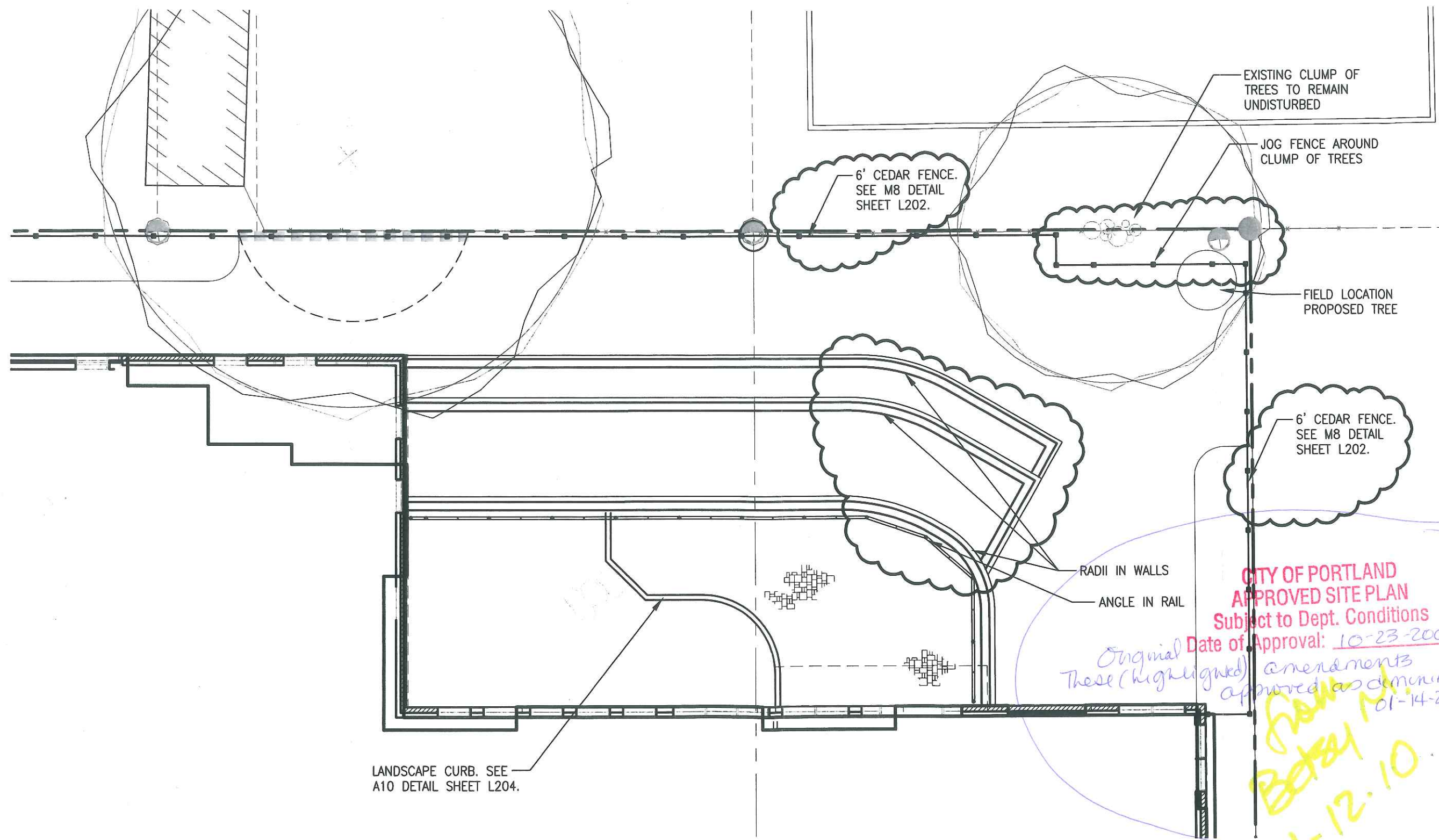
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Architecture • Interior Design • Master
Planning • Landscape Architecture
29 Black Point Road • Scarborough, Maine
207-883-6307 x214 tel • 207-883-0361 fax
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CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: *10-23-2007*



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FLORENCE HOUSE
 Field Layout Changes - Rear Patio Wall, Rail, and Fence

CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 10-23-2007

*Original Date of Approval: 10-23-2007
 These (highlighted) amendments approved as amended 01-14-2010*

*From Beth M.
 1-12-10*

LANDSCAPE CURB. SEE
 A10 DETAIL SHEET L204.

6' CEDAR FENCE.
 SEE M8 DETAIL
 SHEET L202.

6' CEDAR FENCE.
 SEE M8 DETAIL
 SHEET L202.

RADI IN WALLS
 ANGLE IN RAIL

EXISTING CLUMP OF
 TREES TO REMAIN
 UNDISTURBED

JOG FENCE AROUND
 CLUMP OF TREES

FIELD LOCATION
 PROPOSED TREE

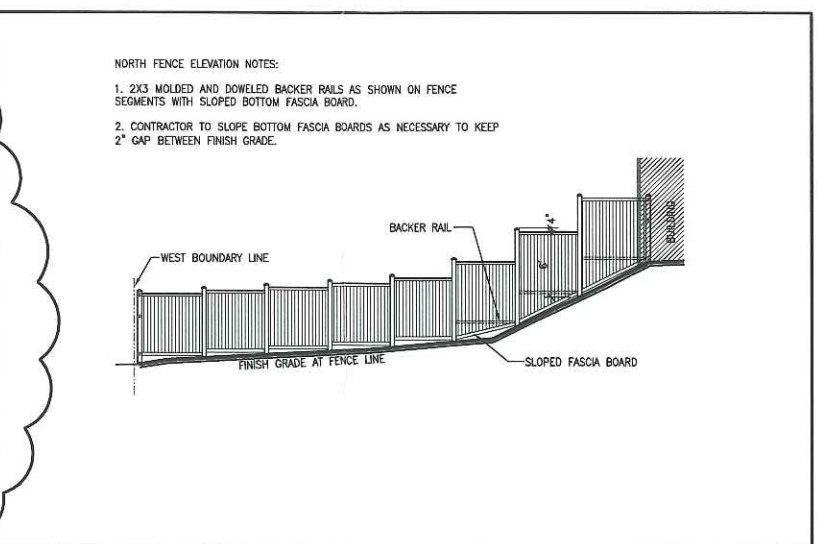
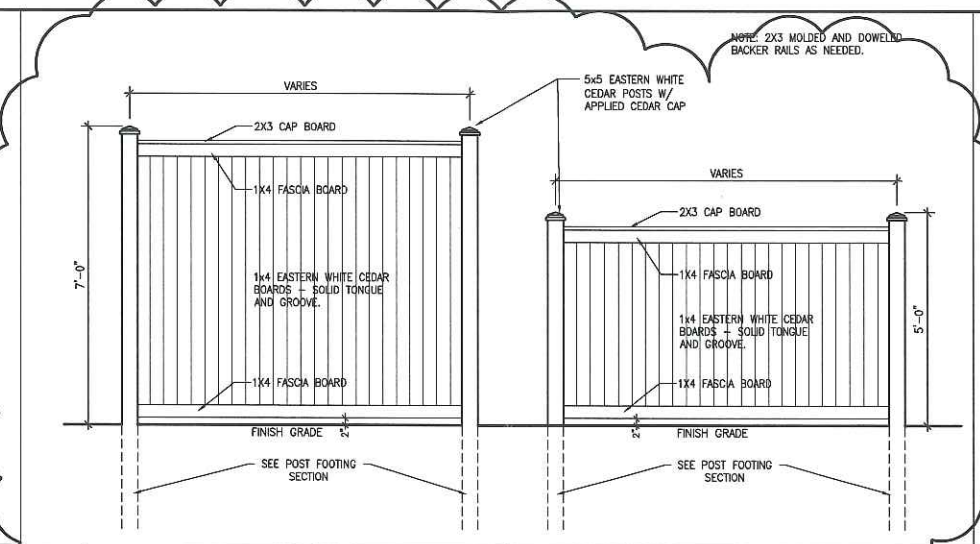
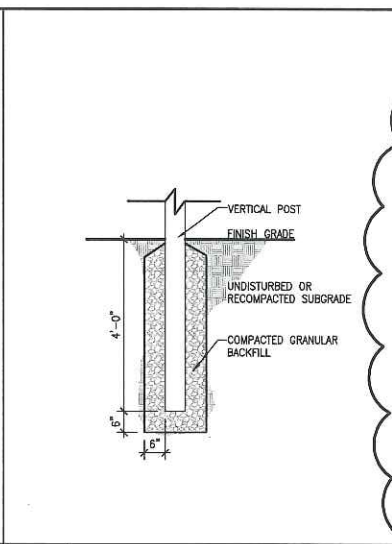
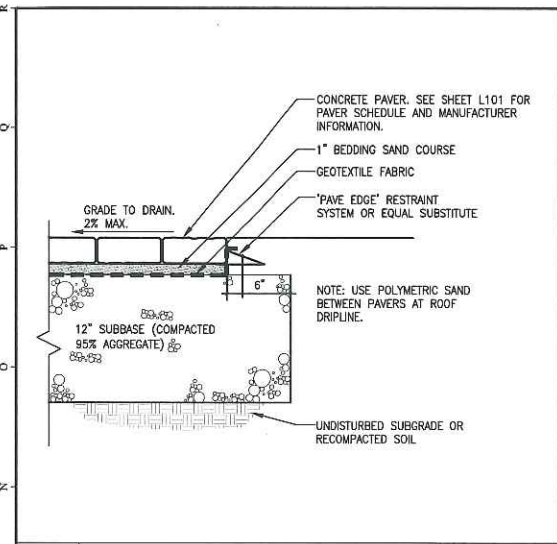
copy for Phil Dipierro

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DATE:	01.08.10
PROJECT #:	100405
DRAWN BY:	KLD
DRAWING SCALE:	1" = 10'

CSK
 82

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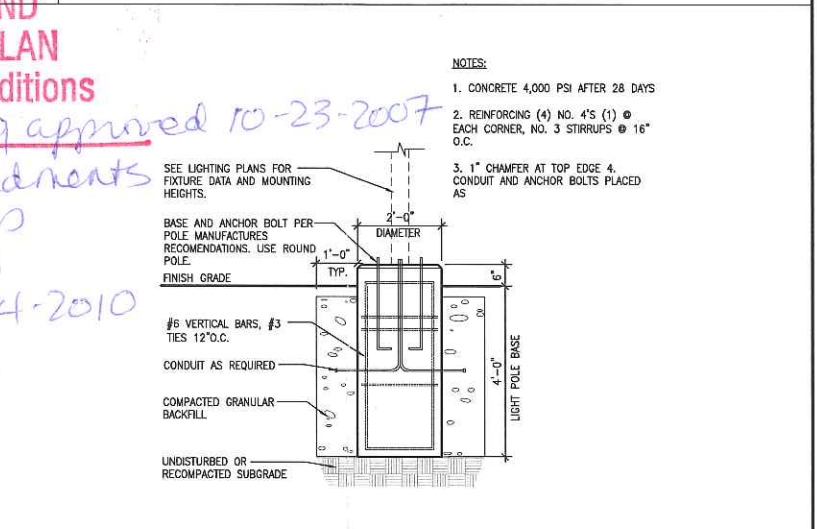
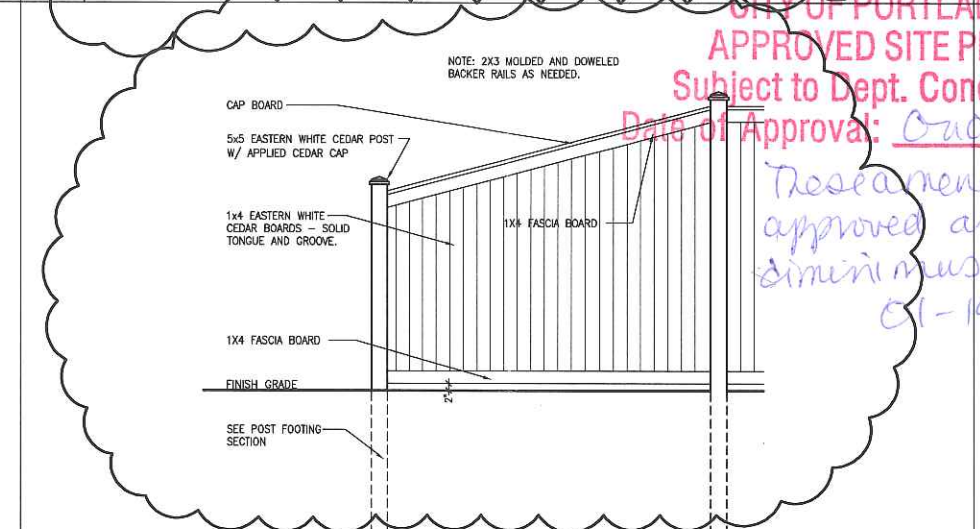
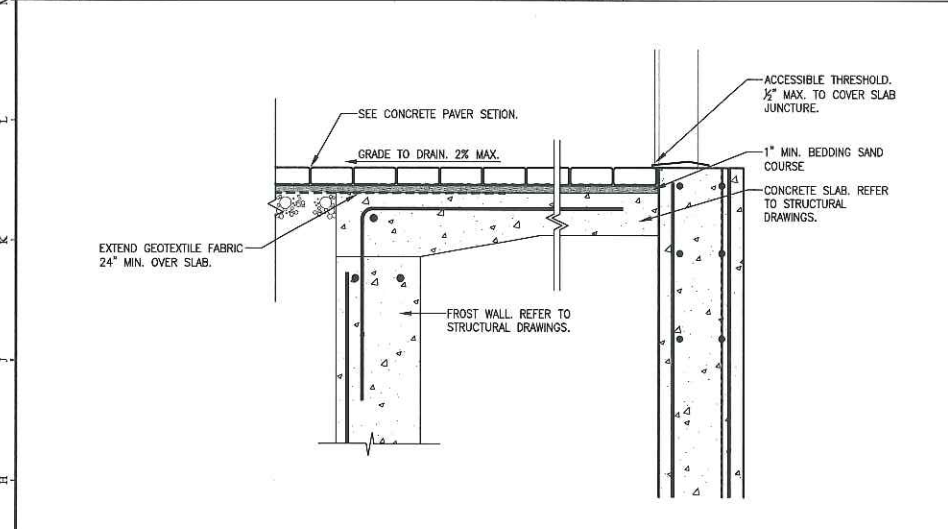


M1 TYPICAL PAVER SECTION
 1/2" = 1'-0" NOTE: FOR USE AT BACK PATIO.

M5 POST FOOTING SECTION
 1/2" = 1'-0" NOTE: FOR USE WITH CEDAR FENCE POST INSTALLATION.

M8 4' AND 6' CEDAR FENCE ELEVATIONS
 1/2" = 1'-0" NOTE: FOR USE AT PROPERTY LINE.

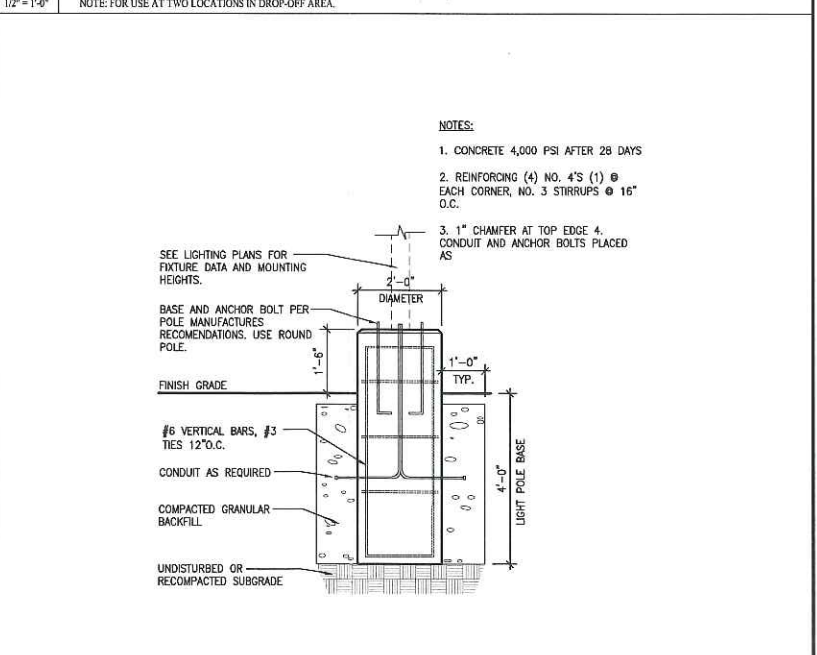
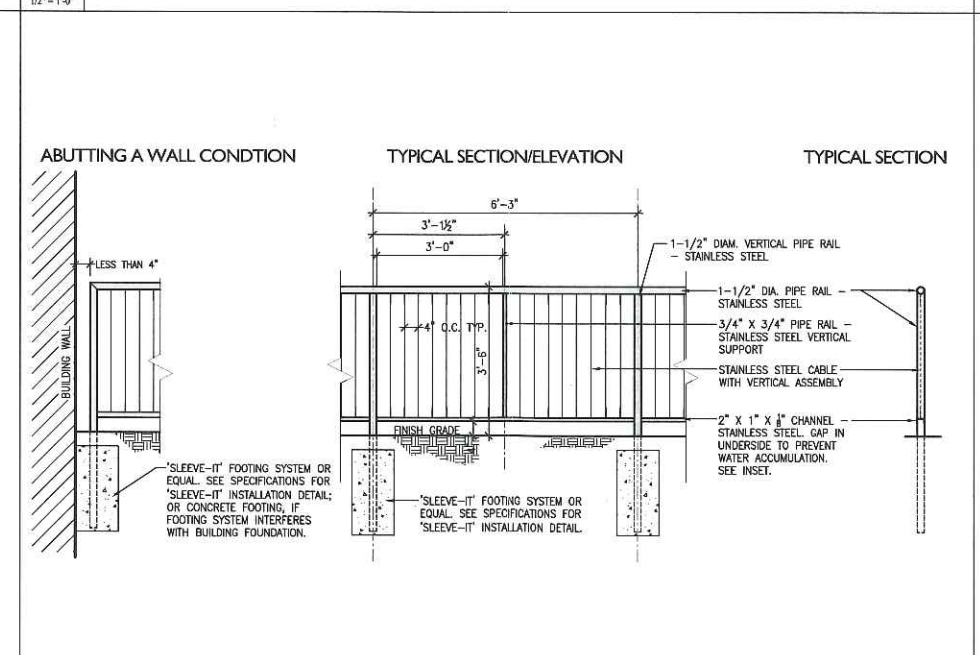
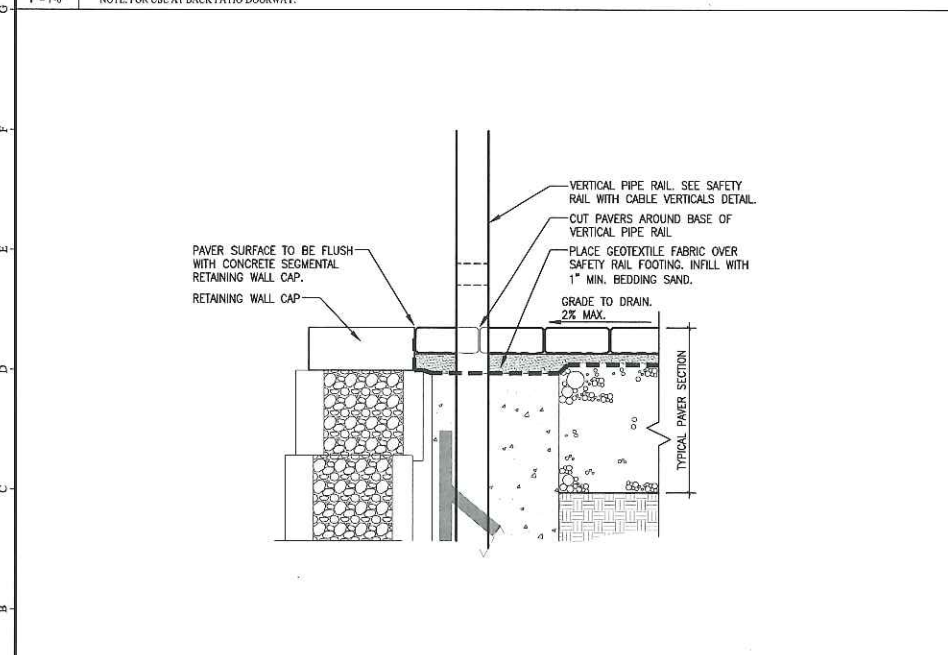
M15 NORTH FENCE ELEVATION
 1/8" = 1'-0"



G1 PAVER SECTION OVER SLAB/FROST WALL
 1" = 1'-0" NOTE: FOR USE AT BACK PATIO DOORWAY.

G8 CEDAR FENCE TRANSITION ELEVATION
 1/2" = 1'-0"

G15 6" LIGHT POLE BASE
 1/2" = 1'-0" NOTE: FOR USE AT TWO LOCATIONS IN DROP-OFF AREA.

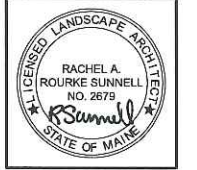


A1 PAVER SECTION AT RAILING
 1/2" = 1'-0" NOTE: FOR USE AT BACK PATIO.

A8 SAFETY RAIL WITH CABLE VERTICALS
 1/2" = 1'-0" NOTE: FOR USE AT BACK PATIO

A15 18" LIGHT POLE BASE
 1/2" = 1'-0" NOTE: FOR USE AT TWO LOCATIONS IN PARKING AREA.

CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 01-23-2007
 These amendments approved as diminimus
 01-14-2010



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 Scarborough, Maine 04074
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FLORENCE HOUSE
 190 VALLEY STREET
 PORTLAND, MAINE



REVISIONS		
#	DATE	DESCRIPTION
1	04.02.07	CONTRACT ZONE SUB.
2	05.22.07	CONTRACT ZONE REV.
3	07.10.07	CONTRACT ZONE REV.
4	09.04.07	SITE PLAN AND SUBDIVISION REVIEW
5	10.02.07	FINAL SITE PLAN REVIEW
6	10.23.07	FINAL SITE PLAN REVISIONS
7	11.14.07	50% REVIEW SET
8	12.7.07	MAINE HOUSING 50% REVIEW SET
9	05.02.08	MAINE HOUSING 70% REVIEW SET
10	07.31.08	MAINE HOUSING 100% REVIEW SET
11	09.02.08	100% BID DOCUMENTS
12	01.15.10	FENCE REVISION

DATE	09.02.08
PROJECT #	100405
DRAWN BY:	KLD
CHECKED BY:	RS
DRAWING SCALE	VARIES

SHEET TITLE
 LANDSCAPE DETAILS

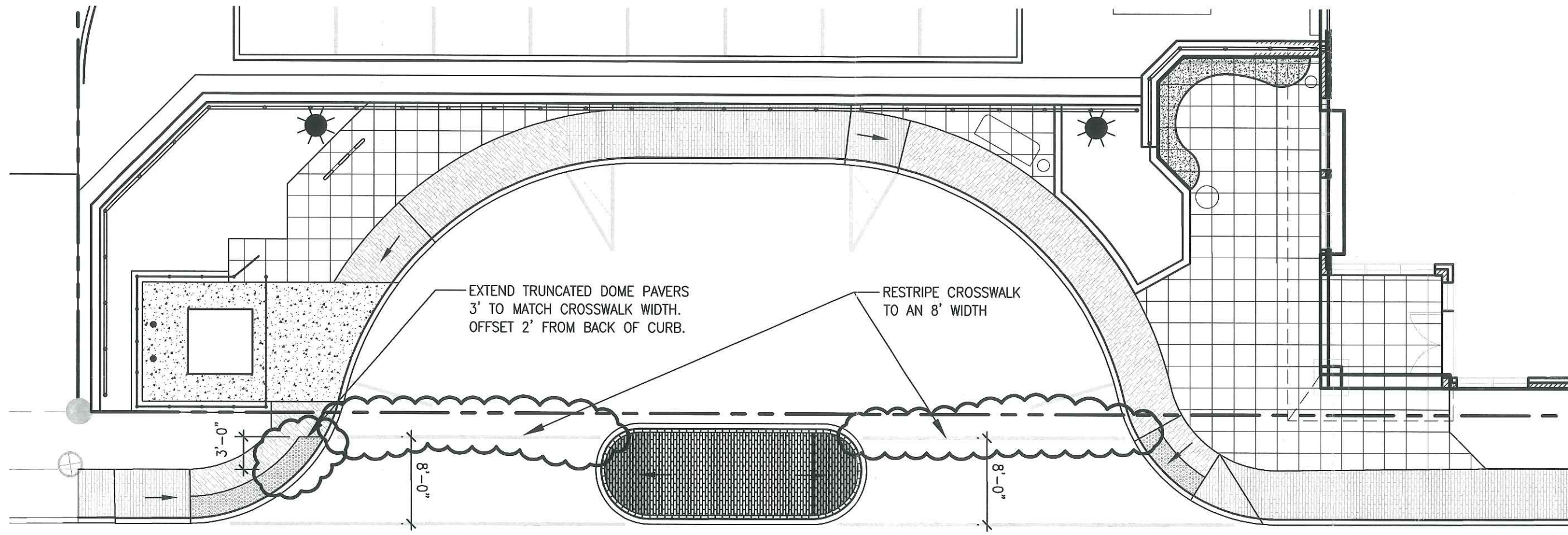
L202
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FLORENCE HOUSE
Traffic Island - Truncated Dome Pavers

12/30/09
Approved as
dimin amendment
(if they want to do)
JT

**CITY OF PORTLAND
APPROVED SITE PLAN**
Subject to Dept. Conditions
Date of Approval: 10/23/07
Amendments app (diminutives)
12-30-09 JT

DATE:	12.22.09
PROJECT #:	100405
DRAWN BY:	KLD
DRAWING SCALE:	1/4" = 1'-0"

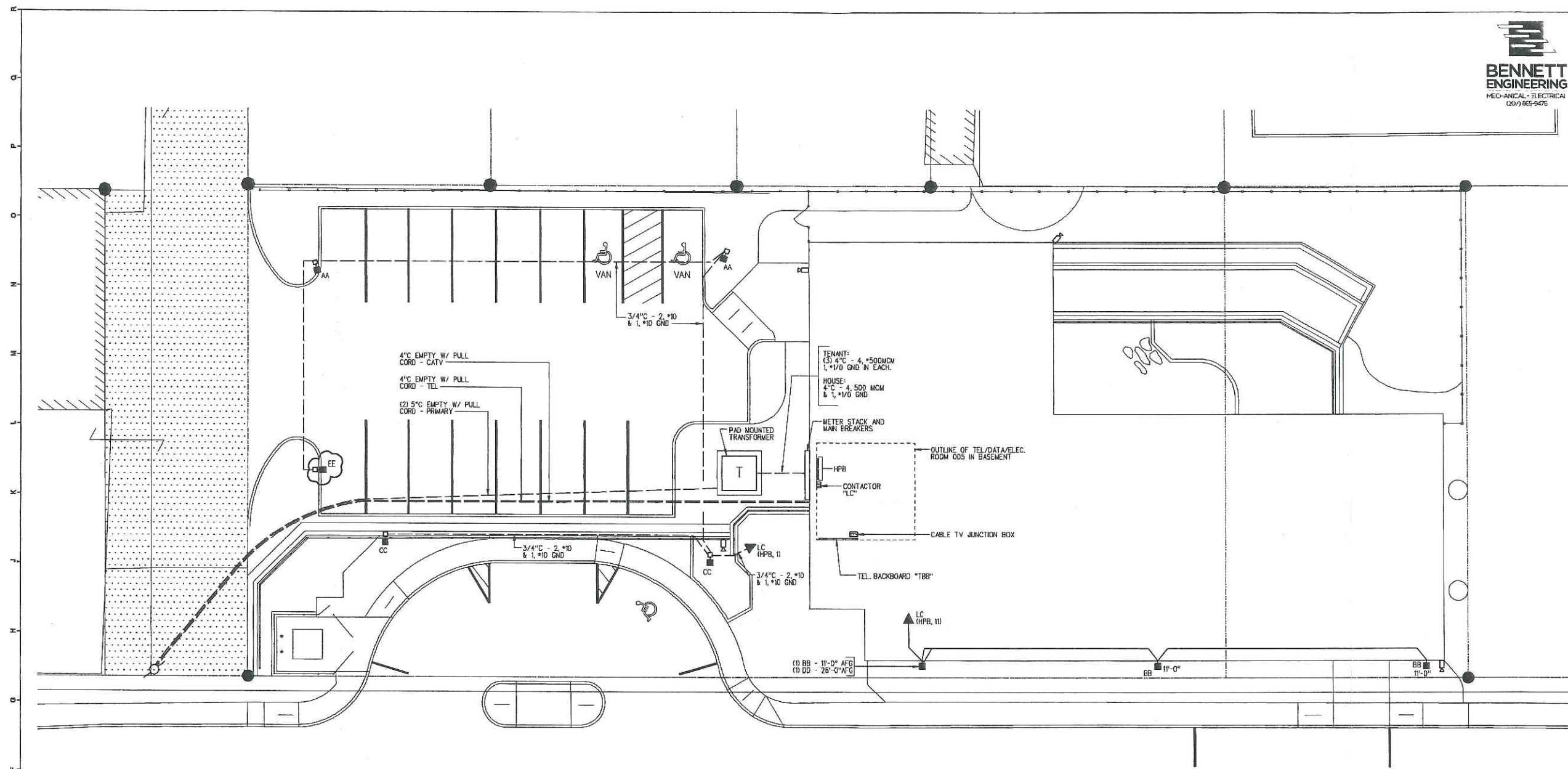
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FLORENCE HOUSE
190 VALLEY STREET
PORTLAND, MAINE



REVISIONS		
#	DATE	DESCRIPTION
1	4.8.07	CONTRACT ZONE SUBMISSION
2	6.0.07	CONTRACT ZONE SUBMISSION
3	7.18.07	CONTRACT ZONE SUBMISSION
4	8.6.07	SITE PLAN AND SUBMISSION REVIEW
5	10.22.07	FINAL SITE PLAN REVIEW
6	11.18.07	SPS REVIEW SET
7	12.18.07	SPS MAKE HOUSING REVIEW SET
8	02.08.08	SPS MAKE HOUSING REVIEW SET
9	07.21.08	100% MAKE HOUSING REVIEW SET
10	08.02.08	100% RFD DOCUMENTS

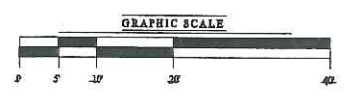
VALLEY STREET

CITY OF PORTLAND APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 10-23-2007
re location of lights

CITY OF PORTLAND APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: _____

EXTERIOR ELECTRICAL PLAN
SCALE: 1"=10'-0"

LIGHTING FIXTURE SCHEDULE			
TYPE	DESCRIPTION	LAMPS QUANTITY & TYPE	REMARKS
AA	KIM *1A/STS4-175MH208-HS /GS/KRS POLE	(1) 175W MH	MOUNTED @ 18' AFG - W/ HOUSE SIDE SHIELD
BB	KIM *1A/STS3-100MH108-WM-HS, 1N/STS SURFACE WALL ASSEMBLY /GS-W	(1) 100W MH	WALL MOUNTED - W/ HOUSE SIDE SHIELD
CC	KIM *1A/STS3-175MH208 /GS/KRS POLE	(1) 175W MH	MOUNTED @ 15' AFG
DD	COLUMBIA *SLA-R-1-32-SLBI-2-F-1	(1) 32W TR	OUTDOOR SIGN LIGHT - REMOTE BALLAST MOUNTED IN JAN. 308
EE	KIM *1A/STS4-175MH208 /GS/KRS POLE	(1) 175W MH	MOUNTED @ 18' AFG

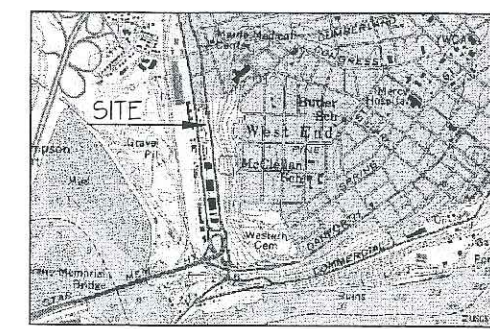
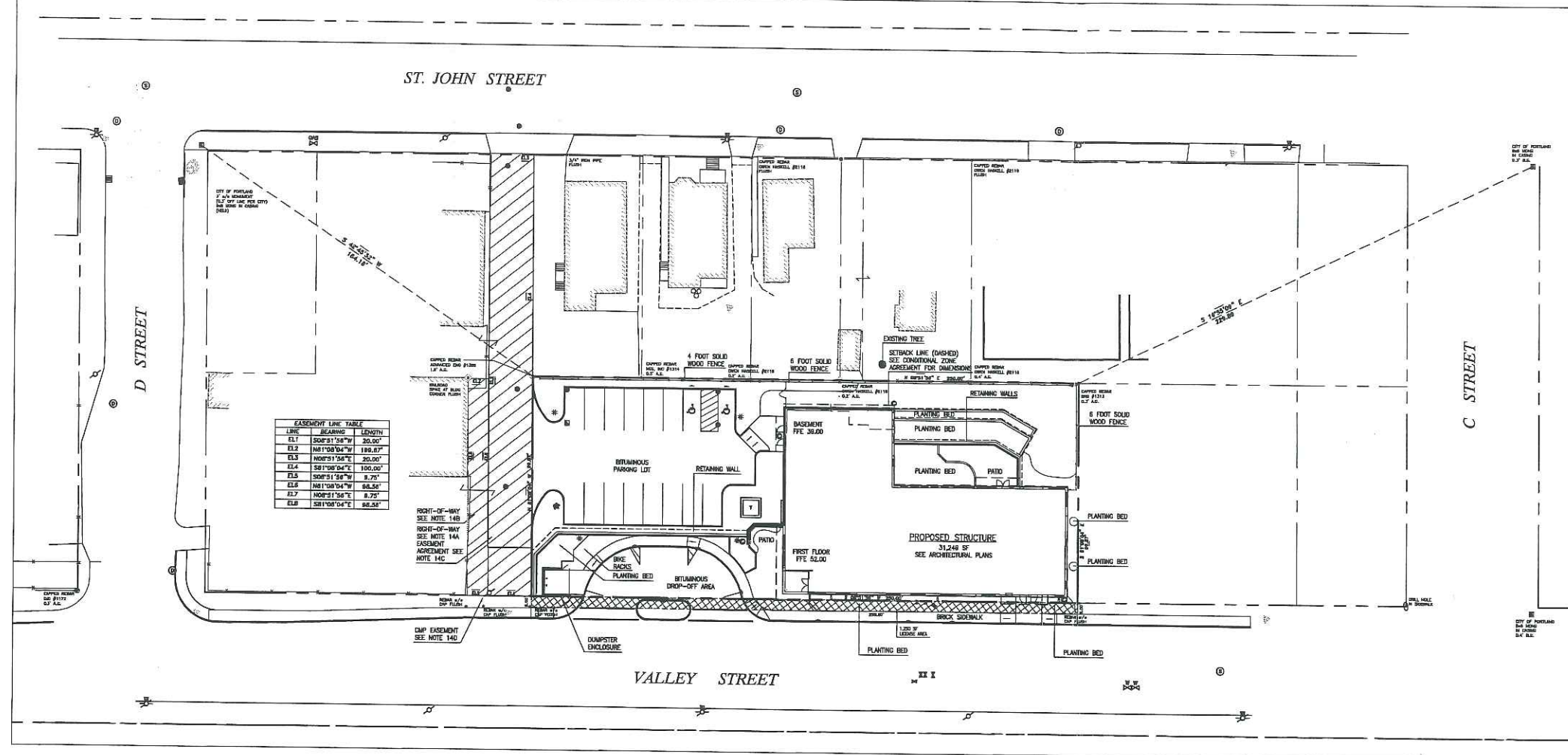


SHEET TITLE
EXTERIOR ELECTRICAL PLAN

E 100

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Phil M. Pierso



LOCATION MAP
NOT TO SCALE

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	[Symbol]	[Symbol]
SETBACK LINE	[Symbol]	[Symbol]
REBAR FOUND	[Symbol]	[Symbol]
EASEMENT AREA	[Symbol]	[Symbol]
LICENSE AREA	[Symbol]	[Symbol]
CATCHBASIN	[Symbol]	[Symbol]
MANHOLE	[Symbol]	[Symbol]
ELECTRIC TRANSFORMER	[Symbol]	[Symbol]
WATER VALVE	[Symbol]	[Symbol]
FIRE HYDRANT	[Symbol]	[Symbol]
GAS VALVE	[Symbol]	[Symbol]
UTILITY POLE	[Symbol]	[Symbol]
UTILITY POLE WITH LIGHT	[Symbol]	[Symbol]
LIGHT POLE	[Symbol]	[Symbol]
SECURITY CAMERA	[Symbol]	[Symbol]
FENCE	[Symbol]	[Symbol]
SIGN	[Symbol]	[Symbol]

Prepared For:
AVESTA FLORENCE HOUSE L.P.
307 Cumberland Avenue
Portland, Maine 04101
Tel: (207) 653-7777

Prepared By:
MITCHELL & ASSOCIATES
Landscape Architects
The Staples School
70 Central Street
Portland, Maine 04101
Tel: (207) 774-4427

Reviewed By:
NORTHEAST CIVIL SOLUTIONS, INC.
153 U.S. Route One
Scarborough, Maine 04074
Tel: (207) 883-1000

Gorrill-Palmer
Consulting Engineers, Inc.
Traffic and Civil Engineering Services
15 Shaker Road
Gorham, ME 04039 FAX: 207-657-8812

FLORENCE HOUSE
Portland, Maine
190 Valley Street

GENERAL NOTES

- SITE IS SUBJECT TO CONDITIONAL ZONE AGREEMENT TITLED "AVESTA FLORENCE HOUSE LP, FLORENCE HOUSE HOUSING CORPORATION AND FLORENCE HOUSE CONDOMINIUM ASSOCIATION" APPROVED BY PORTLAND CITY COUNCIL ON SEPTEMBER 17, 2007 AND AMENDED NOVEMBER 17, 2008.
 - TOTAL SITE AREA: 24,968 SF OR 0.57 ACRES
 - ZONING DISTRICT: CONDITIONAL ZONE AGREEMENT WITH UNDERLYING ZONES: B-2 COMMUNITY BUSINESS ZONE B-G RESIDENTIAL ZONE
 - SPACE AND BULK REQUIREMENTS: SEE CONDITIONAL ZONE AGREEMENT (CZA)
- | | REQUIRED | PROPOSED |
|-----------------------------|-----------|------------------|
| MAXIMUM LOT SIZE: | 24,968 SF | 24,968 SF |
| DENSITY: | (SEE CZA) | SEE NOTE BELOW |
| MINIMUM FRONT SETBACK: | NONE | NONE |
| MINIMUM REAR SETBACK: | (SEE CZA) | VARIES; SEE PLAN |
| MINIMUM SIDE SETBACK: | 5 FEET | 5 FEET |
| MAXIMUM LOT COVERAGE: | 40% | 33% |
| MAXIMUM BUILDING HEIGHT: | 45 FEET | 45 FEET |
| OPEN SPACE RATIO: | 26% | 26% |
| PARKING REQUIREMENTS: | 16 SPACES | 19 SPACES |
| MINIMUM LOT SIZE: | N/A | N/A |
| MINIMUM STREET FRONTAGE: | 40 FEET | 250 FEET |
| MINIMUM LOT WIDTH: | 50 FEET | 250 FEET |
| MAXIMUM IMPERVIOUS SURFACE: | 74% | 74% |
- DENSITY NOTE: NO MORE THAN 40 BEDS FOR WOMEN ONLY ON THE FIRST FLOOR INCLUDING UP TO 25 EMERGENCY-SHELTER BEDS AND 15 SAFE HAVEN BEDS; AND UP TO 25 AFFORDABLE RENTAL EFFICIENCY APARTMENTS ON THE SECOND AND THIRD FLOORS.
- BUILDING SUMMARY:
- | FLOOR LEVEL | AREA | DWELLING UNITS/ BEDSPACES |
|-----------------------|----------|---------------------------|
| BASEMENT (LNT 1): | 8,136 SF | 0 |
| FIRST FLOOR (LNT 1): | 8,021 SF | 25-40 BEDSPACES |
| SECOND FLOOR (LNT 2): | 7,545 SF | 12 DWELLING UNITS |
| THIRD FLOOR (LNT 2): | 7,545 SF | 13 DWELLING UNITS |
- TOTAL BUILDING SQUARE FOOTAGE: 31,249 SF
NUMBER OF STOREYS: 3 STOREYS (PLUS BASEMENT)
- BOUNDARY LINE AND TOPOGRAPHIC INFORMATION BASED ON SURVEY PREPARED BY NORTHEAST CIVIL SOLUTIONS, FROM PLANS DATED JANUARY 31, 2007.
 - BENCHMARK IS PK NAIL SET IN UTILITY POLE #27 ONE FOOT ABOVE GRADE ON THE EASTERN SIDE OF ST. JOHN STREET BETWEEN C STREET AT D STREET WITH AN ELEVATION OF 35.08'.

CONDITIONS OF APPROVAL - OCTOBER 23, 2007

SUBDIVISION CONDITIONS

- THE FINAL RECORDING SUBDIVISION PLAT WILL BE COMPLETED TO THE SATISFACTION OF THE CORPORATION COUNSEL AND INCLUDE A LIST OF ANY CONDITIONS IMPOSED BY THE PLANNING BOARD, AND WILL BE SUBMITTED FOR THE PLANNING BOARD'S SIGNATURE, AND
 - THE APPLICANT SHALL RECEIVE APPROVAL OF ITS CONDOMINIUM DOCUMENTS AND THE ISSUANCE OF A LICENSE FROM THE CITY FOR USES WITHIN THE RIGHT OF RIGHT OF WAY, THROUGH THE CITY'S CORPORATION COUNSEL OFFICE; AND
 - THE DEVELOPER SHALL CONTRIBUTE \$3000 TOWARDS THE CITY'S STREET TREE PROGRAM TO COVER THE COST OF PURCHASING AND PLANTING FIFTEEN (15) STREET TREES IN THE VICINITY OF THE PROJECT (BASED ON THE PROVISION OF ONE TREE PER UNIT LESS THE COST OF THE TEN (10) TREES ALONG VALLEY STREET TO BE PLANTED AS PART OF THE PROJECT). THE CONTRIBUTION SHALL BE PROVIDED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- SITE PLAN CONDITIONS
- THE APPLICANT SHALL MAKE A \$5,000 CONTRIBUTION TO THE CITY, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, TOWARDS THE IMPLEMENTATION OF TRAFFIC CALMING IMPROVEMENTS ON VALLEY STREET BETWEEN CONGRESS STREET AND COMMERCIAL STREET; AND
 - THE APPLICANT SHALL ENSURE THAT THE APPROVED MANAGEMENT PLAN FOR THE CONDO IS FORWARDED TO ALL THOSE RESPONSIBLE FOR THE BUILDING AND ITS OPERATION, AND SHALL FACILITATE ADHERENCE TO THAT PLAN; AND
 - THE APPLICANT SHALL SUBMIT FOR REVIEW AND APPROVAL BY THE PLANNING AUTHORITY, PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE LOCATION, SIZE AND DESIGN DETAILS OF ALL SIGNAGE; AND
 - THE APPLICANT SHALL SUBMIT FOR REVIEW AND APPROVAL BY THE PLANNING AUTHORITY, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE DETAILS, SIZE, SPECIFICATIONS AND MATERIALS OF THE TRIM BOARDS, WINDOW TRIM AND CORNICE (WHICH SHOULD BE DIMENSIONAL STOCK), AWNINGS AND SEGMENTAL BLOCKS; AND

SITE PLAN CONDITIONS, CONTINUED

- THE APPLICANT SHOULD ADHERE TO THE ARBORICULTURAL PRACTICES SHOWN ON THE SUBMITTED LETTERS, PLANS AND DETAILS AND THOSE OUTLINED IN THE COMMENTS FROM THE CITY ARBORIST OF 10.18.2007 TO PROTECT THE LARGE SILVER MAPLE TREE IN THE REAR YARD OF 213 ST JOHN STREET, IF, DURING THE FIRST 2 YEARS FROM CERTIFICATE OF OCCUPANCY THIS TREE BECOMES UNSTABLE DUE TO ROOT LOSS OR OTHER CONSTRUCTION DAMAGE RELATED TO THE PROJECT, THE APPLICANT SHALL BE RESPONSIBLE FOR PRUNING, REMOVAL AND REPLACEMENT OF THE TREE IF NECESSARY AND AGREED WITH THE OWNER, IF REMOVAL AND REPLACEMENT IS NECESSARY, THE REPLACEMENT TREE SHOULD BE OF 3 INCH CALIPER OF THE SAME SPECIES (OR OTHER SPECIES AS AGREED WITH THE OWNER); AND
- THE APPLICANT SHALL SUBMIT FOR REVIEW AND APPROVAL BY THE PLANNING AUTHORITY, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, DETAILS, CATALOG CUTS AND ILLUMINATION INFORMATION REGARDING THE PROPOSED WALL-MOUNTED LIGHTS ON THE VALLEY STREET ELEVATION; AND
- THE APPLICANT SHALL BRICK OVER THE ENTIRE ISLAND ON THE PULL-OFF RIGHT-OF-WAY TO MATCH THE SIDEWALK IN THE EVENT THE PLANTED PORTION BECOMES UNSIGHTLY; AND
- THE APPLICANT CONTINUE TO WORK WITH THE CITY'S URBAN DESIGNER TO REFINE THE ARCHITECTURE TO BETTER ALIGN THE WINDOWS TO CREATE A MORE UNIFIED DESIGN AND TO MITIGATE THE BLANK WALL FACING THE ST. JOHN STREET ABUTTERS; AND
- THE APPLICANT SHALL SUBMIT FOR REVIEW AND APPROVAL BY THE URBAN DESIGNER, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE DESIGN, MATERIALS AND SPECIFICATIONS FOR SCREENING THE ROOFTOP APPURTENANCES; AND
- THE APPLICANT SHALL MEET THE NOISE STANDARDS OF THE PORTLAND CITY CODE AND SHALL MITIGATE VIOLATIONS THEREOF.

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
of Approval: 10-23-07
but superseded by wordings

Approved: Portland Planning Board

Date: _____

Chair, _____

Board Members, _____

Date: OCTOBER 17, 2007

Revisions:
November 10, 2007 - Added Conditions of Approval.
September 2, 2008 - Per Planning Staff Comments.
November 17, 2008 - Reference to Amended Conditional Zone Agreement.

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Title:
SUBDIVISION PLAT

Scale: 1"=30'

Mag. North:

Sheet No.: **1**

copy for PD

Phil Di Ferris



To: Reviewers and Inspectors

From: Jean Fraser

Date: March 18, 2009

Additional information submitted for the following project:

Application ID #: 2007-0156

Project Name: Florence House (Site Plan and Subdivision Review)

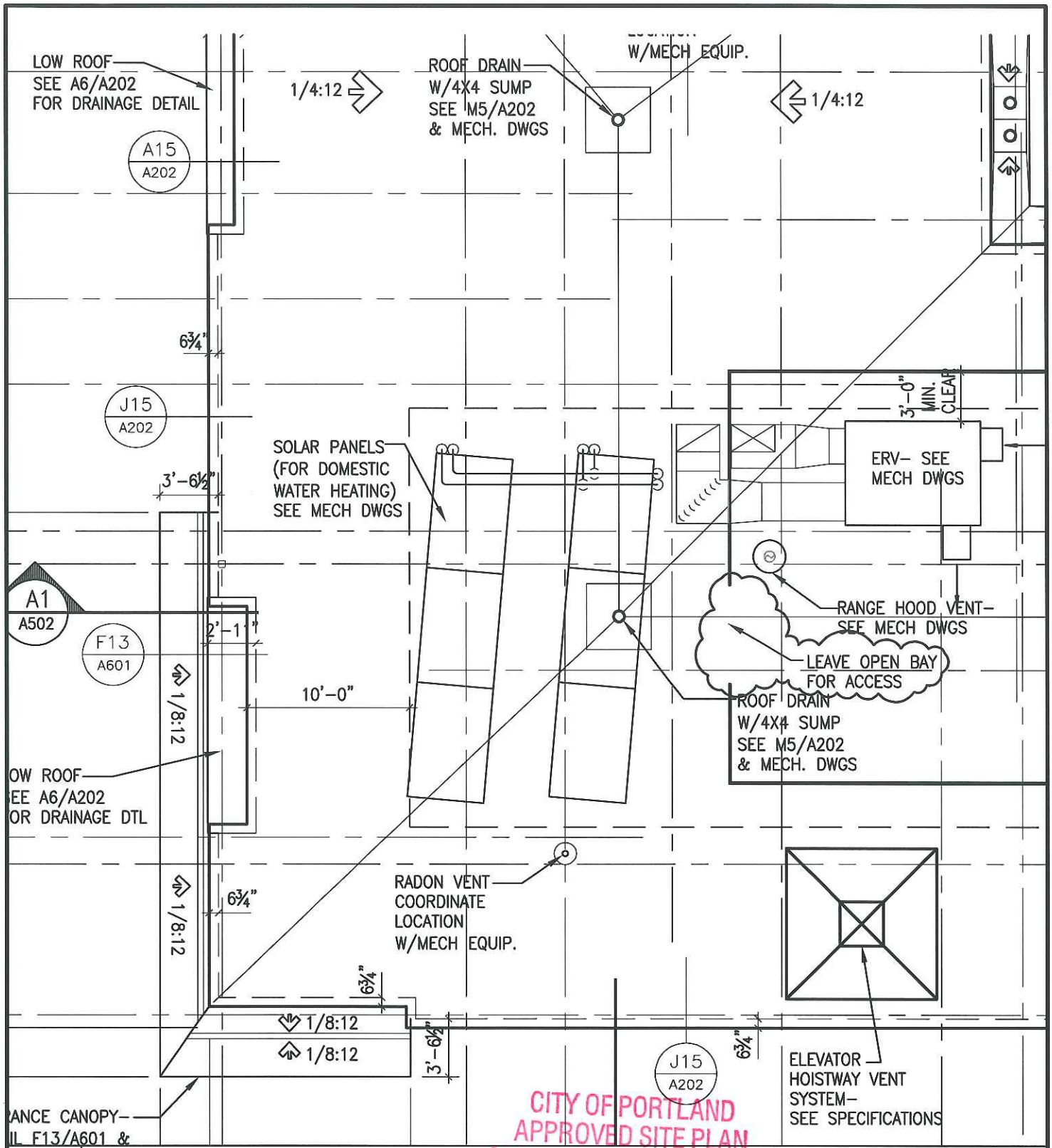
Project Address: 190 Valley Street

Diminimus Amendment re roof top screening

This is a diminimus amendment to the ROOF PLAN (A201) rev 10 that is in the approved and stamped plan set. Most sets of the approved plan have an e-mail (dated Dec 4, 2008) attached to the top which clarifies that they could revise the location of the "gap" in the roof enclosure- which I requested as the roof enclosure was intended to contain noise and that gap was on the side towards neighbors.

The attached plan therefore shows where the "gap" will now be located and is approved.

Jean



A1 PARTIAL ROOF PLAN
 1/8" = 1'-0" REFER TO A201

CITY OF PORTLAND APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 10-23-2007 *ouq approval this revision*

Gawron Turgeon ARCHITECTS
 207-883-6307 tel 207-883-0361 fax



DATE:	01-29-09
PROJECT #:	100405
DRAWN BY:	AEP
DRAWING SCALE:	1/8" = 1'-0"

FLORENCE HOUSE
 REV. LOCATION OF ROOFTOP MECH. UNIT SCREEN OPENING

approved 12-4-08

CSK
 4

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Ganneston

CONSTRUCTION CORP

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staceymorrison@gannestonconstruction.com

Sr. Project Manager **Michael Adams** **207-621-8505 Office**
mikeadams@gannestonconstruction.com **207-557-0963 Cell**
Reports directly to Stacey Morrison
Primary Contact To Owner **207-621-8508 Fax**

Project Super &
Project Safety **Richard Bealieu** **207-458-2102 Cell**
dickb@gannestonconstruction.com
Reports to Stacey Morrison and Mike Adams
On Site Full Time / Responsible For All Construction

Assistant Super **Everett Stewart** **207-557-5563 Cell**
everettstewart@gannestonconstruction.com
Reports to Stacey Morrison, Dick B and Mike Adams
On Site Full Time Through Rough Site and Shoring Phase

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Subcontract Admin **Emilie Ferland** **207-621-8505 Office**
emeliferland@gannestonconstruction.com **207-621-8508 Fax**
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Reports to Stacey Morrison

Payroll Dept &
Safety Coordinator **Bette Feener** **207-621-8505 Office**
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Reports to Stacey Morrison

Corporate Admin
Assistant **Bonnie Powers** **207-621-8505 Office**
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Reports to Stacey Morrison

General Contractor – Construction Manager – Design Builder

3025 North Belfast Avenue – P.O. Box 27 – Augusta, Maine 04332-0027
Office: (207) 621-8505 Fax: (207) 621-8508 E-mail: gannestonconstruction@adelphia.net



PORTLAND MAINE

Planning Division
Jean Fraser, Planner

12-15-08

TO: Marge Schmuckal, Inspections
Florence House
Final Plan Set.

cc Phil

Dipierro

(you have a scaled set of final plans which all stamp in due course)
Jean

The applicant has revised the plans to meet conditions and this is the final plan set - as will be stamped one of the
Perf Gran Ins Fees + infrastructure Contributions are paid (see 12/15/08 e-mail too)

For use in renewing the Building Permit application. 'To scale' version available if needed.
These plans + CZA relate to

190 Valley Street although one access is from St Johns. (#2007-0156) ^{see Plan}

Please note near neighbors + poss. need for blasting plan. Jean.



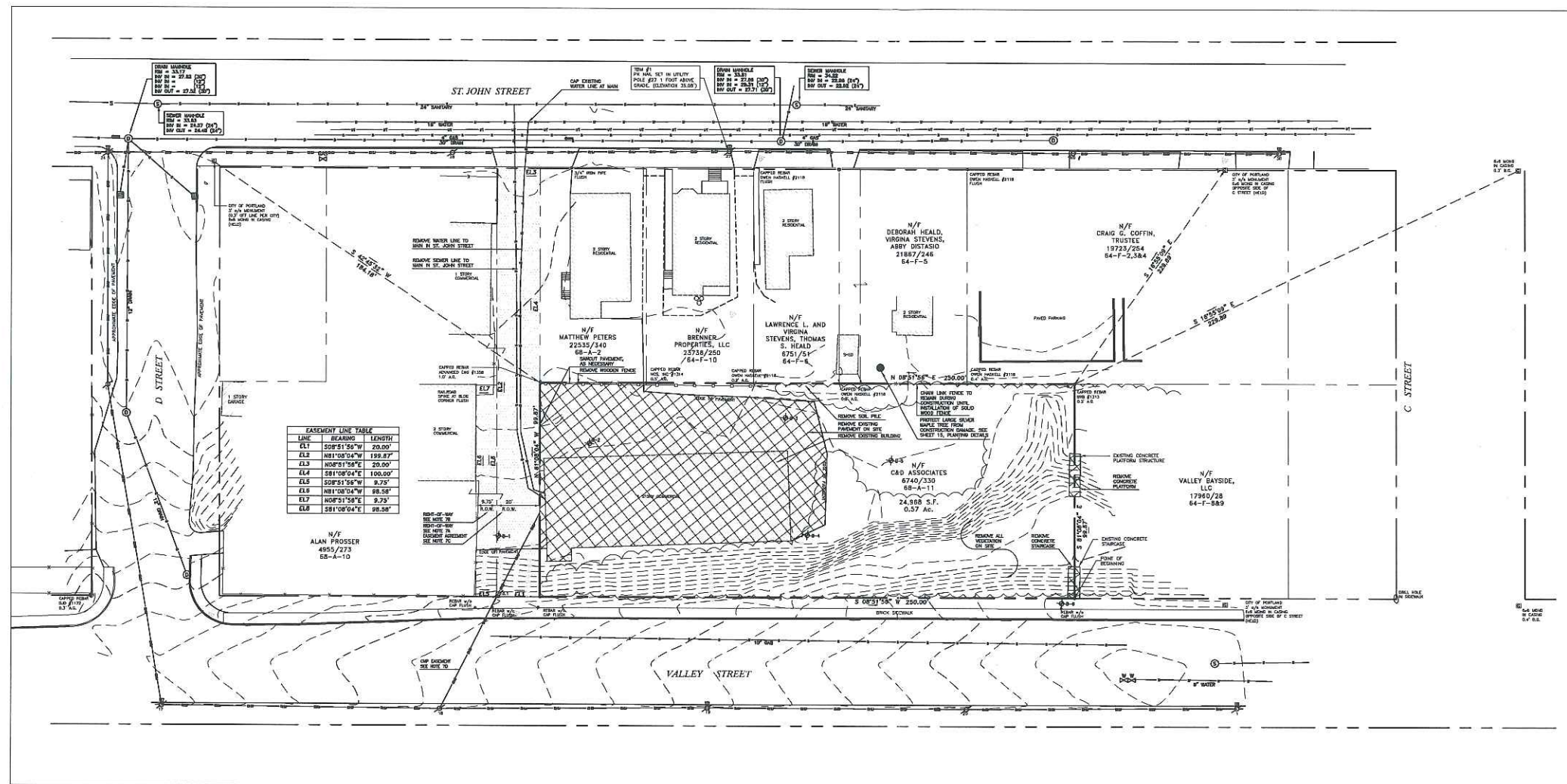
11-17-08

Phil -

Florence House

Here is a set of the key plans in 11x17.
Re the pre-construction meeting
there are several issues:

- 1) Blasting - ? need for blasting plan etc. neighbors very near
- 2) Protection of Silver maple near boundary near shed on St. John's side - v. imp. it not be damaged + lots of details + notes (incl. attached to the approval letter) to ensure this
- 3) Shared drive - contractors need to respect rights of other users, (we have the easement language if needed)
- 4) Bricks of existing sidewalk - must be saved + looked after + reused + there is a license w/city re ROW



NOTES

- THE BASIS OF BEARING FOR THIS SURVEY WAS TAKEN FROM THE PLAN REFERENCED IN NOTE 4.A. BELOW. SAID BEARING IS MAGNETIC, 2005.
- DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
- RECORD OWNERSHIP OF THE PARCEL SURVEYED CAN BE FOUND IN A DEED FROM PETER HOLMES TO G + D ASSOCIATES DATED APRIL 23, 1985 AND RECORDED IN DEED BOOK 6740, PAGE 330.
- REFERENCE IS MADE TO THE FOLLOWING PLANS:
 - "CONDOMINIUM PLAN OF 205 ST. JOHN STREET, PORTLAND, MAINE" BY NORTHEAST CIVIL SOLUTIONS, INC. DATED JUNE 30, 2005, (UNRECORDED).
 - "PLAN OF LANDS ON ST. JOHN STREET" BY WILLIAM A GOODWIN, CITY CIVIL ENGINEER, DATED JULY, 1879 AND RECORDED IN PLAN BOOK 4, PAGE 21.
- THE PARCEL SURVEYED IS IDENTIFIED ON THE CITY OF PORTLAND ASSESSOR'S MAP G4, BLOCK F, PARCEL 20 AND MAP G8, BLOCK A, PARCEL 11.
- THE WIDTH AND LAYOUT OF VALLEY STREET, ST. JOHN STREET, C STREET + D STREET ARE BASED ON CITY OF PORTLAND PUBLIC WORKS RECORDS. SAID WIDTHS OF ALL THESE STREETS ARE 60 FEET.
- REFERENCE IS MADE TO THE FOLLOWING EASEMENTS OF RECORD:
 - "A 20' WIDE ACCESS RIGHT-OF-WAY" FOR THE BENEFIT OF THE SUBJECT PARCEL OVER MAP G8, BLOCK A, PARCEL 10 AS RECORDED IN DEED BOOK 4323, PAGE 133.
 - "A 9.75' WIDE RIGHT-OF-WAY" FOR THE BENEFIT OF THE SUBJECT PARCEL OVER MAP G8, BLOCK A, PARCEL 10 AS RECORDED IN DEED BOOK 12746, PAGE 149.
 - "EASEMENT AGREEMENT FOR 20' WIDE RIGHT-OF-WAY" OVER MAP G8, BLOCK A, PARCEL 10 AS RECORDED IN DEED BOOK 12746, PAGE 150.
 - "EASEMENT TO CENTRAL MAINE POWER CO. FOR INSTALL AND MAINTENANCE OF POWER LINES FROM POLE 18 TO POLE 18.1" AS RECORDED IN DEED BOOK 4932, PAGE 312.
- THIS SURVEY WAS CONDUCTED WITH 6 INCHES OF SNOW AND ICE.
- ELEVATIONS AND CONTOURS ARE BASED ON NGVD 1929 DATUM TAKEN FROM THE DISK CALLED FOR AS RY-34 ON FIRM PANEL 230051 0013 B. SEE PLAN FOR TBM DESCRIPTION.
- UNDERGROUND GAS AND WATER LINE LOCATIONS ON ST. JOHN STREET WERE TAKEN FROM CITY OF PORTLAND PUBLIC WORKS RECORDS FROM 1998. VERIZON LINES WERE FIELD LOCATED. SEWER AND DRAIN LINES AND INVERTS WERE FIELD LOCATED AS WELL. ALL UTILITY LOCATIONS SHALL BE CONSIDERED APPROXIMATE.

LEGEND

	EXISTING
PROPERTY LINE	---
MONUMENT FOUND	■
REBAR FOUND	••
CONTOUR	—70—
CATCHBASIN	⊠
SEWER MANHOLE	⊙
DRAIN MANHOLE	⊙
WATER VALVE	⊕
GAS VALVE	⊕
UTILITY POLE	⊕
UTILITY POLE WITH LIGHT	⊕
WATER SERVICE	—W—
SEWER SERVICE	—S—
STORM DRAIN	—D—
GAS SERVICE	—G—
UNDERGROUND TELEPHONE	—UT—
OVERHEAD WIRES	—OHU—
FENCE	—+—
TEST BORING	⊕



LOCATION MAP
NOT TO SCALE

Prepared For:
Applicant:
AVESTA HOUSING
307 Cumberland Avenue
Portland, Maine 04101
Tel: (207) 553-7777

Prepared By:
MITCHELL & ASSOCIATES
Landscape Architects
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Gp Gorrell-Palmer
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15 Shaker Road
Croy, ME 04099
207-657-6910
FAX: 207-657-6912

FLORENCE HOUSE
190 Valley Street
Portland, Maine

Date:
SEPTEMBER 4, 2007


Issued For:
SITE PLAN AND
SUBDIVISION REVIEW

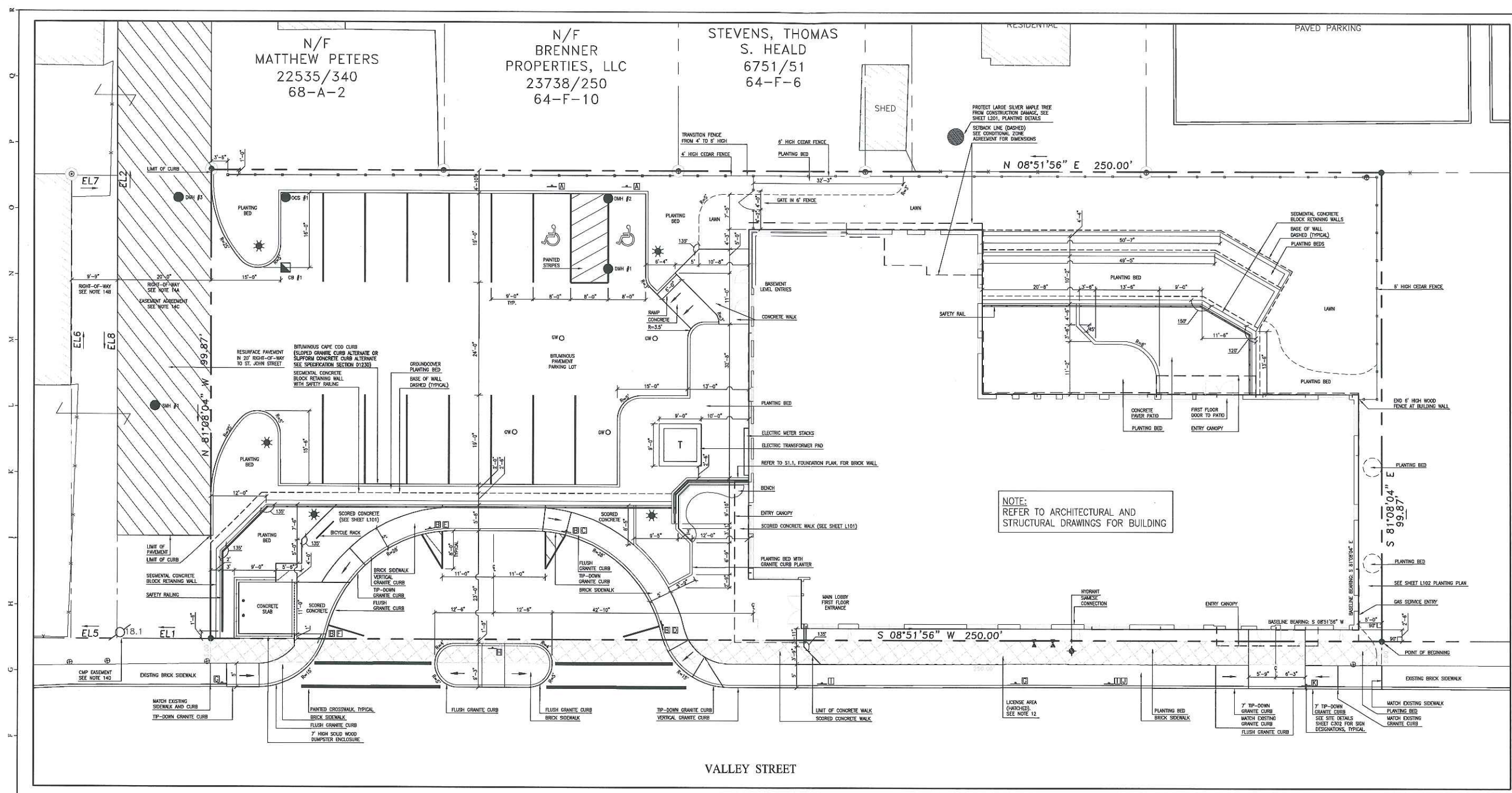
Revisions:
October 2, 2007 - Per Planning
Staff and Board Comments.
October 17, 2007 - Per Planning
Staff Comments.

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Title:
EXISTING
CONDITIONS AND
DEMOLITION PLAN

Scale: 1"=30'
0 10 20 30 60 ft.

North:  Sheet No:
1



FLORENCE HOUSE
 190 VALLEY STREET
 PORTLAND, MAINE



REVISIONS		
#	DATE	DESCRIPTION
1	12.07	MAINE HOUSING 90% REVIEW SET
2	5.08	90% MAINE HOUSING REVIEW SET
3	7.31.08	100% MAINE HOUSING REVIEW SET
4	9.08	100% BID EXCLUSIONS

DATE:	05/02/08
PROJECT #:	100405
DRAWN BY:	BAM
CHECKED BY:	JDM
DRAWING SCALE:	1"=10'-0"

SHEET TITLE
 LAYOUT PLAN

C 101

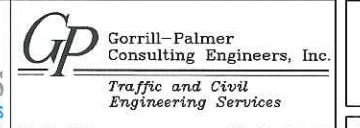
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GENERAL NOTES

- SITE IS SUBJECT TO CONDITIONAL ZONE AGREEMENT TITLED "AVESTA FLORENCE HOUSE LP, FLORENCE HOUSE HOUSING CORPORATION AND FLORENCE HOUSE CONDOMINIUM ASSOCIATION" APPROVED BY PORTLAND CITY COUNCIL ON SEPTEMBER 17, 2007 AND AMENDED NOVEMBER 17, 2008.
- TOTAL SITE AREA: 24,968 SF OR 0.57 ACRES
- BOUNDARY LINE AND TOPOGRAPHIC INFORMATION BASED ON SURVEY PREPARED BY NORTHEAST CIVIL SOLUTIONS, FROM PLANS DATED JANUARY 31, 2007.
- BENCHMARK IS PK NAIL SET IN UTILITY POLE #27 ONE FOOT ABOVE GRADE ON THE EASTERN SIDE OF ST. JOHN STREET BETWEEN C STREET AT D STREET WITH AN ELEVATION OF 35.08'.
- THE BASIS OF BEARING FOR THIS SURVEY WAS TAKEN FROM THE PLAN REFERENCED IN NOTE 10.A. BELOW. SAID BEARING IS MAGNETIC, 2005.
- DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
- RECORD OWNERSHIP OF THE PARCEL SURVEYED CAN BE FOUND IN A DEED FROM C + D ASSOCIATES TO AVESTA FLORENCE HOUSE LP DATED MAY 21, 2008 AND RECORDED IN DEED BOOK 26070, PAGE 196. A CORRECTIVE DEED DATED MAY 30, 2008 IS RECORDED IN DEED BOOK 26098, PAGE 335.
- THE PARCEL IS IDENTIFIED ON THE CITY OF PORTLAND ASSESSOR'S MAP G4, BLOCK F, PARCEL 20 AND MAP G8, BLOCK A, PARCEL 11.
- THE WIDTH AND LAYOUT OF VALLEY STREET, ST. JOHN STREET, C STREET + D STREET ARE BASED ON CITY OF PORTLAND PUBLIC WORKS RECORDS. SAID WIDTHS OF ALL THESE STREETS ARE 60 FEET.
- REFERENCE IS MADE TO THE FOLLOWING PLANS:
 - "CONDOMINIUM PLAN OF 205 ST. JOHN STREET, PORTLAND, MAINE" BY NORTHEAST CIVIL SOLUTIONS, INC. DATED JUNE 30, 2005. (UNRECORDED).
 - "PLAN OF LANDS ON ST. JOHN STREET" BY WILLIAM A GOODWIN, CITY CIVIL ENGINEER, DATED JULY, 1879 AND RECORDED IN PLAN BOOK 4, PAGE 21.
- REFERENCE IS MADE TO THE FOLLOWING EASEMENTS OF RECORD:
 - "A 20' WIDE ACCESS RIGHT-OF-WAY" FOR THE BENEFIT OF THE SUBJECT PARCEL OVER MAP G8, BLOCK A, PARCEL 10 AS RECORDED IN DEED BOOK 4323, PAGE 133.
 - "A 9.75' WIDE RIGHT-OF-WAY" FOR THE BENEFIT OF THE SUBJECT PARCEL OVER MAP G8, BLOCK A, PARCEL 10 AS RECORDED IN DEED BOOK 12746, PAGE 149.
 - "EASEMENT AGREEMENT FOR 20' WIDE RIGHT-OF-WAY" OVER MAP G8, BLOCK A, PARCEL 10 AS RECORDED IN DEED BOOK 12746, PAGE 150.
 - "EASEMENT TO CENTRAL MAINE POWER CO. FOR INSTALL AND MAINTENANCE OF POWER LINES FROM POLE 18 TO POLE 18.1" AS RECORDED IN DEED BOOK 4932, PAGE 312.
- A LICENSE, COVERING A 1,250 SF AREA, HAS BEEN GRANTED BY THE CITY OF PORTLAND FOR THE PROPERTY FRONTAGE ALONG VALLEY STREET FOR MAINTENANCE OF PAVING AND VEGETATION AND CANOPY ENCROACHMENT.
- ELEVATIONS AND CONTOURS ARE BASED ON NGVD 1929 DATUM TAKEN FROM THE DISK CALLED FOR AS RM-34 ON FIRM PANEL 230051 0013 B. SEE PLAN FOR TBM DESCRIPTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND KEEPING STREETS CLEAN DURING CONSTRUCTION. A MAINTENANCE PLAN SHALL BE PREPARED AND APPROVED BY THE OWNERS REPRESENTATIVE.
- DIMENSIONS ARE FROM FACE OF CURB.
- EXACT LOCATIONS OF SECURITY CAMERAS TO BE CONFIRMED AS PART OF THE MANAGEMENT PLAN.
- ALL MATERIALS AND INSTALLATION DETAILS SHALL MEET M.D.O.T. AND/OR CITY OF PORTLAND STANDARD SPECIFICATIONS.
- SEE SUBDIVISION PLAT FOR SPACE AND BULK REQUIREMENTS OF THE CONDITIONAL ZONE AGREEMENT.

LEGEND

	EXISTING	PROPOSED		EXISTING	PROPOSED
PROPERTY LINE			FIRE HYDRANT		
SETBACK LINE			UTILITY POLE		
REBAR FOUND			LIGHT POLE		
LICENSE AREA			FENCE		
CATCHBASIN			BASE OF WALL		
SEWER MANHOLE			SIGN		
DRAIN MANHOLE			RESURFACE PAVEMENT AREA		
OUTLET CONTROL STRUCTURE					
GEOHERMAL WELL					
ELECTRIC TRANSFORMER					
WATER VALVE					

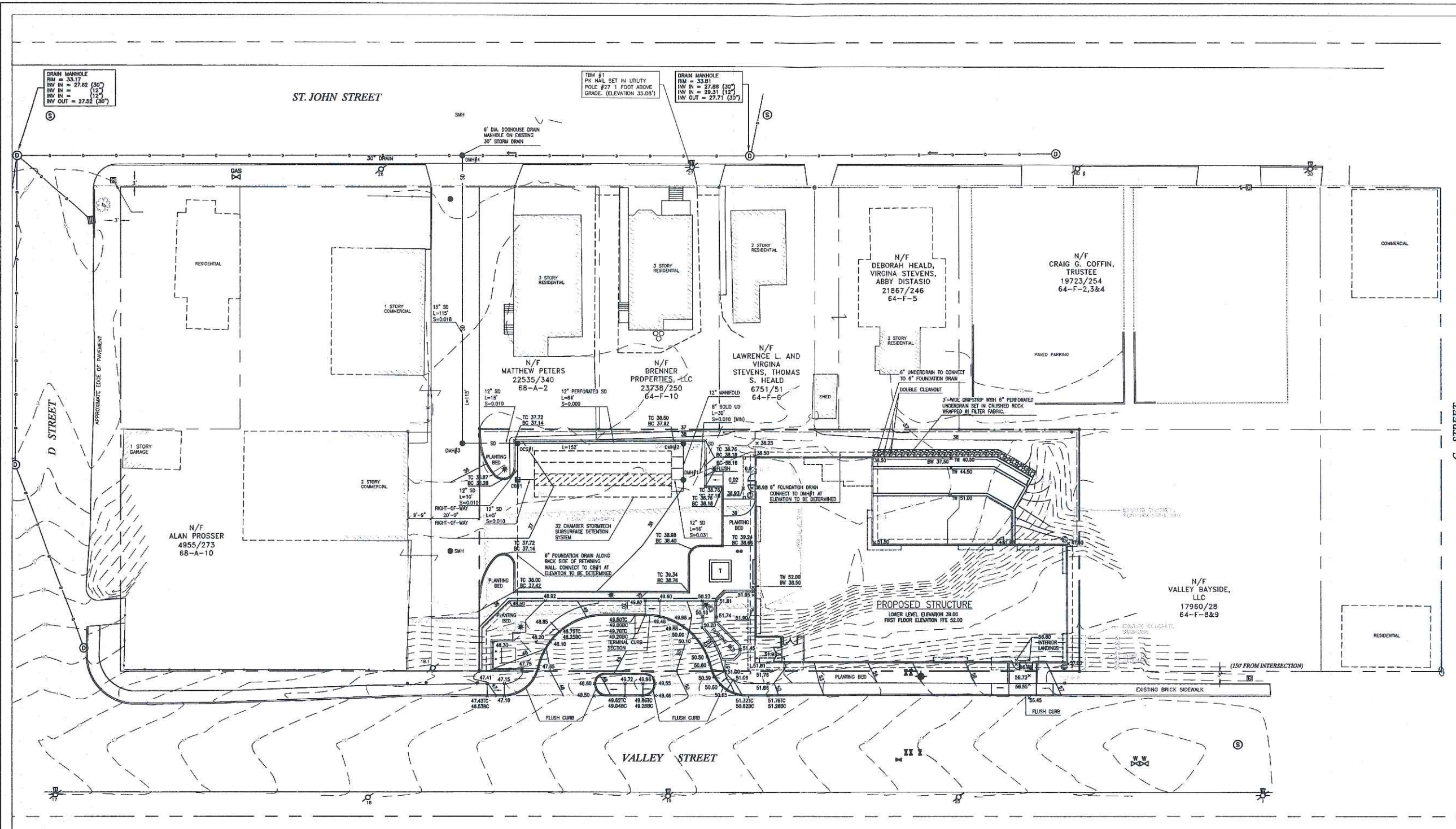


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 FAX: 207-657-6912
 E-Mail: mailboxes@gorrillpalmer.com



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Prepared By:
MITCHELL & ASSOCIATES
Landscape Architects
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Tel: (207) 774-4427

GP Gorrill-Palmer
Consulting Engineers, Inc.
Traffic and Civil Engineering Services
16 Shaker Road
Group #2 04039 FAX: 207-657-6912

FLORENCE HOUSE

Portland, Maine

190 Valley Street

Date:
SEPTEMBER 4, 2007

Issued For:
SITE PLAN AND
SUBDIVISION REVIEW

Revisions:
October 2, 2007 - Per Planning
Staff and Board Comments.

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Title:
**GRADING AND
DRAINAGE PLAN**

Scale: 1"=20'

North:

Sheet No:
3



LEGEND

	EXISTING	PROPOSED		EXISTING	PROPOSED
PROPERTY LINE			WATER SERVICE		
MONUMENT FOUND			SEWER SERVICE		
REBAR FOUND			STORM DRAIN		
CONTOUR			GAS SERVICE		
SPOT GRADE			UNDERGROUND TELEPHONE		
CATCHBASIN			OVERHEAD WIRES		
FIELD INLET			UNDERGROUND ELECTRIC		
SEWER MANHOLE			UNDERGROUND TELEPHONE + CABLE		
DRAIN MANHOLE			UNDERGROUND SECONDARY ELECTRIC		
WATER VALVE			FENCE		
GAS VALVE			TEST BORING		
UTILITY POLE					
UTILITY POLE WITH LIGHT					
LIGHT POLE					

UTILITY NOTES

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.

2. DMH#2 SHALL HAVE A WEIRWALL UP TO ELEVATION 33.00 TO DIRECT RUNOFF TO THE POND.

BUILDING AVERAGE GRADE

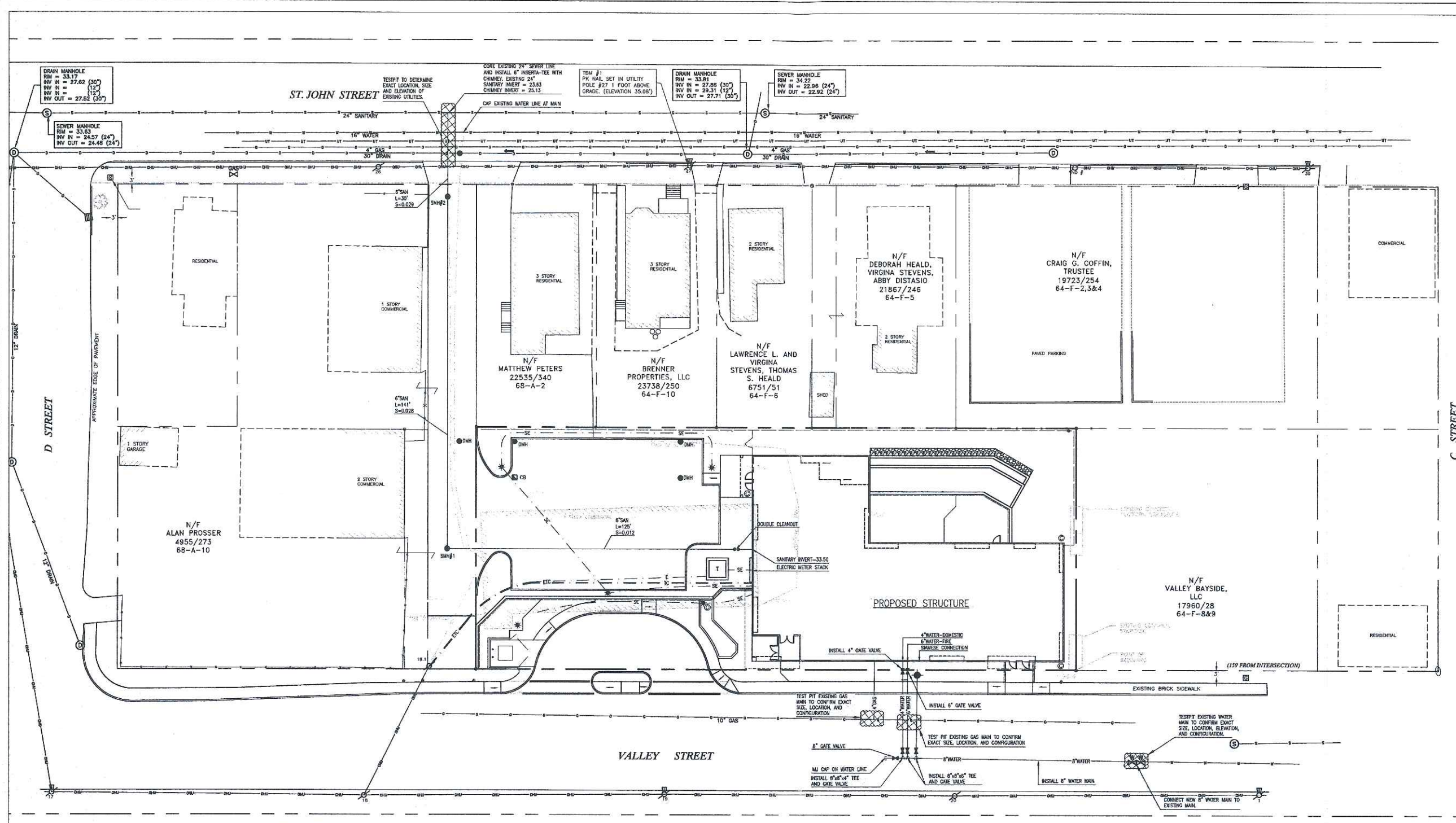
38.50
38.50
51.50
47.00
57.00
51.98
51.50
+ 38.50
374.48

$\frac{374.48}{8} = 46.81$

NOTE:
THE AVERAGE GRADE CALCULATION IS BASED ON PROPOSED AVERAGE GRADE IN ACCORDANCE WITH THE ZONING ADMINISTRATOR METHODOLOGY.

STORM DRAIN STRUCTURES

STRUCTURE	SIZE	RIM	INV. IN	INV. OUT
CB#1	4' DIA	36.28	TBD (CUD)	31.62
DMH#1	6' DIA	38.00	TBD (FD)	33.00
DMH#2	4' DIA	38.00	33.00	31.62
DMH#3	4' DIA	35.70	30.62	30.42
DMH#4	6' DIA	EXISTING GRADE	27.63	27.63
			28.35	(EXISTING)
OC5	6' DIA		31.00	30.80



Prepared For:
Applicant:

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Prepared By:
MITCHELL & ASSOCIATES
Landscape Architects
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Gp Gorrill-Palmer
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207-887-8910
207-887-8912

FLORENCE HOUSE

Portland, Maine

190 Valley Street

Date:
SEPTEMBER 4, 2007

Issued For:
SITE PLAN AND
SUBDIVISION REVIEW

Revisions:
October 2, 2007 - Per Planning
Staff and Board Comments.

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Title:
UTILITIES PLAN

Scale: 1"=20'

North

Sheet No:
4



LEGEND

	EXISTING	PROPOSED		EXISTING	PROPOSED
PROPERTY LINE	---	---	WATER SERVICE	W	W
MONUMENT FOUND	■	■	SEWER SERVICE	S	S
REBAR FOUND	●●	●●	STORM DRAIN	D	SD
CONTOUR	7.0	7.0	GAS SERVICE	G	GAS
SPOT GRADE	+39.66	+39.66	UNDERGROUND TELEPHONE	UT	UT
CATCHBASIN	■	CB	OVERHEAD WIRES	OHU	OHU
FIELD INLET	□	FI	UNDERGROUND ELECTRIC TELEPHONE + CABLE	ETC	ETC
SEWER MANHOLE	⊙	SMH	UNDERGROUND SECONDARY ELECTRIC	SE	SE
DRAIN MANHOLE	⊙	DMH	FENCE	---	---
WATER VALVE	⊙	WV	TEST BORING	⊕	⊕
GAS VALVE	⊙	GV			
UTILITY POLE	⊙	UP			
UTILITY POLE WITH LIGHT	⊙	UPL			
LIGHT POLE	⊙	LP			

UTILITY NOTES

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.
2. NEAREST FIRE HYDRANT IS LOCATED ON THE NORTHEASTERN CORNER OF C STREET AND ST. JOHN STREET AT A DISTANCE OF 405 FEET FROM THE PROPERTY LINE ON VALLEY STREET.

SANITARY STRUCTURES

STRUCTURE	SIZE	RIM	INV. IN	INV. OUT
BUILDING	2'x2'	-	-	33.50
SMH#1	4' DIA	37.15	32.00	31.80
SMH#2	4' DIA	33.90	28.00	26.00



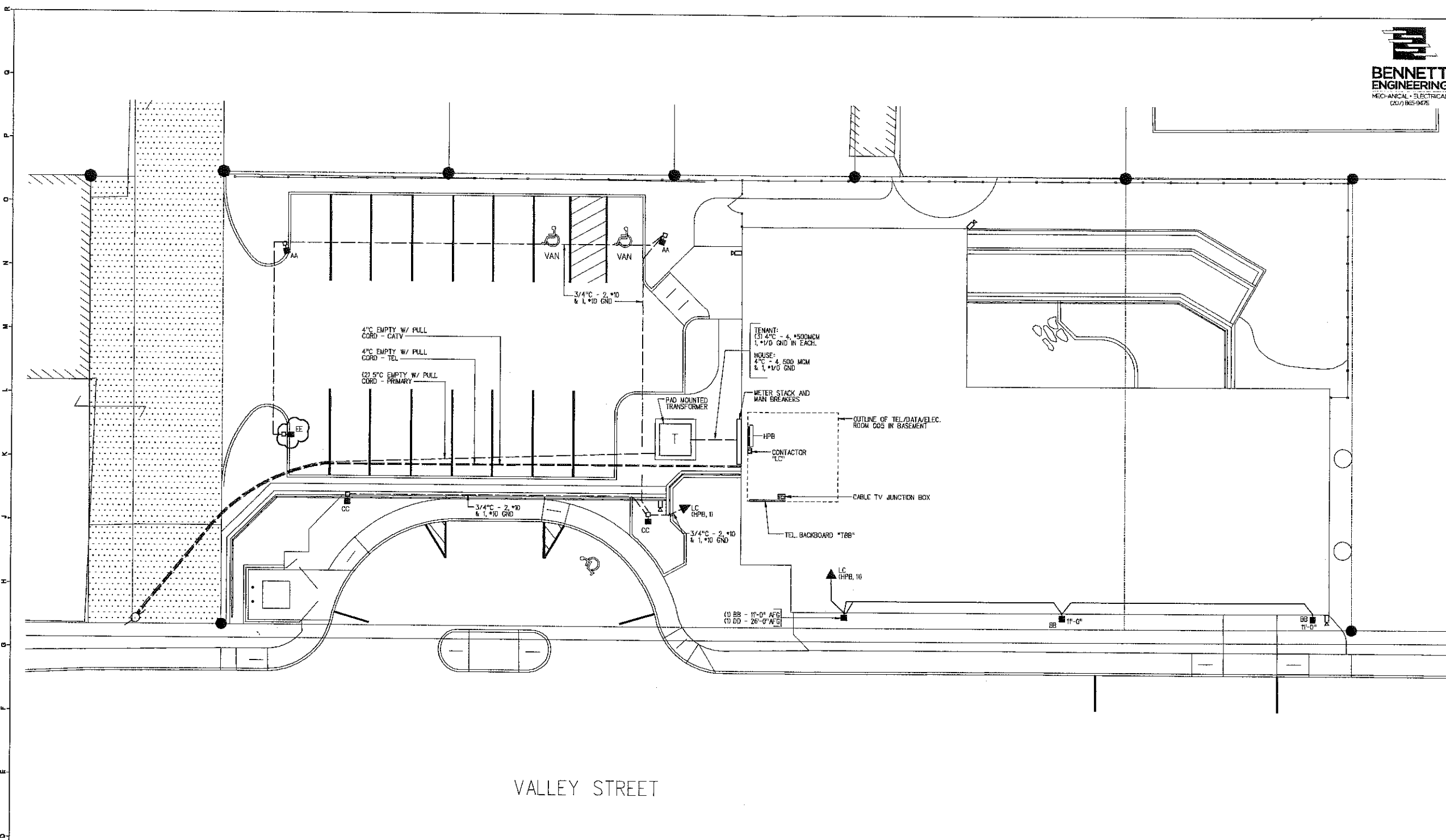
REVISIONS	
NO.	DATE
1	4.26.07
2	5.04.07
3	7.18.07
4	8.04.07
5	10.22.07
6	11.18.07
7	12.24.07
8	01.03.08
9	01.31.08
10	01.31.08

DATE:	09/23/08
PROJECT #:	100405
DRAWN BY:	SPD
CHECKED BY:	WJBR
DRAWING SCALE:	AS NOTED

SHEET TITLE
EXTERIOR ELECTRICAL PLAN

E 100

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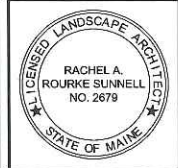
VALLEY STREET

EXTERIOR ELECTRICAL PLAN
SCALE: 1/8"=1'-0"

LIGHTING FIXTURE SCHEDULE			
TYPE	DESCRIPTION	LAMPS QUANTITY & TYPE	REMARKS
AA	KIM *1A/STS4-175MH208-HS /GS/KRS POLE	(1) 175W MH	MOUNTED @ 18' AFG - W/ HOUSE SIDE SHIELD
BB	KIM *1A/STS3-100MH208-WM-HS /GS/STS SURFACE WALL ASSEMBLY /GS-W	(1) 100W MH	WALL MOUNTED - W/ HOUSE SIDE SHIELD
CC	KIM *1A/STS3-175MH208 /GS/KRS POLE	(1) 175W MH	MOUNTED @ 15' AFG
DD	COLUMBIA *SLA-R-1-132-SL-B-2-2	(1) 32W TR	OUTDOOR SIGN LIGHT - REMOTE BALLAST MOUNTED IN JAN. 308
EE	KIM *1A/STS4-175MH208 /GS/KRS POLE	(1) 175W MH	MOUNTED @ 18' AFG



1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20



Gawron Turgeon
ARCHITECTS
29 Black Point Road
Scarborough, Maine 04074
www.gawronturgeon.com
207-883-6397 ext. 207-893-0361 fax



FLORENCE HOUSE
190 VALLEY STREET
PORTLAND, MAINE



REVISIONS		
#	DATE	DESCRIPTION
1	04.03.07	CONTRACT ZONE SUB.
2	05.23.07	CONTRACT ZONE REV.
3	07.10.07	CONTRACT ZONE REV.
4	09.04.07	SITE PLAN AND SUBDIVISION REVIEW
5	10.02.07	FINAL SITE PLAN REVIEW
6	10.23.07	FINAL SITE PLAN REVISIONS
7	11.16.07	50% REVIEW SET
8	12.7.07	MAINE HOUSING 50% REVIEW SET
9	05.02.08	MAINE HOUSING 75% REVIEW SET
10	07.31.08	MAINE HOUSING 100% REVIEW SET
11	09.02.08	100% BID DOCUMENTS

DATE:	09.02.08
PROJECT #:	100405
DRAWN BY:	KLD
CHECKED BY:	RS
DRAWING SCALE:	1" = 10'-0"

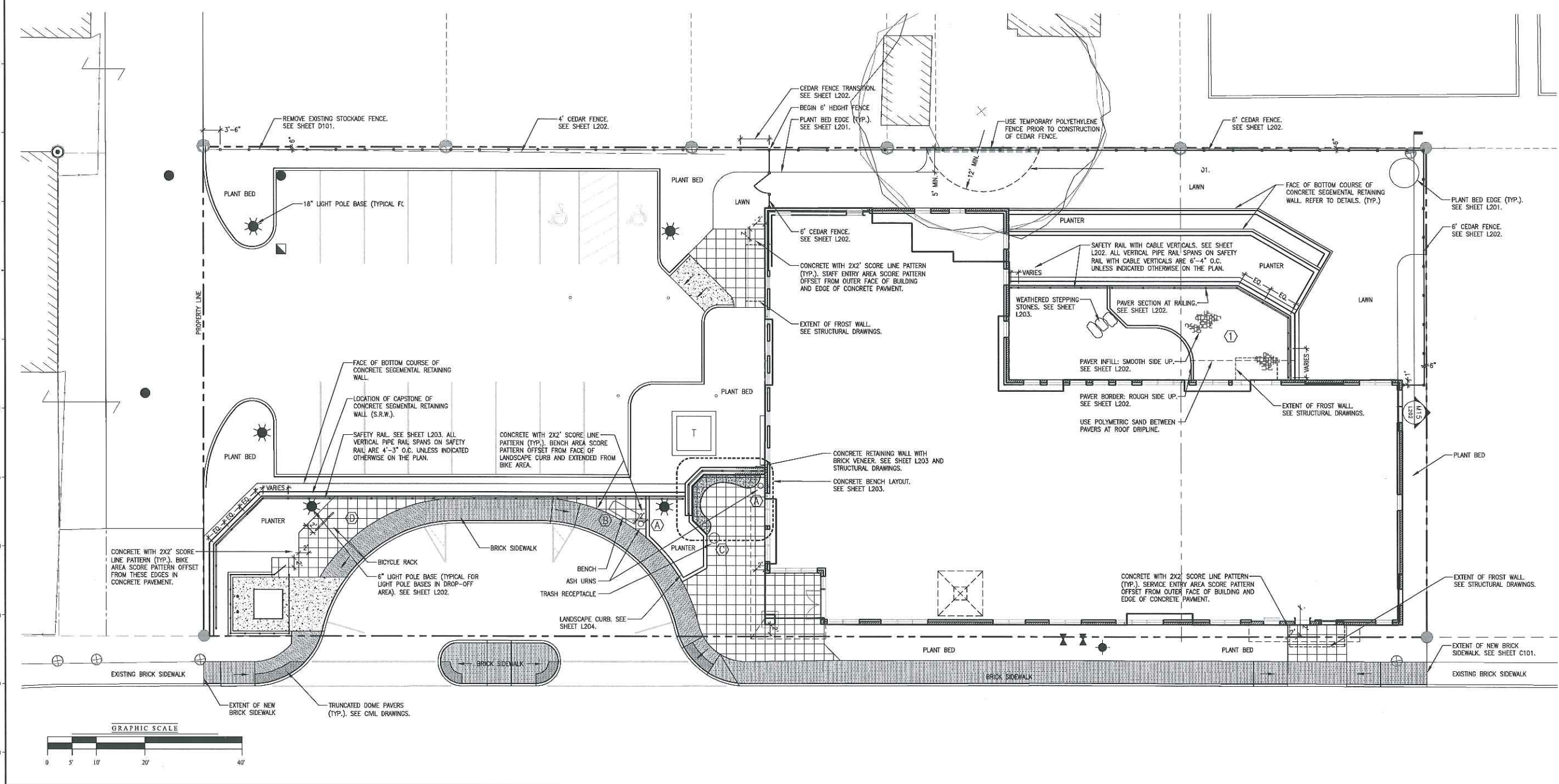
SHEET TITLE
HARDSCAPE AND SITE AMENITIES PLAN

L101
(FORMERLY SHEET NO. 5)

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<p>ASH URN A MANUFACTURER: WABASH VALLEY MANUFACTURING, INC. MODEL NUMBER: AT100 PATTERN: PERFORATED COLOR: TBA QUANTITY: 2 ADDRESS: WABASH VALLEY MANUFACTURING, INC. P.O. BOX 5, 505 E. MAIN ST. SILVER LAKE, IN 46982 PHONE NOS.: 260.352.2102 1.800.253.8619 WEBSITE: WWW.WABASH-VALLEY.COM</p> <p>ACCESSORIES: MODEL NUMBER: AU105 (INGROUND POST PACKAGE) QUANTITY: 2</p>	<p>BENCH B MANUFACTURER: WABASH VALLEY MANUFACTURING, INC. MODEL NUMBER: CN430 PATTERN: PERFORATED COLOR: TBA QUANTITY: 1 ADDRESS: WABASH VALLEY MANUFACTURING, INC. P.O. BOX 5, 505 E. MAIN ST. SILVER LAKE, IN 46982 PHONE NOS.: 260.352.2102 1.800.253.8619 WEBSITE: WWW.WABASH-VALLEY.COM</p>	<p>TRASH RECEPTACLE C MANUFACTURER: WABASH VALLEY MANUFACTURING, INC. MODEL NUMBER: LR300 PATTERN: SLAT COLOR: TBA QUANTITY: 1 ADDRESS: WABASH VALLEY MANUFACTURING, INC. P.O. BOX 5, 505 E. MAIN ST. SILVER LAKE, IN 46982 PHONE NOS.: 260.352.2102 1.800.253.8619 WEBSITE: WWW.WABASH-VALLEY.COM</p> <p>ACCESSORIES: MODEL NUMBER: LR100 (INGROUND POST PACKAGE) QUANTITY: 1</p> <p>MODEL NUMBER: FT100 (FLAT TOP LID W/8" OPENING - INWARD SLOPE) QUANTITY: 1</p>	<p>BICYCLE RACK D MANUFACTURER: COLUMBIA CASCADE MODEL NUMBER: 2170-7-E-G COLOR: TBA QUANTITY: 1 RETAILER: ENVIRONMENTAL CONCEPTS P.O. BOX 273 HULL, MA 02045 PHONE NO.: 781.925.5376</p>	<p>CONCRETE PAVERS 1 MANUFACTURER: TRANSPAVE PAVER TYPE: SEMITA MODULAR COLOR: TBA QUANTITY: 510 SF± RETAILER: MADAWASKA HARDSCAPE PRODUCTS INC. 222 RIVERSIDE STREET PORTLAND, ME PHONE NO.: 207.874.1895</p>
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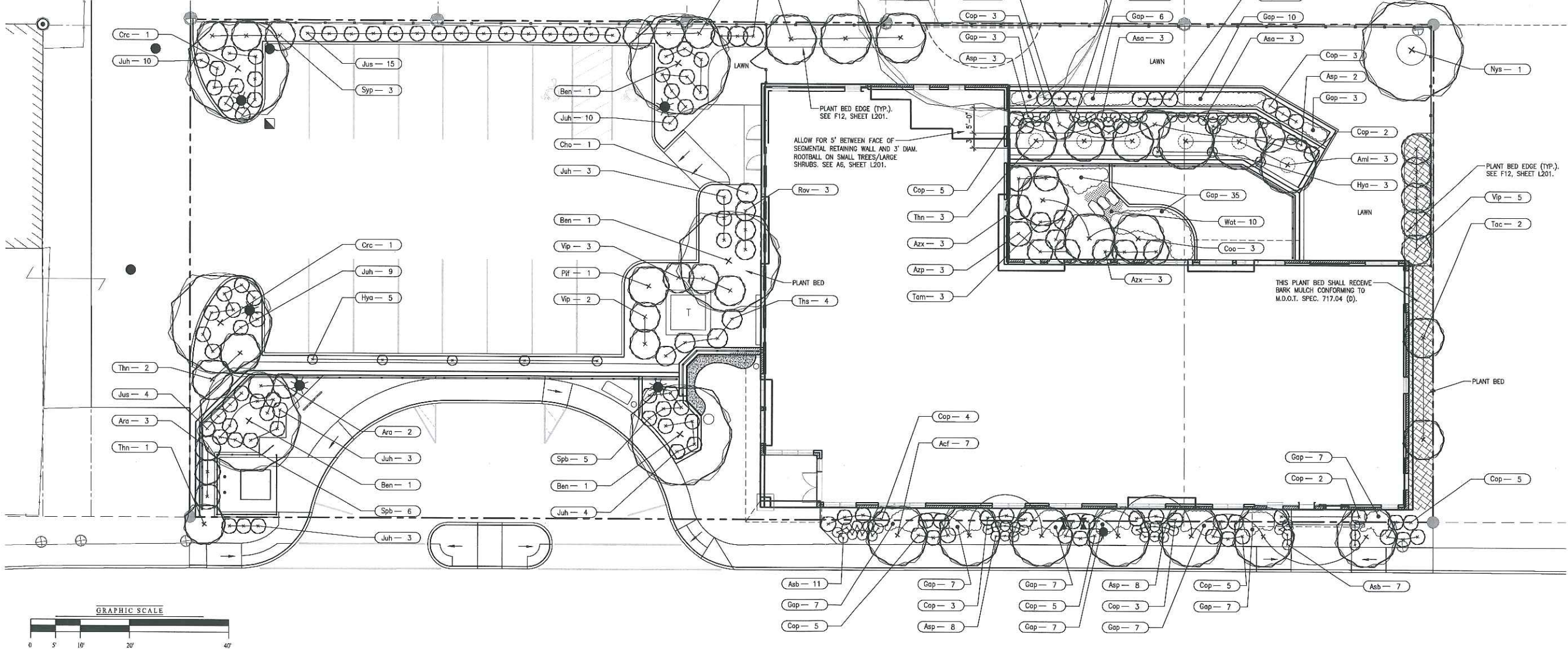
N1 SITE AMENITIES SCHEDULE NTS NOTE: ALL SITE AMENITIES SECURED VIA EMBEDMENT MOUNTING OPTION. SEE SHEET L204 FOR EMBEDMENT MOUNTING OPTIONS.	N13 CONCRETE PAVER SCHEDULE NTS TBA
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A1 HARDSCAPE AND SITE AMENITIES PLAN 1" = 10'-0"	<p>MAGNETIC NORTH</p> <p>TRUE NORTH</p>
--	---

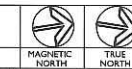
PLANT SCHEDULE							
KEY	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	TYPE	NOTES	MSHA Std.
Acf	<i>Acer x freemanii</i> 'Armstrong'	Armstrong Freeman Maple	2.5" cal.	7	Tree	45x12'	x
Aml	<i>Amelanchier laevis</i>	Allegheny Serviceberry	1.75" cal.	3	Tree	20x15', white-spring	x
Ben	<i>Betula nigra</i> 'Heritage'	Heritage River Birch	2.5" cal.	4	Tree	50x40'	x
Coo	<i>Cotinus obovatus</i>	American Smoketree	1.5" cal.	3	Tree	20x12', outstanding fall color	
Crc	<i>Crataegus crusgalli</i> var. <i>inermis</i>	Cocksbur Thornless Hawthorn	2" cal.	2	Tree	25x25', white-May	x
Maj	<i>Malus 'Jewelcole'</i>	Red Jewel Crabapple	2" cal.	3	Tree	15x10', white flowers, red fruit	x
Nys	<i>Nyssa sylvatica</i>	Black Gum	2" cal.	2	Tree	75x60'	x
Pif	<i>Pinus flexilis</i> 'Vanderwolf's Pyramid'	Vanderwolf's Pyramid Limber Pine	6-7'	1	Tree	25x10'	
Tac	<i>Taxus cuspidata</i> 'Capitata'	Upright Japanese Yew	6-7'	2	Tree	20x12'	
Thn	<i>Thuja occidentalis</i> 'Nigra'	Dark American Arborvitae	8'	6	Tree	25x12'	x
Ths	<i>Thuja occidentalis</i> 'Smaragd'	Emerald Green Arborvitae	5-6'	4	Tree	18x4'	x
Ara	<i>Aronia arbutifolia</i> 'Brilliantissima'	Red Chokeberry	#5	5	Shrub	10x6', white-spring, red fruit	x
Azp	<i>Azalea arborescens</i> x <i>viscosum</i> 'Pink & Sweet'	Pink and Sweet Azalea	#3	3	Shrub	6x6', pink-summer	x
Azx	<i>Azalea Exbury</i> 'Knaphill Red'	Knaphill Red Azalea	2-2.5' or #3	6	Shrub	6x6', red-late spring	x
Cho	<i>Chamaecyparis obtusa</i> 'Compacta'	Compact Hinoki Falsecypress	3-4'	1	Shrub	10x4'	
Cop	<i>Comptonia peregrina</i>	Sweetfern	#2	48	Shrub	3x4'	x
Hya	<i>Hydrangea anomala</i> petiolaris	Climbing Hydrangea	#3	8	Shrub	up to 20', white-mid summer	
Juh	<i>Juniperus horizontalis</i> 'Blue Chip'	Blue Chip Juniper	#2	41	Shrub	10"x8"	x
Jus	<i>Juniperus squamata</i> 'Holger'	Holger Juniper	#2	19	Shrub	3x4'	
Rhr	<i>Rhododendron</i> 'Roseum Elegans'	Roseum Elegans Rhododendron	4-5'	3	Shrub	8x8', lavender-pink	
Rov	<i>Rosa virginiana</i>	Virginia Rose	#3	6	Shrub	6x6', pink flower, red fruit	x
Spb	<i>Spiraea betulifolia</i> 'Tor'	Birchleaf Spirea	#5	11	Shrub	3x4', white	
Syp	<i>Syringa patula</i> 'Miss Kim'	Miss Kim Lilac	3-4'	6	Shrub	8x6', lavender-late summer	
Tam	<i>Taxus x media</i> 'Brownii'	Yew	2-2.5'	3	Shrub	3x5'	
Vip	<i>Viburnum prunifolium</i>	Blackhaw	4-5'	10	Shrub	15x10', cream-May, blue fruit	x
Asa	<i>Aster novae-angliae</i> 'Alma Potoschke'	Alma Potoschke New England Aster	1 gal.	6	Perennial	3'h, magenta-late fall	x
Asb	<i>Aster novi-belgii</i> 'Jenny'	Jenny New York Aster	1 gal.	18	Perennial	15x24', raspberry-late sum.	x
Asp	<i>Aster novae-angliae</i> 'Purple Dome'	Purple Dome New England Aster	1 gal.	34	Perennial	1.5x3', purple-fall	x
Gap	<i>Gaultheria procumbens</i>	Wintergreen	1 gal.	106	Groundcover	6"h, red fruit	x
Wat	<i>Waldsteinia ternata</i>	Barren Strawberry	1 gal.	10	Groundcover	5'h, yellow-May-June	

'MSHA Standard' plants as percentage of all plants: 82.4%



A1 PLANTING PLAN & PLANT SCHEDULE

1"=10'-0"



Gawron Turgeon
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FLORENCE HOUSE
190 VALLEY STREET
PORTLAND, MAINE



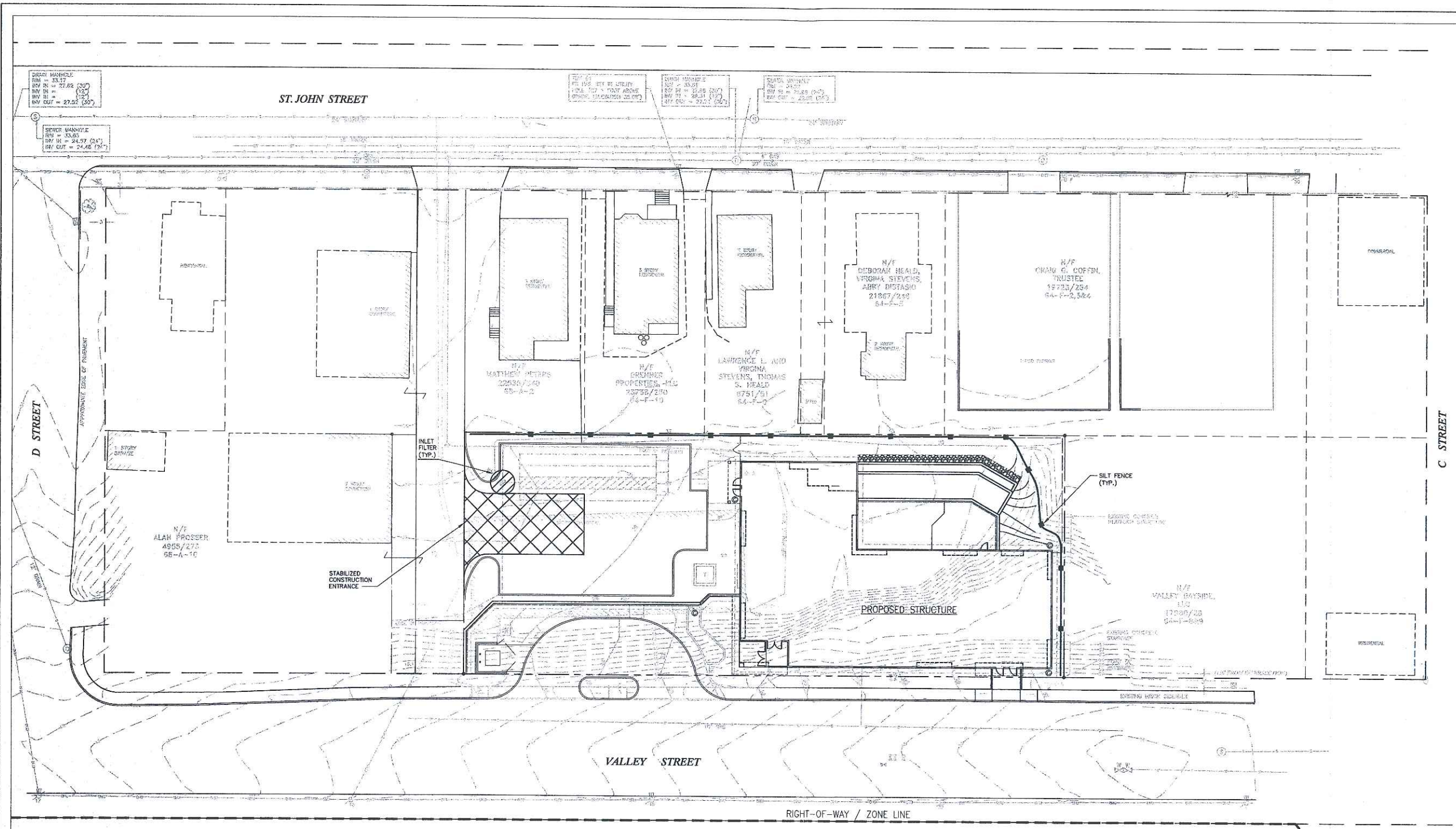
REVISIONS

#	DATE	DESCRIPTION
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2	05.22.07	CONTRACT ZONE REV.
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10	07.31.08	MAINE HOUSING 100% REVIEW SET
11	09.02.08	100% BID DOCUMENTS

DATE:	09.02.08
PROJECT #:	100405
DRAWN BY:	KLD
CHECKED BY:	RS
DRAWING SCALE:	1"=10'-0"

SHEET TITLE
PLANTING PLAN & PLANT SCHEDULE

L102
(FORMERLY SHEET NO. 5)



LEGEND

	EXISTING	PROPOSED		EXISTING	PROPOSED
PROPERTY LINE	---	---	WATER SERVICE	W	WATER
MONUMENT FOUND	■ MON		SEWER SERVICE	S	SS
REBAR FOUND	■		STORM DRAIN	D	SD
CONTOUR	70	70	GAS SERVICE	G	GAS
SPOT GRADE	+39.66	+39.66	UNDERGROUND TELEPHONE	UT	
CATCHBASIN	■	CB	OVERHEAD WIRES	OHU	
FIELD INLET		FI	UNDERGROUND ELECTRIC TELEPHONE + CABLE		E/T/C
SEWER MANHOLE	⊙	SMH	UNDERGROUND SECONDARY ELECTRIC		SE
DRAIN MANHOLE	⊙	DMH	FENCE		
WATER VALVE	⊙		TEST BORING	⊕	
GAS VALVE	⊙				
UTILITY POLE	⊙				
UTILITY POLE WITH LIGHT	⊙				
LIGHT POLE		*			

NOTES

- REFER TO DRAWING 13 FOR EROSION AND SEDIMENTATION CONTROL DETAILS AND NOTES.
- ALL SLOPES STEEPER THAN 3:1 SHALL BE PROTECTED WITH CURLEX BLANKETS BY AMERICAN EXCELSIOR. INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- FOR TEMPORARY STABILIZATION INSTALL TENAX MULTIMAT FABRIC ON ALL SLOPES EQUAL TO OR STEEPER THAN 8% BETWEEN OCTOBER 1 AND APRIL 15 AND EQUAL TO OR STEEPER THAN 15% BETWEEN APRIL 15 AND OCTOBER 1. INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR SHALL MINIMIZE FUGITIVE DUST EMISSIONS BY SWEEPING THE ADJACENT STREETS AS REQUIRED AND BY APPLYING WATER OR OTHER ENVIRONMENTALLY SOUND DUST CONTROL SOLUTION (CALCIUM CHLORIDE) ON SITE AS REQUIRED.

Prepared For:
Applicant:

AVESTA HOUSING

307 Cumberland Avenue
Portland, Maine 04101
Tel: (207) 553-7777

Prepared By:
MITCHELL & ASSOCIATES
Landscape Architects
The Staples School
70 Center Street
Portland, Maine 04101
Tel: (207) 774-4427

Gp Gorrill-Palmer
Consulting Engineers, Inc.
Traffic and Civil Engineering Services
16 Shaker Road
Gray, ME 04039
Tel: 207-657-8910
Fax: 207-657-8912

FLORENCE HOUSE

Portland, Maine

190 Valley Street

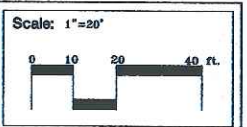
Date:
SEPTEMBER 4, 2007

Issued For:
SITE PLAN AND
SUBDIVISION REVIEW

Revisions:
October 2, 2007 - Per Planning
Staff and Board Comments.

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Title:
**EROSION AND
SEDIMENTATION
CONTROL PLAN**



North

Sheet No.
6



SUBDIVISION/SITE DEVELOPMENT
Cost Estimate of Improvements to be covered by Performance Guarantee

Date: 11/12/08

Name of Project: Florence House
 Address/Location: 190 Valley St. Portland, ME
 Application ID #: _____
 Developer: AVESTA FLORENCE HOUSE, L.P.
 Form of Performance Guarantee: _____

Type of Development: Subdivision _____ Site Plan (Major/Minor) _____

TO BE FILLED OUT BY THE APPLICANT:

Item	PUBLIC			PRIVATE		
	Quantity	Unit Cost	Subtotal	Quantity	Unit Cost	Subtotal
1. STREET/SIDEWALK				17,000		
Road/Parking Areas	0	0	0	350	99.5	34,650 ✓
Curbing	0	0	0	331	7.5	2,317.5 ✓
Sidewalks	0	0	0			
Esplanades (Wired Surfaces)	0	0	0	1	LS	76,197 ✓
Monuments	0	0	0			
Street Lighting	0	0	0			
Street Opening Repairs	0	0	0			
Other	0	0	0			
				1	LS	22,000 ✓
2. EARTH WORK						
Cut	0	0	0	3,260	25.5	81,500 ✓
Fill	0	0	0	3,468	25.5	86,758 ✓
						86,750
3. SANITARY SEWER						
Manholes	0	0	0	2	2,500.0	5,000.0 ✓
Piping	100'	36	3,600 ✓	200'	36	7,200 ✓
Connections	0	0	0	0	3650	0
Main Line Piping	0	0	0	0	0	0
House Sewer Service Piping	0	0	0	0	0	0
Pump Stations	0	0	0	0	0	0
Other	0	0	0	0	0	0
4. WATER MAINS						
	110'	30.5	3,300 ✓	120'	25.5	3,000 ✓
5. STORM DRAINAGE						
Manholes	0	0	0	4		11,200
Catchbasins	0	0	0	16	2,800.0	44,800 ✓
Piping	0	0	0	31	7,500.0	232,500 ✓
Detention Basin	0	0	0	115	36.5	4,197.5 ✓
Stormwater Quality Units						
Other	0	0	0	1	LS	20,491 ✓
				1	EA	700 ✓

6. SITE LIGHTING	<u>0</u>	<u>0</u>	<u>0</u>	458.	3326	15464. SITE SUB ✓
7. EROSION CONTROL	<u>0</u>	<u>0</u>	<u>0</u>	1	LS	10,700. ELEC SUB ✓
Silt Fence	<u>0</u>	<u>0</u>	<u>0</u>	200'	4.1	800. ✓
Check Dams	<u>0</u>	<u>0</u>	<u>0</u>	0	0	0
Pipe Inlet/Outlet Protection	<u>0</u>	<u>0</u>	<u>0</u>	0	0	0
Level Lip Spreader	<u>0</u>	<u>0</u>	<u>0</u>	0	0	0
Slope Stabilization	<u>0</u>	<u>0</u>	<u>0</u>	0	0	0
Geotextile	<u>0</u>	<u>0</u>	<u>0</u>	0	0	0
Hay Bale Barriers	<u>0</u>	<u>0</u>	<u>0</u>	10	8	80. ✓
Catch Basin Inlet Protection	<u>0</u>	<u>0</u>	<u>0</u>	4	200	800. ✓
8. RECREATION AND OPEN SPACE AMENITIES	<u>0</u>	<u>0</u>	<u>0</u>	0	0	0
FENCING	<u>0</u>	<u>0</u>	<u>0</u>	1	LS	2,100. ✓
9. LANDSCAPING	<u>0</u>	<u>0</u>	<u>0</u>	1	LS	25,250. ✓
(Attach breakdown of plant materials, quantities, and unit costs)	<u>0</u>	<u>0</u>	<u>0</u>	1	LS	27,600. ✓
10. MISCELLANEOUS	<u>0</u>	<u>0</u>	<u>0</u>	1	LS	44,405. ✓
TOTAL:	<u>6,900.00</u>			<u>468,653.00</u>		480,300
GRAND TOTAL:				<u>475,553.00</u>		

\$487,200
 124,008 OK

INSPECTION FEE (to be filled out by the City)

	PUBLIC	PRIVATE	TOTAL
A: 2.0% of totals:	<u>138</u>	<u>9604</u>	<u>\$ 9744</u>
or			
B: Alternative Assessment:	_____	_____	_____
Assessed by:	_____	_____	_____
	(name)	(name)	

Salmon Falls Nursery & Landscaping

1978 ~ Celebrating Our 30th Year ~ 2008

FLORENCE HOUSE - PLANTINGS
PORTLAND, MAINE

LANDSCAPE ESTIMATE
Date: November 11, 2008

ITEMS INCLUDED IN BID:

TREES, SHRUBS AND GROUNDCOVER PLANTING:

Scope of work to include furnishing and installing the following plant materials. Includes bark mulch, peat moss, organic fertilizer, tree wrap and tree support stakes.

7	Acer x freemanii Armstrong 2.5" Cal	8	Hydrangea anomola petiolaris #3
3	Amelanchier laevis 1.75" Cal	41	Juniperus horizontalis Blue Chip #2
4	*Betula nigra Heritage 2.5" Cal	19	Juniperus squamata Holger #2
3	Cotinus obovatus 1.5" Cal ***6-7'	3	Rhododendron Roseum Elegans 4-5'
2	*Crataegus crusgalli var. inermis 2" Cal	6	Rosa virginiana #3
3	Malus Jewelcole 2" Cal	11	Spiraea betulifolia Tor #5
2	*Nyssa sylvatica 2" Cal	6	Syringa patula Miss Kim 3-4'
1	Pinus flexilis Vanderwolf's Pyramid 6-7'	3	Taxus x media Brownii 2-2.5'
2	Taxus cuspidata Capitata 6-7'	10	Viburnum prunifolium 4-5'
6	Thuja occidentalis Nigra 8'	6	Aster novae-angliae Alma Potschke 1 Gal
4	Thuja occidentalis Smaragd 5-6'	18	Aster novi-belgii Jenny 1 Gal
5	Aronia arbutifolia Brilliantissima #5	34	Aster novae-angliae Purple Dome 1 Gal
3	Azalea arbor. x viscosum Pink & Sweet #3	106	Gaitheria procumbens 1 Gal
6	Azalea exbury Knaphill Red 2-2.5'	10	Waldsteinia ternata 1 Gal
1	Chamaecyparis obtusa Compacta 3-4'	43	Bark Mulch
48	Comptonia peregrina #2		

* **Fall Hazards** - These trees can only be dug from the nursery in the spring because they will not survive any other digging time. Therefore, due to availability and time of season, these trees may have to be planted in the Spring or alternate plants at our unit costs, which are available upon your request.

TOTAL PLANTING PRICE: \$18,100.00

C U L T I V A T I N G N A T U R A L B E A U T Y

Salmon Falls Nursery & Landscaping 511 Portland Street Berwick, Maine, 03901
ph 207.384.5540 fx 207.384.5680 www.salmonfallsnursery.com
Landscape Design • Installation • Irrigation • Maintenance

Philip DiPierro - Florence House Letter of Credit

From: Debora Keller <dkeller@avestahousing.org>
To: "Philip DiPierro " <PD@portlandmaine.gov>
Date: 3/19/2010 3:04 PM
Subject: Florence House Letter of Credit
CC: Mike Adams <MikeAdams@gannestonconstruction.com>
Attachments: SKMBT_C45010031914590.pdf

Phil,

I have attached a copy of the Cost Estimate for Improvements that Ganneston provided prior to construction start and that you marked up with the final Letter of Credit number (\$487,200).

Mike Adams from Ganneston provided the following numbers to be re remaining site work based on his initial estimates. The remaining work total is \$44,440 and includes:

- Landscaping \$27,606
- Erosion control \$400
- Street & Sidewalk
 - a. Road & Parking \$11,434
 - b. Hardscapes \$ 5,000

This is just under the required 10% number of \$48,720.

Please let me know if we can move forward to reduce the Letter of Credit to the 10% defect guarantee amount and I will begin working with TD Bank to take care of it.

-Deb

Debora Keller, Director of Development
Avesta Housing
307 Cumberland Avenue
Portland, ME 04101
dkeller@avestahousing.org
www.avestahousing.org
(207)553-7780 ext 228

From: copier@avestahousing.org [mailto:copier@avestahousing.org]
Sent: Friday, March 19, 2010 4:00 PM
To: Debora Keller
Subject: Message from KMBT_C450



TD Bank, N.A.
17 New England Executive Park
1st Floor
Burlington, MA 01803

**SITE PLAN/DIVISION
PERFORMANCE GUARANTEE
LETTER OF CREDIT NO. 20002961**

IRREVOCABLE STANDBY LETTER OF CREDIT

Issue Date: **January 13, 2009**
Expiration Date: **April 16, 2010**
Letter of Credit Number 20002961
Issuer: TD Bank, N.A.

BENEFICIARY

Director of Planning and Development
City of Portland
Attn: Penny Littell
389 Congress Street
Portland, ME 04101

APPLICANT

Avesta Florence Housing LP
307 Cumberland Ave.
Portland, ME 04101
Attn: Deb Keller

Dear Beneficiary:

Re: Avesta Florence Housing LP
307 Cumberland Ave., Portland Maine

TD Bank, N.A. ("Bank") hereby issues its Irrevocable Letter of Credit for the account of Avesta Florence Housing LP (hereinafter referred to as "Developer"), held for the exclusive benefit of the City of Portland, in the aggregate amount of Four Hundred Eighty Seven Thousand Two Hundred and 00/100 United States Dollars (US\$ 487,200.00). These funds represent the estimated cost of installing site improvements as depicted on the Avesta Florence Housing LP site plan, approved on October 23, 2007 and as required under Portland Code of Ordinances Chapter 14 §§499, 499.5, 525 and Chapter 25 §§46 through 65.

This Letter of Credit is required under Portland Code of Ordinances Chapter 14 §§499, 499.5, 525 and Chapter 25 §46 through 65 and is intended to satisfy the Developer's obligation, under Portland Code of Ordinances Chapter 14 §§501, 502 and 525, to post a performance guarantee for the above referenced development.

PAGE 2 OF IRREVOCABLE STANDBY LETTER OF CREDIT NO. 20002961

The City, through its Director of Planning and Development and in his/her sole discretion, may draw on this Letter of Credit by presentation of a sight draft and the Letter of Credit and all amendments thereto, up to the date of completion, stating any one of the following:

1. the Developer has failed to satisfactorily complete the work on the improvements contained within the Avesta Florence Housing LP site plan approval, dated October 23, 2007; or
2. the Developer has failed to deliver to the City a deed containing the metes and bounds description of any streets, easements or other improvements required to be deeded to the City; or
3. The Developer has failed to notify the City for inspections.

In the event of the Bank's dishonor of the City of Portland's sight draft, the Bank shall inform the City of Portland in writing of the reason or reasons thereof within three (3) business days of the dishonor.

After all underground work has been completed and inspected to the satisfaction of the Department of Public Works and Planning, including but not limited to sanitary sewers, storm drains, catch basins, manholes, electrical conduits, and other required improvements constructed chiefly below grade, the City of Portland Director of Planning and Development or its Director of Finance as provided in Chapter 14 §501 of the Portland Code of Ordinances, may authorize TD Bank, N.A., by written certification, to reduce the available amount of the escrowed money by a specified amount.

This performance guarantee will automatically expire on **April 16, 2010** ("Expiration Date") or on the date when the City determines that all improvements guaranteed by this Letter of Credit are satisfactorily completed, whichever is earlier. It is a condition of this Letter of Credit that it is deemed to be automatically extended without amendment for period(s) of one year each from the current Expiration Date hereof, or any future Expiration Date, unless within thirty (30) days prior to any expiration, the Bank notifies the City by certified mail (restricted delivery to Ellen Sanborn, Director of Finance, City of Portland, 389 Congress Street, Portland, Maine 04101) that the Bank elects not to consider this Letter of Credit renewed for any such additional period.

In the event of such notice, the City, in its sole discretion, may draw hereunder by presentation of a sight draft drawn on the Bank, accompanied by this Letter of Credit and all amendments thereto, and a statement purportedly signed by the Director of Planning and Development, at Bank's offices located at 17 New England Executive Park, 1st Floor, Burlington, MA 01803 stating that: "This drawing results from notification that the Bank has elected not to renew its Letter of Credit No. 20002961"

PAGE 3 OF IRREVOCABLE STANDBY LETTER OF CREDIT NO. 20002961

On its Expiration Date or on the date the City determines that all improvements guaranteed by this Letter of Credit are satisfactorily completed, this Performance Guarantee Letter of Credit shall be reduced by the City to ten (10) percent of its original amount and shall automatically convert to an Irrevocable Defect Letter of Credit. Written notice of such reduction shall be forwarded by the City to the Bank. The Defect Letter of Credit shall ensure the workmanship and durability of all materials used in the construction of the Avesta Florence Housing LP site plan approval, dated October 23, 2007 as required by City Code §14-501, 525 and shall automatically expire one (1) year from the date of its creation ("Termination Date").

The City, through its Director of Planning and Development and in his/her sole discretion, may draw on the Defect Letter of Credit by presentation of a sight draft and this Letter of Credit and all amendments thereto, at Bank's offices located at 17 New England Executive Park, 1st Floor, Burlington, MA 01803, prior to the Termination Date, stating any one of the following:

1. The Developer has failed to complete any unfinished improvements; or
2. The Developer has failed to correct any defects in workmanship; or
3. The Developer has failed to use durable materials in the construction and installation of improvements contained within the Avesta Florence Housing LP site improvements.

Date: _____

By: _____

David A. Bronson
Senior Vice President
Its Duly Authorized Agent

Please address all inquires related to the contents of this item to the above address, Attn: International Banking, Standby Letter of Credit Dept., or by calling: Tom Maslin @ (781) 229-7139, Mila Kaminsky @ (781) 229-7140 or John Amuzzini @ 781-229 7141. Our Fax # (781) 229-7127

From: Jean Fraser
To: Hanson, Chris
Date: 1/5/2009 2:46:46 PM
Subject: Florence House conditonas of Planning approval

Chris,

I understand that you are preparing a Building Permit with conditions that need to reflect outstanding planning matters. I gather you have received from Barbara and Phil the info re Perf. guarantee etc and I am confirming re the approval letter.

I attach the planning approval letter and confirm all conditions (that are relevant prior to a building permit being issued; please note that condition 2iii must be complied with before CO) have been complied with **EXCEPT:**

Condition 1iii: \$3000 to be paid into City's Street Tree Pogram;

Condition 2i: \$5000 to City for traffic calming

(I had advised the applicant that separate checks for these could be sent/brought in to me)

They must also record the Subdivision Plat (with required copies to City) after payment of Perf Guarantee, Inspection fees and the above infrastructure payments and I need 5 more (scaled) sets of the final plans. I have the signed subdivision plat which is ready to be recorded once we release it.

Please let me know if you need any more info in order to finalize what they need for the closing.

Jean
EXt 8728

CC: Barhydt, Barbara; DiPierro, Philip

THIS FORMS PART OF FINAL PLAN SET:

REF Plan A201 (Mechanical Screen)

From: "Betsy Melrose" <BMelrose@mitchellassociates.biz>
To: "Jean Fraser" <JF@portlandmaine.gov>
Date: 12/4/2008 3:44:50 PM
Subject: RE: Florence House

Hi Jean-

I spoke with Becky at Gawron-Turgeon and she said they could shift the opening in the rooftop mechanical screen to the southern part of the screening, behind the solar equipment. This way the opening will be screened with the solar equipment from views and the solar equipment will provide some noise reduction.

They will address this item during the construction process.

Hope this helps.
Betsy



**Gawron
Turgeon**
ARCHITECTS
29 Black Point Road
Scarborough, Maine 04074
www.gawronturgeon.com
207-881-4307 or 207-881-0341 fax



FLORENCE HOUSE
190 VALLEY STREET
PORTLAND, MAINE



REVISIONS

#	DATE	DESCRIPTION
1	4.03.07	CONTRACT ZONE SUBMISSION
2	5.01.07	CONTRACT ZONE SUBMISSION
3	7.10.07	CONTRACT ZONE SUBMISSION
4	9.04.07	SITE PLAN AND SUBDIVISION REVIEW
5	10.02.07	FINAL SITE PLAN REVIEW
6	11.15.07	10% MAINE HOUSING REVIEW SET
7	12.04.07	50% MAINE HOUSING REVIEW SET
8	05.02.08	90% MAINE HOUSING REVIEW SET
9	07.31.08	100% MAINE HOUSING REVIEW SET
10	09.02.08	100% BID DOCUMENTS

DATE: 09/02/08

PROJECT #: 100405

DRAWN BY: AEP

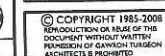
CHECKED BY: RLD

DRAWING SCALE: 1/8" = 1'-0"

SHEET TITLE

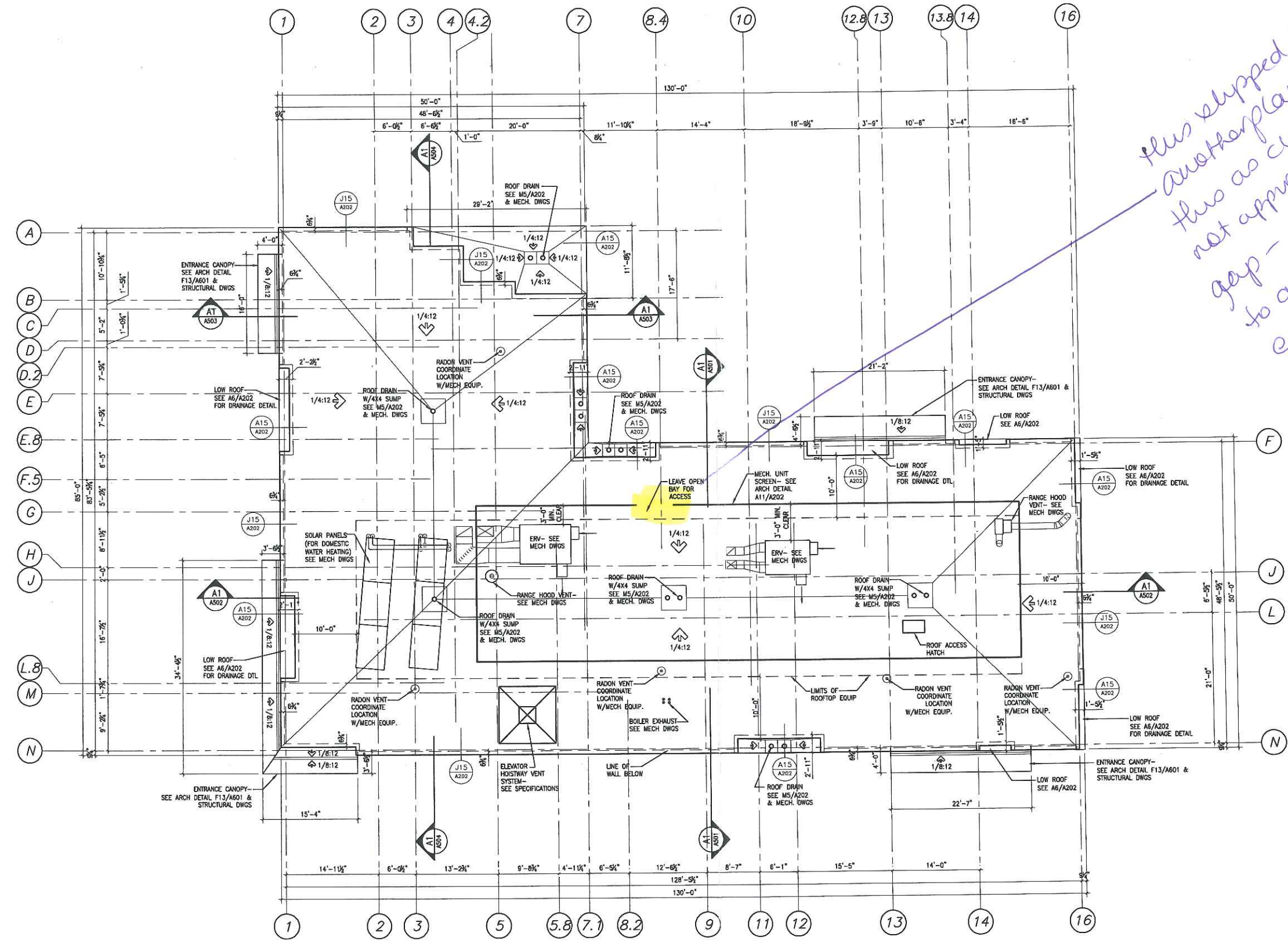
ROOF PLAN

A201



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ARCHITECTS IS PROHIBITED

*This slipped thru -
another plan showed
this as closed so Jim
not approving this
gap - they agreed
to amend. See
email attached*



A1 ROOF PLAN

1/8" = 1'-0" 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Planning & Urban Development Department

Penny St. Louis Littell, Director

Planning Division

Alexander Jaegerman, Director

September 18, 2008

Betsy Melrose
Mitchell & Associates
The Staples School
70 Center Street
Portland ME. 04101

RE: Florence House
Vicinity of 190 Valley Street, Portland
CBL: 68-A-11 and 64-F-20
Application ID: Site Plan/Subdivision #2007-0156

Dear Betsy

Thank you for your recent letter requesting an extension to the Site Plan approval for the Florence House project located at 190 Valley Street. I understand that your request is based on the fact that an appeal regarding the conditional zoning agreement delayed progress on the development.

In my capacity as Planning Division Director for the City of Portland, I am granting your request to extend your Site Plan approval to July 9, 2009, as based on the provisions of the City's Land Use Ordinance Section 14-525 (f) 2. If you have any questions, please contact Jean Fraser at (207) 874 8728.

Sincerely,

Alexander Jaegerman
Planning Division Director

Electronic Distribution:

Penny St. Louis Littell, Director of Planning and Urban Development
Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Jean Fraser, Planner
Philip DiPierro, Development Review Coordinator
Marge Schmuckal, Zoning Administrator

Jeanie Bourke, Inspections Division
Lisa Danforth, Administrative Assistant
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Kathi Earley, Public Works
Bill Clark, Public Works
Michael Farmer, Public Works
Jim Carmody, City Transportation Engineer
Jane Ward, Public Works
Captain Greg Cass, Fire Prevention
Jeff Tarling, City Arborist
Tom Errico, Wilbur Smith Consulting Engineers
Dan Goyette, Woodard & Curran
Assessor's Office
Approval Letter File
Hard Copy: Project File

cc. Avesta Florence House LP; Florence House Housing Corporation (FHHC); Florence House
Condominium Association
C/O Debora Keller
Development Officer
Avesta Housing
307 Cumberland Avenue
Portland, ME. 04101



PORTLAND MAINE

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Planning and Urban Development

Penny St. Louis Littell, Director

Planning Division

Alexander Jaegerman, Director

[as sent]

September 12, 2008

Betsy Melrose
Mitchell & Associates
The Staples School
70 Center Street
Portland ME. 04101

**RE: Florence House
Vicinity of 190 Valley Street, Portland
Conditions of Approval**

Application ID: Site Plan/Subdivision #2007-0156

Dear Betsy:

I am writing further to your submission of August 12, 2008 (which included revised proposals and information to address the conditions of approval for this project), my e-mailed comments of August 29, 2008 and your responses to these comments outlined in your letter of September 3, 2008.

The revisions generally meet the conditions of approval under discussion but a few issues remain to be resolved.

For clarity I have listed each of the conditions that need to be addressed at this stage and confirmed the current status:

- 1i. That the final recording subdivision plat will be completed to the satisfaction of the Corporation Counsel and include a list of any conditions imposed by the Planning Board, and will be submitted for the Planning Board's Signature; and*
- 1iii. That the applicant shall receive approval of its Condominium Documents and the issuance of a License from the City for uses within the right of right of way, through the City's Corporation Counsel office; and*

Status: The revised Plat, Condominium documents and license are under review by the City (Penny Littell).

- 2iii. That the applicant shall submit for review and approval by the Planning Authority, prior to the issuance of a Certificate of Occupancy, the location, size and design details of all signage; and*

Status: The signage on the building was a concern during the review and there was no implied approval to a sign at this location. The proposed building was represented as being residential in character and therefore the signage needs to be consistent with that character. A sign at this level and location appears to necessitate a light near residential windows and disrupts the alignment of the windows. We consider that the sign should be avoided if possible and at most be small in scale with low level timed lighting. This will require further discussion with staff prior to the application for a sign permit.

2iv. *That the applicant shall submit for review and approval by the Planning Authority, prior to the issuance of a Building Permit, the details, size, specifications and materials of the trim boards, window trim and cornice (which should be dimensional stock), awnings and segmental blocks; and*

Status: The cladding and trim board materials, revised materials for the retaining walls, and main entrance canopy etc, as described in your letters of 8.12.2008 and 9.3.2008, are approved and this condition has been met.

2v. *The applicant should adhere to the arboricultural practices shown on the submitted letters, plans and details and those outlined in the comments from the City Arborist of 10.18.2007 to protect the large Silver Maple tree in the rear yard of 213 St John Street. If during the first 2 years from Certificate of Occupancy this tree becomes unstable due to root loss or other construction damage related to the project, the applicant shall be responsible for pruning, removal and replacement of the tree if necessary and agreed with the owner. If removal and replacement is necessary, the replacement tree should be of 3 inch caliper of the same species (or other species as agreed with the owner); and*

Status: The City Arborist has reviewed the plans and details submitted 8.12.2008 and confirms they are acceptable in respect of this condition. However, it is noted that the Landscape Plan (originally Sheet 5, now L102) has been revised to incorporate a greater percentage of native species. Jeff Tarling has also reviewed these revisions and all are acceptable except that the Armstrong Freeman Maple (keyed as "Acf") should be 2.5 inches caliper. Please confirm this revision in writing.

2vi. *That the applicant shall submit for review and approval by the Planning Authority, prior to the issuance of a Building Permit, details, catalog cuts and illumination information regarding the proposed wall-mounted lights on the Valley Street elevation; and*

Status: We remain concerned about three aspects of the photometric plan submitted with your letter of 9.3.2008:

- a. The parking lot average is .99 foot candles and the City's standard is 1.25 foot candles. The photometric plan shown to the Planning Board showed the average for the parking lot as 1.51 foot candles.
- b. There is a "hot spot" of 7.7 foot candles (City standard is 5 foot candles maximum) near the southern-most building mounted light on the Valley Street elevation. While a waiver in this location could be considered, the question is whether this lighting level reflects the proposed light over the indicative sign on that elevation or not. If not, any sign lighting would add to the overall lighting level and exceed the standard substantially.
- c. Will there be any lighting incorporated into the canopy over the main entrance?

2viii. *That the applicant continue to work with the City's Urban Designer to refine the architecture to better align the windows to create a more unified design and to mitigate the blank wall facing the St John Street abutters; and*

Status: This condition has been met. Please note that the revised (reduced) glazing on one of the service doors facing Valley Street has been approved based on the stated need to meet the requirements of fire protection codes.

2ix. *That the applicant shall submit for review and approval by Urban Designer Marsh, prior to the issuance of a Building Permit, the design, materials and specifications for screening the rooftop appurtenances; and*

2x. *That the applicant shall meet the noise standards of the Portland City Code and shall mitigate violations thereof.*

Status: We would like a plan showing the location of each item of plant and the noise specifications (from the manufacturer) for each one and their cumulative impact. We need to see how near they are to the boundary of the site and seek documentation that the required noise standards can be met.

It may be useful to have a short meeting to run through this information so that the possibility of noise problems is minimized.

It is our experience that developments such as Florence House usually do require an emergency generator and we suggest it would be desirable to address this question at this stage.

Please note that condition 1iii and 2i must be undertaken prior to the release of the signed Subdivision Plat. Conditions 2ii and 2vii do not require any further action at this time.

Sincerely,

[signed]

Jean Fraser
Planner

Electronic Distribution:

cc: Penny St. Louis Littell, Director of Planning and Urban Development
Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Bill Needelman, Senior Planner
Philip DiPierro, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Jeanie Bourke, Inspections Division
Jim Carmody, Transportation Manager
Jeff Tarling, City Arborist
Captain Greg Cass, Fire Prevention

Ganneston Construction Corp
PO Box 27, North Belfast Avenue
Augusta, ME 04332-0027

LETTER OF TRANSMITTAL

Tel: (207) 621-8505
Fax: (207) 621-8508

GCC PROJECT NUMBER
GCC-80677

To:

CITY OF PORTLAND
*389 Congress Street
Portland, Me 04101*

WEDNESDAY 8:05AM

Date: March 17, 2010
Attention: PHIL DEPIERRO
RE: FLORENCE HOUSE PROJECT

WE ARE SENDING YOU X ATTACHED UNDER SEPARATE COVER

COPIES	NO.	DESCRIPTION
1		COPY OF SITE WORK AS BUILTS EXCLUDING LANDSCAPING

REMARKS

Please note that landscaping asbuilts will be forwarded once landscaping has been completed

Signed: Michael L. Adams
Sr. Project Manager

Date: 17-Mar-10

Ganneston Construction Corp
PO Box 27, North Belfast Avenue
Augusta, ME 04332-0027

Tel: (207) 621-8505
Fax: (207) 621-8508

To:

CITY OF PORTLAND
389 CONGRESS STREET
PORTLAND, MAINE 04101

LETTER OF TRANSMITTAL

GCC PROJECT #677
FLORENCE HOUSE PROJECT

Date: August 8, 2007

Attention: PHILIP DIPIERO

RE: INSPECTIONS DIVISION

WE ARE SENDING YOU X ATTACHED UNDER SEPARATE COVER

COPIES	NO.	DESCRIPTION
1		FLORENCE HOUSE PROJECT SUBDIVISION / SITE DEVELOPMENT FORM

REMARKS

PHILIP GANNESTON CONSTRUCTION CORP IS THE GENERAL CONTRACTOR FOR THE PROJECT SUBMITTING ABOVE INFORMATION ON BEHALF OF AVESTA HOUSING -- DEB KELLER PLEASE CONTACT MIKE ADAMS AT GANNESTON CONSTRUCTION 207-621-8505 FOR QUESTIONS OR EDIT REQUIREMENTS. XC:DEBKELLER, FILE
--

Signed:


MICHAEL L. ADAMS PROJECT MNGR.

Date:

13-Nov-08



PORTLAND MAINE

Planning Division
Jean Fraser, Planner

12:18

Fri 12/18/09

Phil,

Re Florence House
Mod. re truncated
domes + crosswalk

Tom stopped by + he is not
OK* with what they are
proposing - I have plan
& can show you what he
would like them to do.

Jan

- * crosswalks too wide
- * crosswalks need to tie in w/ domes