

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND BUILDING PERMIT

This is to certify that AVESTA FLORENCE HOUSE, LP

Located At 190 VALLEY ST

Job ID: 2012-03-3537-ALTCOMM

CBL: 064- F-020-001

has permission to Add underground Drainage Along Valley Side of building  
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

\_\_\_\_\_  
**Fire Prevention Officer**

  
\_\_\_\_\_  
**Code Enforcement Officer / Plan Reviewer**

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Foundation/Backfill

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-03-3537-ALTCOMM	Date Applied: 3/20/2012	CBL: 064- F-020-001	
Location of Construction: 190 VALLEY ST	Owner Name: AVESTA FLORENCE HOUSE, LP	Owner Address: 307 CUMBERLAND AVE  PORTLAND, ME 04101	Phone:  207-553-7777
Business Name:	Contractor Name: Ganneston Construction Corp - Mike Adams	Contractor Address: PO Box 27 Augusta ME 04332	Phone:  (207) 557-0963
Lessee/Buyer's Name:	Phone:	Permit Type: SITE ALTERATION	Zone:  C-48
Past Use:  Florence House	Proposed Use:  Same - Florence House - address drainage along Valley Street side of building	Cost of Work: 15000.00	CEO District:
		Fire Dept:  <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <input type="checkbox"/> N/A Signature:  4/11/12	Inspection: Use Group: <i>SA</i> Type: <i>SA</i> <i>SA</i> Signature:  5/7/12
Proposed Project Description: Address drainage		Pedestrian Activities District (P.A.D.)	
Permit Taken By:	<b>Zoning Approval</b>		

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>Admin - Artn</i> <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date:	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ARH</i>
	<b>CERTIFICATION</b>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

6-18-12 DWM Dick 458-2120 under drain OK

## Jeanie Bourke - RE: Florence House--easement and license -- RE: City Required Documents

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**From:** Philip DiPierro  
**To:** Adams, Mike; Bourke, Jeanie  
**Date:** 5/7/2012 12:09 PM  
**Subject:** RE: Florence House--easement and license -- RE: City Required Documents  
**CC:** Keller, Debora; Morrison, Stacey; pkoziell@cpmconstructors.com

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Hi Jeanie, this project has met all Planning Department requirements for the issuance of a building permit. The license agreement has been revised, executed, and recorded; and I have plans that can be stamped and circulated.

I'll sign off in 1S as soon as I get a chance.

Let me know if you have any questions. Thanks.

Phil

Philip DiPierro  
Development Review Coordinator  
City of Portland Planning Division  
389 Congress Street  
Portland, Maine 04101

Phone 207 874-8632  
Fax 207 756-8258

>>> "Mike Adams" <MikeAdams@gannestonconstruction.com> 5/7/2012 7:55 AM >>>

**Thank you,**

**Look forward to hearing from you and Philip soon.**

**Mike Adams**  
**Ganneston P.M.**

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**From:** Jeanie Bourke [mailto:JMB@portlandmaine.gov]  
**Sent:** Friday, May 04, 2012 9:04 AM  
**To:** Mike Adams; Philip DiPierro  
**Cc:** pkoziell@cpmconstructors.com  
**Subject:** FW: Florence House--easement and license -- RE: City Required Documents

Hi Mike,

I will be able to issue the permit when I receive notification from Phil in Planning. I will let you know when it is available to pick up.

Jeanie

Jeanie Bourke  
CEO/LPI/Plan Reviewer

**City of Portland**  
**Planning & Urban Development Dept./ Inspections Division**  
389 Congress St. Rm 315  
Portland, ME 04101  
[jmb@portlandmaine.gov](mailto:jmb@portlandmaine.gov)  
Direct: (207) 874-8715  
Office: (207) 874-8703

>>> "Mike Adams" <[MikeAdams@gannestonconstruction.com](mailto:MikeAdams@gannestonconstruction.com)> 5/3/2012 1:25 PM >>>

Jeanie, Philip,

Attached are documents that you required so that permits could be issued for the small drainage project – which we have already submitted applications and fees for.

Respectfully ask when we can pick up related permits.

Thank you

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**From:** Debora Keller [<mailto:dkeller@avestahousing.org>]  
**Sent:** Thursday, May 03, 2012 1:16 PM  
**To:** Paul Koziell ([pkoziell@cpmconstructors.com](mailto:pkoziell@cpmconstructors.com))  
**Cc:** Stacey Morrison; Mike Adams; Danielle West-Chuhta ([DWCHUHTA@portlandmaine.gov](mailto:DWCHUHTA@portlandmaine.gov))  
**Subject:** FW: Florence House--easement and license

I have attached recorded copies of the Florence House documents. Mike, you will need to forward these to anyone else at the City waiting for these; I have only included Counsel.

-Deb

Debora Keller  
Director of Programs  
Avesta Housing  
307 Cumberland Avenue  
Portland, ME 04101  
(207)553-7780 ext 228  
[www.avestahousing.org](http://www.avestahousing.org)

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**From:** Cito Selinger [<mailto:CSelinger@curtisthaxter.com>]  
**Sent:** Thursday, May 03, 2012 1:15 PM  
**To:** Debora Keller  
**Cc:** Melinda Eldridge  
**Subject:** Florence House--easement and license

Deb,

The easement and license were recorded today. Here are copies along with a copy of the Registry tape. Let me know if you want copies of the documents with the recording data stamped on them—that'll take a couple of days.

Cito

**CURTIS THAXTER**

ATTORNEYS AT LAW

Maurice A. Selinger, III, Esq.  
Member of the Firm

[mselecter@curtisthaxter.com](mailto:mselecter@curtisthaxter.com)

One Canal Plaza, Suite 1000, Portland, ME 04101  
P.O. Box 7320, Portland, ME 04112-7320  
TEL: 207-774-9000, Ext. 205  
FAX: 207-775-0612  
[www.curtisthaxter.com](http://www.curtisthaxter.com)

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Any statements in this communication regarding tax matters are not intended to be used, and may not be used, by any recipient for the purpose of avoiding Internal Revenue Service (IRS) penalties.

48

Entered 3/20/12



# General Building Permit Application

ID # 2012-03 - AITLamm

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 190 Valley Street		
Total Square Footage of Proposed Structure/Area N/A		Square Footage of Lot N/A
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#  #64F020	Applicant *must be owner, Lessee or Buyer* Name Avesta Florence House, LP Address 307 Cumberland Avenue City, State & Zip Portland, ME 04101	Telephone:  (207) 553-7777
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ 15,000.00 C of O Fee: \$ 75.00 Total Fee: \$ 255.00
Current legal use (i.e. single family) _____ Multi-Family _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? <u>Yes</u> If yes, please name <u>ReZone #1139</u> Project description: <u>Site Plan/Subdivision #2007/0156</u>  <u>Drainage along Valley Street side of building.</u>		
Contractor's name: <u>Ganneston Construction Corp.</u> Address: <u>P. O. Box 27</u> City, State & Zip <u>Augusta, ME 04332</u> Telephone: <u>(207) 621-8505</u> Who should we contact when the permit is ready: <u>Mike Adams</u> Telephone: <u>(207) 621-8505</u> Mailing address: <u>Same</u> Cell: <u>(207) 557-0963</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

RECEIVED  
MAR 20 2012  
Dept. of Building Inspections  
City of Portland Maine

Signature: [Signature]      Date: 3/15/2012

This is not a permit; you may not commence ANY work until the permit is issue

1 Plan coming in PDF (C102)  
Already have S101 in PDF + on G drive





# Certificate of Design Application

ASSOCIATED DESIGN PARTNERS, INC

From Designer:

Date:

Job Name:

Address of Construction:

3-5-10

AVESTA FLORENCE HOUSE

190 VALLEY ST, PORTLAND ME

## 2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2009 IBC Use Group Classification (s) NA

Type of Construction NA

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC NA

Is the Structure mixed use? NA If yes, separated or non separated or non separated (section 302.3) \_\_\_\_\_

Supervisory alarm System? NA Geotechnical/Soils report required? (See Section 1802.2) NA

### Structural Design Calculations

NA Submitted for all structural members (106.1 - 106.11)

### Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>NA</u>	

### Wind loads (1603.1.4, 1609)

- NA Design option utilized (1609.1.1, 1609.6)
- NA Basic wind speed (1809.3)
- NA Building category and wind importance factor,  $I_w$  (table 1604.5, 1609.5)
- NA Wind exposure category (1609.4)
- NA Internal pressure coefficient (ASCE 7)
- NA Component and cladding pressures (1609.1.1, 1609.6.2.2)
- NA Main force wind pressures (7603.1.1, 1609.6.2.1)

### Earth design data (1603.1.5, 1614-1623)

- NA Design option utilized (1614.1)
- NA Seismic use group ("Category")
- NA Spectral response coefficients,  $S_x$  &  $SD1$  (1615.1)
- NA Site class (1615.1.5)

- NA Live load reduction
- NA Roof *live* loads (1603.1.2, 1607.11)
- NA Roof snow loads (1603.7.3, 1608)
- NA Ground snow load,  $P_g$  (1608.2)
- NA If  $P_g > 10$  psf, flat-roof snow load  $S_f$
- NA If  $P_g > 10$  psf, snow exposure factor,  $C_e$
- NA If  $P_g > 10$  psf, snow load importance factor,  $I_s$
- NA Roof thermal factor,  $C_t$  (1608.4)
- NA Sloped roof snowload,  $P_s$  (1608.4)
- NA Seismic design category (1616.3)
- NA Basic seismic force resisting system (1617.6.2)
- NA Response modification coefficient,  $R$ , and deflection amplification factor,  $C_d$  (1617.6.2)
- NA Analysis procedure (1616.6, 1617.5)
- NA Design base shear (1617.4, 1617.5.1)

### Flood loads (1803.1.6, 1612)

- NA Flood Hazard area (1612.3)
- NA Elevation of structure

### Other loads

- NA Concentrated loads (1607.4)
- NA Partition loads (1607.5)
- NA Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



# Certificate of Design

Date: 3-5-12

From: ASSOCIATED DESIGN PARTNERS, INC

These plans and / or specifications covering construction work on:

190 VALLEY ST

NEW PARTIAL EXTERIOR FOUNDATION DRAIN.

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



Signature: *Aaron Wilson*

Title: VICE PRESIDENT

Firm: ASSOCIATED DESIGN PARTNERS, INC

Address: 80 LEIGHTON RD

FALMOUTH, ME 04105

Phone: 878-1751

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



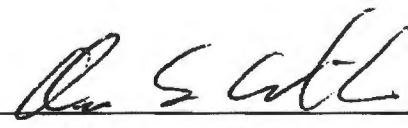
# Accessibility Building Code Certificate

**Designer:** ASSOCIATED DESIGN PARTNERS, INC

**Address of Project:** 190 VALLEY ST

**Nature of Project:** INSTALL PARTIAL PERIMETER FOUNDATION DRAIN AT EXTERIOR  
WORK DOES NOT INCLUDE ANY CHANGES TO ADA ACCESSIBILITY OF  
EXISTING BUILDING.

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

**Signature:** 

**Title:** VICE PRESIDENT

**Firm:** ASSOCIATED DESIGN PARTNERS, INC

**Address:** 80 LEIGHTON RD  
FALMOUTH, ME 04105

**Phone:** 878-1751



For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)

**Brad Saucier - Fwd: RE: Florence House - Valley Street**

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**From:** Jeanie Bourke  
**To:** Brad Saucier  
**Date:** 3/20/2012 9:29 AM  
**Subject:** Fwd: RE: Florence House - Valley Street  
**Attachments:** Temp00001.TIF; FlorenceDrainage.pdf

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>>> "Mike Adams" <MikeAdams@gannestonconstruction.com> 3/2/2012 7:18 AM >>>  
Phil, Jeanie, Matt,

Thanks for getting back to me and the help is much appreciated.  
Attached is design drawing of what is planned for work.

I plan to apply for permit at Jeanie's office early next week and plan to work things out with Public Services once we know exact schedule dates which expected to be at some point in April.

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**From:** Philip DiPierro [mailto:PD@portlandmaine.gov]  
**Sent:** Thursday, March 01, 2012 2:56 PM  
**To:** Mike Adams  
**Cc:** Jeanie Bourke; Matt Doughty  
**Subject:** Re: Florence House - Valley Street

Hi Mike, could you elaborate on the under drain system ie. the design, what will it be tied into, do you have a detail or drawing for the proposed work?

You will probably need a building permit through the Inspections office. Start by contacting Jeanie Bourke. She completes the plan reviews for most commercial projects and can probably provide you with more information about building permits than me. I've cc'd her on this message.

You will also need to contact Public Services for the standards that need to be followed for closing the sidewalk. They should also be able to tell you the fees involved. Matt Doughty is probably your best contact in that department. I've cc'd him on this message too.

Once I have more information on the under drain, I'll let you know what, if any, review or permits are required from the Planning Department.

Feel free to contact me with any questions. Thanks.

Phil

Philip DiPierro  
Development Review Coordinator  
City of Portland Planning Division  
389 Congress Street

Portland, Maine 04101

Phone 207 874-8632

Fax 207 756-8258

>>> "Mike Adams" <[MikeAdams@gannestonconstruction.com](mailto:MikeAdams@gannestonconstruction.com)> 3/1/2012 1:54 PM >>>  
Phil,

Would like to talk with you at some point regarding the below description of work and what it may mean with respect to your departmental needs and any related permit requirements. Also, can you recommend a contact at code enforcement so that I can get their input as well?

**Scope of work description,**

**"Due to an issue with drainage on the Valley Street side of Florence House, Ganneston Construction Corp. will be installing a simple under drain system and making repairs to the holes in the brick wall that were made during the investigation of the issue. We anticipate this construction work will take no more than four weeks. During this time, Ganneston Construction Corp. and its subcontractors will be working in the front of the building and will make every effort to minimize disruption to the building and its residents. The work is all exterior. No doors will be blocked during the process. A portion of the sidewalk in front of the building on Valley Street will likely be shut down for the duration of the repair."**

I am Ganneston Construction contact (Mike Adams) at 207-621-8505

If you need any clarification from Avesta, please contact

Debora Keller  
Director of Programs  
Avesta Housing  
307 Cumberland Avenue  
Portland, ME 04101  
(207)553-7780 ext 228  
[www.avestahousing.org](http://www.avestahousing.org)

Thanks in advance



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life • [www.portlandmaine.gov](http://www.portlandmaine.gov)*

## Receipts Details:

**Tender Information:** Check , Check Number: 3121

**Tender Amount:** 170.00

## Receipt Header:

**Cashier Id:** bsaucier

**Receipt Date:** 3/20/2012

**Receipt Number:** 41914

## Receipt Details:

Referance ID:	5690	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	170.00	Charge Amount:	170.00
Job ID: Job ID: 2012-03-3537-ALTCOMM - Drainage along Valley side of building			
Additional Comments: 190 Valley			

**Thank You for your Payment!**

Ganneston Construction Corp  
PO Box 27, North Belfast Avenue  
Augusta, ME 04332-0027

**LETTER OF TRANSMITTAL**

Tel: (207) 621-8505  
Fax: (207) 621-8508

To:

City of Portland  
389 Congress Street  
Portland, Maine 04101

Date: March 15, 2012  
Attention: Jeannie B. / Code Enforcement Dept  
RE: Florence House / Minor Drainage  
Permit Application & Info

WE ARE SENDING YOU  X  ATTACHED   UNDER SEPARATE COVER

COPIES	NO.	DESCRIPTION
3		Permit application and related information

REMARKS

Empty lined area for remarks.

Signed: Michael E. Adams, Sr. Project Manager Date: 15-Mar-12



# ASSOCIATED DESIGN PARTNERS INC.

Office: 207.876.1751  
Fax: 207.876.1768  
e-mail: adp@adpengineering.com

80 Leighton Road • Falmouth, Maine 04105

March 13, 2012

ADP #11388

Paul Koziell  
The Morrison Group  
30 Bonney Street  
P. O. Box B  
Freeport, Maine 04032

Re: Florence House

Dear Paul:

It is my understanding that The City of Portland and an AVESTA investor have requested clarification of some issues regarding the proposed drainage running from the canopy roof, to the right side of the building, which then potentially discharges onto the vacant lot.

Specifically I have been requested to address the following issues;

1. Verification that the proposed drainage system outlet will not cause any significant erosion. Given the very small catchment area, which is limited to the side entrance canopy roof and a small area between the canopy roof and end of the building, the amount of flow anticipated through the pipe and concentrated at the discharge is expected to be very minimal; furthermore, to ensure that no significant erosion is created at the discharge outlet we are proposing the contractor install a below grade discharge sump consisting of a 3 foot wide x 3 foot deep x 5 foot long hole lined with filter fabric, filled with 2 feet of  $\frac{3}{4}$ " crushed stone and overlain by 12" of D50= 4" stone riprap. The proposed sump should be positioned beginning downstream of the discharge pipe and finished flush to existing grade.
2. The only water entering this proposed drainage system comes from the small canopy roof over the side entry door. The volume of water from this small catchment is minimal and will likely only present discharge at the underdrain outlet during a significant weather event. Most of the roof runoff is expected to dissipate into the ground next to the foundation and eventually get collected by the existing footing drain system. Addition of the below grade infiltration sump will significantly reduce and perhaps eliminate the occurrence of offsite drainage influences.
3. In the event of a new project on the abutting property, this proposed drainage system could easily connect or tie into the drainage system for the new project.



4. It would be impractical to connect or tie into the existing footing drainage system located at the foundation footing elevation, simply because the depth to the existing footing drain is too deep to unearth by normal excavation means without creating potential damages and significant impacts to the existing site and building infrastructure.

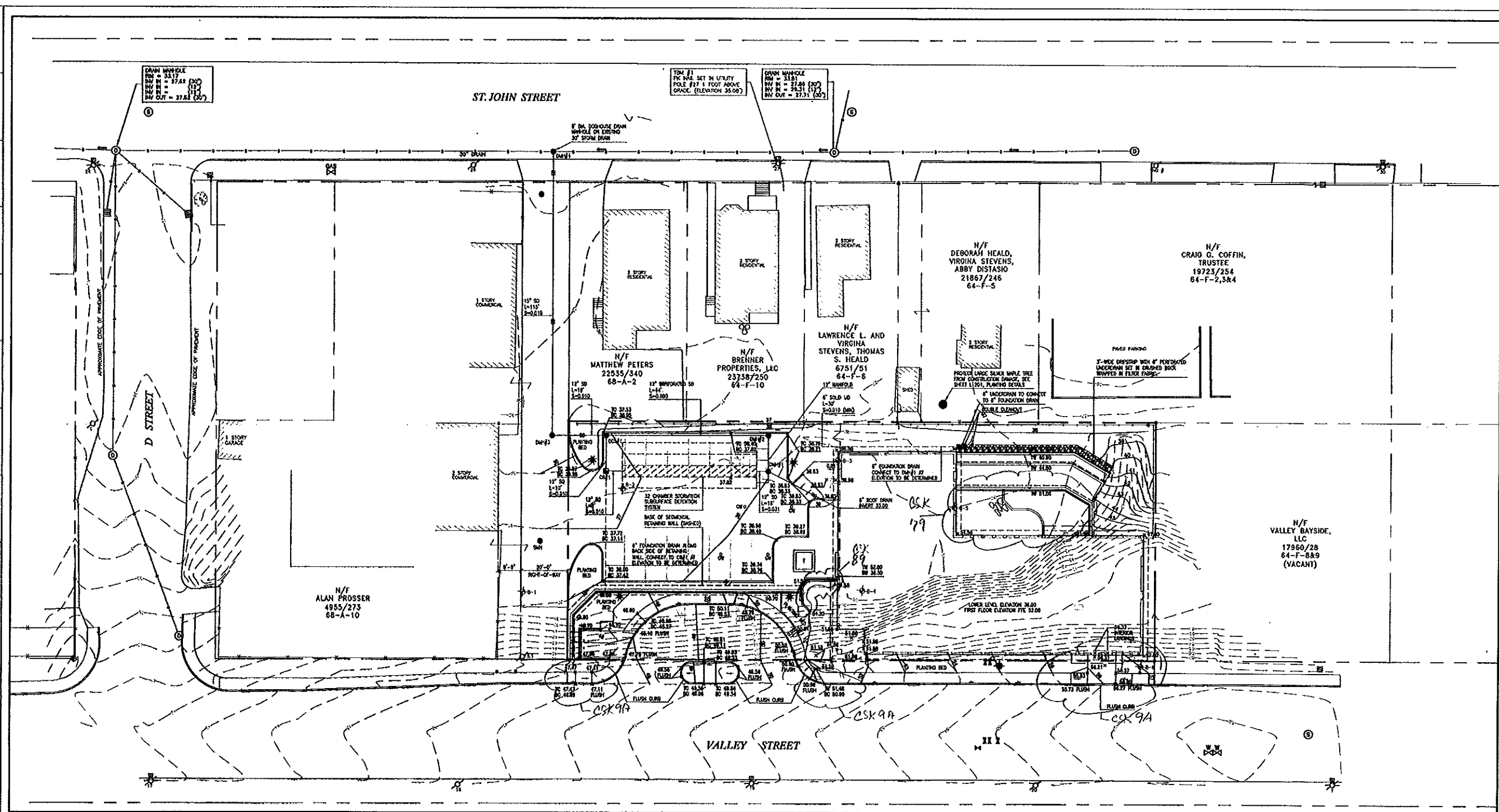
I trust this letter of clarification adequately addresses the concerns of AVESTA and the City of Portland.

Should any questions arise please do not hesitate to contact me.

Sincerely,



James A. Thibodeau  
President  
Associated Design Partners, Inc.



**Gawron Turgeon ARCHITECTS**  
 29 Black Point Road  
 Scarborough, Maine 04074  
 www.gawronturjeon.com  
 207-883-4307 or 207-883-0961 fax

**AVESTA HOUSING**  
**FLORENCE HOUSE**  
 190 VALLEY STREET  
 PORTLAND, MAINE

**REVISIONS**

#	DATE	DESCRIPTION
1	12/07	MAINE HOUSING 50% REVIEW SET
2	11/08	50% MAINE HOUSING REVIEW SET
3	7/31/08	100% MAINE HOUSING REVIEW SET
4	11/20	100% RED DOCUMENTS

**LEGEND**

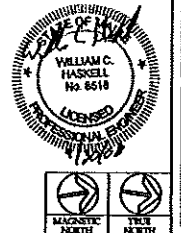
	EXISTING	PROPOSED		EXISTING	PROPOSED
PROPERTY LINE			UTILITY POLE		
MONUMENT FOUND			UTILITY POLE WITH LIGHT		
REBAR FOUND			LIGHT POLE		
CONTOUR			STORM DRAIN		
SPOT GRADE			FENCE		
CATCHBASIN			BASE OF WALL		
SEWER MANHOLE			SIGN		
DRAIN MANHOLE			TEST BORING		
GEOTHERMAL WELL					
WATER VALVE					
FIRE HYDRANT					

**NOTES**

- CONTRACTOR SHALL PROVIDE A FINAL DESIGN PREPARED BY A LICENSED PROFESSIONAL ENGINEER FOR ADDRESSING THE TEMPORARY STORM SYSTEM AND STABILIZATION OF VALLEY STREET. THE DESIGN SHALL CLEARLY SPECIFY THE MEANS AND METHODS OF THE SUPPORTING SYSTEM AND SHALL BE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR ENGINEER BEFORE PROCEEDING WITH SITEWORK.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE PHYSICALLY LOCATED UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.
- D#1#2 SHALL HAVE A WERWALL UP TO ELEVATION 33.00 TO DIRECT RUNOFF TO THE POND.

**STORM DRAIN STRUCTURES**

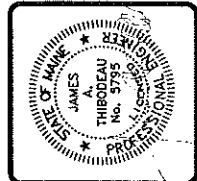
STRUCTURE	SIZE	RM	INV. IN	INV. OUT
CD#1	4' DIA	36.28	31.72 (CUD)	31.62 (050 ROW)
D#1#1	6' DIA	38.08	31.72 (FD)	33.00 (050 #1)
D#1#2	4' DIA	38.08	33.00	33.00 (CHANFOLD)
D#1#3	4' DIA	35.70	30.62	30.42
D#1#4	6' DIA	EXISTING GRADE	27.63 (EXISTING)	27.63 (EXISTING)
OC#5	6' DIA	36.95	29.70	30.80
			31.00	30.00
			0.00	0.00



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 Portland, Maine 04101  
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 www.mitchellandassociates.com

**GP** Gorrell-Palmer  
 Consulting Engineers, Inc.  
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 15 Shallow Road  
 Gray, ME 04039  
 TEL: 207-657-6940  
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 E-Mail: ma@gorrellpalmer.com

**C 102**  
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 GRADING AND DRAINAGE PLAN  
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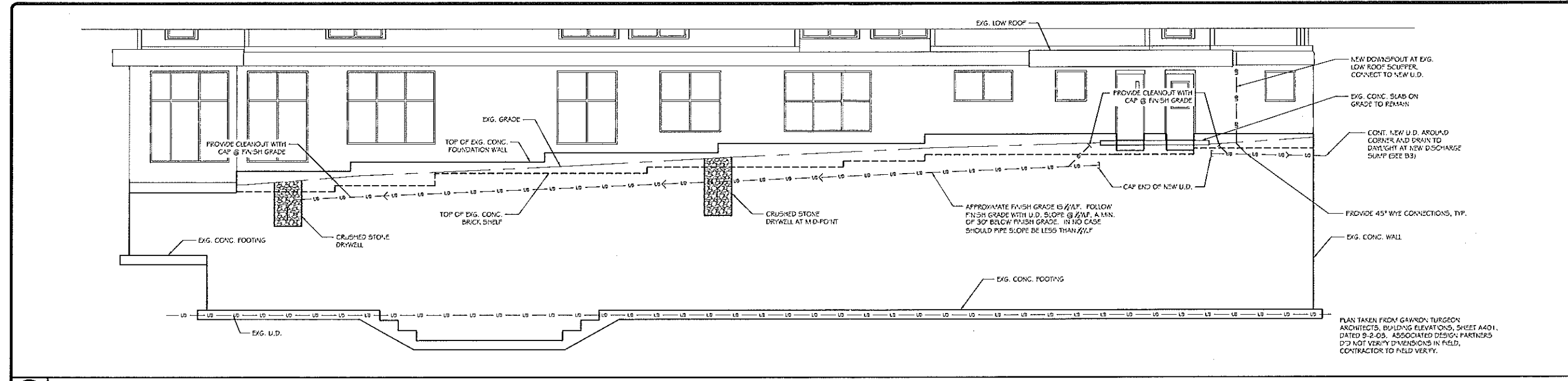
**ASSOCIATED DESIGN PARTNERS INC.**  
 Office: (207) 878-1751  
 Fax: (207) 878-1788  
 E-Mail: [adp@adpengineering.com](mailto:adp@adpengineering.com)  
 80 Leighton Road  
 Falmouth, Maine 04105

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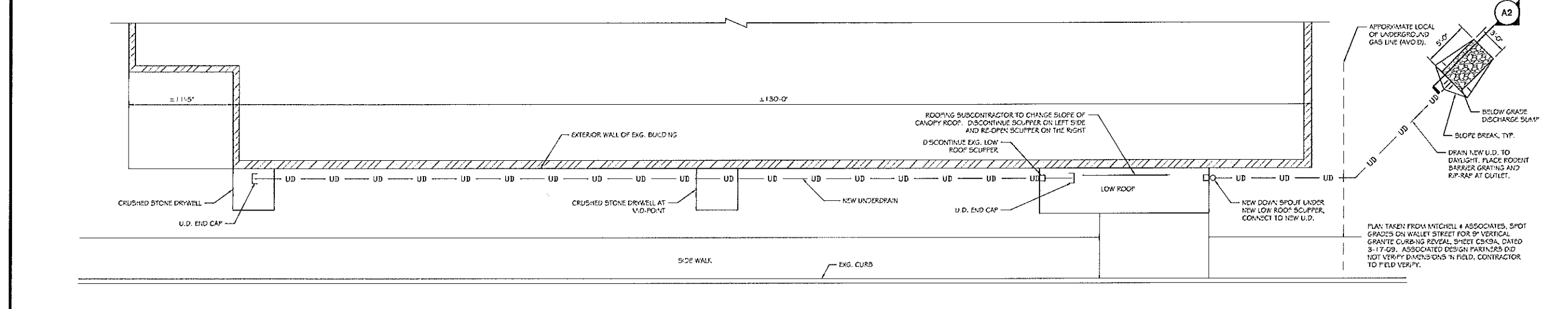
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**PORTLAND, MAINE**  
 FOR: \_\_\_\_\_  
 SHEET TITLE: **PARTIAL ELEVATION, PLAN, AND SECTION**  
**ISSUED FOR PERMITTING**

NO.	BY	REVISIONS	DATE

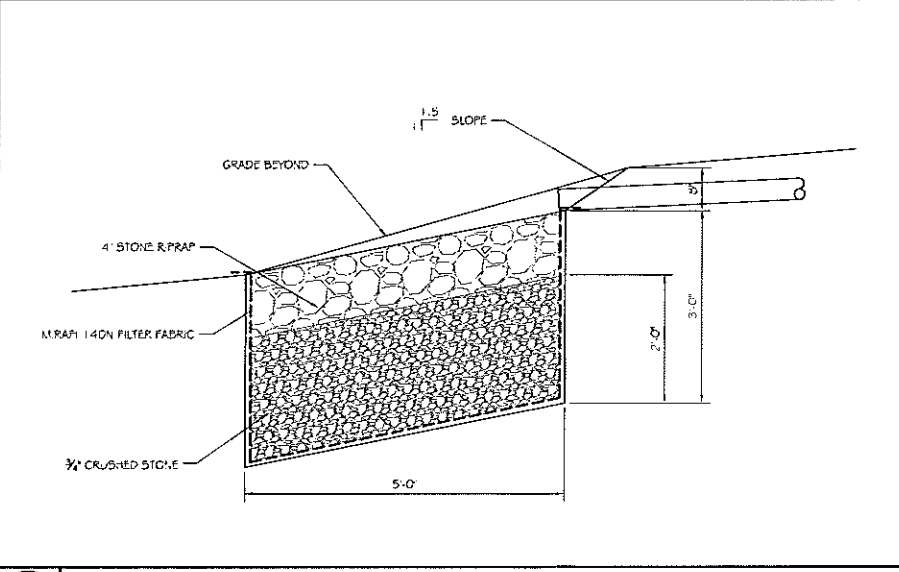
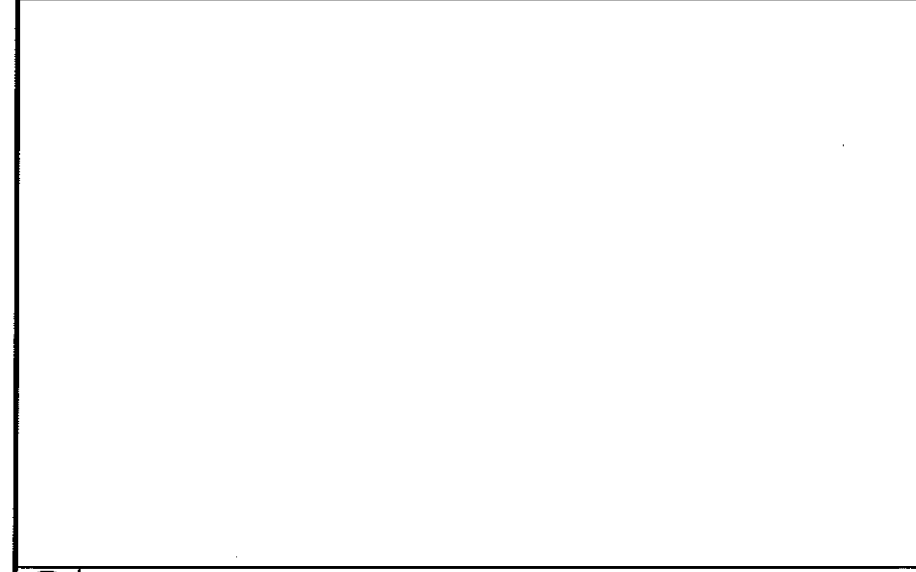
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 DESIGN BY: JAT  
 DRAWN BY: RSC  
 FILE #: 11388-S101.dwg  
 PROJECT NUMBER:  
**11388**  
 SHEET NO:  
**S101**



**C3** PROPOSED ELEVATION OF NEW DRAINAGE  
 SCALE: 3/8" = 1'-0"

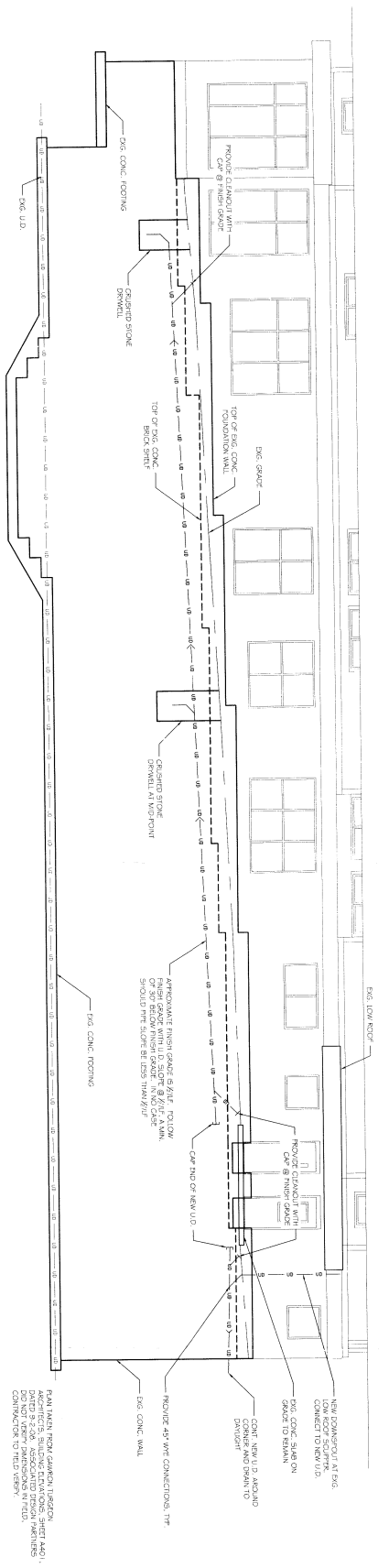


**B3** PROPOSED PLAN OF NEW DRAINAGE  
 SCALE: 3/8" = 1'-0"

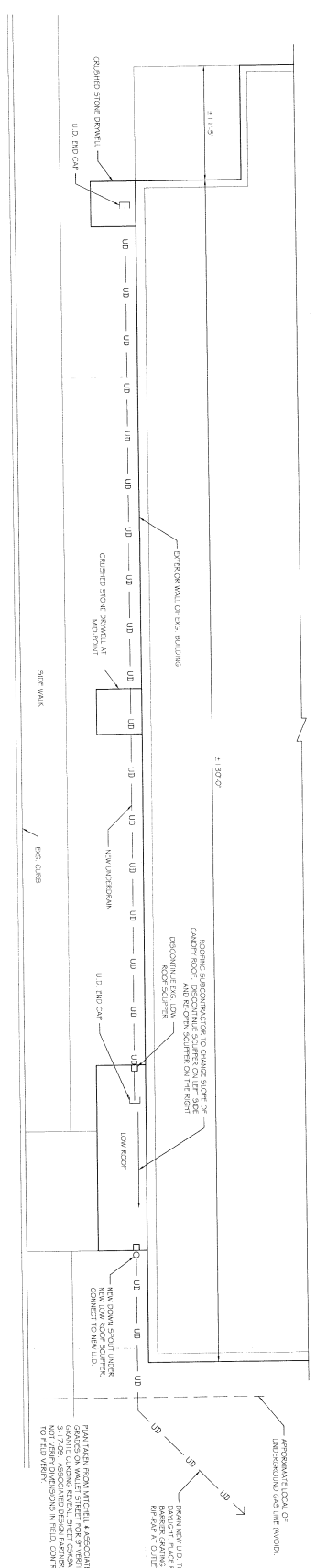


**A2** PROPOSED SECTION AT DISCHARGE  
 SCALE: 3/8" = 1'-0"

**A1** PROPOSED SECTION  
 SCALE: 3/8" = 1'-0"



63 PROPOSED ELEVATION OF NEW DRAINAGE  
SCALE: 3/8" = 1'-0"



63 PROPOSED PLAN OF NEW DRAINAGE  
SCALE: 3/8" = 1'-0"



63 PROPOSED SECTION  
SCALE: 3/8" = 1'-0"

APPROXIMATE LOCAL OF UNDERPASSION OVER THE ROADWAY.  
 PUMP NEW U.D. TO BASKET DRAINING AND BR PIP AT COLLECT.  
 PLAN FROM NORTH INTERLUM & ASSOCIATES, 3907 GRADES ON WALKER STREET FOR 3/4" VERTICAL 3.17/259. ASSOCIATED DESIGN PARTNERS INC. NOT TO BE USED FOR ANY OTHER PROJECTS WITHOUT WRITTEN PERMISSION.  
 APPROXIMATE LOCAL OF UNDERPASSION OVER THE ROADWAY.  
 PUMP NEW U.D. TO BASKET DRAINING AND BR PIP AT COLLECT.  
 PLAN FROM NORTH INTERLUM & ASSOCIATES, 3907 GRADES ON WALKER STREET FOR 3/4" VERTICAL 3.17/259. ASSOCIATED DESIGN PARTNERS INC. NOT TO BE USED FOR ANY OTHER PROJECTS WITHOUT WRITTEN PERMISSION.

PROJECT: **FLORENCE HOUSE**  
 PORTLAND, MAINE  
 FOR:  
 SHEET TITLE: **PARTIAL ELEVATION, PLAN, AND SECTION**  
 ISSUED FOR PERMITTING

**ASSOCIATED DESIGN PARTNERS INC.**  
 80 Leighton Road, Falmouth, Maine 04105  
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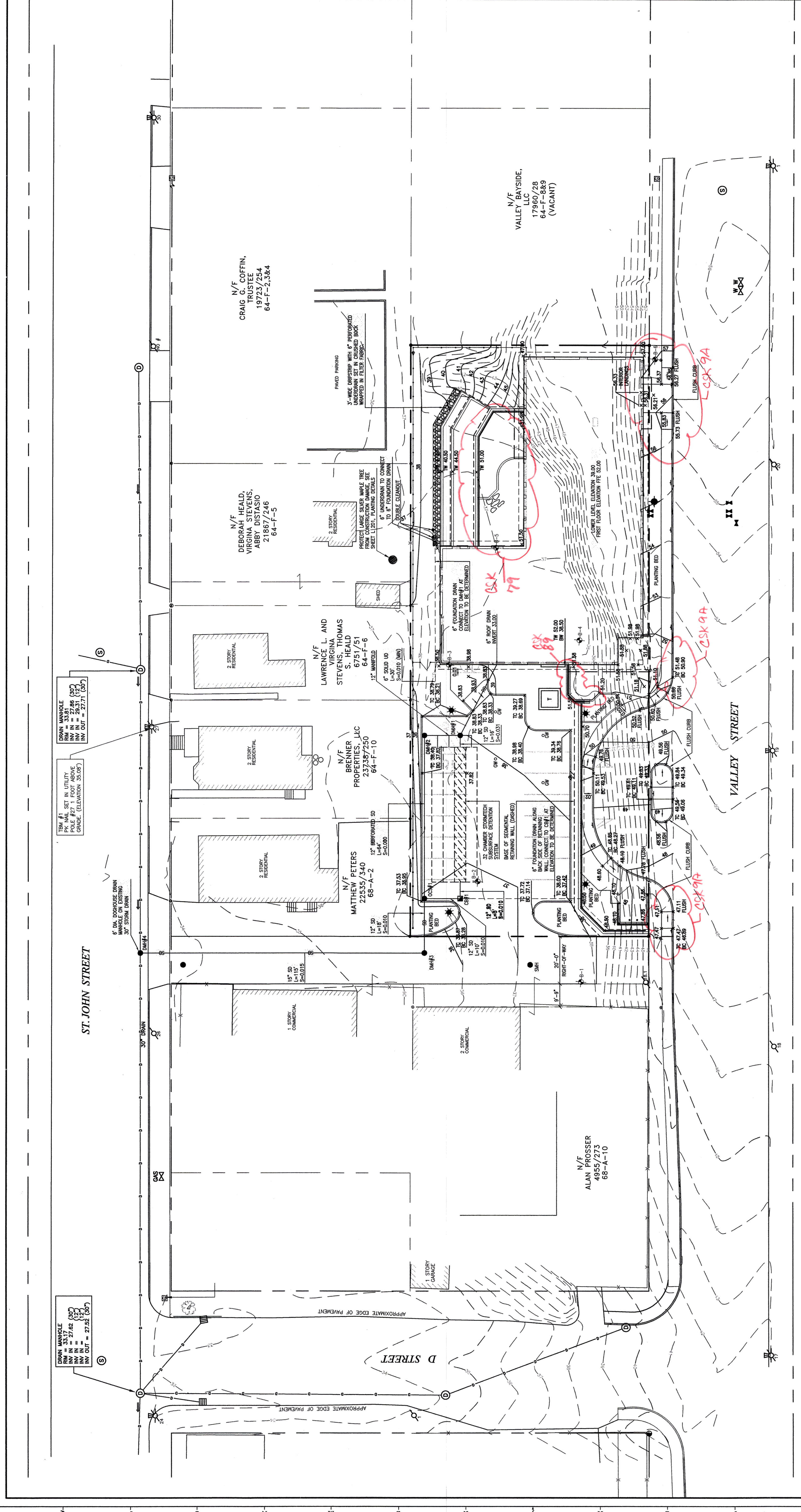
REVISIONS		
No.	BY	DESCRIPTION
1		
2		
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4		
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8		
9		
10		

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 SCALE: AS NOTED  
 DESIGN BY: [Signature]  
 CHECKED BY: [Signature]  
 FILE # 11388-510.dwg  
 PROJECT NUMBER: **11388**  
 SHEET NO.: **S101**

#	DATE	DESCRIPTION
1	12/27/07	MAINE HOUSING 5% REVIEW SET
2	8/2/08	90% MAINE HOUSING REVIEW SET
3	7/31/08	100% MAINE HOUSING REVIEW SET
4	9/2/08	100% REDOCUMENTS

DATE:	12/27/07
PROJECT #:	100405
DRAWN BY:	BYD
CHECKED BY:	WCH
DRAWING SCALE:	1"=20'-0"

SHEET TITLE	GRADING AND DRAINAGE PLAN
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 TEL: 207-657-6970  
 FAX: 207-657-6972

**STORM DRAIN STRUCTURES**

STRUCTURE	SIZE	RIM	INV. IN	INV. OUT
CB#1	4' DIA	36.28	31.72 (UD)	31.62 (ISO ROW)
DMH#1	6' DIA	38.08	31.72 (FD)	33.00 (COC #1)
DMH#2	4' DIA	38.08	33.00	31.62 (ISO ROW)
DMH#3	4' DIA	35.70	30.62	33.00 (MANIFOLD)
DMH#4	6' DIA	EXISTING GRADE	27.63 (EXISTING)	31.00
COC#	6' DIA	36.95	28.70	30.42
			31.00	30.80
			31.00	0.00
			0.00	0.00

- NOTES**
- CONTRACTOR SHALL PROVIDE A FINAL DESIGN, PREPARED BY A LICENSED PROFESSIONAL ENGINEER, FOR ADDRESSING THE TEMPORARY SHORING SYSTEM AND STABILIZATION OF VALLEY STREET. THE DESIGN SHALL CLEARLY SPECIFY THE MEANS AND METHODS OF THE SUPPORTING SYSTEM AND SHALL BE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR ENGINEER BEFORE PROCEEDING WITH SITEWORK.
  - THE UNDERGROUND UTILITIES SHOWN ARE BEING LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UTILITIES. CALL BEFORE YOU DIG. ANY CONSTRUCTION SHALL BE PERFORMED AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.
  - DMH#2 SHALL HAVE A WERWALL UP TO ELEVATION 33.00 TO DIRECT RUNOFF TO THE POND.

**LEGEND**

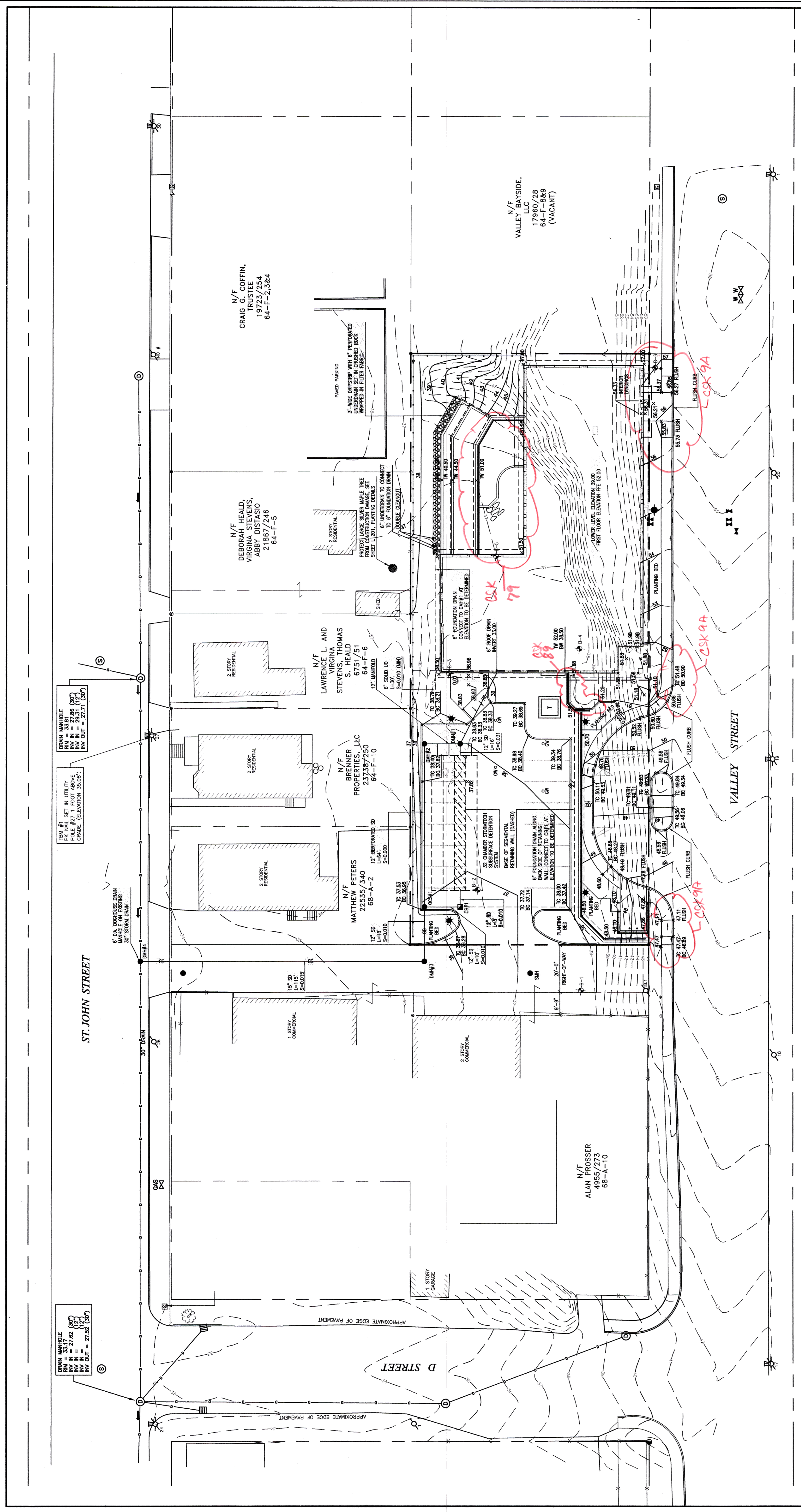
PROPERTY LINE	EXISTING	PROPOSED
UTILITY POLE	—	—
UTILITY POLE WITH LIGHT	—	—
LIGHT POLE	—	—
STORM DRAIN	—	—
FENCE	—	—
BASE OF WALL	—	—
SIGN	—	—
TEST BORING	—	—

PROPERTY LINE	EXISTING	PROPOSED
MONUMENT FOUND	—	—
REBAR FOUND	—	—
CONTOUR	—	—
SPOT GRADE	—	—
CATCHBASIN	—	—
SEWER MANHOLE	—	—
DRAIN MANHOLE	—	—
GEOTHERMAL WELL	—	—
WATER VALVE	—	—
FIRE HYDRANT	—	—

#	DATE	DESCRIPTION
1	12/27/07	MAINE HOUSING 5% REVIEW SET
2	8/2/08	90% MAINE HOUSING REVIEW SET
3	7/21/08	100% MAINE HOUSING REVIEW SET
4	9/2/08	100% REDOCUMENTS

DATE:	12/27/07
PROJECT #:	100405
DRAWN BY:	BYD
CHECKED BY:	WCH
DRAWING SCALE:	1"=20'-0"

SHEET TITLE	GRADING AND DRAINAGE PLAN
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			31.00	30.80
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  - THE UNDERGROUND UTILITIES SHOWN ARE BEING LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UTILITIES. CALL BEFORE YOU DIG. ANY CONSTRUCTION SHALL BE PERFORMED AT THE SURVEYOR'S RISK.
  - DMH#2 SHALL HAVE A WERWALL UP TO ELEVATION 33.00 TO DIRECT RUNOFF TO THE POND.

**LEGEND**

PROPERTY LINE	EXISTING	PROPOSED
UTILITY POLE	—○—	—○—
UTILITY POLE WITH LIGHT	—○—	—○—
LIGHT POLE	—○—	—○—
STORM DRAIN	—D—	—D—
FENCE	—X—	—X—
BASE OF WALL	—	—
SIGN	—S—	—S—
TEST BORING	—T—	—T—