

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING DEPARTMENT

Please Read Application And Notes. If Any, Attached

DEMOLITION PERMIT

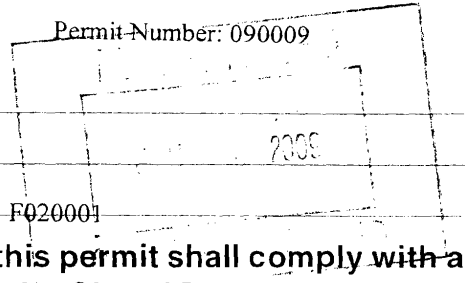
Permit Number: 090009

This is to certify that AVESTA FLORENCE HOUSE /Gannett Construction

has permission to Demolition of building in preparation for new housing project

AT 190 VALLEY ST

City of Portland - 064 F020001



provided that the person or persons, firm or corporation accounting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or otherwise occupied-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Craig Cross

Health Dept. _____

Appeal Board _____

Other _____
Department Name

1/14/09 *Christy M. [Signature]*
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0009	Issue Date: 1/14/09	CBL: 064 F020001
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Location of Construction: 190 VALLEY ST	Owner Name: AVESTA FLORENCE HOUSE LP	Owner Address: 190 VALLEY ST	Phone: 207-553-7777
Business Name:	Contractor Name: Ganneston Construction	Contractor Address: P O Box 27 Augusta	Phone: 2076218505
Lessee/Buyer's Name	Phone:	Permit Type: Demolition - Building/Rebuild	Zone: C-48

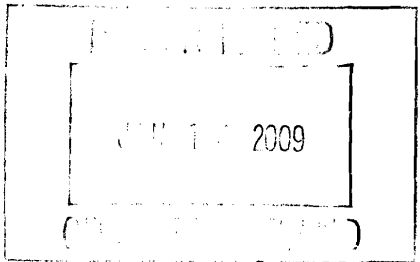
Past Use: Warehouse -	Proposed Use: Warehouse - Demolition of building in preparation for new housing project - related to permit #08-1569	Permit Fee: \$140.00	Cost of Work: \$12,000.00	CEO District: 2
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: B/S Type: 3B IBC-2003	

Proposed Project Description: Demolition of building in preparation for new housing project under permit #08-1569	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i> 1/12/09
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: lmd	Date Applied For: 01/06/2009	Zoning Approval	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Denied Date: <i>[Signature]</i> 1/6/09	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input checked="" type="checkbox"/> Approved Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0009	Date Applied For: 01/06/2009	CBL: 064 F020001
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Location of Construction: 190 VALLEY ST	Owner Name: AVESTA FLORENCE HOUSE LP	Owner Address: 190 VALLEY ST	Phone: 207-553-7777
Business Name:	Contractor Name: Ganneston Construction	Contractor Address: P O Box 27 Augusta	Phone: (207) 621-8505
Lessee/Buyer's Name	Phone:	Permit Type: Demolition - Building/Rebuild	

Proposed Use: Warehouse - Demolition of building in preparation for new housing project - related to permit #08-1569	Proposed Project Description: Demolition of building in preparation for new housing project under permit #08-1569
--	---

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 01/06/2009

Note: **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 01/12/2009

Note: **Ok to Issue:**

- 1) State law requires notification of hazardous materials and abatement by a licensed professional
- 2) Demolition permits are valid for a period of 30 days from the date of issuance. A written request must be submitted and granted for an extension to this time period.
- 3) Demo permit only! Construction requires separate permits.
- 4) Demolition permit only. No other construction activities allowed.

Dept: Fire **Status:** Approved **Reviewer:** Capt Greg Cass **Approval Date:** 01/07/2009

Note: **Ok to Issue:**

Comments:

1/6/2009-lmd: Permit sent to Chris Hanson - Check incorrect, enter due to need to expedite permit. Planning needs to give ok to issue
WAIT FOR PLANNING OK

From: Marge Schmuckal
To: Jean Fraser
Date: 1/6/2009 3:48:07 PM
Subject: Florence House

wait for Planning of

We have a permit to begin demolition. Is it ok to issue that permit?
Marge



Demolition of a Structure Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>190 VALLEY STREET</u>		
Total Square Footage of Proposed Structure <u>5,000 S.F.</u>	Square Footage of Lot: <u>See Attached</u>	
Tax Assessor's Chart, Block & Lot: Chart# Block# Lot# <u>6B-A-H + 64-F-20</u>	Owner: <u>Arctia Florence House L.P.</u>	Telephone: <u>207 553-7777</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Ganneston Construction</u> <u>207-621-8505</u> <u>Mike Adams</u>	Cost Of Work: \$ <u>12,000.⁰⁰</u> Fee: \$ <u>360.⁰⁰</u>
Current legal use: (i.e. garage, warehouse) <u>Warehouse</u> If vacant, what was the previous use? <u>Storage</u> How long has it been vacant? <u>Several Months</u> Project description:		
Contractor's name, address & telephone: <u>Ganneston Construction Corp.</u>		
Who should we contact when the permit is ready: <u>Mike Adams</u>		
Mailing address: <u>P.O. Box 27</u> <u>Arctia, Maine 04330</u>		Telephone: <u>207-621-8505</u>

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature] Date: 12/30/08

***This is not a permit; you may not commence ANY work until the permit is issued.**



Demolition Call List & Requirements

Site Address: 190 Valley Street

Owner: Alesia Florence Harsco L.P.

Structure Type: Warehouse / Single Story

Contractor: Ganneston Construction

Utility Approvals	Number	Contact Name/Date
Central Maine Power	1-800-750-4000	<u>Jamie Cough</u> 12/29/08 842-2367
Northern Utilities	797-8002 ext 6241	<u>MARK ANEM</u> 12/29/08
Portland Water District	761-8310	<u>Jamie Paschall</u> 12/29/08
Dig Safe	1-888-344-7233	<u>DIG SAFE</u> # 2009-010-1077

After calling Dig Safe, you must wait 72 business hours before digging can begin.

DPW/ Traffic Division (L. Cote)	874-8891	<u>Lucy Cote</u> 12/29/08
DPW/ Sealed Drain Permit (C. Merritt)	874-8822	<u>Carl Merritt</u> 12/29/08
Historic Preservation	874-8726	<u>Deb Andrews</u> 12/29/08
Fire Dispatcher	874-8576	<u>Pennison</u> 12/29/08
DEP – Environmental (Augusta)	287-2651	<u>ERIC HAM</u> 12/29/08

Additional Requirements

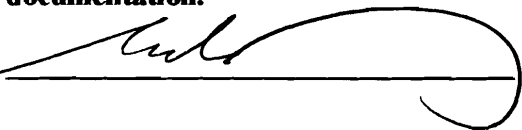
- 1) Written notice to adjoining owners
- 2) A photo of the structure(s) to be demolished
- 3) A plot plan or site plan of the property
- 4) Certification from an asbestos abatement company

All construction and demolition debris generated in Portland must be delivered to Riverside Recycling Facility at 910 Riverside Street. Source separated salvage materials placed in specifically designated containers are exempt from this provision. For more information contact Troy Moon @ 874-8467.

U.S. EPA Region 1 – No Phone call required. Just mail copy of State notification to:

Demo / Reno Clerk
US EPA Region I (SEA)
JFK Federal Building
Boston, MA 02203

I have contacted all of the necessary companies/departments as indicated above and attached all required documentation.

Signed: 

Date: 12-30-08

Mike Adams

From: Debora Keller [dkeller@avestahousing.org]
Sent: Tuesday, December 16, 2008 10:42 AM
To: Mike Adams; Alan Nichols; Dick Beaulieu (E-mail); Emelie Ferland; Norm Fecteau; Rebecca Dillon
Subject: RE: FLORENCE HOUSE - PERMITS

From: Mike Adams [mailto:MikeAdams@gannestonconstruction.com]
Sent: Tuesday, December 16, 2008 8:08 AM
To: Alan Nichols; Debora Keller; Dick Beaulieu (E-mail); Emelie Ferland; Mike Adams; Norm Fecteau; Rebecca Dillon
Subject: FLORENCE HOUSE - PERMITS

Deb, Rebecca,

Portland's, Demolition Permit application requires many things prior to issuance.

One of which, I need from you.

Copies of written notice to adjoining owners.

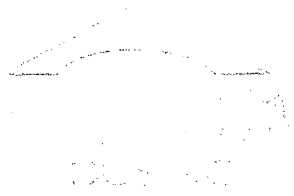
PDF copies via e mail would be fine.

Thanks in advance.

Michael Adams
Sr. Project Mngr
207-621-8505
207-621-8508 fax
207-557-0963 cell

All incoming and outgoing e-mails are scanned for virus'.***** The information transmitted herewith is sensitive information intended only for use by the individual or entity to which it is addressed. If the reader of this message is not the intended recipient, you are hereby notified that any review, retransmission, dissemination, distribution, copying or other use of, or taking of any action in reliance upon this information is strictly prohibited. If you have received this communication in error, please contact the sender and delete the material from your computer.

12/17/2008



December 18, 2008

Dear Abutter:

On behalf of Avesta Florence House LP and Florence House Housing Corporation, I am writing to inform you that the existing building located on tax maps 68-A-11 and 64-I-20 will be demolished in preparation for the proposed new housing to be built on this location. Ganneston Construction Corporation will be handling the demolition.

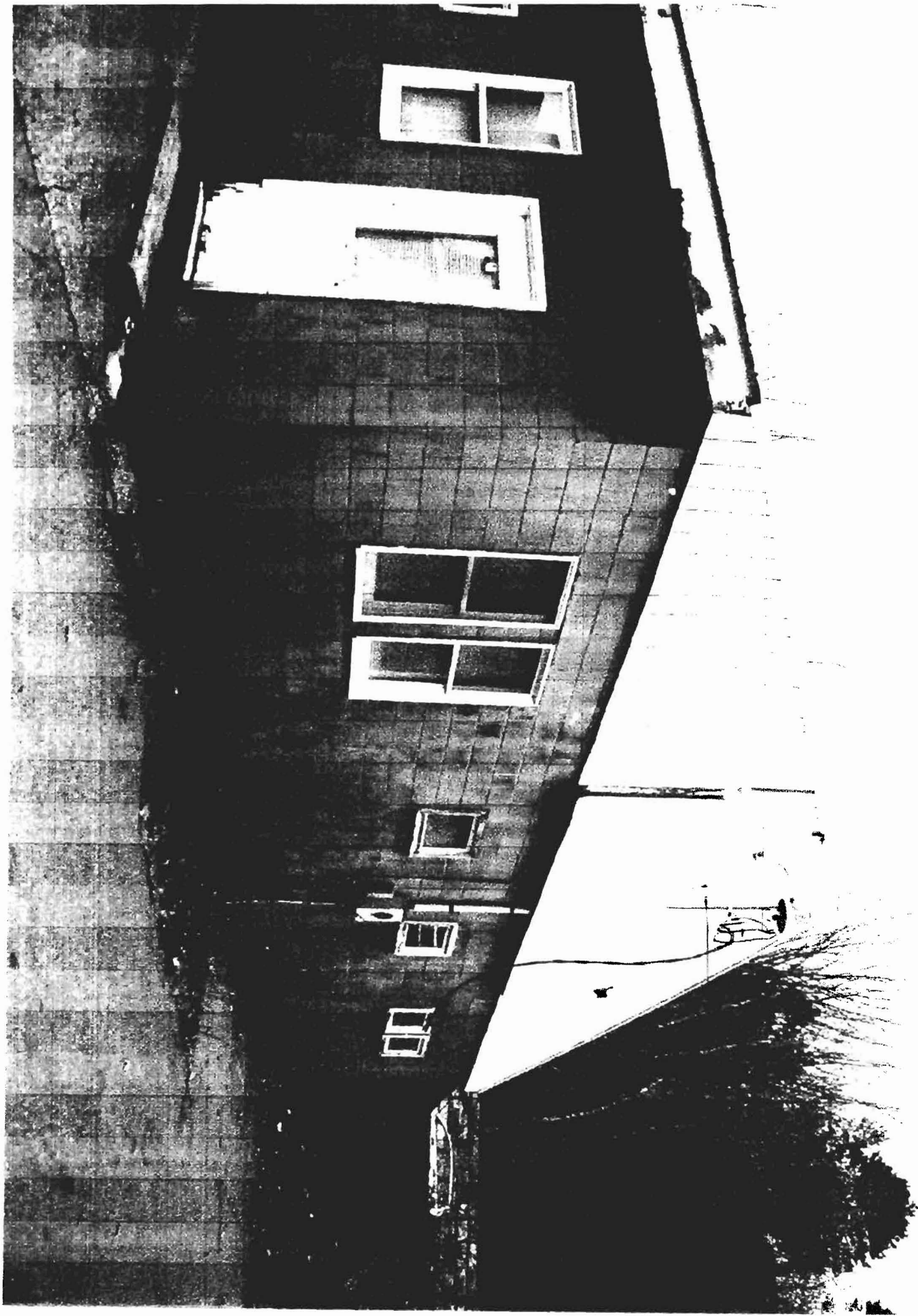
If you have any questions, please do not hesitate to call me at 553-7780, extension 228.

Sincerely,

Debora Keller
Director of Development

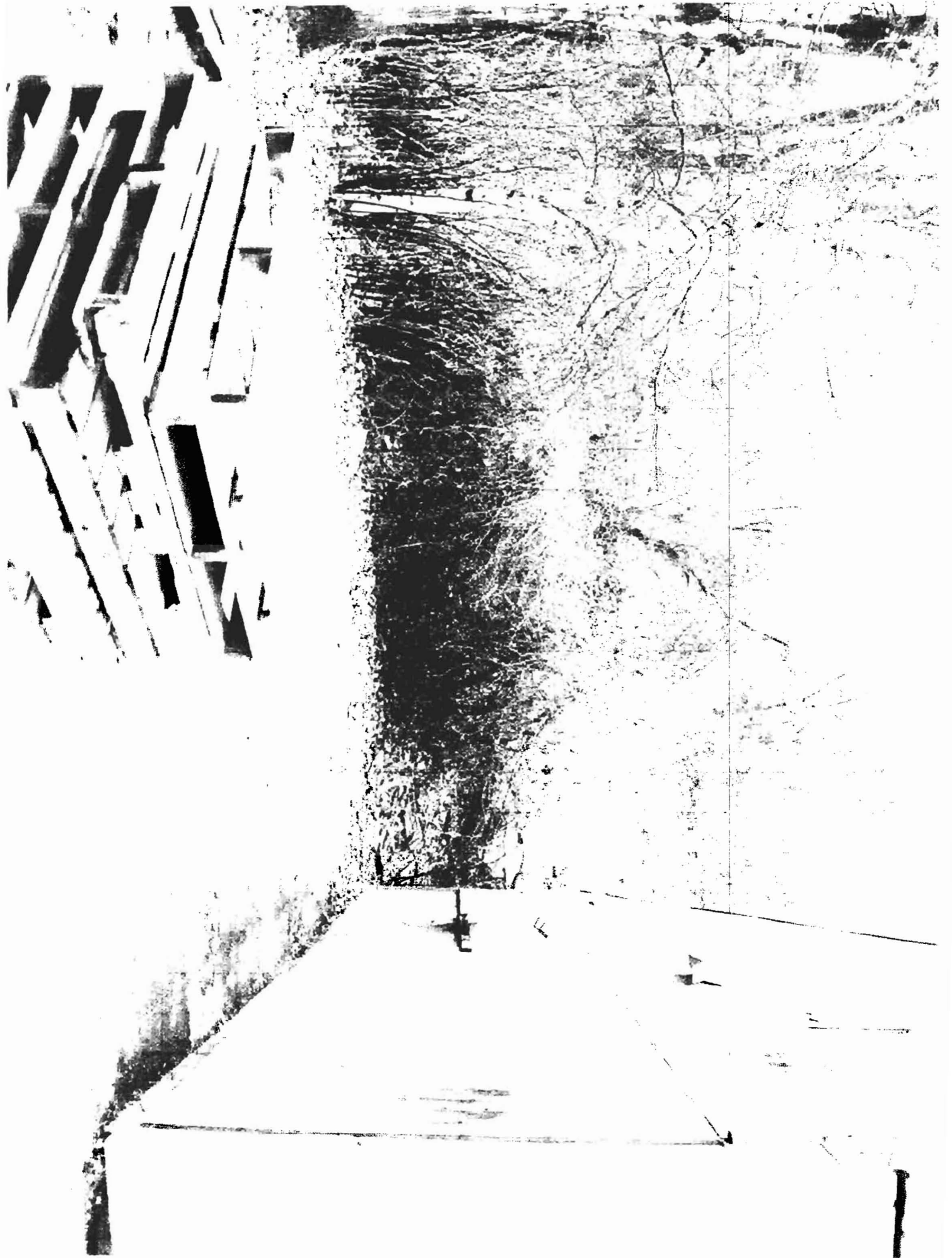
City of Florence
Development Department

















BATES ENVIRONMENTAL HEALTH & SAFETY

143 GREEN TRUE ROAD
WAYNE, MAINE 04284
VOICE 207.685.9030
CELL 207.242.0754
EMAIL behs@earthlink.net

March 17, 2008

Debra Keller
Director of Development
Avesta Housing
307 Cumberland Avenue
Portland, ME 04101

Re: Building Survey for Asbestos Materials at the Spectrum Building, Portland, Maine

Dear Ms. Keller:

A summary report is attached that describes a recent building survey for asbestos materials performed at the above-referenced building scheduled for demolition. The primary purpose of this survey was to provide an inventory of the asbestos materials that will require remediation or special handling prior to demolition, as well as to comply with current state and federal environmental regulations including demolition permits.

This report contains a summary of background information, existing conditions findings, discussion of areas-of-concern, and a listing of recommendations. The recommendations are included to assist the Owner/Operator in developing a plan of action prior to demolition.

The following is a summary of the findings of this report:

- No asbestos materials were identified in the building
- Include this report in full as an attachment for required building permits

Please review this report and if you have any questions or need additional information, give me a call at your convenience. Thank you for giving me this opportunity to provide you and your clients with professional industrial hygiene services.

Sincerely,

Gary Bates, President
Bates Environmental, Health & Safety

ATTACHMENT A

ASBESTOS BUILDING SURVEY GENERAL INFORMATION

1. **Sampling and Analysis.** The following sampling and analysis methods were utilized during this survey:

Asbestos Sampling	EPA and MDEP AHERA Protocol, 40 CFR 763
Asbestos Analysis	Bulk Polarized Light Microscopy, EPA 600/M-4-82-020

2. **Asbestos Identification and Management Options .** The preferred method of managing asbestos-containing building materials is to manage them in-place utilizing an operations and maintenance (O&M) program. If the materials are in poor condition or will be impacted by planned renovations or demolition, an abatement or remediation option must be chosen prior to material impact to avoid the hazard or potential hazard.

In the event of a renovation or demolition that would disturb an ACBM, State of Maine DEP Asbestos Management Regulations require building owners to use design and abatement professionals that are licensed and/or certified in Maine. As with any type of abatement design application, options usually exist that will allow for a safe and proper abatement within a specific project budget.

The development of a technical design/project manual delineating specific abatement methods can often realize significant cost savings for the Owner.

OSHA is the administration in charge of ensuring the safety and health of workers in the U.S. through standards, training, outreach, and education. OSHA has categorized asbestos abatement projects into four classes, including:

- **Class I:** Class I is the most potentially hazardous class of asbestos abatement. The removal of thermal system insulation (TSI) and sprayed-on or troweled on surfacing material are examples of Class I activities. Most Class I projects are not completed in a single day.
- **Class II:** The removal of other types of asbestos containing material (ACM) other than TSI or surfacing material. Examples of Class II work include floor tile removal and roofing projects.
- **Class III:** Repair and maintenance operations. Class III projects were formerly referred to as Operations and Maintenance (O&M) activities, or small-scale/short duration. Generally, Class III projects are completed in less than one day.
- **Class IV:** Cleanup of ACM waste and debris, or routine cleaning activities involving ACM. Dusting contaminated surfaces, mopping, or other floor care, and cleaning up asbestos-containing materials from thermal system insulation (TSI) are included in Class IV activities.

3. Limitations

This report was prepared by Bates Environmental Health & Safety, Inc (BEH&S) solely for the Consultant and/or Owner. This survey, findings and report represent BEHS' professional judgment based on generally accepted methodologies and assessments. Findings were based on visual inspections of suspect building materials in areas usually associated with adverse condition or those materials and on any architectural drawings of the facility supplied by the Owner or his representative. This survey does not include materials that are deemed inaccessible by generally-accepted sampling methodologies.

There cannot be a guarantee that all asbestos-containing materials or lead-based paints have been located or identified. Some of the reasons for this are the following: (1) sampling was performed on a random basis and the material was assumed to be homogeneous, (2) multiple samples were collected to minimize error; per EPA and other guidelines, there is a chance human error will create inconsistencies; and (3) in most cases, only exposed materials have been sampled; concealed, difficult to reach, or where the sampling would alter the integrity of a system (eg. roof), suspect ACBMs and LBPs may have to be sampled in coordination with controlled demolition.

In any event, if conditions differ from those described in this report at some later date, we request the opportunity to review such differences to amend this report if needed.

4. Certification of Report

The information contained in this report is based on physical inspections conducted by BEH&S. We certify the presence or absence of asbestos, lead and other listed hazardous materials based on inspection protocol and the analytical methods of samples collected as part of this survey.

Asbestos DEP Consultant License No. SF-058
Inspector DEP Certificate No. AI-0039
Management Planner DEP Certificate No. MP-0031
Design Consultant DEP Certificate No. DC-0112

ATTACHMENT B

LAB REPORT

BUILDING SURVEY FOR ASBESTOS MATERIALS

- Project:* Building Survey for Asbestos Materials at the Spectrum Building, Portland, Maine
- Purpose:* The primary purpose of this survey was the following:
- Provide an inventory of asbestos containing materials in the area of anticipated impact;
 - Provide a basis for project planners to remove asbestos materials; and
 - Assist the Owner with current city, state and federal asbestos regulations compliance.
- Scope:* Suspect materials tested were collected in areas of the building anticipated for impact during the above-referenced project. All sampling and analysis were performed in accordance with current Maine Department of Environmental Protection regulations.
- Is Asbestos Present?:* No
- Non-Asbestos:* Suspect materials sampled and either assumed or analyzed that did not contain asbestos during the site visit include the following:
- Fibrous glass insulation
 - Roofing materials
 - Gypsum drywall / joint compound
 - Ceiling tile (new)
- Date:* March 17, 2008
- Report Distribution:* Debora Keller dkeller@avestahousing.org

Chain of Custody Asbestos Lab Services

EMSL Analytical, Inc.
1000 West
Cromwell Road
Woburn, MA 01897
Phone: 978.232.8500
Fax: 978.232.8501
http://www.emsl.com

Lab: 00000000000000000000000000000000

Company:	Bates Environmental Health & Safety	Bill To:	Bates Environmental Health & Safety
Address:	1000 West Cromwell Rd	Address:	115 Green Tree Road
City/State:	Woburn, MA	City/State:	Woburn, MA
Zip:	01897	Zip:	01897
Contact Name:	John P. ...	Contact Name:	John P. ...
Phone:	978.232.8500	Phone:	978.232.8500
Fax:	978.232.8501	Fax:	978.232.8501
EMSL Ref:	000	P.O. Number:	
Project Name/Number:	BATES ENVIRONMENTAL HEALTH & SAFETY		

No	MATRIX	TURNAROUND				
		Micro-Asb	3 Hours	6 Hours	Same Day at 12 Hours*	24 Hours (1 day)
1	Bulk Drinking Water		48 Hours (2 days)	72 Hours (3 days)	96 Hours (4 days)	120 Hours (5 days)
2	Wipe Wastewater		144 Hours (6 days)			

*EMSL 24 hours delivery. Please call the office to verify. There is a premium charge for 3-hour turn-around. Call 978.232.8500 for pricing. Please allow 24 hours for processing. You will be asked to sign an authorization form for this service.
 All hours are active on 11/09/2013 Mon-Fri. Please Refer to this quote.

ECM Air
 EPA 9000-9
 EPA 9001
 NY Standard Procedure

ECM Air
 EPA 9000-9
 EPA 9001
 NY Standard Procedure

ECM WATER
 EPA 9000
 EPA 9001
 NY Standard Procedure

ECM Bulk
 EPA 9000-9
 EPA 9001
 NY Standard Procedure
 EMML Standard A/B/C/D
 EPA 9000-9

ECM Bulk
 EPA 9000-9
 EPA 9001
 NY Standard Procedure
 EMML Standard A/B/C/D

ECM Microvial Wipe
 EPA 9000-9
 EPA 9001
 NY Standard Procedure

EMML Air or Bulk
 EPA 9000-9
 EPA 9001
 NY Standard Procedure

EMML Soil
 EPA 9000-9
 EPA 9001
 NY Standard Procedure

ARD
 EPA 9000-9
 EPA 9001
 NY Standard Procedure

QUICK

Chain of Custody

EMSL Analytical, Inc.
1000 West
Cromwell Road



Attn: **GARY BATES**
Bates Environmental Health & Safety
143 Green True Road
Wayne, ME 04284

Customer ID: BATE5C
 Customer PO:
 Received: 02/29/08 3:09 PM
 EMSL Order: 130800700

Fax: Phone: (207) 685-9030
 Project: Avesta Housing - Spectrum Bldg Demo

EMSL Proj:
 Analysis Date: 2/29/2008
 Report Date: 3/3/2008

Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 Method using Polarized Light Microscopy

Sample	Location	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
1A 130800700-0001	Gypsum Drywall	Gray/Tan Fibrous Heterogeneous	10% Cellulose 5% Glass	85% Non-fibrous (other)	None Detected
1B 130800700-0002	Gypsum Drywall	Gray/Tan Fibrous Heterogeneous	10% Cellulose 5% Glass	85% Non-fibrous (other)	None Detected
1C 130800700-0003	Gypsum Drywall	Gray/Tan Fibrous Heterogeneous	10% Cellulose 2% Glass	88% Non-fibrous (other)	None Detected

Analyst(s)

Kevin Pine (3)

or other approved signatory

Due to magnification limitations inherent in PLM, asbestos fibers in dimensions below the resolution capability of PLM may not be detected. Samples reported as <1% or none detected may require additional testing by TEM to confirm asbestos quantities. The above test report relates only to the items tested and may not be reproduced in any form without the express written approval of EMSL Analytical, Inc. EMSL's liability is limited to the cost of analysis. EMSL bears no responsibility for sample collection activities or analytical method limitations. Interpretation and use of test results are the responsibility of the client. Samples received in good condition unless otherwise noted.

NVLAP Lab Code 101147-0, AIHA HLAP 180179, MA AA000188

Ganneston Construction Corp
PO Box 27, North Belfast Avenue
Augusta, ME 04332-0027

LETTER OF TRANSMITTAL

Tel: (207) 621-8505
Fax: (207) 621-8508

GCC PROJECT NUMBER
GCC-80677

To:

CITY OF PORTLAND
BUILDING INSPECTIONS DIVISION
389 CONGRESS STREET
PORTLAND, MAINE 04101

Date: December 30, 2008
Attention: CHRIS & TAMMY
RE: FLORENCE HOUSE PROJECT

WE ARE SENDING YOU X ATTACHED UNDER SEPARATE COVER

COPIES	NO.	DESCRIPTION
1		DEMOLITION PERMIT APPLICATION AND RELATED ATTACHMENTS AS REQUESTED <i>Including Check</i>

REMARKS

PLEASE DO NOT HESITATE TO CALL WITH ANY QUESTIONS OF FOR ADDITIONAL INFORMATION THAT YOU MAY REQUIRE.

Signed: 
MICHAEL L. ADAMS PROJECT MNGR

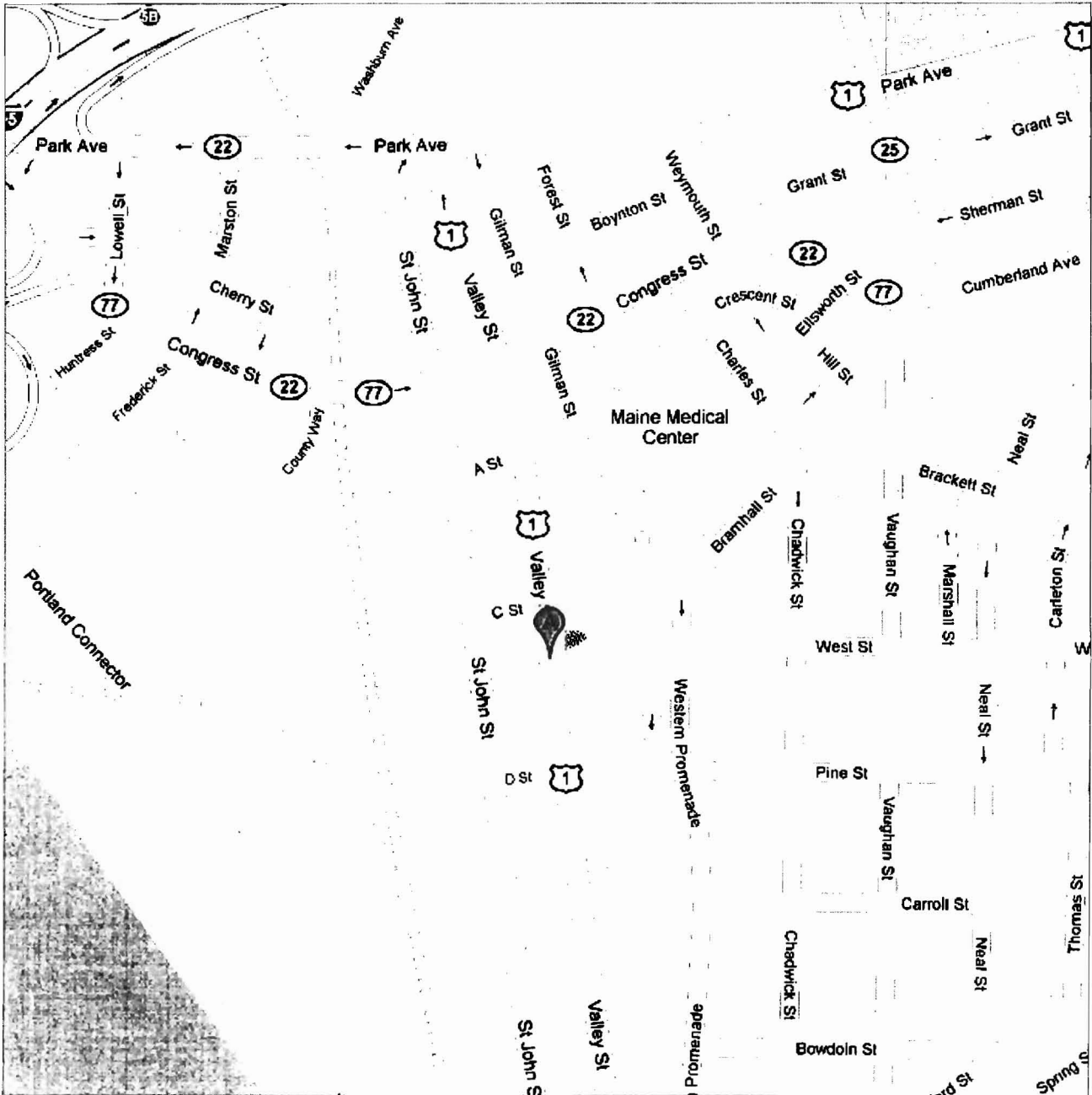
Date: 18-Dec-08

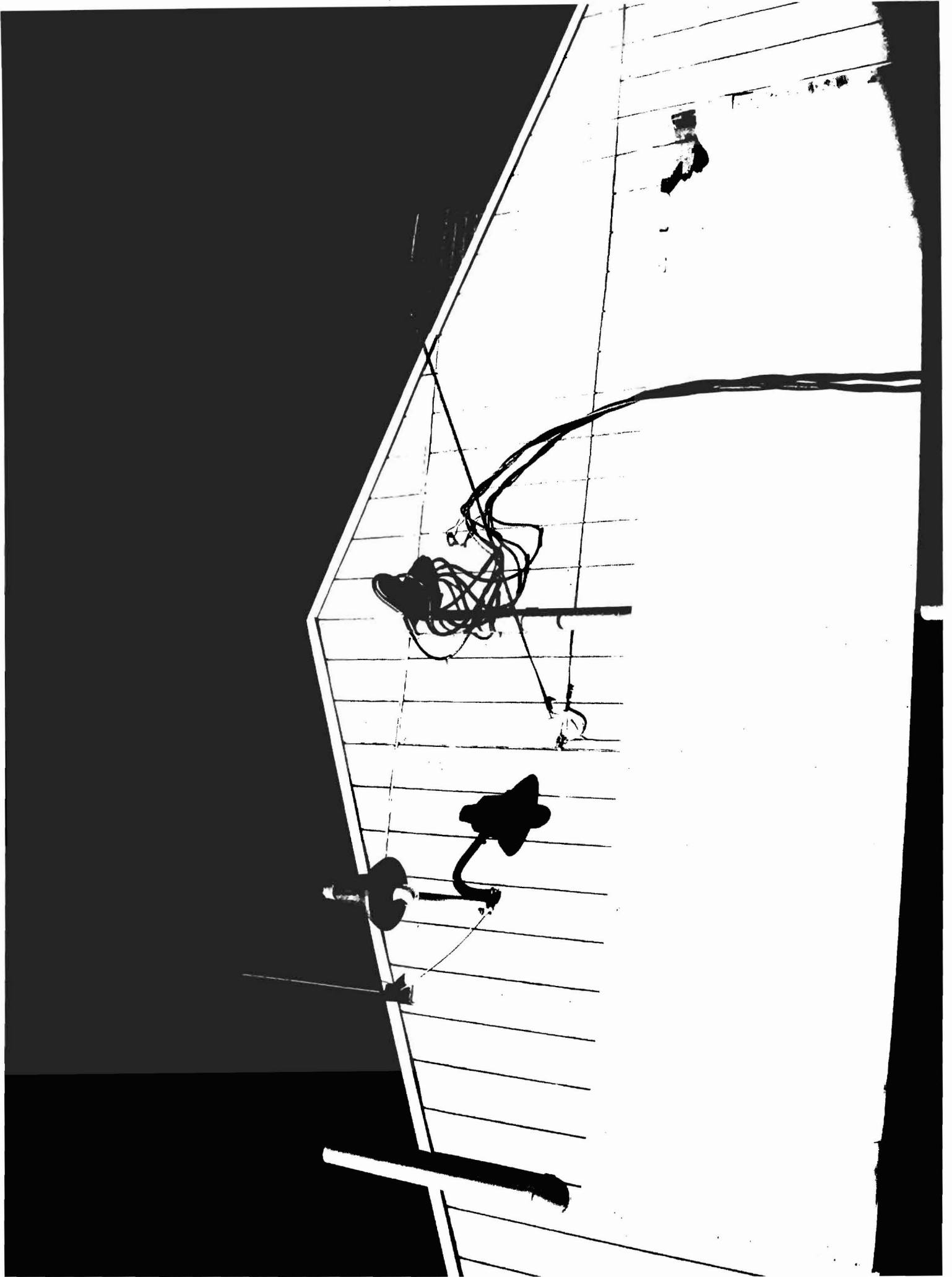


Address **190 Valley St**
Portland, ME 04102

Get Google Maps on your phone

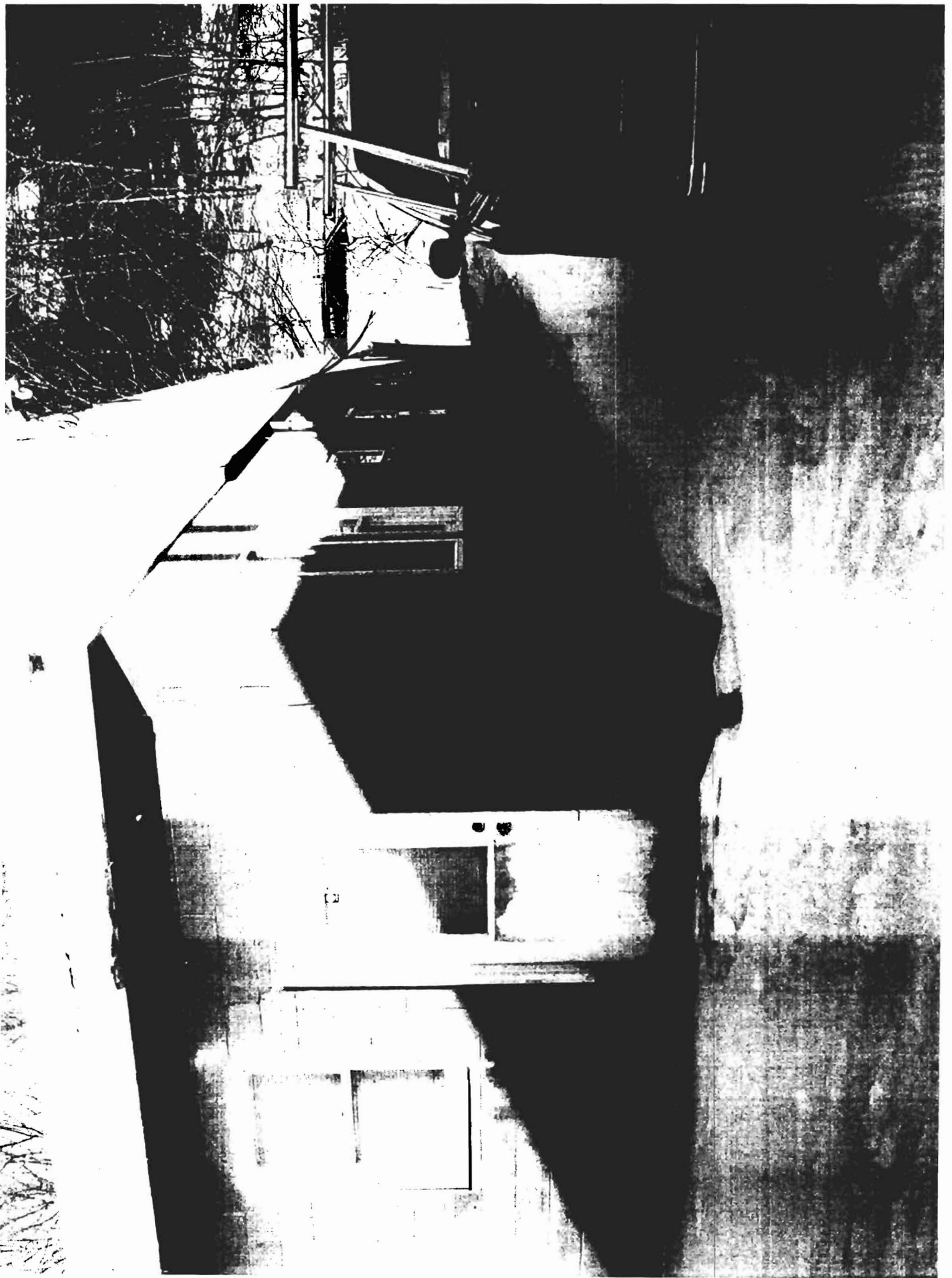
Text the word "GMAPS" to 466453











Gawron
Turgeon
ARCHITECTS



December 30, 2008

Mr. Chris Hanson, CEO
City of Portland Inspections Department
389 Congress Street
Portland, ME 04101

Dear Chris:

The Florence House was designed to meet IBC 2006 and based on our recent review,
also meets IBC 2003.

Sincerely,

Stan Gawron, AIA
Principal

Copy: Rebecca Dillon, Deb Keller, Mike Adams, File

architecture
interior design
master planning
landscape architecture

From: "Rebecca L. Dillon" <rdillon@gawronturgeon.com>
To: <csH@portlandmaine.gov>
Date: 12/30/2008 12:20:54 PM
Subject: Florence House-Ramp

Hi Chris-
See below the email interpretation on the delivery ramp from IBC for your records.
Thanks,
Becky

July 27, 2008

Subject: 03 IBC 1010.2

Q: Is the max slope of ANY ramp 1:8 if not serving as a means of egress or otherwise required for accessible access. A new Group R-2 building has been proposed where a ramp is being considered to serve as a utility entrance from an exterior door to a community kitchen to allow for convenient access for food deliveries.

A: Ramps used exclusively for service and delivery purposes are not required to comply with requirements for ramps used in the means of egress or otherwise provided for general use. It is, however, important for steep service ramps to be safe with respect to handrails, guards, surface finish, landings, etc. Where the change in elevation is greater than the equivalent of one or two risers, these safety components become increasingly important. A good design practice is to provide a legitimate means of egress door adjacent to the service door, with each door having their function clearly marked.

-----Original Message-----

From: Anne Pelletier [mailto:apelletier@gawronturgeon.com]
Sent: Wednesday, July 30, 2008 3:22 PM
To: Norm Fecteau
Subject: RE: Florence follow up

Hi Norm,

Thanks for the follow up. I have another quick question for you regarding the Bid Form in the project manual. You requested that we include typical categories for unit pricing-what else would you like to see listed besides ledge removal?

Anne

Anne Pelletier
Designer

Gawron Turgeon Architects
29 Black Point Road * Scarborough, Maine 04074
207-883-6307 ext 217 tel * 207-883-0361 fax

Celebrating 25 Years of Design Excellence

Please check out our new logo and website:

www.gawronturgeon.com <<http://www.gawronturgeon.com/>>

From: Norm Fecteau [mailto:nfecteau@mainehousing.org]
Sent: Monday, July 28, 2008 1:22 PM
To: Anne Pelletier; Rebecca L. Dillon
Subject: Florence follow up

Hi guys,

As follow up to the question of the spec inserts I had sent along, the only set that needs to be included is the one dealing with OJT. The info for wage rates and health insurance will not be applicable on this project. Health Insurance was not pledged nor is there a base level required... and the Davis Bacon wage rates are triggered through the City of Portland and subsequently is their baby to monitor.

As for the ramp question, I've submitted a request to IBC in writing. Usually takes a couple of days to get a response. Probably not promising though. Review of language in the commentary further suggests that 1:8 max pitch is the best you'll be able to get. I'll keep you posted though.

Norm

Norm Fecteau/MaineHousing
tel. 624-5707 cell. 242-1524
nfecteau@mainehousing.org

From: "Rebecca L. Dillon" <rdillon@gawronturgeon.com>
To: <csh@portlandmaine.gov>
Date: 1/2/2009 11:20:25 AM
Subject: FH-overflow layout

Hi Chris-

Below are a few options that Preble Street is thinking about for the storage of the tables and chairs in the overflow situation. They seem to understand your concern and have some different ways to deal with it. Please review and let me know if any of these are not acceptable. I am working on the other items today that we discussed on Wednesday and will get them over to you as they are completed.

Thanks,
Becky

-----Original Message-----

From: Debora Keller [mailto:dkeller@avestahousing.org]
Sent: Friday, January 02, 2009 8:35 AM
To: Rebecca L. Dillon
Subject: FW: FW: FH

Is this sufficient for you?

I'm out until Monday but we can fine tune then if needed.

From: Amy Bruning [abruning@preblestreet.org]
Sent: Wednesday, December 31, 2008 4:31 PM
To: Debora Keller
Subject: Re: FW: FH

He just wants to know they will be out of the way and not a hazard. I think I remember the tables being the kind that fold and are on wheels. Is that right? I don't have the plans in front of me. My guess is the dining room is much larger than what is need for the overflow sleeping area. I'd have to sit with the plans, but we need 18 inches between cots and 36 inch aisles to the egress locations. If there is room for that and still enough room to roll the tables into a corner of the dining room, that would be the easiest solution. If he is worried about them being there, we have some room dividers we could use to create a barrier between the storage of tables and the sleeping area. If not, we could put them in any rooms we don't anticipate using at night, the consultation rooms? or kitchen/pantry if we set up overflow after dinner is over? Lastly, worst case scenario, we could roll them to the elevator and put them downstairs. That seems like a bit of a pain, but still easier than what we are doing today. If you want, I could draw it out on the plans next week like I did for the women's shelter. They like to see the layout of the beds and everything.

Let me know. Thanks -Amy

From: "Rebecca L. Dillon" <rdillon@gawronturgeon.com>
To: "Chris Hanson" <CSH@portlandmaine.gov>
Date: 1/2/2009 11:33:23 AM
Subject: RE: Florence House

Hi Chris-

In regards to the openings on the North wall, my calculations are as follows:

Total wall area facing north at 5' from property line= 1,738 sf
(15%=260.7 sf)

Openings:

(8) @ 15.5 sf=124 sf

(1) @ 44 sf=44 sf

(2) @ 11.5 sf=23 sf

Total Openings = 191 sf is less than the allowed 260.7 sf

Rebecca L. Dillon * Project Manager
207-883-6307 x 203 www.gawronturgeon.com

-----Original Message-----

From: Chris Hanson [mailto:CSH@portlandmaine.gov]
Sent: Friday, January 02, 2009 11:01 AM
To: Rebecca L. Dillon
Subject: Re: Florence House

Rebecca, That's fine. Have you checked out the openings @ the north wall yet? Also I'm trying to get as much as possible done today, The table and chair storage, the UI listings I mentioned and a statement about the delayed egress would be about it. Thanks, Chris

>>> "Rebecca L. Dillon" <rdillon@gawronturgeon.com> 01/02 10:42 AM >>>
Good Morning Chris-

I checked with the Commercial Kitchen designer in regards to the required sink in the prep area. There is a hand wash sink located in the worktable noted as #11 (see attached pdf). Hopefully this meets the requirement. Please let me know otherwise.

Thanks,

Becky

Rebecca L. Dillon
Project Manager

Gawron Turgeon Architects

From: "Rebecca L. Dillon" <rdillon@gawronturgeon.com>
To: "Chris Hanson" <CSH@portlandmaine.gov>
Date: 1/2/2009 3:24:02 PM
Subject: RE: Florence House

Hi Chris-

Attached is a pdf of sheet A001 where I have added notes in regards to the UL Listings. Basically, we need to add one layer of type 'X' GWB in detail C10 and in detail C3A we had the wrong UL listing. We will also follow up on this with CSK's.

Thanks,
Becky

Rebecca L. Dillon * Project Manager
207-883-6307 x 203 www.gawronturgeon.com

-----Original Message-----

From: Chris Hanson [mailto:CSH@portlandmaine.gov]
Sent: Friday, January 02, 2009 11:01 AM
To: Rebecca L. Dillon
Subject: Re: Florence House

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Thanks,

Becky

Rebecca L. Dillon
Project Manager

Gawron Turgeon Architects
29 Black Point Road * Scarborough, Maine 04074
207-883-6307 ext. 203 tel * 207-883-0361 fax

From: "Rebecca L. Dillon" <rdillon@gawronturgeon.com>
To: "Chris Hanson" <CSH@portlandmaine.gov>
Date: 1/2/2009 2:23:14 PM
Subject: RE: Florence House

Hi Chris-

I have noted on the attached power plan the deletion of a delayed egress locking situation for door #115 so that we now meet the Means of Egress requirement for NFPA 2006 Chapter 29 Section 29.2.2.2.2 Delayed-egress locks complying with 7.2.1.6.1 shall be permitted, provided that no more than one such device is located in any one egress path. We will follow up with an official CSK.

The idea is to limit the use as much as possible to the exit stairs from the First Floor.

Thanks,

Becky

Rebecca L. Dillon * Project Manager

207-883-6307 x 203 www.gawronturgeon.com

-----Original Message-----

From: Chris Hanson [mailto:CSH@portlandmaine.gov]
Sent: Friday, January 02, 2009 11:01 AM
To: Rebecca L. Dillon
Subject: Re: Florence House

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>>> "Rebecca L. Dillon" <rdillon@gawronturgeon.com> 01/02 10:42 AM >>>

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Thanks,

Becky

Rebecca L. Dillon

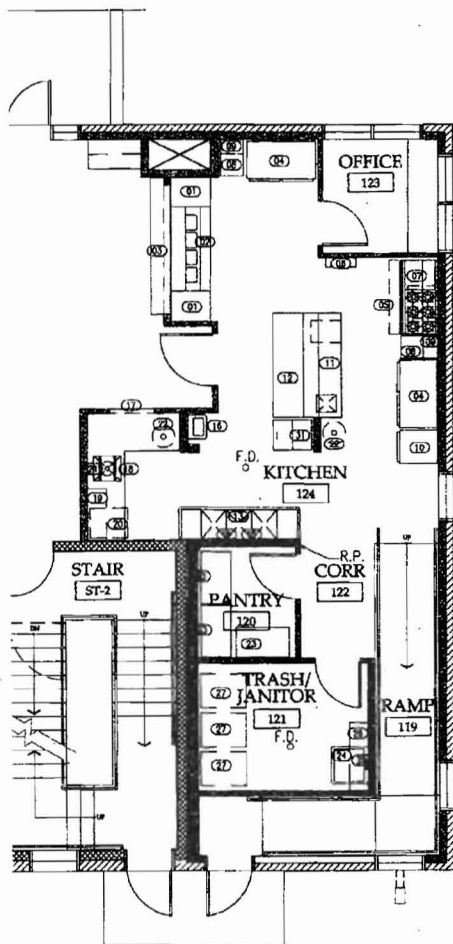
Project Manager

Gawron Turgeon Architects

29 Black Point Road * Scarborough, Maine 04074

207-883-6307 ext. 203 tel * 207-883-0361 fax

Celebrating 25 Years of Design Excellence



- 01 30"x32" S.S. WORKTABLE W/UNDER-SHELF
- 02 (4) 60" ELECTRIC SEALED W/LL HOT FOOD TABLE
- 03 60"X30" S.S. TRAY SLIDE - ADA COMPLIANT
- 04 (2)-SECTION REFRIGERATOR W/CASTERS
- 05 22"x31" COMPRESSING EXHAUST CANOPY
- 06 FINE SUPPRESSION SYSTEM
- 07 80" 600 PANNE W/16" BARRIERS, 24" ANKED ORBICLE WHEELER & CONNECTION OVER
- 08 17"x20" S.S. WORKTABLE W/REAR BACKSPLASH UNDER-SHELF & CASTERS
- 09 17"x18" S.S. WALL SHELF
- 10 (2)-SECTION FREEZER W/CASTERS
- 11 30"x24" S.S. WORKTABLE, 14"x14" SINK, OVER-SHELF, POT RACK & DRAINER
- 12 24"x24" S.S. WORKTABLE UNDER-SHELF & CASTERS
- 13 (3)-60" POT SINK W/DOUBLE 36" DRAIN DOUGES
- 14 PRE-RINSE ASSEMBLY W/WALL BRACKET & ADD-ON FAUCET
- 15 SPLASH MOUNT FAUCET W/1/2" SPOUT & HANDLE BAILETS
- 16 WALL MOUNT HAND WASH SINK
- 17 SOILED DISH TABLE W/PRE-RINSE SINK, RACK CLUSE, DISPOSAL WELMINT & SCRAP FLOOR
- 18 1.5 HP. DISPOSER W/1" SPENDING & CONTROL PANEL
- 19 42" S.S. SLANTED RACK SHELF
- 20 UNDERCOUNTER DISHWASHER W/BOOSYIA, DETENDANT & BRACE AND PUMPS
- 21 PRE-RINSE ASSEMBLY W/WALL BRACKET
- 22 32 GAL. GRAY BRUTE CONDENSER W/DOLLY & LID
- 23 (3)-TIER SHELVING UNITS
- 24 S.S. WOP SINK - SET PLUMBING PLANS
- 25 WALL-MOUNT SERVICE FAUCET
- 26 12"x24" S.S. WALL SHELF W/WOP BRACKETS
- 27 TRASH CONTAINERS
- 28 NOT USED
- 29 (1)-SECTION FREEZER W/CASTERS (LOCATED IN BASEMENT)
- 30 (1)-SECTION REFRIGERATOR W/CASTERS (LOCATED IN BASEMENT)
- 31 250 LB ICE MACHINE W/STORAGE BIN & WATER FILTER
- 32 6"x11" WALK-IN FREEZER (FUTURE-LOCATED IN BASEMENT)

NOTE: COMMERCIAL KITCHEN EQUIPMENT BY OWNER.
 G.C. TO COORDINATE INSTALLATION & UTILITY CONNECTIONS



**Gawron
Turgeon**
ARCHITECTS
27 Bank Point Road
Beverly Beach, Maine 04915
www.gawronturgeon.com
207-852-2244 or 207-852-2243



FLORENCE HOUSE
190 VALLEY STREET
PORTLAND, MAINE

REVISIONS

#	DATE	DESCRIPTION
1	08/14/05	CONTRACT FIRM SUBMISSION
2	08/14/05	CONTRACT FIRM SUBMISSION
3	08/14/05	CONTRACT FIRM SUBMISSION
4	08/14/05	CONTRACT FIRM SUBMISSION
5	08/14/05	CONTRACT FIRM SUBMISSION
6	08/14/05	CONTRACT FIRM SUBMISSION
7	08/14/05	CONTRACT FIRM SUBMISSION
8	08/14/05	CONTRACT FIRM SUBMISSION
9	08/14/05	CONTRACT FIRM SUBMISSION
10	08/14/05	CONTRACT FIRM SUBMISSION

DATE:	08/23/05
PROJECT #:	100-465
DRAWN BY:	ASP
CHECKED BY:	BLD
DRAWING SCALE:	AS NOTED

SHEET TITLE
**FOOD SERVICE
EQUIPMENT PLAN**

or operator of an unoccupied residential structure shall be responsible for the extermination of such rodent and vermin or pest whenever infestation exists.

(172B-94, 2-7-94)

110. Minimum standards for space and occupancy thereof.

RE: SAFE
HAVEN
AREA'S

person shall occupy as owner-occupant or shall let to for occupancy any dwelling, dwelling unit, or rooming unit or would be overcrowded as determined by the following standards for space and occupancy:

Space per person. Every dwelling unit shall contain at least one hundred (100) square feet of habitable floor area for the first occupant and at least seventy (70) square feet of additional habitable floor area for each additional occupant. For the purpose of this subsection, a child under the age of one (1) shall not be counted.

Efficiency apartments. A dwelling unit occupied by two (2) or more occupants which contains a room not intended primarily for cooking or sleeping, but which is properly designed and equipped or especially furnished with either a kitchenette or wall-type kitchen unit and bed-furniture properly designed for daytime storage or other daytime use, to be maintained as a combination of regular living and efficiency cooking, may contain seventy (70) square feet less habitable floor area than would otherwise be required. For the purpose of this subsection, a child under the age of one (1) shall not be counted.

Sleeping space. Every room occupied for sleeping purposes in a dwelling unit and in a rooming unit shall contain at least fifty (50) square feet of habitable floor area for each occupant, except that children under one (1) shall not be counted and children more than one (1) but less than ten (10) shall be deemed one-half person.

Size of habitable rooms. No habitable room, other than a kitchen or dining alcove, shall contain less than sixty-five (65) square feet of floor area, nor shall the least horizontal dimension of such room be less than seven (7) feet.

Computation of floor area. In computing floor area for the purposes of this section, the space used for closets or other enclosed spaces and, in the case of rooms with

65 #
Meets 7'
wall are 3/4 Htg.
Therefore are
allowed.

CH

Ganneston Construction Corp
PO Box 27, North Belfast Avenue
Augusta, ME 04332-0027

LETTER OF TRANSMITTAL

Tel: (207) 621-8505
Fax: (207) 621-8508

GCC PROJECT NUMBER
GCC-80677

To:

CITY OF PORTLAND
BUILDING INSPECTIONS DIVISION
389 CONGRESS STREET
PORTLAND, MAINE 04101

Date: December 29, 2008
Attention: CHRIS & TAMMY
RE: FLORENCE HOUSE PROJECT

WE ARE SENDING YOU X ATTACHED UNDER SEPARATE COVER

COPIES	NO.	DESCRIPTION
1		CONTRACTORS STATEMENT OF RESPONSIBILITY AND RELATED ATTACHMENTS AS REQUESTED

REMARKS

PLEASE DO NOT HESITATE TO CALL WITH ANY QUESTIONS OF FOR ADDITIONAL
INFORMATION THAT YOU MAY REQUIRE.

Signed: 
MICHAEL L. ADAMS PROJECT MNGR.

Date: 18-Dec-08

Ganneston

CONSTRUCTION CORP

FROM FACSIMILE

(207) 621-8508

COVER SHEET

10 Page (s) to follow.

FAXED
11:27
711

DATE: December 29, 2008 FAX #: 207-874-8716

TO: CHRIS & TAMMY AT: CITY OF PORTLAND
BUILDING INSPECTIONS

FROM: MIKE ADAMS

Re: FLORENCE HOUSE PROJECT

MESSAGE:

ATTACHED CONTRACTOR'S STATEMENT OF RESPONSIBILITY
AND RELATED ATTACHMENTS AS REQUESTED

CC: WYSLA AND GAWRON, REED,

553-7778
DEB

883-0361
REBECCA

mikeadams@gannestonconstruction.com and my cell 207-557-0963
when I am not in the office.

Should you experience?

Any difficulty with transmission

Please contact us at:

(207) 621-8505

General Contractor – Construction Manager – Design Builder

P.O. Box 27 – North Belfast Avenue – Augusta, ME 04332-0027

Office: (207) 621-8505

Fax: (207) 621-8508

Project: Florence House
Date Prepared: September 2, 2008

Contractor's Statement of Responsibility

Each contractor responsible for the construction or fabrication of a system or component designated in the Quality Assurance Plan must submit a Statement of Responsibility. The Statement of Responsibility is required for Seismic Design Category C or higher. Make additional copies of this form as required.

Project: Florence House 190 Valley Street, Portland, ME 04101

Contractor's Name: Ganneston Construction Corp.

Address: P.O. Box 27, Augusta, ME 04332

License No.: NA

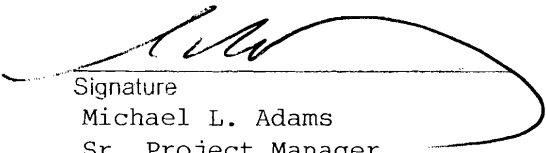
Description of designated building systems and components included in the Statement of Responsibility:

Project consists of 31,345 gross s.f. including 15 safe haven beds, 10 emergency shelter beds and 25 SRO apartments.

Contractor's Acknowledgment of Special Requirements

I hereby acknowledge that I have received, read, and understand the Quality Assurance Plan and Special Inspection program.

I hereby acknowledge that control will be exercised to obtain conformance with the construction documents approved by the Building Official.


Signature

Michael L. Adams
Sr. Project Manager

Date

Contractor's Provisions for Quality Control

Procedures for exercising control within the contractor's organization, the method and frequency of reporting and the distribution of reports is attached to this Statement.

Identification and qualifications of the person(s) exercising such control and their position(s) in the organization are attached to this Statement.

Ganneston

CONSTRUCTION CORP

FLORENCE HOUSE PROJECT, PORTLAND, MAINE PROJECT CONTROLS DIRECTORY

TESTING AND SPECIAL INSPECTIONS,

Owner

**Avesta Florence House LP
307 Cumberland Ave.
Portland, Maine 04101
Deb Keller**

207-553-7780 Office

PROJECT CONTROLS - CONTRACTOR

Contractor

**Ganneston Construction
PO box 27
Augusta, Maine 04330
(Reports Directly to Owner via Sr. Project Manager)**

207-621-8505 Office

Project Executive

**Stacey Morrison, CEO
(Company Owner)**

207-621-8505 Office

Sr. Project Manager

**Michael Adams
mikeadams@gannestonconstruction.com
(Reports directly to Owner and Project Executive)**

207-621-8505 Office

207-557-0963 Cell

Project Super &

Project Safety

**Richard Bealieu
(Reports to Project Manager Owner and Project Executive)**

207-458-2102 Cell

Project Surveyor

**Falla & Son
(Reports to Project manager and Project Super)**

207-692-7418

Corporate Accounting & Requisition & Line Waivers Preparation

Subcontract Admin

**Emilie Ferland
(Works with Project Manager, Super and Reports Directly to Project Executive)**

207-621-8505 Office

A.

General Contractor – Construction Manager – Design Builder

3025 North Belfast Avenue – P.O. Box 27 – Augusta, Maine 04332-0027
Office: (207) 621-8505 Fax: (207) 621-8508 E-mail: info@gannestonconstruction.com

Ganneston

CONSTRUCTION CORP

Payroll Dept &

Safety Coordinator

Bette Feener

207-621-8505 Office

(Works with Project Manager, Super and Reports Directly to Project Executive)

Corporate Admin

Assistant

Bonnie Powers

207-621-8505 Office

(Works with Project Manager, Super and Reports Directly to Project Executive)

Meetings and Reports distribution,

Owner reports to investors, banks, governing agencies and legal as required.
(contact the Avesta Housing for details)

Contractor reports directly to owner and regulatory agencies as required.

Project super is responsible for the day to day operations and controls for the project and creates daily reports and submits them to the project manager who then reviews for accuracy and then forward to owner's team as set forth in the contract documents, specifications and plans.

Project Super is also responsible for day to day – front line communications with adjacent abutters and local code enforcement officials once project is started and permits are in place.

Project Manager is responsible for the overall project and also conducts all formal meetings such as pre-construction, weekly subcontractor, weekly owner, monthly requisition, co-ordination meetings, etc, with minutes of all such meetings distributed to the project team members and as applicable to the subcontractors and major suppliers with in 48hours. (Monday if meeting is Friday)

Project Manager also handles all project documentation as required by the project documents, such as meeting minutes, presentations of requisitions, change orders, submittals process, secures permits, project schedules, issues purchase orders and subcontracts, process back charges, etc...

Subcontractors and Suppliers

(Report Directly to Project Super and Project Manager)

General Contractor – Construction Manager – Design Builder

3025 North Belfast Avenue – P.O. Box 27 – Augusta, Maine 04332-0027

Office: (207) 621-8505 Fax: (207) 621-8508 E-mail: info@gannestonconstruction.com

Ganneston

CONSTRUCTION CORP

FLORENCE HOUSE PROJECT, PORTLAND, MAINE PROJECT DIRECTORY

Owner	Avesta Florence House LP 307 Cumberland Ave. Portland, Maine 04101 Deb Keller	207-553-7780 Office
Architect	Gawron Turgeon Architects 29 Black Point Road Scarborough, Maine 04074 Rebecca	207-883-6307 Office
Contractor	Ganneston Construction PO box 27 Augusta, Maine 04330	207-621-8505 Office
Project Executive	Stacey Morrison, CEO	207-621-8505 Office
Sr. Project Manager mikeadams@gannestonconstruction.com	Michael Adams	207-621-8505 Office 207-557-0963 Cell
Project Super & Project Safety	Richard Bealieu	207-458-2102 Cell Office – TPD
Corporate Accounting & Subcontract Admin	Emilie Ferland	207-621-8505 Office
Payroll Dept & Safety Coordinator	Bette Feener	207-621-8505 Office
Corporate Admin Assistant	Bonnie Powers	207-621-8505 Office

B.

General Contractor – Construction Manager – Design Builder

3025 North Belfast Avenue – P.O. Box 27 – Augusta, Maine 04332-0027
Office: (207) 621-8505 Fax: (207) 621-8508 E-mail: info@gannestonconstruction.com

Ganneston

CONSTRUCTION CORP

Michael L. Adams, Senior Project Manager

- 2007-Present** Ganneston Construction Corp, Augusta, Maine
Senior Project Manager
Responsibilities include complying with the construction contract terms and conditions; managing project correspondence including transmittals, letters, requests for information (RFI's), Change Order Proposals (COP's), Contract Change Orders (CCO's), and requests for payment; managing the submittals process; and managing the construction budget. Additional responsibilities include working closely with the other project personnel (superintendent, subcontractors, suppliers) and management, developing, monitoring, updating the overall project schedule; attending periodic on-site project meetings including requisition meetings with the owner, and maintain meeting minutes of all such meetings; assisting and supporting the project superintendent in a timely and productive manner.
- 2005-2007** MLA Construction Services, Holden, Maine
Sole Proprietor/Consultant
Responsibilities included providing project management, estimating, project supervision and other types of construction services.
- 1999-2005** H.E. Sargent, Inc., Stillwater, Maine
Project Manager/Estimator
Responsibilities included project management and estimating as outlined above.
- 1994-1999** American Ski Company, Newry, Maine
Director of Construction
Primary responsibility was overseeing all ongoing construction activities at various ski resorts owned by American Ski Company.

Education

Lawrence High School, Fairfield, Maine
K.V.V.T.I., Fairfield Maine

Additional Professional Training

K.V.V.T.I. Basic Computer
OSHA 30-Hour
First Aid
Project Manager Training
Metal Building / Product Pricing School
HCSS Estimating System Training
Numerous, construction related, seminars and short courses
EPA-approved Stormwater Training (sponsored by Wal-Mart)

Michael L. Adams, Senior Project Manager, Page 2

Professional Affiliations

Associated Builders & Contractors, Inc.

Representative list of satisfied clients and/or completed projects

Machias Dental Office	Machias, Maine
PROP/Bayside East Senior Housing	Portland, Maine
Ellsworth Courthouse	Ellsworth, Maine
Town of Stonington	Stonington, Maine
United States Post Office	Various locations
Trade Winds Marketplace	Blue Hill, Maine
Hancock County Commissioners	Ellsworth, Maine
Envisionet/Microdyne	Old Town, Maine
US General Services Administration	Augusta, Maine
Jackson Laboratory	Bar Harbor, Maine
MBNA	Belfast & Camden, Maine
Old Town School Department	Old Town, Maine
Down East Heritage Center	Calais, Maine

Ganneston

CONSTRUCTION CORP

"PRIME"

Richard Beaulieu, Superintendent

2002-Present Ganneston Construction Corp., Augusta, Maine
Project Superintendent
Responsible for project specific, day-to-day field operations from project startup until completion, including layout, quality control, manpower and materials scheduling and allocations, project planning and scheduling, coordination of trades, problem solving, and carrying out any designer/client/employer directives. Also responsible for compliance with all company policies as related to project site including employee record keeping, safety, and jobsite security.

2000-2002 Mid State Machine, Winslow, Maine
Utility and Shipping Manager

1986-2000 Ganneston Construction Corp., Augusta, Maine
Foreman, Carpenter

1986-1986 Rodrigue Builders, Augusta, Maine
Carpenter

Additional Professional Training:
NCCER Project Supervision Course
Blue Print Reading
10-Hour OSHA Certification
First Aid/CPR
EPA-approved Stormwater Training (sponsored by Wal-Mart)

Education:
Cony High School, Augusta, Maine

Representative list of satisfied clients and/or completed projects

PROP/Bayside East LP	Portland, Maine
University of Southern Maine	Lewiston, Maine
University of Maine	Augusta, Maine
Lewiston Public Library	Lewiston, Maine
Fairground Apartments	Orrington, Maine
Dr. Rice/Dr. Bossong Dental Offices	Brunswick, Maine
Dr. Bufo Offices	Scarborough, Maine
Coastal Maine Foot & Ankle Offices	Falmouth, Maine
Air National Guard	Bangor, Maine
USDA	Bangor, Maine
Stillwater, LLC	Bangor, Maine
CPM Constructors	Freeport, Maine
Orthopaedic Associates	Scarborough, Maine

Ganneston

CONSTRUCTION CORP

Assistant

Everett E. Stewart, Superintendent

2007-Present Ganneston Construction Corp.
Superintendent
Responsible for project specific, day-to-day field operations from project startup until completion, including layout, quality control, manpower and materials scheduling and allocations, project planning and scheduling, coordination of trades, problem solving, and carrying out any designer/client/employer directives. Also responsible for compliance with all company policies as related to project site including employee record keeping, safety, and jobsite security.

2004-2007 Payton Maine Corp.
Superintendent
Responsible for all on-site operations.

2002-2004 PICERNE
Superintendent
Responsible for all on-site operations.

1974-2002 D. L. Poulin, Inc.
Responsible for all on-site operations.

Additional Professional Training

TQM Seminar, Jack Miller

Creative Problem Solving in Business, USM

Supervisory Training Program, Leadership & Motivation, and

Problem Solving & Decision Making, AGCA

Estimating Training Program

Everett E. Stewart, Superintendent, Page 2

Representative list of satisfied clients and/or completed projects

Central Maine Power	Belfast, Maine
Casco Bay YMCA	Freeport, Maine
Reny's Department Store	Bridgton, Maine
Unity Gardens Housing Project	Unity, Maine
Paris Elementary School	Paris, Maine
BNAS Military Housing	Brunswick, Maine
Stonington Elementary School	Stonington, Maine
Mast Landing Elementary School	Freeport, Maine
Augusta Armory/Camp Keyes	Augusta, Maine
McDonald's Restaurant	Freeport, Maine
Applebee's	Brunswick, Maine
Applebee's	Dover, New Hampshire
Chili's Restaurant	Lebanon, New Hampshire
Maine Youth Center	Windham, Maine
Veteran's Administration Hospital	Augusta, Maine
Classic Buick, BMW, GMC	Westbrook, Maine
Car Wash & Lube for J&S Oil	Manchester, Maine
68 Unit Motel	Lewiston, Maine

Ganneston Construction Corp
PO Box 27, North Belfast Avenue
Augusta, ME 04332-0027

LETTER OF TRANSMITTAL

Tel: (207) 621-8505
Fax: (207) 621-8508

GCC PROJECT NUMBER
GCC-80677

To:

CITY OF PORTLAND
BUILDING INSPECTIONS DIVISION
389 CONGRESS STREET
PORTLAND, MAINE 04101

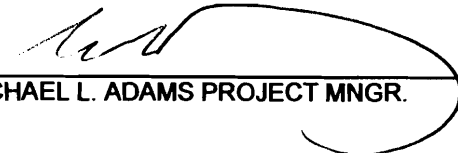
Date: January 7, 2009
Attention: CHRIS HANSEN
RE: FLORENCE HOUSE PROJECT

WE ARE SENDING YOU X ATTACHED UNDER SEPARATE COVER

COPIES	NO.	DESCRIPTION
1		COPY OF PWD ADJUSTMENTS AND DETAILS TO CONNECTIONS

REMARKS

PLEASE DO NOT HESITATE TO CALL WITH ANY QUESTIONS OF FOR ADDITIONAL INFORMATION THAT YOU MAY REQUIRE.

Signed: 
MICHAEL L. ADAMS PROJECT MNGR.

Date: 7-Jan-09

Ganneston

CONSTRUCTION CORP

**CITY OF PORTLAND, BUILDING INSPECTION DIVISION
FIRE DEPARTMENT REQUIREMENTS
ATTN: FIRE PREVENTION OFFICER**

FLORENCE HOUSE PROJECT, PORTLAND, MAINE

OWNER;

**Debora Keller (authorized rep)
% Avesta Florence House L.P. &
Florence House Housing Corporation
307 Cumberland Ave.
Portland, Maine 04101
207-553-7777**

ARCHITECT

**Rebecca Dillon (authorized rep)
Gawron / Turgeon
29 Black Point Road
Scarborough, Maine 04074
207-883-6307**

Contractor;

**Mike Adams (authorized rep)
Ganneston Construction
Po Box 27
Augusta, Maine 04332-0027
207-621-8505**

We have attached a c/d with the Complete Project Documents and Details in "PDF" format and more specifically we note the fire department requirements are listed (the most clearly) on, Drawings G101, G102, G103 (large copies attached)



**Michael Adams
Sr. Project Manager
12/18/08**

General Contractor – Construction Manager – Design Builder

**3025 North Belfast Avenue – P.O. Box 27 – Augusta, Maine 04332-0027
Office: (207) 621-8505 Fax: (207) 621-8508 E-mail: info@gannestonconstruction.com**

12/31/08

MTG w/ GreyCass
Betsy Dillon
Chris Hansen

1. Delayed Egress + Remote locking Latches
sect. 1008.1.8.6 - occupant may not pass thru
more than one door eqipt
w/ delayed egress.

6 conditions.

2. operator remote latches - sect 1008.1.8.3
explain -

3. Dead End Corridors - IBC - 20' (shower,
Corridor - 1016 Bath Area
Dead End - 1016.3. 1st floor)

4. Calculations for North wall opening
protectives.

5. Standpipe system - separate?

6. Table + Chair Storage / Beds + Cots overflow?

7. Generator? ~ if so, Tank loc

8. Hand sink (req to Add 1 in Kitchen
area.

9. SHT A-001 - C10 - UL538 Shows
3 layers of 5/8" sheetrock
not 2

- 1 Delayed Egress
- 2 operable remote Latch's.
- 3 Dead End Corridors from Showers / st.
- 4 openings - North wall.
- 5 Standpipe System.
- 6 (Table + Chair Storage / Beds/cots)
7. Clean out - Kit hood's)
- 8 Generator ? - tank.
9. Fire Alarm
10. sht. AGO1

C10 - U.L. 538 show 3 layers of
5/8 not 2

C3A - U.L. 501 - 1 hr. not 2 hr (UL 503)?

11. Seismic Design - Spec Book

We recommend the basement found. walls, not free to rotate at the top and drained @ the base.

12. Spray foam Ins. - Specs - J-15
07210

13. FS-1 - Add a hand sink
(office wall)

✓ Ramp - 2/12 % Slope Max .125

✓ C-1 or A001 - 1hr Government
C-1A " " - 2hr 1st

✓ A-102 shaft @ N. West. 13.8 W6 - Should be
W-4?

South Shaft. W6 - W-4
STAIR [Shafts] A103 - W-4 should be W-4A
ST-2

Window Sch. -

C3A - UL-501 1 hr not 2 hrs
503?

Opening protects. sect. 704.8
5' to lot line

12/31/08

MTG w/ Greg Cuss
Betsy Dillon
Chris Hansen

1. Delayed Egress + Remote locking Latches.
sect. 1008.1.8.6 - occupant may not pass thru
more than one door eqpt
w/ delayed egress.

6 conditions.

2. operator remote latches - sect. 1008.1.8.3
explain -

③ Dead End Corridors - IBC - 20' (shower,
Corridor - 1016 Bath Area
Dead End - 1016.3. 1st floor)

4. Calculations for North wall opening
protectives.

5. Standpipe system - separate?

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- 1 Delayed Egress
- 2 Operator remote Latches.
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- 4 openings - North wall.
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7. Clean out - Kit hood's)
- 8 Generator ? - tank.
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10. sht. AGO1

C10 - U.L. 538 show 3 layers of
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C3A - U.L. 501 - 1 hr. not 2 hr (UL 503.)?

11. Seismic Design - Spec Book

We ~~recommend~~ the basement found. walls, not free to rotate at the top and anchored @ the base.

12. Spray foam Ins. - Specs - J-15
07210

13. FS-1 - Add a hand Sink
(office wall)

✓ Ramp - 2/12 % Slope Max .125

✓ C-1 or A001 - 1hr Basement
C-1A " " - 2hr 1st

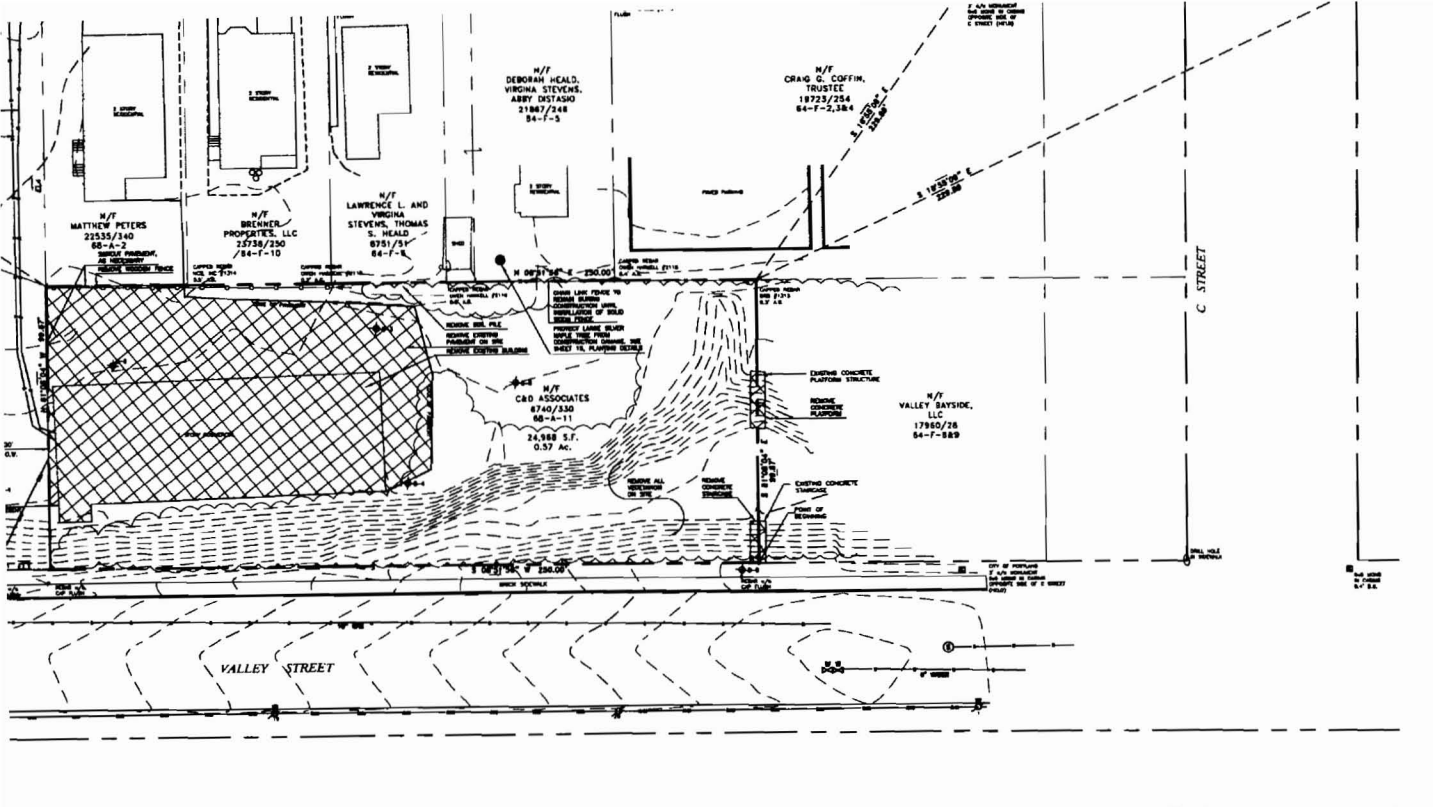
✓ A-102 shaft @ N. West. 13.8 W6 - Should be W-4?

South Shaft. W6 - W-4
STAIR [Shafts] A103 - W-4 should be W-4A
ST-2

Window Sch. -

C3A - UL-501 1 hr not 2 hrs
503?

Opening Protectives. sect. 704.8
5' to lot line



FLORENCE HOUSE

Portland, Maine

190 Valley Street

TO THE FOLLOWING EASEMENTS OF

"ACCESS RIGHT-OF-WAY" FOR THE BENEFIT OF T PARCEL OVER MAP 68, BLOCK A, PARCEL 10 IN DEED BOOK 4323, PAGE 133.

"E RIGHT-OF-WAY" FOR THE BENEFIT OF THE RCEL OVER MAP 68, BLOCK A, PARCEL 10 AS IN DEED BOOK 12746, PAGE 149.

AGREEMENT FOR 20' WIDE RIGHT-OF-WAY" OVER JACK A. PARCEL 10 AS REGORDED IN DEED BOOK 150.

TO CENTRAL MAINE POWER CO. FOR INSTALL AND OF POWER LINES FROM POLE 18 TO POLE 18.1" IN DEED BOOK 4932, PAGE 312.

CONDUCTED WITH 6 INCHES OF SNOW AND ICE.

CONTOURS ARE BASED ON NGVD 1929 DATUM DISK CALLED FOR AS RM-34 ON FIRM PANEL SEE PLAN FOR TBM DESCRIPTION.

S AND WATER LINE LOCATIONS ON ST. JOHN EN FROM CITY OF PORTLAND PUBLIC WORKS 99B. VERIZON LINES WERE FIELD LOCATED. LINES AND INVERTS WERE FIELD LOCATED AS LOCATIONS SHALL BE CONSIDERED APPROXIMATE.

LEGEND

	EXISTING
PROPERTY LINE	---
MONUMENT FOUND	■ MON
REBAR FOUND	••
CONTOUR	~70~
CATCHBASIN	■
SEWER MANHOLE	⊙
DRAIN MANHOLE	⊙
WATER VALVE	⊙
GAS VALVE	⊙
UTILITY POLE	⊙
UTILITY POLE WITH LIGHT	⊙
WATER SERVICE	—W—
SEWER SERVICE	—S—
STORM DRAIN	—D—
GAS SERVICE	—G—
UNDERGROUND TELEPHONE	—UT—
OVERHEAD WIRES	—OHU—
FENCE	—
TEST BORING	⊕



LOCATION MAP
 NOT TO SCALE
 DEPT. OF COMMUNITY DEVELOPMENT
 CITY OF PORTLAND, ME
 DEC 15 2003

Final - as approved

Date: SEPTEMBER 4, 2007

Issued For: SITE PLAN AND SUBDIVISION REVIEW

Revisions:
 October 2, 2007 - Per Planning Staff and Board Comments.
 October 17, 2007 - Per Planning Staff Comments.

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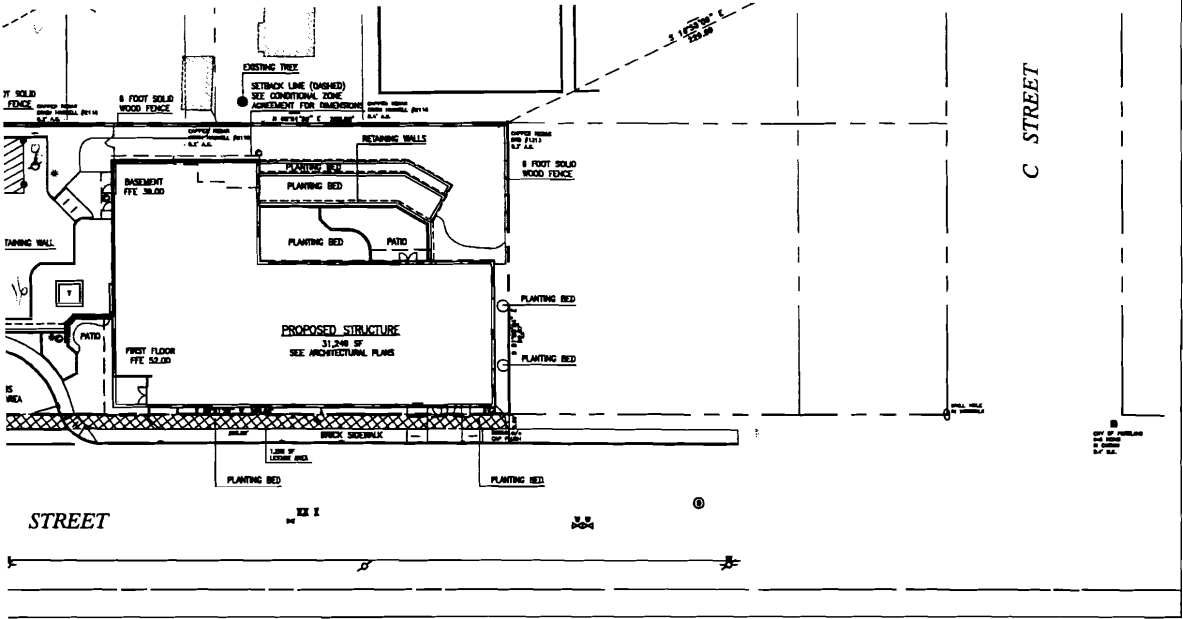
Title: EXISTING CONDITIONS AND DEMOLITION PLAN

Scale: 1"=30'

0 10 20 30 60 ft.

North:

Sheet No.: 1



LEGEND

	EXISTING	PROPOSED
PROPERTY LINE		
SETBACK LINE		
REBAR FOUND		
EASEMENT AREA		
LICENSE AREA		
CATCHBASIN		
MANHOLE		
ELECTRIC TRANSFORMER		
WATER VALVE		
FIRE HYDRANT		
GAS VALVE		
UTILITY POLE		
UTILITY POLE WITH LIGHT		
LIGHT POLE		
SECURITY CAMERA		
FENCE		
SIGN		

FLORENCE HOUSE
 190 Valley Street
 Portland, Maine

CONDITIONS OF APPROVAL - OCTOBER 23, 2007

VAS TAKEN FROM THE PLAN EARING IS MAGNETIC, 2005.
 THE CUMBERLAND COUNTY

YED CAN BE FOUND IN A FLORENCE HOUSE LP DEED BOOK 26070, PAGE 196. IS RECORDED IN DEED BOOK

PORTLAND ASSESSOR'S BLOCK A, PARCEL 11.

. ST. JOHN STREET, C STREET + ID PUBLIC WORKS RECORDS. 30 FEET.

INS- "IN STREET, PORTLAND, MAINE" BY DATED JUNE 30, 2005.

ET" BY WILLIAM A GOODWIN, CITY ID RECORDED IN PLAN BOOK 4.

EMENTS OF RECORD: " FOR THE BENEFIT OF THE CK A, PARCEL 10 AS RECORDED

THE BENEFIT OF THE SUBJECT RCEL 10 AS RECORDED IN DEED

E RIGHT-OF-WAY" OVER MAP G8, IN DEED BOOK 12746, PAGE 150. R CO. FOR INSTALL AND " POLE 18 TO POLE 18.1" AS E 312.

3 BEEN GRANTED BY THE CITY OF LONG VALLEY STREET FOR VD FOR CANOPY ENCROACHMENT.

NGVD 1929 DATUM TAKEN FROM ANEL 230051 0013 B. SEE

SUBDIVISION CONDITIONS

1. THAT THE FINAL RECORDING SUBDIVISION PLAT WILL BE COMPLETED TO THE SATISFACTION OF THE CORPORATION COUNSEL AND INCLUDE A LIST OF ANY CONDITIONS IMPOSED BY THE PLANNING BOARD, AND WILL BE SUBMITTED FOR THE PLANNING BOARD'S SIGNATURE; AND
2. THAT THE APPLICANT SHALL RECEIVE APPROVAL OF ITS CONDOMINIUM DOCUMENTS AND THE ISSUANCE OF A LICENSE FROM THE CITY FOR USES WITHIN THE RIGHT OF RIGHT OF WAY, THROUGH THE CITY'S CORPORATION COUNSEL OFFICE; AND
3. THAT THE DEVELOPER SHALL CONTRIBUTE \$3000 TOWARDS THE CITY'S STREET TREE PROGRAM TO COVER THE COST OF PURCHASING AND PLANTING FIFTEEN (15) STREET TREES IN THE VICINITY OF THE PROJECT (BASED ON THE PROVISION OF ONE TREE PER UNIT LESS THE COST OF THE TEN (10) TREES ALONG VALLEY STREET TO BE PLANTED AS PART OF THE PROJECT). THE CONTRIBUTION SHALL BE PROVIDED PRIOR TO ISSUANCE OF A BUILDING PERMIT.

SITE PLAN CONDITIONS

1. THAT THE APPLICANT SHALL MAKE A \$5,000 CONTRIBUTION TO THE CITY. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, TOWARDS THE IMPLEMENTATION OF TRAFFIC CALMING IMPROVEMENTS ON VALLEY STREET BETWEEN CONGRESS STREET AND COMMERCIAL STREET; AND
2. THAT THE APPLICANT SHALL ENSURE THAT THE APPROVED MANAGEMENT PLAN FOR THE CONDO IS FORWARDED TO ALL THOSE RESPONSIBLE FOR THE BUILDING AND ITS OPERATION, AND SHALL FACILITATE ADHERENCE TO THAT PLAN; AND
3. THAT THE APPLICANT SHALL SUBMIT FOR REVIEW AND APPROVAL BY THE PLANNING AUTHORITY, PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE LOCATION, SIZE AND DESIGN DETAILS OF ALL SIGNAGE; AND
4. THAT THE APPLICANT SHALL SUBMIT FOR REVIEW AND APPROVAL BY THE PLANNING AUTHORITY, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE DETAILS, SIZE, SPECIFICATIONS AND MATERIALS OF THE TRIM BOARDS, WINDOW TRIM AND CORNICE (WHICH SHOULD BE DIMENSIONAL STOCK), AWNINGS AND SEGMENTAL BLOCKS; AND

SITE PLAN CONDITIONS, CONTINUED

5. THAT THE APPLICANT SHOULD ADHERE TO THE ARBORCULTURAL PRACTICES SHOWN ON THE SUBMITTED LETTERS, PLANS AND DETAILS AND THOSE OUTLINED IN THE COMMENTS FROM THE CITY ARBORIST OF 10.18.2007 TO PROTECT THE LARGE SILVER MAPLE TREE IN THE REAR YARD OF 213 ST JOHN STREET. IF, DURING THE FIRST 2 YEARS FROM CERTIFICATE OF OCCUPANCY THIS TREE BECOMES UNSTABLE DUE TO ROOT LOSS OR OTHER CONSTRUCTION DAMAGE RELATED TO THE PROJECT, THE APPLICANT SHALL BE RESPONSIBLE FOR PRUNING, REMOVAL AND REPLACEMENT OF THE TREE IF NECESSARY AND AGREED WITH THE OWNER. IF REMOVAL AND REPLACEMENT IS NECESSARY, THE REPLACEMENT TREE SHOULD BE OF 3 INCH CALIPER OF THE SAME SPECIES (OR OTHER SPECIES AS AGREED WITH THE OWNER); AND
6. THAT THE APPLICANT SHALL SUBMIT FOR REVIEW AND APPROVAL BY THE PLANNING AUTHORITY, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, DETAILS, CATALOG CUTS AND ILLUMINATION INFORMATION REGARDING THE PROPOSED WALL-MOUNTED LIGHTS ON THE VALLEY STREET ELEVATION; AND
7. THAT THE APPLICANT SHALL BRICK OVER THE ENTIRE ISLAND (ON THE PULL-OFF RIGHT-OF-WAY) TO MATCH THE SIDEWALK IN THE EVENT THE PLANTED PORTION BECOMES UNSIGHTLY; AND
8. THAT THE APPLICANT CONTINUE TO WORK WITH THE CITY'S URBAN DESIGNER TO REFINE THE ARCHITECTURE TO BETTER ALIGN THE WINDOWS TO CREATE A MORE UNIFIED DESIGN AND TO MITIGATE THE BLANK WALL FACING THE ST. JOHN STREET BUTTERS; AND
9. THAT THE APPLICANT SHALL SUBMIT FOR REVIEW AND APPROVAL BY THE URBAN DESIGNER, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE DESIGN, MATERIALS AND SPECIFICATIONS FOR SCREENING THE ROOFTOP APPURTENANCES; AND
10. THAT THE APPLICANT SHALL MEET THE NOISE STANDARDS OF THE PORTLAND CITY CODE AND SHALL MITIGATE VIOLATIONS THEREOF.

Approved: Portland Planning Board

Date: _____

Chair, _____

Board Members, _____

DEC 15 2008

Final as approved & signed by Board

Date: OCTOBER 17, 2007

Revisions:
 November 16, 2007 - Added Conditions of Approval.
 September 2, 2008 - Per Planning Staff Comments.
 November 17, 2008 - Reference to Amended Conditional Zone Agreement.

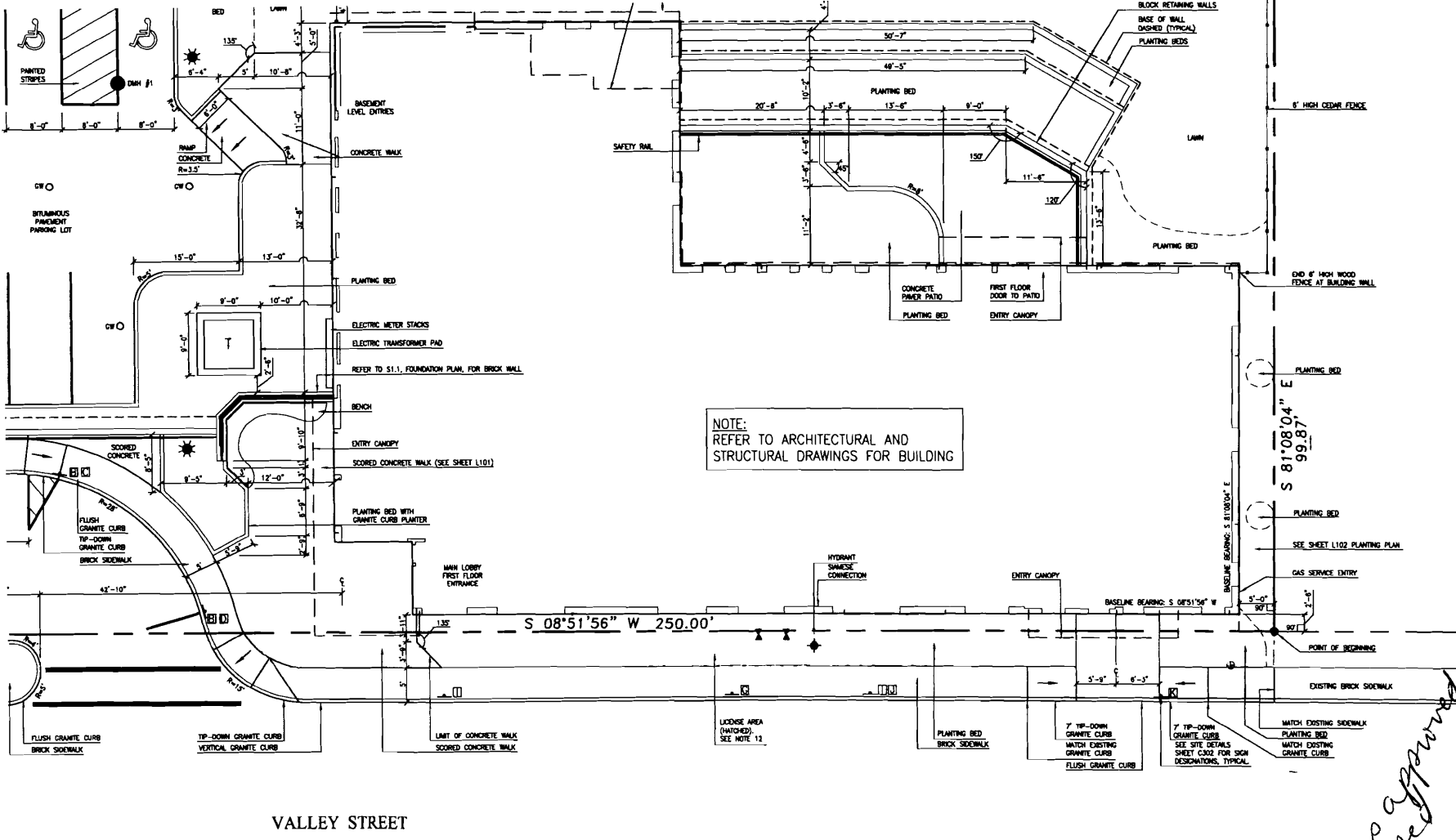
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Title: SUBDIVISION PLAT

Scale: 1"=30'

Mag. North:

Sheet No: 1



Turgeon ARCHITECTS
 29 Black Point Road
 Scarborough, Maine 04074
 www.gawronTurjeon.com
 207-883-4327 or 207-883-0361 for

AVESTA HOUSING

FLORENCE HOUSE
 190 VALLEY STREET
 PORTLAND, MAINE



REVISIONS

NO	DATE	DESCRIPTION
1	12.07	MAINE HOUSING 50% REVIEW SET
2	5.2.08	90% MAINE HOUSING REVIEW SET
3	7.31.08	100% MAINE HOUSING REVIEW SET
4	9.2.08	100% BID DOCUMENTS

DATE:	05/02/08
PROJECT #:	100405
DRAWN BY:	BAM
CHECKED BY:	JDM
DRAWING SCALE:	1" = 10'-0"

SHEET TITLE
 LAYOUT PLAN

C 101

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 LANDSCAPE ARCHITECTS IS PROHIBITED

- OWN STREET, C STREET + JC WORKS RECORDS.
 T.
- "EET. PORTLAND, MAINE" BY JUNE 30, 2005.
- WILLIAM A GOODWIN, CITY ORDERED IN PLAN BOOK 4.
- "S OF RECORD" THE BENEFIT OF THE PARCEL 10 AS RECORDED
- NET OF THE SUBJECT O AS RECORDED IN DEED
- T-OFF-WAY" OVER MAP G8, D BOOK 1274G, PAGE 150, FOR INSTALL AND 18 TO POLE 18.1" AS
- A LICENSE, COVERING A 1250 SF AREA, HAS BEEN GRANTED BY THE CITY OF PORTLAND FOR THE PROPERTY FRONTAGE ALONG VALLEY STREET FOR MAINTENANCE OF PAVING AND VEGETATION AND CANOPY ENCROACHMENT.
 - ELEVATIONS AND CONTOURS ARE BASED ON NGVD 1929 DATUM TAKEN FROM THE DISK CALLED FOR AS RM-34 ON FIRM PANEL 230051 0013 B. SEE PLAN FOR TBM DESCRIPTION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND KEEPING STREETS CLEAN DURING CONSTRUCTION. A MAINTENANCE PLAN SHALL BE PREPARED AND APPROVED BY THE OWNERS REPRESENTATIVE.
 - DIMENSIONS ARE FROM FACE OF CURB.
 - EXACT LOCATIONS OF SECURITY CAMERAS TO BE CONFIRMED AS PART OF THE MANAGEMENT PLAN.
 - ALL MATERIALS AND INSTALLATION DETAILS SHALL MEET M.D.O.T. AND/OR CITY OF PORTLAND STANDARD SPECIFICATIONS.
 - SEE SUBDIVISION PLAT FOR SPACE AND BULK REQUIREMENTS OF THE CONDITIONAL ZONE AGREEMENT.

LEGEND

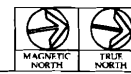
	EXISTING	PROPOSED		EXISTING	PROPOSED
PROPERTY LINE	---	---	FIRE HYDRANT	⊕	⊕
SETBACK LINE	---	---	UTILITY POLE	⊕	⊕
REBAR FOUND	⊕	⊕	LIGHT POLE	⊕	⊕
LICENSE AREA	---	---	FENCE	---	---
CATCHBASIN	⊕	⊕	BASE OF WALL	---	---
SEWER MANHOLE	⊕	⊕	SIGN	---	---
DRAIN MANHOLE	⊕	⊕	RESURFACE PAVEMENT AREA	---	---
OUTLET CONTROL STRUCTURE	⊕	⊕			
GEOTHERMAL WELL	⊕	⊕			
ELECTRIC TRANSFORMER	⊕	⊕			
WATER VALVE	⊕	⊕			

Mitchell & Associates
 LANDSCAPE ARCHITECTS

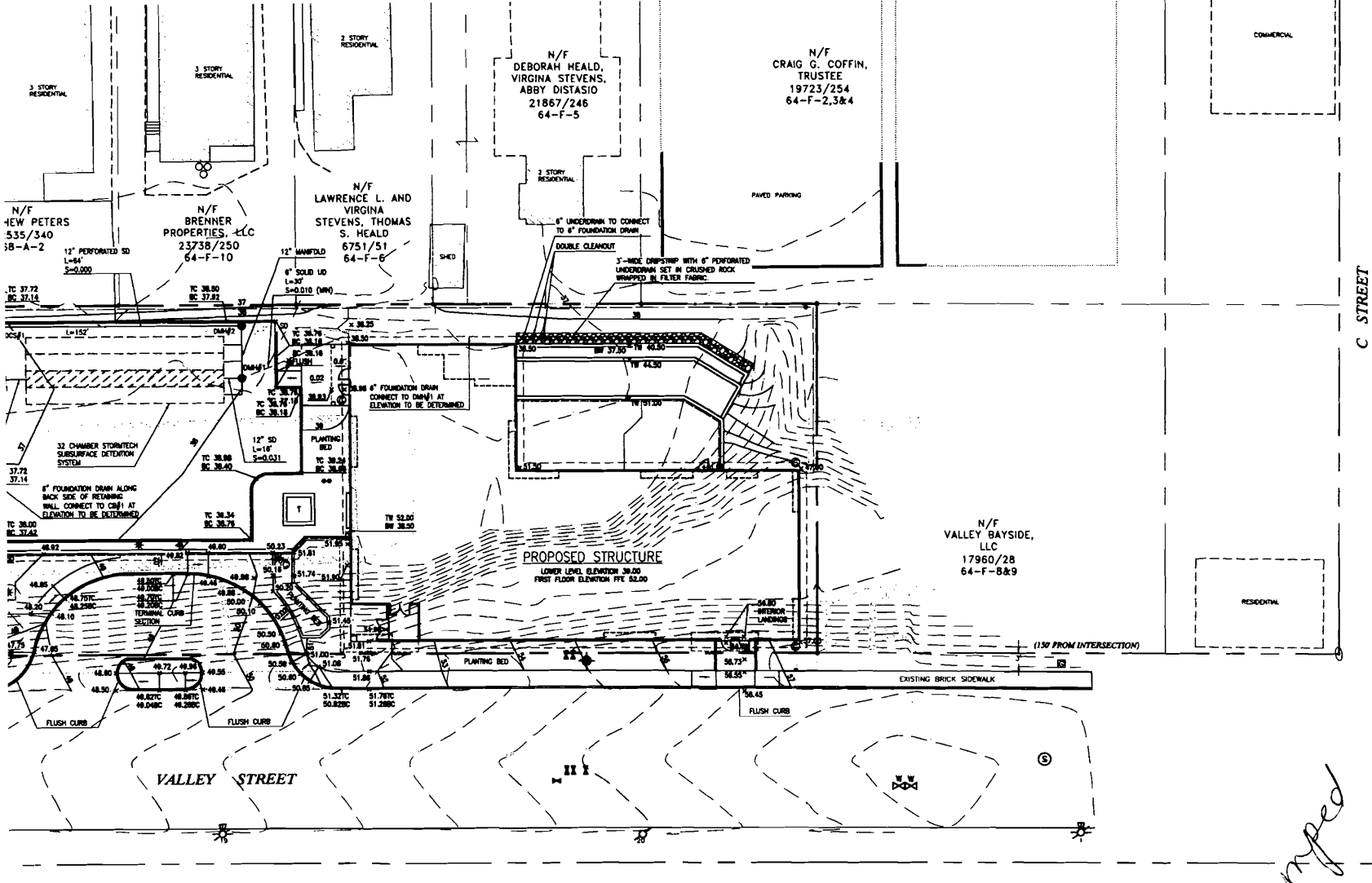
The Staples School
 70 Center Street
 Portland, Maine 04101
 Tel: (207) 774-4427
 Fax: (207) 874-2460
 www.mitchellandassociates.biz

GP Gorrill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services

P.O. Box 1237
 15 Shaker Road
 Gray, ME 04039
 TEL: 207-657-6910
 FAX: 207-657-6912
 E-Mail: mailbox@gorrillpalmer.com



*will be stamped as approved
 DEC 15 2008
 A 12/15/08*



C STREET

FLORENCE HOUSE
 190 Valley Street
 Portland, Maine

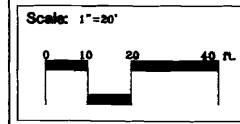
Date:
 SEPTEMBER 4, 2007

Issued For:
 SITE PLAN AND
 SUBDIVISION REVIEW

Revisions:
 October 2, 2007 - Per Planning
 Staff and Board Comments.

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Title:
**GRADING AND
 DRAINAGE PLAN**



North:

Sheet No.:
3

UTILITY NOTES

- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.
- DM1#2 SHALL HAVE A WEIRWALL UP TO ELEVATION 33.00 TO DIRECT RUNOFF TO THE POND.

BUILDING AVERAGE GRADE

38.50
38.50
51.50
47.00
57.00
51.48
51.50
51.50
+ 38.50
374.48

$\frac{374.48}{8} = 46.81$

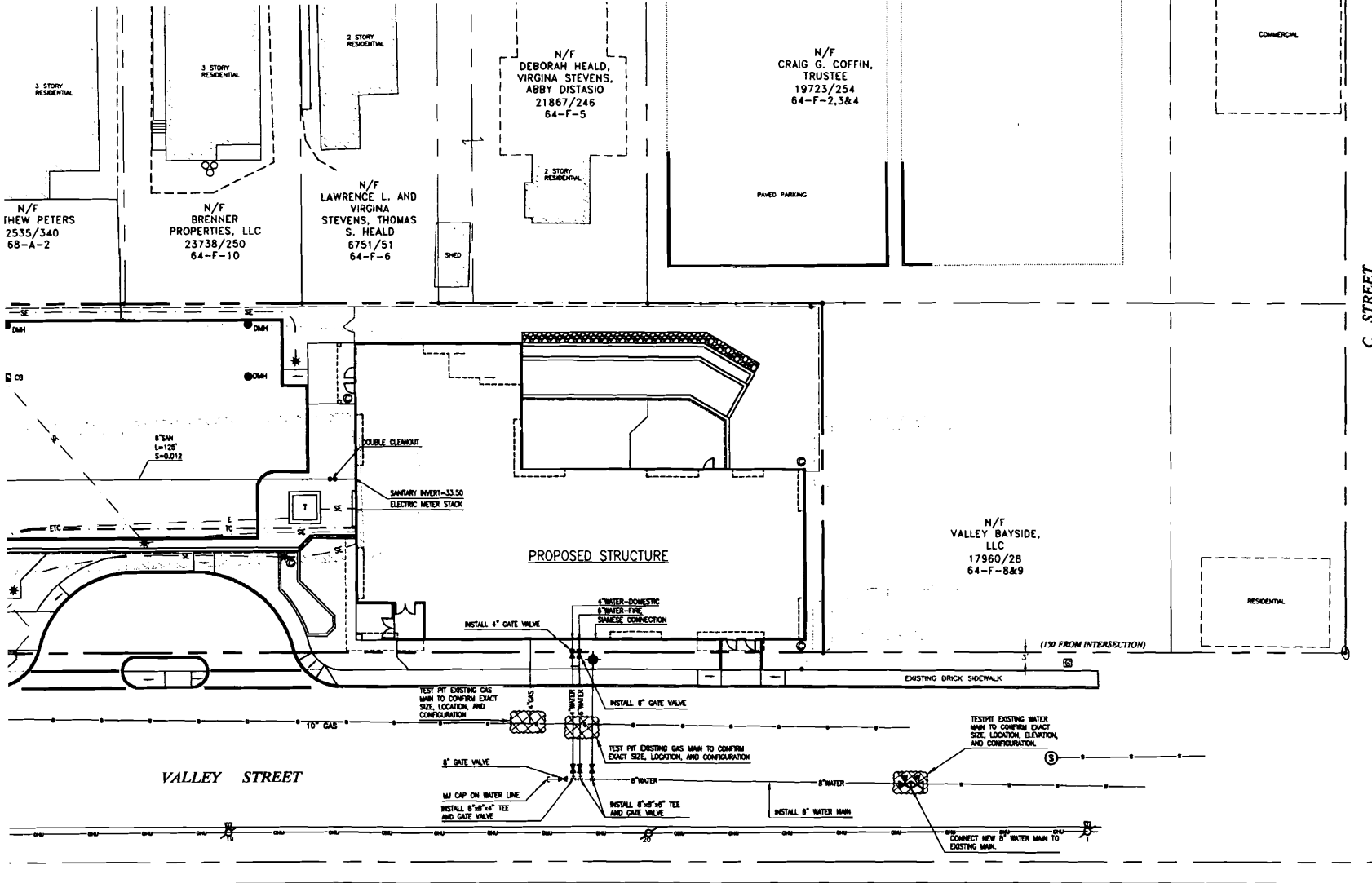
NOTE:
 THE AVERAGE GRADE CALCULATION IS BASED ON PROPOSED AVERAGE GRADE IN ACCORDANCE WITH THE ZONING ADMINISTRATOR METHODOLOGY.

STORM DRAIN STRUCTURES

STRUCTURE	SIZE	RPM	INV. IN	INV. OUT
CB#1	4' DIA	36.28	TBD (UD)	31.62
				33.00
DM1#1	6' DIA	38.00	TBD (FD)	31.62
DM1#2	4' DIA	38.00	33.00	31.00
DM1#3	4' DIA	35.70	30.62	30.42
DM1#4	6' DIA	EXISTING GRADE	27.63	27.63
			EXISTING	EXISTING
			28.35	
OC5	6' DIA		31.00	30.80

final - to be stamped





FLORENCE HOUSE

190 Valley Street
Portland, Maine

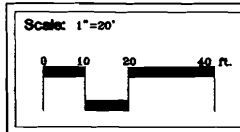
Date:
SEPTEMBER 4, 2007

Issued For:
SITE PLAN AND
SUBDIVISION REVIEW

Revisions:
October 2, 2007 - Per Planning
Staff and Board Comments.

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Title:
UTILITIES PLAN



North

Sheet No:
4



UTILITY NOTES

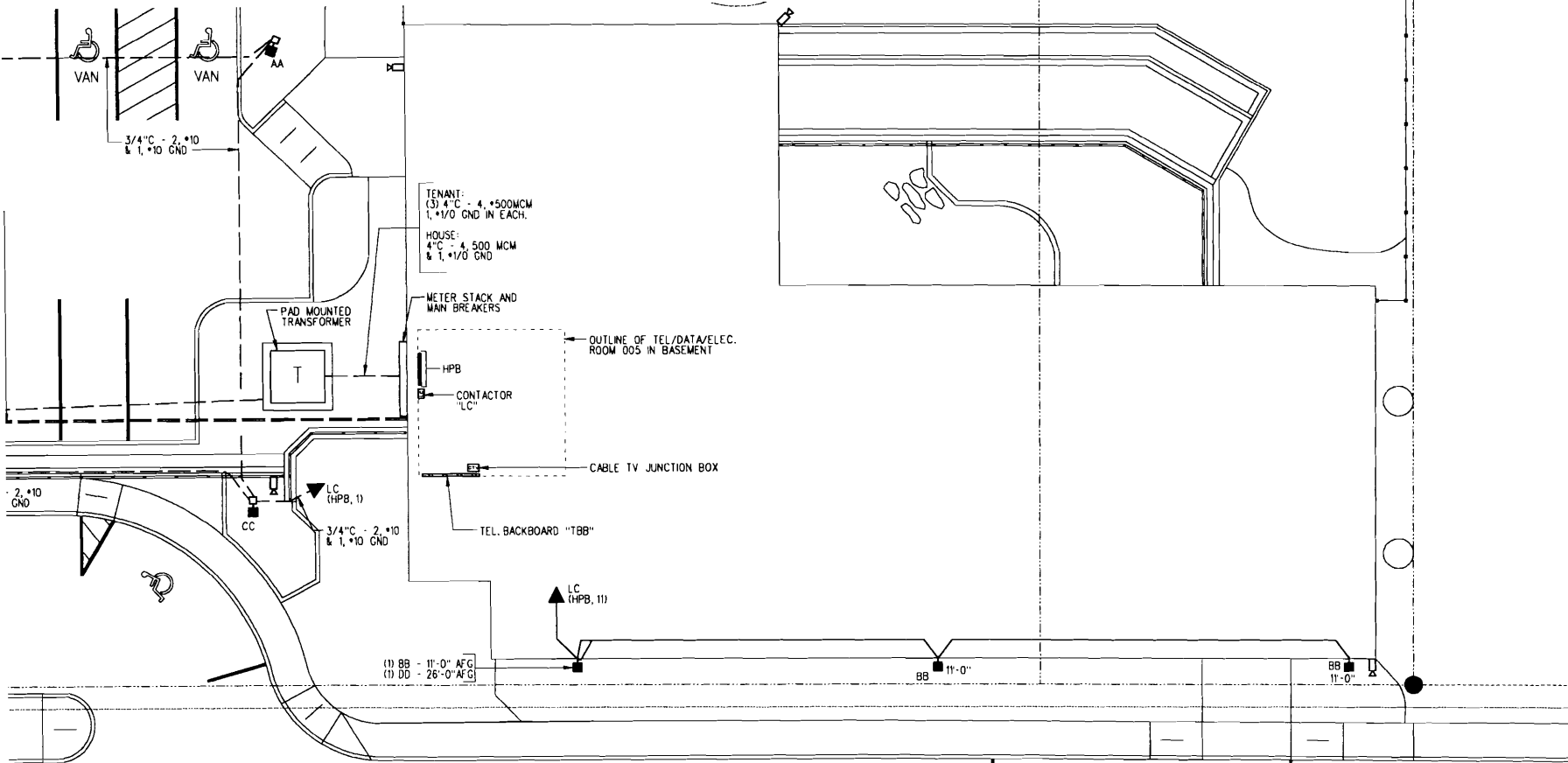
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.
- NEAREST FIRE HYDRANT IS LOCATED ON THE NORTHEASTERN CORNER OF C STREET AND ST. JOHN STREET AT A DISTANCE OF 405 FEET FROM THE PROPERTY LINE ON VALLEY STREET.

SANITARY STRUCTURES

STRUCTURE	SIZE	RM	INV. IN	INV. OUT
BUILDING	2'x2'	-	-	33.50
SMH#1	4' DIA	37.15	32.00	31.80
SMH#2	4' DIA	33.90	28.00	26.00

EXISTING GRADE

FLORENCE HOUSE
 190 VALLEY STREET
 PORTLAND, MAINE



VALLEY STREET

REVISIONS		
#	DATE	DESCRIPTION
1	4.08.07	CONTRACT ZONE SUBMISSION
2	6.01.07	CONTRACT ZONE SUBMISSION
3	7.18.07	CONTRACT ZONE SUBMISSION
4	8.04.07	SITE PLAN AND SUBDIVISION REVIEW
5	10.02.07	FINAL SITE PLAN REVIEW
6	11.16.07	50% REVIEW SET
7	12.04.07	50% MAINE HOUSING REVIEW SET
8	03.02.08	50% MAINE HOUSING REVIEW SET
9	07.31.08	100% MAINE HOUSING REVIEW SET
10	08.02.08	100% BID DOCUMENTS

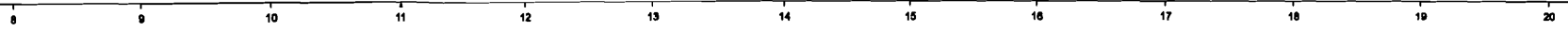
DATE:	06/02/08
PROJECT #	100405
DRAWN BY:	SPD
CHECKED BY:	WSBJR
DRAWING SCALE	AS NOTED

EXTERIOR ELECTRICAL PLAN
 SCALE: 1"=10'-0"

SHEET TITLE
 EXTERIOR ELECTRICAL PLAN

LIGHTING FIXTURE SCHEDULE			
TYPE	DESCRIPTION	LAMPS QUANTITY & TYPE	REMARKS
AA	KIM *1A/STS4-175MH208-HS V/GS/KRS POLE	(1) 175W MH	MOUNTED @ 18' AFG - W/ HOUSE SIDE SHIELD
BB	KIM *1A/STS3-100MH208-WM-HS, 1W/STS SURFACE WALL ASSEMBLY /GS-W	(1) 100W MH	WALL MOUNTED - W/ HOUSE SIDE SHIELD
CC	KIM *1A/STS3-175MH208 /GS/KRS POLE	(1) 175W MH	MOUNTED @ 15' AFG
DD	COLUMBIA *SLA-R-1-32-SLBI-2-E-1	(1) 32W TR	OUTDOOR SIGN LIGHT - REMOTE BALLAST MOUNTED IN JAN. 308
EE	KIM *1A/STS4-175MH208 /GS/KRS POLE	(1) 175W MH	MOUNTED @ 18' AFG

E 100

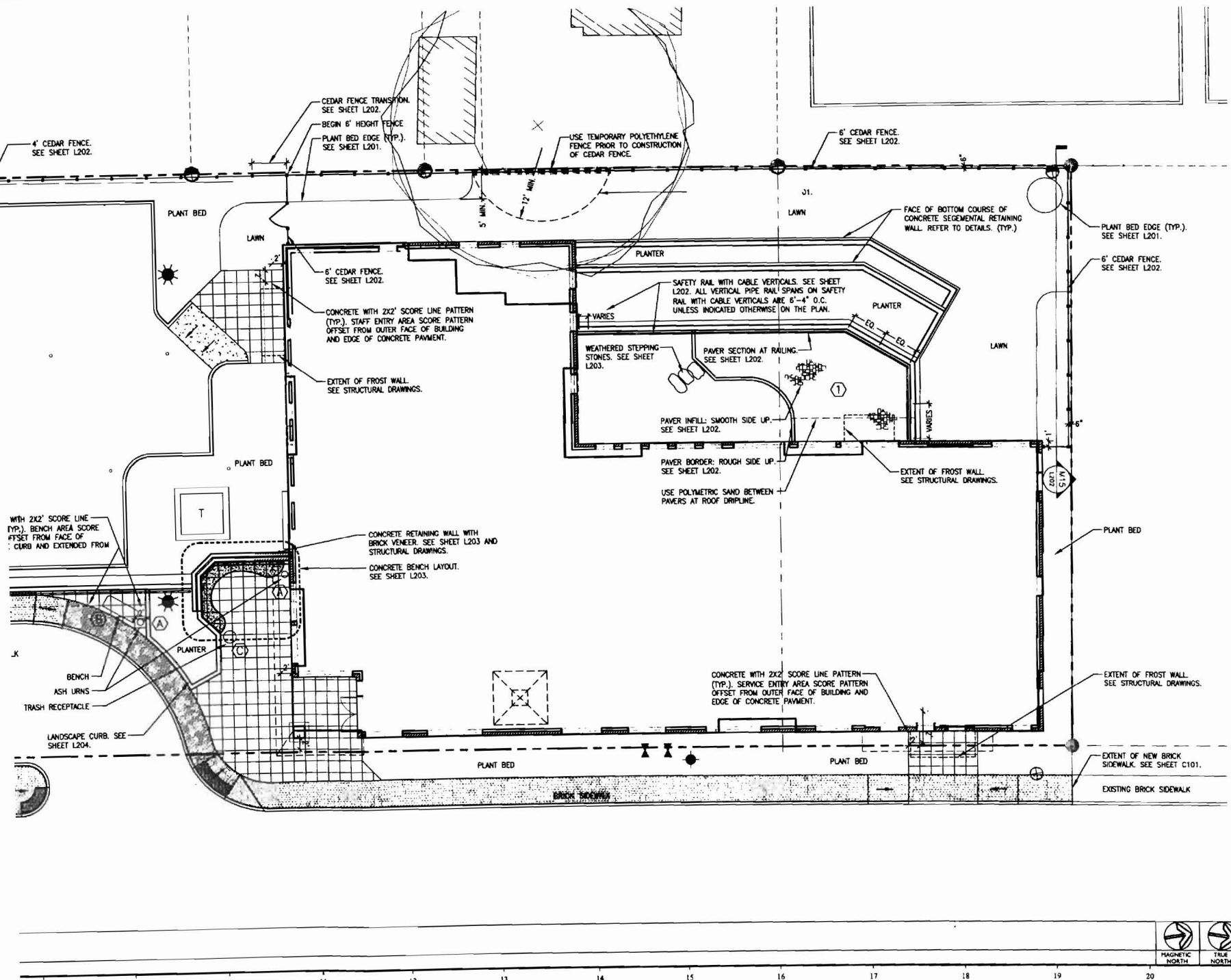


N13 CONCRETE PAVER SCHEDULE

NTS TBA

Turgeon ARCHITECTS
 29 Black Point Road
 Scarborough, Maine 04074
 www.gawronturgeon.com
 207-883-4307 w/ 207-883-0361 fax

AVESTA HOUSING
FLORENCE HOUSE
 190 VALLEY STREET
 PORTLAND, MAINE



REVISIONS

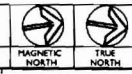
#	DATE	DESCRIPTION
1	04.03.07	CONTRACT ZONE SUB
2	08.22.07	CONTRACT ZONE REV
3	07.10.07	CONTRACT ZONE REV
4	09.04.07	SITE PLAN AND SUBDIVISION REVIEW
5	10.01.07	FINAL SITE PLAN REVIEW
6	10.23.07	FINAL SITE PLAN REVISIONS
7	11.16.07	SOS REVIEW SET
8	12.7.07	MAINE HOUSING SOS REVIEW SET
9	03.02.08	MAINE HOUSING 30% REVIEW SET
10	07.31.08	MAINE HOUSING 100% REVIEW SET
11	09.02.08	100% BID DOCUMENTS

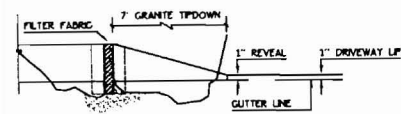
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PROJECT #	100405
DRAWN BY:	IKLD
CHECKED BY:	RS
DRAWING SCALE	1" = 10'-0"

SHEET TITLE
 HARDSCAPE AND SITE AMENITIES PLAN

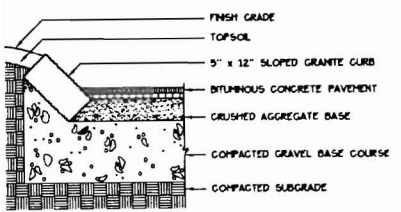
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 (FORMERLY SHEET NO. 5)

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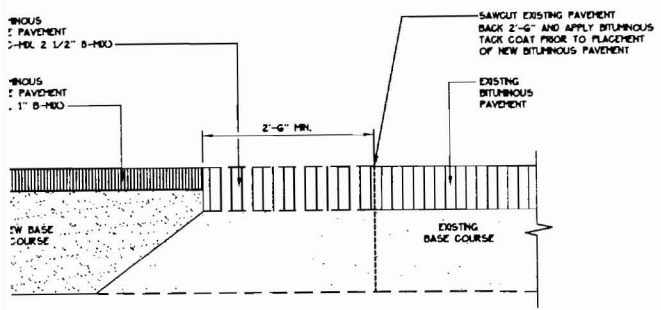




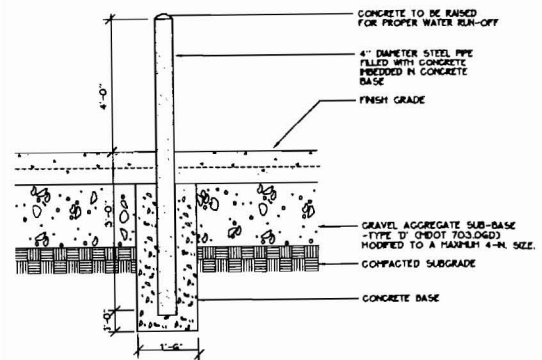
GRANITE TIPDOWN CURB
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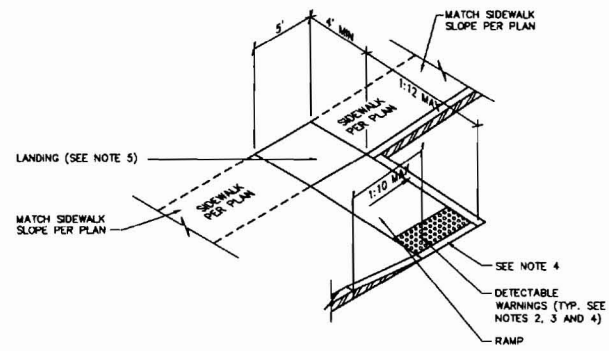
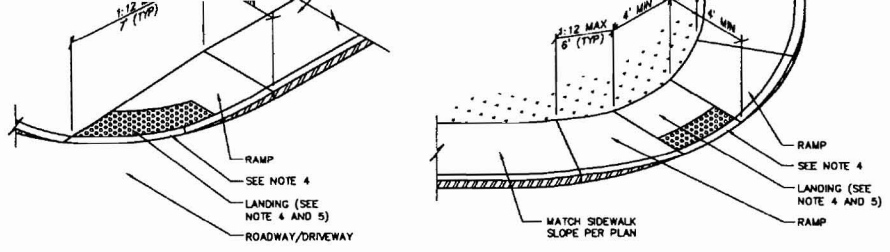
OPEN GRANITE CURB
 TO SCALE



PAVEMENT SAWCUT DETAIL
 TO SCALE



BOLLARD DETAIL
 TO SCALE



12
7 **BARRIER FREE RAMP**
 NOT TO SCALE

FLORENCE HOUSE

Portland, Maine

190 Valley Street

Date:
 SEPTEMBER 4, 2007

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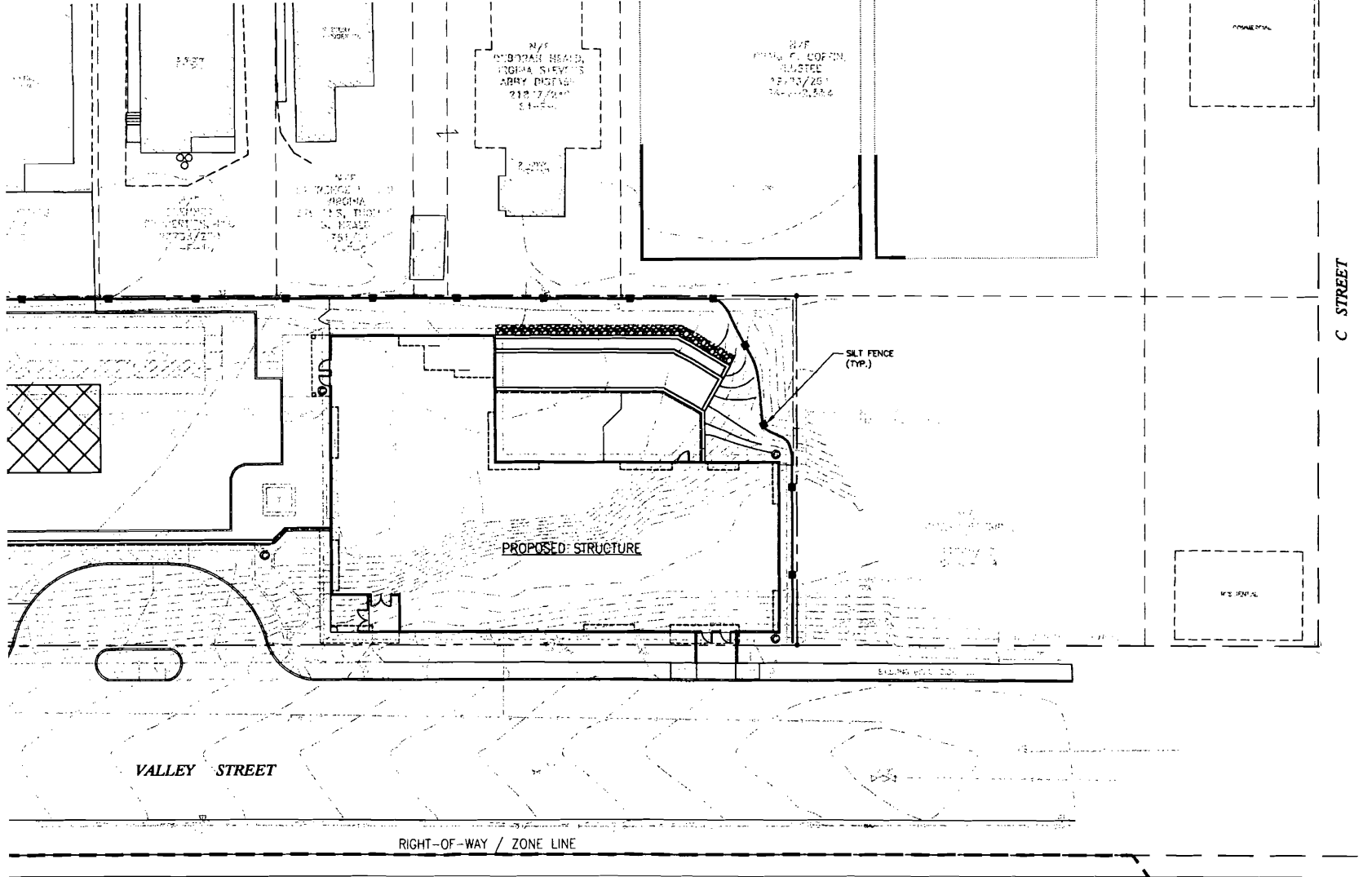
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Title:
 SITE DETAILS

Scale:

North:

Sheet No.:
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 Portland, Maine

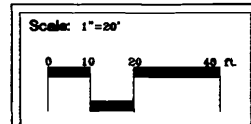
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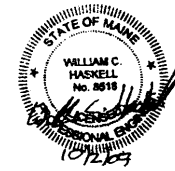
Title:
 EROSION AND
 SEDIMENTATION
 CONTROL PLAN

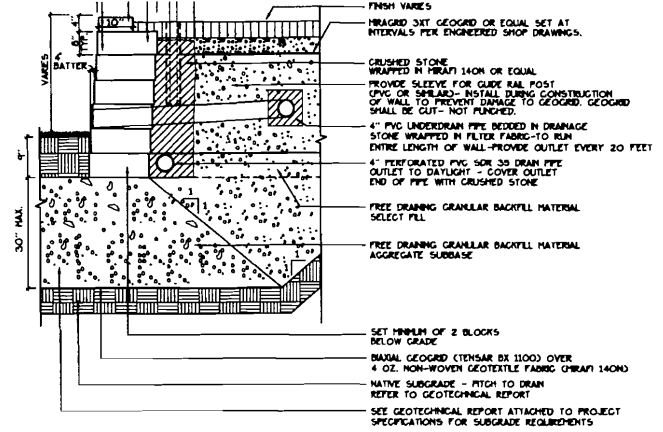


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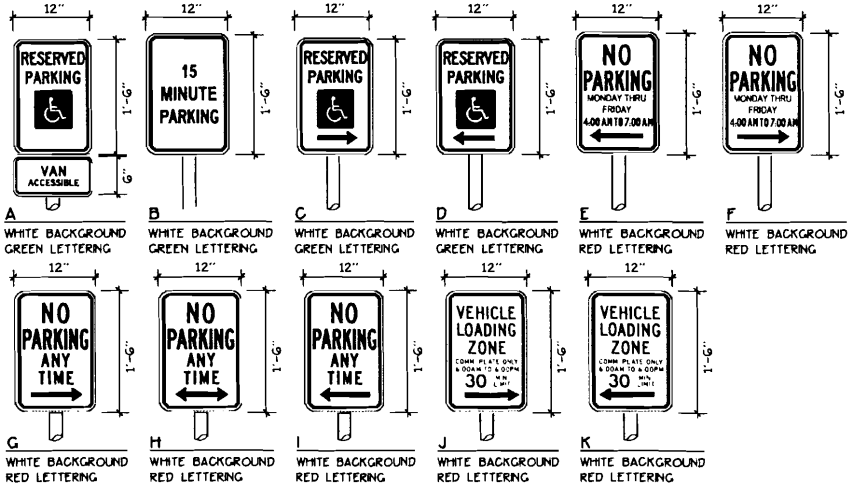
Sheet No.:
6

- NOTES**
1. REFER TO DRAWING 13 FOR EROSION AND SEDIMENTATION CONTROL DETAILS AND NOTES.
 2. ALL SLOPES STEEPER THAN 3:1 SHALL BE PROTECTED WITH CURLEX BLANKETS BY AMERICAN EXCELSIOR. INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 3. FOR TEMPORARY STABILIZATION INSTALL TENAX MULTMAT FABRIC ON ALL SLOPES EQUAL TO OR STEEPER THAN 8% BETWEEN OCTOBER 1 AND APRIL 15 AND EQUAL TO OR STEEPER THAN 15% BETWEEN APRIL 15 AND OCTOBER 1. INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 4. CONTRACTOR SHALL MINIMIZE FUGITIVE DUST EMISSIONS BY SWEEPING THE ADJACENT STREETS AS REQUIRED AND BY APPLYING WATER OR OTHER ENVIRONMENTALLY SOUND DUST CONTROL SOLUTION (CALCIUM CHLORIDE) ON SITE AS REQUIRED.

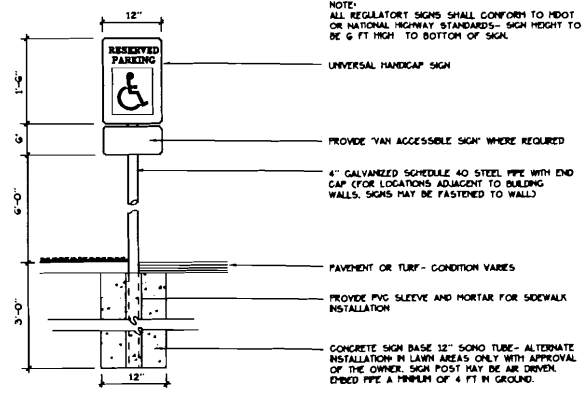




4 8 CONCRETE SEGMENTAL RETAINING WALL WITH GUARD RAIL
 NOT TO SCALE



SIGNAGE LEGEND



5 8 SIGNAGE
 NOT TO SCALE

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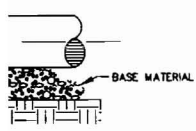
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Scale:

North: Sheet No:
8

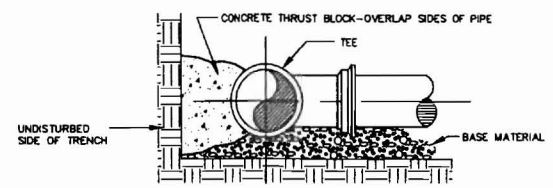
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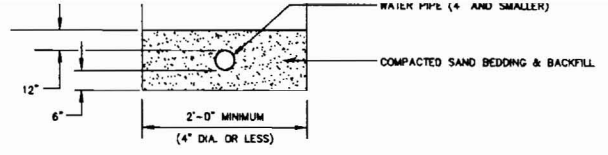
T BLOCK w/RETAINERS

← SITE INSPECTOR

ON BENDS

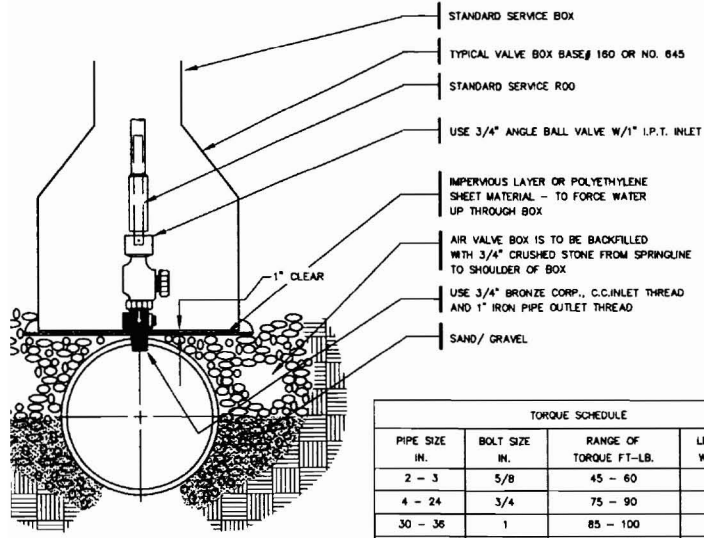


SECTION
TYPICAL THRUST BLOCK
PLACEMENT ON TEES



SEE NOTE 3 IN THRUST BLOCK NOTES DETAIL

WATER SERVICE TRENCH SECTION
N.T.S.

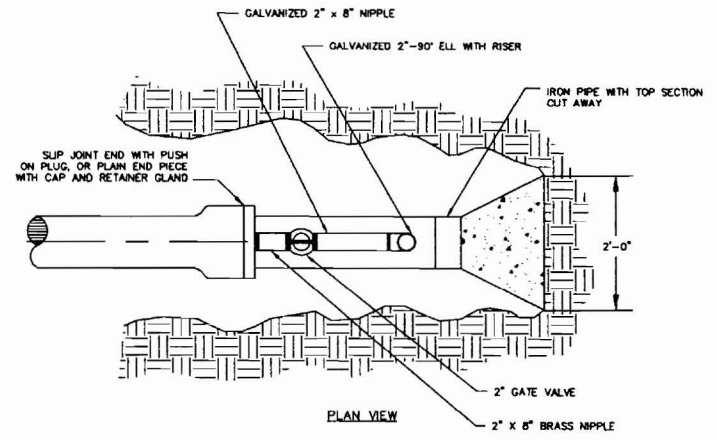


TORQUE SCHEDULE			
PIPE SIZE IN.	BOLT SIZE IN.	RANGE OF TORQUE FT.-LB.	LENGTH OF WRENCH IN *
2 - 3	5/8	45 - 60	8
4 - 24	3/4	75 - 90	10
30 - 36	1	85 - 100	12
42 - 48	1 1/4	105 - 120	14

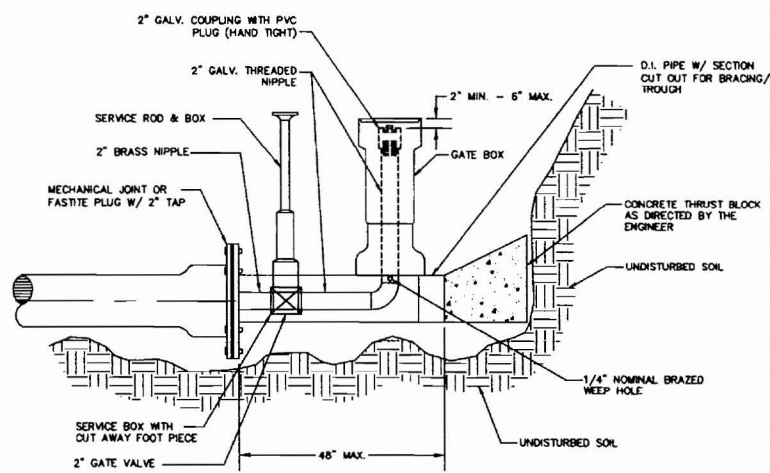
LOADS MAY BE APPLIED WITH SURING OR TORQUE INDICATING WHICH MAY ALSO BE USED TO APPLICATION OF APPROXIMATE DS APPLIED BY A PERSON TRAINED AVERAGE PULL ON A DEFINITE REGULAR SOCKET WRENCH.

SEE NOTE 3 IN THRUST BLOCK NOTES DETAIL

TYPICAL AIR VALVE SECTION (1")
N.T.S.



PLAN VIEW



SECTION

STANDARD 2" BLOW OFF
N.T.S.

16 Shaler Road
Oran, ME 04038
Tel: 207-687-6900
Fax: 207-657-6912

FLORENCE HOUSE
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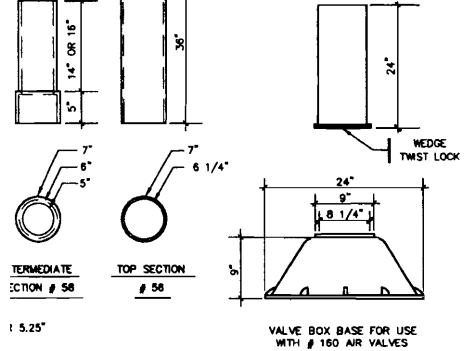
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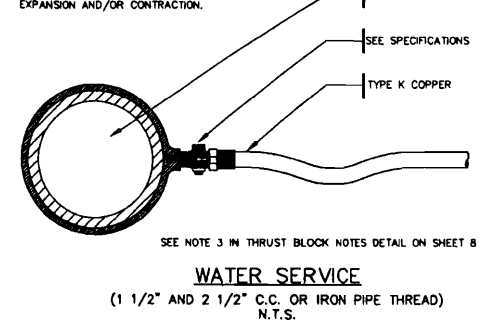
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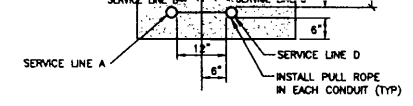




SEE NOTE 3 IN THRUST BLOCK NOTES DETAIL
TYPICAL VALVE BOXES
 N.T.S.



SEE NOTE 3 IN THRUST BLOCK NOTES DETAIL ON SHEET B
WATER SERVICE
 (1 1/2" AND 2 1/2" C.C. OR IRON PIPE THREAD)
 N.T.S.



SERVICE	CONDUIT SIZE	CONDUIT TYPE	GRASS AND PAVED AREAS	UTILITY	REMARKS
A	2-5"	SCHEDULE 40 PVC	ELECTRICAL GRADE	PRIMARY POWER	SEE NOTE
B	2-4"	SCHEDULE 40 PVC	ELECTRICAL GRADE	TELEPHONE	SEE NOTE
C	2-4"	SCHEDULE 40 PVC	ELECTRICAL GRADE	CABLE	SEE NOTE
D	2-4"	SCHEDULE 40 PVC	ELECTRICAL GRADE	FIRE ALARM	SEE NOTE

NOTE: ONE CONDUIT CAPPED FOR SPARE. PROVIDE GALVANIZED STEEL LOW SWEEP AT RISER POLE AND EXTEND GALVANIZED CONDUIT TO 10" ABOVE GRADE AT POLE WITH STAND-OFF BRACKETS

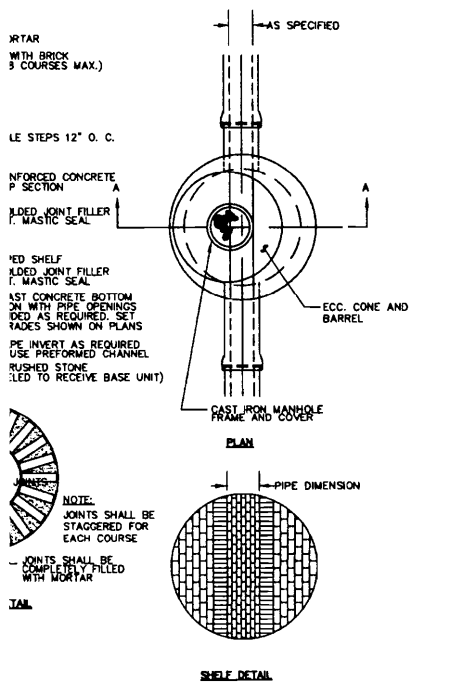
UTILITY TRENCH -
PRIMARY AND SECONDARY
POWER, TELEPHONE, AND CABLE
 N.T.S.

16 Shaker Road 807-887-8990
 Cong. ME 04039 FAX: 807-887-8912

FLORENCE HOUSE

Portland, Maine

Valley Street



PIPE DIAMETER	DIMENSION
D	B
12" AND SMALLER	0'-10"
15"	0'-8 1/4"
18" AND LARGER	0'-6 1/2"

NOTE:
 TRENCH PAVEMENT REPLACEMENT SHALL EXTEND 8" BEYOND EDGE OF TRENCH.

* PAVEMENT THICKNESSES NOTED ARE A MINIMUM. CONTRACTOR SHALL MATCH THICKNESS OF EXISTING PAVEMENT IN MARGINAL WAY.

TYPICAL PIPE INSTALLATION DETAIL
 N.T.S.

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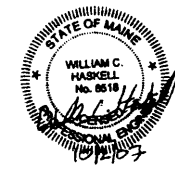
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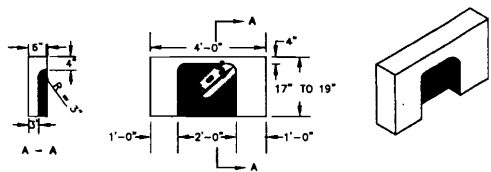
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 UTILITY AND DRAINAGE DETAILS

Scale: NONE

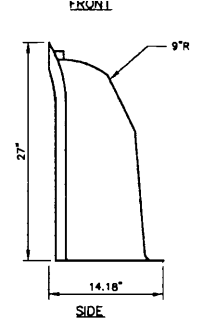
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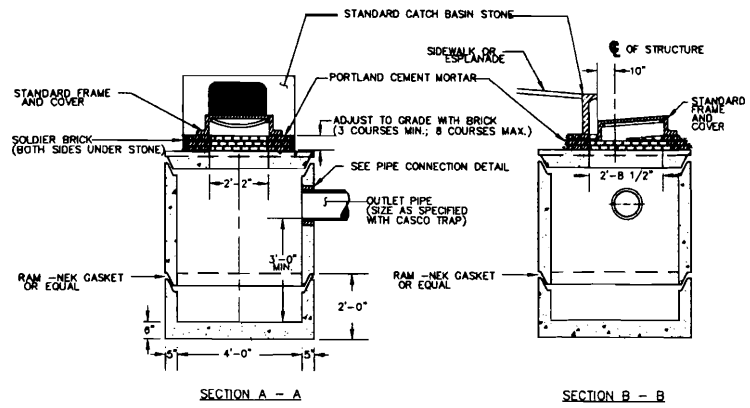


CATCH BASIN INLET STONE
 N.T.S.

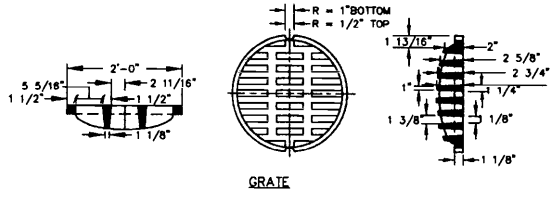


- NOTES:**
- FOR USE ON CATCH BASIN OUTLET PIPES LESS THAN 18" IN DIAMETER.
 - USE SNOOT MODEL #1BR ON 12" & 15" PIPES TO PROVIDE UNRESTRICTED FLOW CAPACITY. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

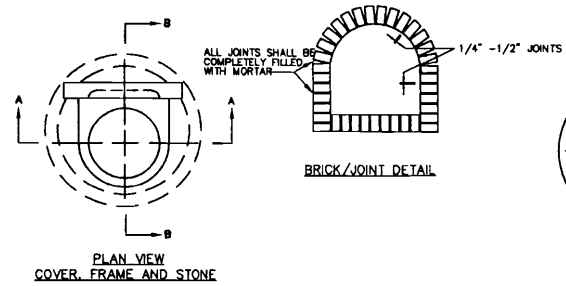
THE SNOOT
 N.T.S.



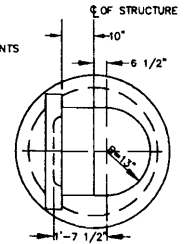
SECTION A - A **SECTION B - B**



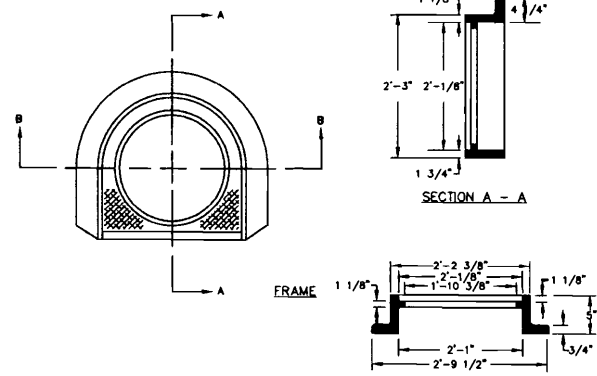
GRATE



PLAN VIEW COVER, FRAME AND STONE

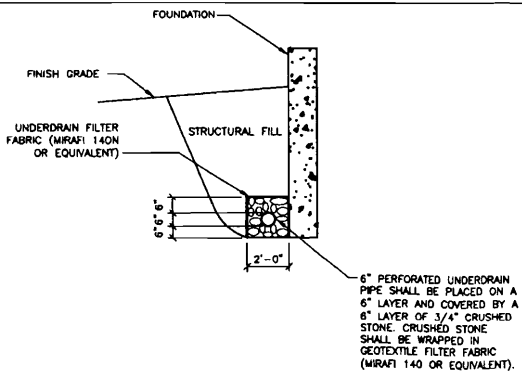


PLAN VIEW TOP SLAB



FRAME

SECTION A - A



FOUNDATION DRAIN
 N.T.S.

- GENERAL NOTES**
- ALL CONCRETE SHALL BE A CLASS "A" AND HAVE A MINIMUM ULTIMATE STRENGTH OF 4000 LBS. PER SQ. INCH AT THE END OF 28 DAYS, UNLESS OTHERWISE NOTED.
 - PRECAST REINFORCED CONE BARREL MANUFACTURE PER ASTM SPEC. C-478-67
 - SEWER BRICK TO CONFORM TO ASTM SPEC. DESIGNATE ON C-32-83, GRADE MA AND SA.
 - ALL MANHOLES SHALL HAVE A BITUMINOUS WATERPROOFING APPLIED TO THE EXTERIOR SURFACE. IF CONSTRUCTION OF BRICK MASONRY, THE SMOOTH MORTAR SURFACE SHALL BE PLASTERED WITH A SMOOTH MORTAR FINISH 3/8" THICK. AFTER THE MORTAR HAS SET, THE SURFACE SHALL BE WATERPROOFED AS REQUIRED BY SUPPLEMENTAL SPECIFICATIONS SECTION 604.
 - CASTINGS SHALL CONFORM TO ASTM DESIGNATION A48-CLASS 35. ALL PARTS OF CASTINGS, EXCEPT FINISHED SURFACE, SHALL RECEIVE A COAT OF COAL TAR PITCH VARNISH OR ASPHALTUM PAINT WHICH SHALL BE SMOOTH AND TOUGH BUT NOT BRITTLE.

- MANHOLES MAY BE CONSTRUCTED OF MASONRY, PRECAST REINFORCED CONCRETE, OR CAST IN PLACE.
- ALL PRECAST MANHOLES AND CATCH BASINS SHALL BE IDENTIFIED BY STATION AND OFFSET, PAINTED ON THE SIDE OF THE STRUCTURE BY THE MANUFACTURER.
- STORM AND SEWER MANHOLES SHALL HAVE SOLID COVERS WITH ONE DRILLED HOLE.
- EXISTING MANHOLE AND CATCH BASIN FRAMES AND COVERS SHALL BE SALVAGED BY THE CONTRACTOR, AND REMAIN THE PROPERTY OF THE CITY OF PORTLAND.
- CASCO TRAPS SHALL BE PROVIDED WITHIN ALL CATCH BASINS WITH 12" OUTLETS.

PRECAST CONCRETE CATCH BASIN TYPE "E"
 N.T.S.



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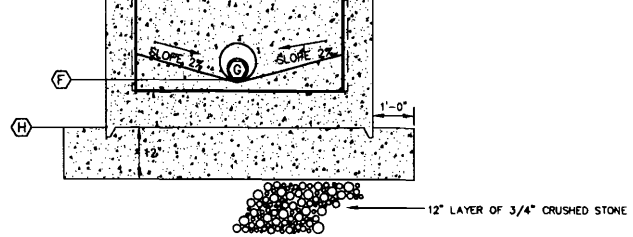
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11

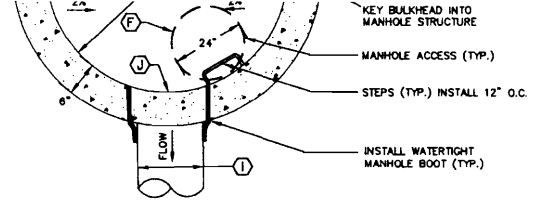


SECTION A-A
 OUTLET CONTROL STRUCTURE
 NOT TO SCALE
 SEE SCHEDULE A

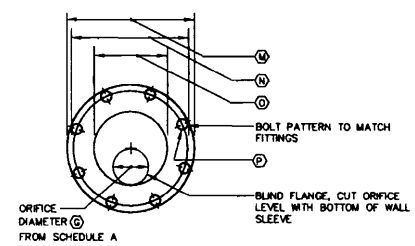
SCHEDULE A OUTLET CONTROL STRUCTURE	
ITEM DESCRIPTION	DIMENSION/ELEVATION
(A) TOP OF STRUCTURE	*
(B) UNDERSIDE TOP SLAB	*
(C) TOP CONCRETE BULKHEAD	34.50
(D) WEIR INVERT	33.50
(E) WEIR LENGTH	6"
(F) ORIFICE INVERT	31.00
(G) ORIFICE DIAMETER	3"
(H) WALL SLEEVE I.D.	8"
(I) BOTTOM OF STRUCTURE	*
(J) PIPE DIAMETER	12"
(K) INVERT OUT	30.80
(L) PIPE DIAMETER	12"
(M) INVERT IN	31.00

*STRUCTURE DIMENSIONS SHALL BE PER MANUFACTURER'S DESIGN

NOTES:
 STRUCTURE SHALL CONFORM TO MANHOLE DESIGN REQUIREMENTS AND SHALL BE H-20 LOAD RATED.



PLAN VIEW
 OUTLET CONTROL STRUCTURE
 NOT TO SCALE
 SEE SCHEDULE A



SCHEDULE C ORIFICE	
DESCRIPTION	DIMENSION
(M) FLANGE O.D.	13.5"
(N) BOLT CIRCLE	11.75"
(O) NOMINAL PIPE DIA.	8"
(P) BOLT HOLE DIA.	7/8"

ORIFICE DETAIL
 SEE SCHEDULE C

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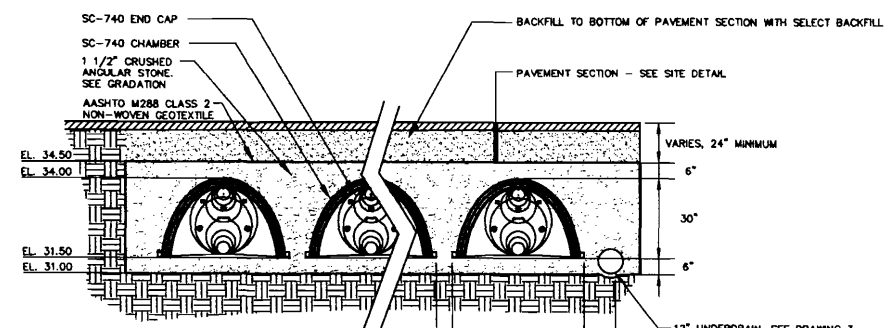
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 DETAILS**

Scale: NONE

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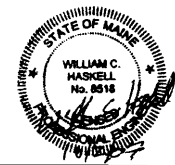
1 1/2" CRUSHED ANGULAR STONE GRADATION	
SIEVE	% PASSING BY WEIGHT
2"	100
1 1/2"	90 - 100
1"	20 - 55
3/4"	0 - 15
3/8"	0 - 5



CHAMBER STORAGE 45.9 CF
 INSTALLED CHAMBER STORAGE 74.9 CF (6" STONE BASE)
 FOR STORMTECH
 INFORMATION CALL 1-888-892-2694

12" UNDERDRAIN. SEE DRAWING 3 -
 GRADING AND DRAINAGE PLAN FOR LOCATION.
 PLACE PIPE 12" OFF CHAMBER ROW AND
 PLACE 12" OF STONE OUTSIDE PIPE. PLACE
 PIPE INVERT AT 31.00 AND PROVIDE 3" OF
 STONE BEDDING BENEATH THE PIPE.

CHAMBER CROSS SECTION
 N.T.S.



ION SYSTEM
 AND APPROVAL
 INAGE PLAN FOR
 STA.

CONTRACTOR MAY CHOOSE TO DORMANT SEED THE CH AND PLACEMENT OF STAPLE-ANCHORED FABRIC

ALL DISTURBED AREAS SHALL RECEIVE 6" OF LOAM .BS. PER 1000 S.F. SEEDING SHALL NOT OCCUR OVER

NTHS SHALL BE INSPECTED IN THE SPRING FOR ILY VEGETATED (LESS THAN 80% CATCH) SHALL BE NO MULCH AS NECESSARY TO ACHIEVE 80% CATCH.

ALL DISTURBED AREAS SHALL BE REVEGETATED IN

SECTION AREA SHALL BE LIMITED TO THE MINIMUM AREA DENIED UNTIL THE SUBBASE GRAVEL IS INSTALLED OR EEN LOAMED, SEEDED, AND MULCHED AT A RATE TWICE LBS. PER 1,000 S.F. X 2 = 230 LBS. PER 1,000 S.F.).

IE APPROVAL OF THE OWNER.

ES THAT MAY BE NECESSARY TO CONTROL EROSION AND ACTUAL SITE AND WEATHER CONDITIONS.

N 100 FEET OF AN UNDISTURBED WETLAND SHALL BEING TEMPORARILY STABILIZED. ALL OTHER AREAS CTION BETWEEN SEPTEMBER 15TH AND APRIL 15TH OF RILY STABILIZED WITHIN 7 DAYS.

ARDS SHALL BE REQUIRED TO INSURE THE CONTROL MEASURES ARE OPTIMIZED DURING

VT OF ENVIRONMENTAL PROTECTION CHAPTER 500 NSTRUCTION GENERAL PERMIT (MCCP) REQUIREMENTS.

SION CONTROL MEASURES, MATERIALS STORAGE AREAS RE VEHICLES ENTER OR EXIT THE SITE. INSPECTION L AS BEFORE AND AFTER A STORM EVENT, AND PRIOR JURES.

OL MEASURES UNTIL AREAS ARE PERMANENTLY D/OR INSTALLATION OF ADDITIONAL BEST MANAGEMENT ION MUST BE COMPLETED WITHIN 7 CALENDAR DAYS

IR FURTHER REFERENCE, SEE THE MAINE DEPARTMENT OF ER MANAGEMENT RULES.

TO PREVENT POLLUTANTS FROM BEING DISCHARGED FROM

UCTS AND OTHER HAZARDOUS MATERIALS WITH THE NOT BE STORED OR HANDLED IN AREAS OF THE SITE VT TO THE STORMWATER CATCH BASINS AND DRAIN

DO NOT RESULT IN NOTICEABLE EROSION OF SOILS OR STRUCTION.

EXPOSED TO STORMWATER MUST BE PREVENTED FROM

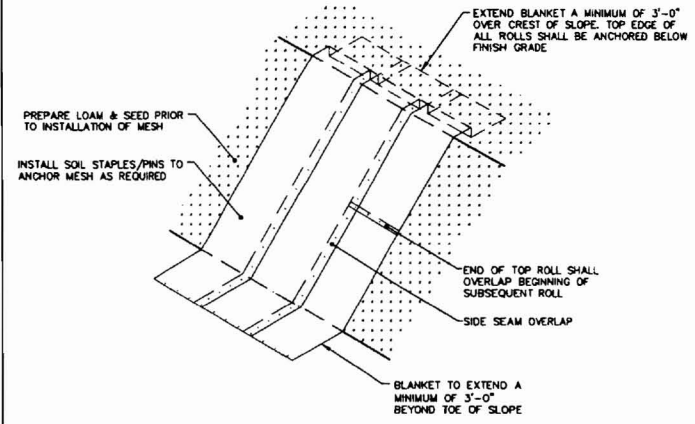
WATERING MUST BE SPREAD THROUGH NATURAL WOODED IFFICALLY DESIGNED TO COLLECT THE MAXIMUM AMOUNT IMENTATION BASIN. AVOID ALLOWING THE WATER TO

-STORMWATER DISCHARGES.

A SITE-SPECIFIC BASIS.

INLET PROTECTION

N.T.S.



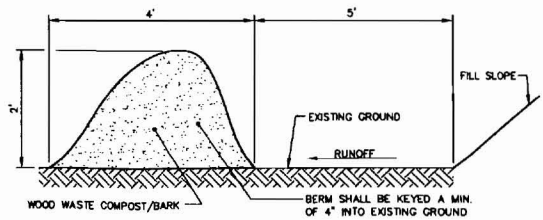
1. INSTALL EROSION CONTROL MESH IN ACCORDANCE WITH PRODUCT MANUFACTURERS RECOMMENDATIONS WITH CONSIDERATION SPECIFIC TO SITE CONDITIONS.
2. SLOPE SURFACE SHALL BE PREPARED TO A SMOOTH EVEN SURFACE THAT IS FREE OF ROCKS, SOIL CLODS, STICKS, AND OTHER DEBRIS. MESH MUST HAVE GOOD SOIL CONTACT. APPLY PERMANENT SEEDING PRIOR TO PLACING MESH.
3. OVERLAP SIDES AND ENDS OF MESH; UPHILL SEGMENTS MUST LAP OVER DOWNHILL SEGMENTS. THE TOPMOST SEGMENT SHALL BE KEVED INTO THE SOIL AND COVERED BY LOAM & SEED. ANCHOR THE MESH TO THE GROUND SURFACE USING SOIL STAPLES/PINS PER MANUFACTURER'S RECOMMENDATIONS.

EROSION CONTROL MESH

N.T.S.

NOTES:

1. THE WOOD WASTE COMPOST/BARK MIX SHALL CONFORM TO THE FOLLOWING STANDARDS:
 - A. MOISTURE CONTENT - 30-80%
 - B. PH - 5.0 - 8.0.
 - C. SCREEN SIZE - 100% LESS THAN 3", MAX. 70% LESS THAN 1".
 - D. NO LESS THAN 40% ORGANIC MATERIAL (DRY WEIGHT) BY LOSS OF IGNITION.
 - E. NO STONES LARGER THAN 2" IN DIAMETER.
 - F. SILTS, CLAYS OR SUGAR SANDS ARE NOT ACCEPTABLE IN THE MIX.
2. THE COMPOST BERM SHALL BE PLACED, UNCOMPACTED, ALONG A RELATIVELY LEVEL CONTOUR.
3. THE WOOD WASTE COMPOST/BARK FILTER BERM MAY BE USED IN LIEU OF SILTATION FENCE, AT THE TOE OF SHALLOW SLOPES, ON FROZEN GROUND, LEDGE OUT CROPS, VERY ROOTED FORESTED AREA OR AT THE EDGE OF GRAVEL PARKING AREAS.
4. BERMS SHALL REMAIN IN PLACE UNTIL UPSTREAM AREA IS COMPLETED OR 70% CATCH OF VEGETATION IS ATTAINED. BERMS SHALL BE REMOVED BY SPREADING SUCH THAT NATIVE EARTH CAN BE SEEN BELOW.
5. WOOD WASTE COMPOST/BARK FILTER BERM SHALL NOT BE USED IN WETLAND AREAS.



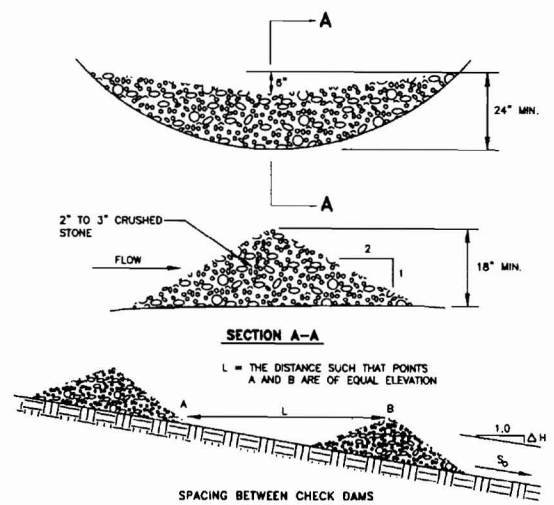
WOOD WASTE COMPOST/BARK

FILTER BERM

N.T.S.

STABILIZED CONSTRUCTION ENTRANCE

N.T.S.



SECTION A-A

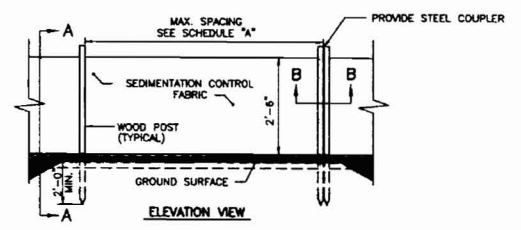
L = THE DISTANCE SUCH THAT POINTS A AND B ARE OF EQUAL ELEVATION

SPACING BETWEEN CHECK DAMS

S ₀ (FT./FT.)	L (FT.)
0.020	75
0.030	50
0.040	40
0.050	30
0.080	20
0.100	15'

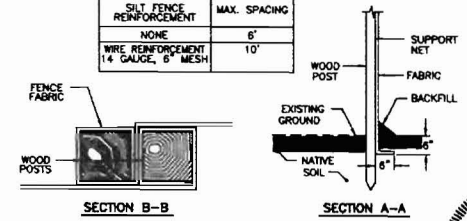
STONE CHECK DAM

N.T.S.



SCHEDULE "A"

SILT FENCE REINFORCEMENT	MAX. SPACING
NONE	6'
WIRE REINFORCEMENT 14 GAUGE, 6" MESH	10'



SILTATION FENCE

N.T.S.

16 Shaker Road 207-887-8810
Orwig, ME 04039 FAX: 207-887-8818

FLORENCE HOUSE
Portland, Maine
Valley Street

Date:
SEPTEMBER 4, 2007

Issued For:
SITE PLAN AND
SUBDIVISION REVIEW

Revisions:
October 2, 2007 - Per Planning
Staff and Board Comments.

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Title:
**EROSION AND
SEDIMENTATION CONTROL
DETAILS AND NOTES**

Scale: NONE

North:

Sheet No.:

13

