

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING PERMIT

Permit Number: 081569

This is to certify that AVESTA FLORENCE HOUSE /Gannett Construction
has permission to New Construction - 15 Safe Haven Units, (Emergency Beds (up to 15 additional overflow beds), 25 SRO
Apartment
AT 190 VALLEY ST CE 064 F020001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise finished-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS	
Fire Dept.	<i>City Cases - CSB</i>
Health Dept.	JAN 22 2009
Appeal Board	
Other	
CITY OF PORTLAND	

Christopher M. ... 1/22/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

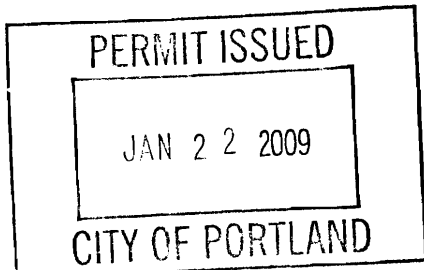
Permit No: 08-1569	Issue Date: 01/14/2009	CBL: 064 F020001
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Location of Construction: 190 VALLEY ST	Owner Name: AVESTA FLORENCE HOUSE LP	Owner Address: 190 VALLEY ST	Phone:
Business Name:	Contractor Name: Ganneston Construction	Contractor Address: P O Box 27 Augusta	Phone 2076218505
Lessee/Buyer's Name	Phone:	Permit Type: Multi Family	Zone: C-40

Past Use: Vacant Land	Proposed Use: Multi-Use-/Multi-Family - New Construction - 15 Safe Haven Units, 10 Emergency Beds (w/up to 15 additional overflow beds), 25 SRO Apartments	Permit Fee: \$50,965.00	Cost of Work: \$5,086,350.00	CEO District: 2
Proposed Project Description: New Construction - 15 Safe Haven Units, 10 Emergency Bada (w/up to 15 additional overflow beds), 25 SRO Apartments		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-1/R-2 Type: VA IBC-2003	
		Signature: _____ Signature: <i>ck</i> 1/22/09		
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: ldobson	Date Applied For: 12/22/2008	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 13/Zone C</i> <input checked="" type="checkbox"/> Subdivision <i>25 D.U.</i> <input checked="" type="checkbox"/> Site Plan <i>#2007-0156</i> Maj <input checked="" type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> -	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: <i>9</i> 12/29/08	Date: 1/22/09 <i>ck</i>	



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1569	Date Applied For: 12/22/2008	CBL: 064 F020001
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Location of Construction: 190 VALLEY ST	Owner Name: AVESTA FLORENCE HOUSE LP	Owner Address: 190 VALLEY ST	Phone:
Business Name:	Contractor Name: Ganneston Construction	Contractor Address: P O Box 27 Augusta	Phone: (207) 621-8505
Lessee/Buyer's Name	Phone:	Permit Type: Multi Family	

Proposed Use: Multi-Use-/Multi-Family - New Construction - 15 Safe Haven Units, 10 Emergency Beds (w/up to 15 additional overflow beds), 25 SRO Apartments	Proposed Project Description: New Construction - 15 Safe Haven Units, 10 Emergency Beda (w/up to 15 additional overflow beds), 25 SRO Apartments
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 12/29/2008

Note: **Ok to Issue:**

- 1) This project is considered to be two condominium units as described in the conditional contract. It allows a the accomodations of a maximum of 65 women as described. This is considered to be a 25 lot subdivision and was approved as such by the planning board.
- 2) The conditional contract zone (C-48) allows up to 25 studio apartments, 15 safe haven units, and 25 emergency beds.
- 3) Separate permits shall be required for any new signage.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 5) Any residential use within the basement of the building is strictly prohibited.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 01/14/2009

Note: **Ok to Issue:**

- 1) This permit is approved, all of the review questions/comments have been responded to and adequately satisfy code compliance of this project.
- 2) Separate Permits shall be required for any new signage.
- 3) Separate permits are required for any electrical, plumbing, HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 4) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 5) All penetratios through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 6) All special inspection reports must be submitted to this office for review within 48 hours of the inspection. A final special inspection report must be submitted prior to issuance of a certificate of occupancy. This report must demonstrate any deficiencies and corrective measures that were taken.
- 7) As per section 1008.1.8.6, a building occupant shall not be required to pass through more than one door equipped with a delayed egress lock before entering an exit.
- 8) Beds,tables,and chairs when stored must not block exits or path of travel.
- 9) Seperate permits for the sprinkler system and the fire alarm system are required.
- 10 The shelter Kitchen must meet the requirements of the City and State Food Codes, and a license must be obtained.
- 11 This permit is approved with the condition that the applicant must pay, \$3,000.00 to the City's Street Tree Pogram,\$5,000.00 to the City for Traffic Improvements, \$50,965.00 to the City for Permit Fee's and post a Performance Guarantee prior to any construction activities begin. All other conditions of approval herin must be met.
- 12 The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.

Location of Construction: 190 VALLEY ST	Owner Name: AVESTA FLORENCE HOUSE LP	Owner Address: 190 VALLEY ST	Phone:
Business Name:	Contractor Name: Ganneston Construction	Contractor Address: P O Box 27 Augusta	Phone (207) 621-8505
Lessee/Buyer's Name	Phone:	Permit Type: Multi Family	

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Greg Cass **Approval Date:** 12/30/2008

Note:

Ok to Issue:

- 1) Application requires State Fire Marshal approval.
- 2) The standpipe and sprinkler systems shall be separate systems.
- 3) Emergency lights are required to be tested at the electrical panel.
- 4) Walls in structure are to be labeled according to fire resistance rating.
IE; 1 hr. / 2 hr. / smokeproof.
- 5) Fire alarm system requires a Masterbox connection per city ordinance.
- 6) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance.
Compliance letters are required.
- 7) A single source supplier should be used for all through penetrations.
- 8) Installation of a Fire Alarm system requires a Knox Box to be installed per city ordinance

Dept: Public Services **Status:** Pending **Reviewer:** **Approval Date:**

Note:

Ok to Issue:

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 10/17/2007

Note:

Ok to Issue:

Dept: Parks **Status:** Pending **Reviewer:** **Approval Date:**

Note:

Ok to Issue:

Dept: Fire **Status:** Approved **Reviewer:** Capt Greg Cass **Approval Date:** 10/16/2007

Note:

Ok to Issue:

Dept: DRC **Status:** Approved with Conditions **Reviewer:** Philip DiPierro **Approval Date:** 01/13/2009

Note:

Ok to Issue:

Dept: Planning **Status:** Approved with Conditions **Reviewer:** Jean Fraser **Approval Date:** 10/23/2007

Note:

Ok to Issue:

Location of Construction: 190 VALLEY ST	Owner Name: AVESTA FLORENCE HOUSE LP	Owner Address: 190 VALLEY ST	Phone:
Business Name:	Contractor Name: Ganneston Construction	Contractor Address: P O Box 27 Augusta	Phone (207) 621-8505
Lessee/Buyer's Name	Phone:	Permit Type: Multi Family	

2) letter sent:
January 14, 2009

Debora Keller, Director of Development
Avesta Housing Development Corporation
307 Cumberland Avenue
Portland, Maine 04101

RE: Florence House
 190 Valley Street, Portland, Maine
 CBL 68-A-11 and 64-F-20
 Site Plan/Subdivision #2007-0156

Dear Deb:

Reference is made to the Planning Authority's letters of approval for the above-referenced project, dated November 9, 2007 and September 18, 2008. This letter confirms that, except as set forth below, all approval conditions described in the foregoing letters have been satisfied.

The conditions not satisfied as of this date are:

1. Delivery to the City of the required performance guarantee. Once we have received the performance guarantee, we will release to you the final signed subdivision plan for recording; and
2. Conditions intended to be satisfied after issuance of a building permit, namely those set forth in Sections 2(iii), (v), (vii) and (x) of the letter to you dated November 9, 2007, as well as certain of the standard conditions of approval on page 3 of that letter.

Sincerely,

[signed]

Alexander Jaegerman
Planning Division Director

cc. Penny St Louis Littell, Director of Planning and Urban Development
 Barbara Barhydt, Development Review Services Manager
 Jean Fraser, Planner
 Phil diPierro, Development Review Coordinator
Inspections Division

Location of Construction: 190 VALLEY ST	Owner Name: AVESTA FLORENCE HOUSE LP	Owner Address: 190 VALLEY ST	Phone:
Business Name:	Contractor Name: Ganneston Construction	Contractor Address: P O Box 27 Augusta	Phone (207) 621-8505
Lessee/Buyer's Name	Phone:	Permit Type: Multi Family	

3) October 23rd, 2007, the Portland Planning Board considered the Florence House proposed subdivision/site plan for 190 Valley Street: a 31,272 sq. ft. residential building of 3 stories plus a partial daylight basement, comprising 25 studio apartments, 15 safe haven units and a maximum of 25 emergency shelter beds along with other accommodation, support facilities, parking, drop off area, and landscaping. The Planning Board voted 5-0 to approve the following motions regarding the proposed Florence House project:

On the basis of plans and materials submitted by the applicant and on the basis of information contained in Planning Board Report #47-07 relevant to standards for subdivision and site plan regulations, and other findings as follows:

1. That the plan is in conformance with the subdivision standards of the land use code with the following conditions of approval:

i. That the final recording subdivision plat will be completed to the satisfaction of the Corporation Counsel and include a list of any conditions imposed by the Planning Board, and will be submitted for the Planning Board's Signature; and

ii. That the applicant shall receive approval of its Condominium Documents and the issuance of a License from the City for uses within the right of right of way, through the City's Corporation Counsel office; and

iii. That the developer shall contribute \$3000 towards the City's Street Tree Program to cover the cost of purchasing and planting fifteen (15) street trees in the vicinity of the project (based on the provision of one tree per unit less the cost of the ten (10) trees along Valley Street to be planted as part of the project). The contribution shall be provided prior to issuance of a Building Permit.

2. That the plan is in conformance with the site plan standards of the land use code with the following conditions of approval.

i. That the applicant shall make a \$5,000 contribution to the City, prior to the issuance of a Building Permit, towards the implementation of traffic calming improvements on Valley Street between Congress Street and Commercial Street; and

ii. That the applicant shall ensure that the approved Management Plan contained in this Report is forwarded to all those responsible for the building and its operation, and shall facilitate adherence to that Plan; and

iii. That the applicant shall submit for review and approval by the Planning Authority, prior to the issuance of a Certificate of Occupancy, the location, size and design details of all signage; and

iv. That the applicant shall submit for review and approval by the Planning Authority, prior to the issuance of a Building Permit, the details, size, specifications and materials of the trim boards, window trim and cornice (which should be dimensional stock), awnings and segmental blocks; and

v. That the applicant should adhere to the arboricultural practices shown on the submitted letters, plans and details and those outlined in the comments from the City Arborist of 10.18.2007 to protect the large Silver Maple tree in the rear yard of 213 St John Street. If during the first 2 years from Certificate of Occupancy this tree becomes unstable due to root loss or other construction damage related to the project, the applicant shall be responsible for pruning, removal and replacement of the tree if necessary and agreed with the owner. If removal and replacement is necessary, the replacement tree should be of 3 inch caliper of the same species (or other species as agreed with the owner); and

vi. That the applicant shall submit for review and approval by the Planning Authority, prior to the issuance of a Building Permit, details, catalog cuts and illumination information regarding the proposed wall-mounted lights on the Valley Street elevation; and

vii. That the applicant shall brick over the entire island (in the pull-off right-of-way) to match the sidewalk in the event the planted portion becomes unsightly; and

viii. That the applicant continue to work with the City's Urban Designer to refine the architecture to better align the windows to create a more unified design and to mitigate the blank wall facing the St John Street abutters; and

ix. That the applicant shall submit for review and approval by Urban Designer Marsh, prior to the issuance of a Building Permit,

Location of Construction: 190 VALLEY ST	Owner Name: AVESTA FLORENCE HOUSE LP	Owner Address: 190 VALLEY ST	Phone:
Business Name:	Contractor Name: Ganneston Construction	Contractor Address: P O Box 27 Augusta	Phone (207) 621-8505
Lessee/Buyer's Name	Phone:	Permit Type: Multi Family	

the design, materials and specifications for screening the rooftop appurtenances; and

x. That the applicant shall meet the noise standards of the Portland City Code and shall mitigate violations thereof.

Comments:

12/22/2008-ldobson: Per Tammy Munson no fee taken at this time

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

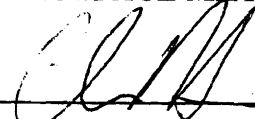
A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space
- Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.
NOTE: There is a \$75.00 fee per inspection at this point.
- The final report of Special Inspections shall be submitted prior to the final inspection or the issuance of the Certificate of Occupancy
- Underground electrical or plumbing inspection prior to pouring concrete
- Final inspection of barriers or alarm systems

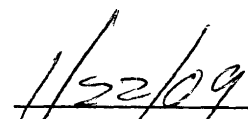
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee



Date

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

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A Pre-construction Meeting will take place upon receipt of your building permit.

Signature of Inspections Official

Date



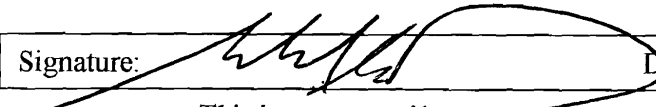
General Building Permit Application

Location/Address of Construction: 190 Valley Street		
Total Square Footage of Proposed Structure/Area 31,345 All Floors Total		Square Footage of Lot 24,967 Excluding ROW
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 68-A-11 and 64-F-20	Applicant * must be owner, Lessee or Buyer * Name Avesta Florence House L.P. Address 307 Cumberland Ave. City, State & Zip Portland, ME 04101	Telephone: 207-553-7777
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address SAME City, State & Zip	Cost Of Work: \$ 5,086,350.00 C of O Fee: \$ 75.00 Total Fee: \$ 50,995.00
Current legal use (i.e. single family) _____ If vacant, what was the previous use? <u>Warehouse & storage</u> Proposed Specific use: <u>New multi level housing</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <p style="text-align: center;">See Attached Project Documents</p>		
Contractor's name: <u>Ganneston Construction Corp.</u> Address: <u>P.O. Box 27, 3025 N. Belfast Ave.</u> City, State & Zip <u>Augusta, ME 04332</u> Telephone: <u>207-621-8505</u> Who should we contact when the permit is ready: <u>Mike Adams</u> Telephone: <u>207-621-8505</u> Mailing address: <u>P.O. Box 27</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: 

Date: 12/18/08

This is not a permit, you may not commence ANY work until the permit is issue

PROJECT TABULATIONS

UNIT TYPES & AREAS

SAFE HAVEN- 1,428 SF TOTAL

(15) SAFE HAVEN BEDS

EMERGENCY SHELTER- 650 SF TOTAL

(10) EMERGENCY SHELTER BEDS — up to 25

SRO APARTMENTS- 8,125 SF TOTAL

(25) SRO APARTMENTS @ 325 SF

PARKING SPACES

(17) STANDARD PARKING SPACES

(2) VAN ADA ACCESSIBLE SPACE

(19) PARKING SPACES TOTAL

*Emergency Beds Allowed
by condition of contract*

GROSS FLOOR AREAS

31,223 SF

BASEMENT NEW CONSTRUCTION - 8,131 SF

1ST FLOOR NEW CONSTRUCTION - 8,092 SF

2ND FLOOR NEW CONSTRUCTION - 7,561 SF

3RD FLOOR NEW CONSTRUCTION - 7,561 SF

TOTAL NEW CONSTRUCTION

GROSS FLOOR AREA = 31,345 SF

*per application
submitted*

From: Jean Fraser
To: Hanson, Chris
Date: 1/5/2009 2:46:45 PM
Subject: Florence House conditonas of Planning approval

Chris,

I understand that you are preparing a Building Permit with conditions that need to reflect outstanding planning matters. I gather you have received from Barbara and Phil the info re Perf. guarantee etc and I am confirming re the approval letter.

I attach the planning approval letter and confirm all conditions (that are relevant prior to a building permit being issued; please note that condition 2iii must be complied with before CO) have been complied with **EXCEPT:**

Condition 1iii: \$3000 to be paid into City's Street Tree Pogram;

Condition 2i: \$5000 to City for traffic calming

(I had advised the applicant that separate checks for these could be sent/brought in to me)

They must also record the Subdivision Plat (with required copies to City) after payment of Perf Guarantee, Inspection fees and the above infrastructure payments and I need 5 more (scaled) sets of the final plans. I have the signed subdivision plat which is ready to be recorded once we release it.

Please let me know if you need any more info in order to finalize what they need for the closing.

Jean
EXt 8728

CC: Barhydt, Barbara; DiPierro , Philip

CITY OF PORTLAND, MAINE

PLANNING BOARD

Michael J. Patterson, Chair
Janice E. Tevanian, Vice Chair
Thatcher Freund
Bill Hall
Lee Lowry III
Shalom Odokara
David Silk

November 9, 2007

Avesta Florence House LP: Florence House Housing Corporation
(FHHHC): Florence House Condominium Association
C/O Debora Keller
Development Officer
Avesta Housing
307 Cumberland Avenue
Portland, ME. 04101

John D. Mitchell
Mitchell & Associates
The Staples School
70 Center Street
Portland ME. 04101

RE: **Florence House**
Vicinity of 190 Valley Street, Portland
CBL: **68-A-11 and 64-F-20**
Application ID: **Rezone #1139**
Site Plan/Subdivision #2007-0156

Dear Ms Keller and Mr Mitchell:

On September 17th, 2007, the City Council adopted a Conditional Rezoning of 190 Valley Street. A copy of the City Council Motion and Conditional Zone Agreement are included as Attachments 1 and 2.

October 23rd, 2007, the Portland Planning Board considered the Florence House proposed subdivision/site plan for 190 Valley Street: a 31,272 sq. ft. residential building of 3 stories plus a partial daylight basement, comprising 25 studio apartments, 15 safe haven units and a maximum of 25 emergency shelter beds along with other accommodation, support facilities, parking, drop off area, and landscaping. The Planning Board voted 5-0 to approve the following motions regarding the proposed Florence House project:

On the basis of plans and materials submitted by the applicant and on the basis of information contained in Planning Board Report #47-07 relevant to standards for subdivision and site plan regulations, and other findings as follows:

1. That the plan is in conformance with the subdivision standards of the land use code with the following conditions of approval:
 - i. That the final recording subdivision plat will be completed to the satisfaction of the Corporation Counsel and include a list of any conditions imposed by the Planning Board, and will be submitted for the Planning Board's Signature; and
 - ii. That the applicant shall receive approval of its Condominium Documents and the issuance of a License from the City for uses within the right of right of way, through the City's Corporation Counsel office; and

- iii. That the developer shall contribute \$3000 towards the City's Street Tree Program to cover the cost of purchasing and planting fifteen (15) street trees in the vicinity of the project (based on the provision of one tree per unit less the cost of the ten (10) trees along Valley Street to be planted as part of the project). The contribution shall be provided prior to issuance of a Building Permit.
2. That the plan is in conformance with the site plan standards of the land use code with the following conditions of approval.
- i. That the applicant shall make a \$5,000 contribution to the City, prior to the issuance of a Building Permit, towards the implementation of traffic calming improvements on Valley Street between Congress Street and Commercial Street; and
 - ii. That the applicant shall ensure that the approved Management Plan contained in this Report is forwarded to all those responsible for the building and its operation, and shall facilitate adherence to that Plan; and
 - iii. That the applicant shall submit for review and approval by the Planning Authority, prior to the issuance of a Certificate of Occupancy, the location, size and design details of all signage; and
 - iv. That the applicant shall submit for review and approval by the Planning Authority, prior to the issuance of a Building Permit, the details, size, specifications and materials of the trim boards, window trim and cornice (which should be dimensional stock), awnings and segmental blocks; and
 - v. That the applicant should adhere to the arboricultural practices shown on the submitted letters, plans and details and those outlined in the comments from the City Arborist of 10.18.2007 to protect the large Silver Maple tree in the rear yard of 213 St John Street. If during the first 2 years from Certificate of Occupancy this tree becomes unstable due to root loss or other construction damage related to the project, the applicant shall be responsible for pruning, removal and replacement of the tree if necessary and agreed with the owner. If removal and replacement is necessary, the replacement tree should be of 3 inch caliper of the same species (or other species as agreed with the owner); and
 - vi. That the applicant shall submit for review and approval by the Planning Authority, prior to the issuance of a Building Permit, details, catalog cuts and illumination information regarding the proposed wall-mounted lights on the Valley Street elevation; and
 - vii. That the applicant shall brick over the entire island (in the pull-off right-of-way) to match the sidewalk in the event the planted portion becomes unsightly; and
 - viii. That the applicant continue to work with the City's Urban Designer to refine the architecture to better align the windows to create a more unified design and to mitigate the blank wall facing the St John Street abutters; and
 - ix. That the applicant shall submit for review and approval by Urban Designer Marsh, prior to the issuance of a Building Permit, the design, materials and specifications for screening the rooftop appurtenances; and
 - x. That the applicant shall meet the noise standards of the Portland City Code and shall mitigate violations thereof.

The approval is based on the submitted site plan and subdivision plat and the findings related to site plan and subdivision review standards as contained in Planning Board Report #47-07 (attached as Attachment 3).

Please note the following provisions and requirements for all subdivision and site plan approvals:

1. Updated plans (seven sets) meeting the Planning Board's conditions of approval must be submitted for review and approval by the Planning Office prior to the issuance of any permits. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.
2. The above approvals do not constitute approval of building plans, which must be reviewed and approved by Portland's Inspection Division.
3. Mylar copies of the construction drawing for the subdivision must be submitted to the Public Works Department prior to the release of the plat. Final sets of plans shall be submitted digitally to the Planning division on a CD or DVD, in Autocad format (*.dwg), release Autocad 2005 or greater.
4. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount must be submitted to and approved by the Planning Division and Public works prior to the recording of the subdivision plat and prior to the release of the building permit. The subdivision approval is valid for three (3) years.
5. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
6. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
7. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
8. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Jean Fraser at 874-8728.

Sincerely,



Michael J. Patterson, Chair
Portland Planning Board

- Attachments:
1. City Council Motion
 2. Conditional Zone Agreement
 3. Planning Board Report #47-07 and Addendum #1 (text only)
 4. City Arborist comments of 10.18.2007 and submitted Tree Preservation Guidelines
 5. Approved Management Plan

Electronic Distribution:

cc: Lee D. Urban, Planning and Development Department Director
Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Jean Fraser, Planner
Philip DiPierro, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Michael Bobinsky, Public Works Director
Jeanie Bourke, Inspections Division
Katherine Earley, Public Works
Bill Clark, Public works
Jim Carmody, Transportation Manager
Michael Farmer, Public Works
Jeff Tarling, City Arborist
Captain Greg Cass, Fire Prevention
Assessor's Office
Approval Letter File



Certificate of Design

Date:

10/14/19

From:

200 West Commercial Street, Portland, ME

These plans and / or specifications covering construction work on:

1000 West Commercial Street, Portland, ME
100 West Commercial Street

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2003 International Building Code** and local amendments.



Signature: [Handwritten Signature]

Title: ARCHITECT

Firm: [Handwritten Firm Name]

Address: [Handwritten Address]

Phone: [Handwritten Phone Number]



Accessibility Building Code Certificate

Designer: _____

Address of Project: _____

Nature of Project: _____

I, the undersigned, hereby certify that the above described building has been constructed in accordance with the provisions of the Accessibility Building Code of the City of Portland, Maine, and that the same is ready for occupancy. This certificate is valid for a period of one year from the date of issuance. If the building is to be occupied before the expiration of this period, the owner shall file a new certificate with the Building Inspections Division of the City of Portland, Maine, at least thirty days prior to the expiration of this certificate.

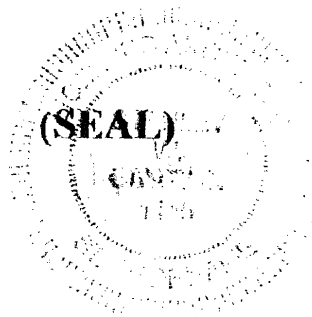
Signature: _____

Title: _____

Firm: _____

Address: _____

Phone: _____



For more information, visit our website at www.portlandmaine.gov or call our other permit, inspection or building department services at 781-871-3000.



Certificate of Design Application

From Designer: Becker Structural Engineers, Inc.
 Date: 12/18/2008
 Job Name: Florence House
 Address of Construction: 190 Valley Street, Portland, ME

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) R-1 and R-2
 Type of Construction VA
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC Yes.
 Is the Structure mixed use? Yes If yes, separated or non separated or non separated (section 302.3) separated
 Supervisory alarm System? Yes Geotechnical/Soils report required? (See Section 1802.2) Provided

Structural Design Calculations

Completed Submitted for all structural members (106.1 – 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.1.1, 1807)

Floor Area Use	Loads Shown
Private Rooms and Corridors	40 PSF
Public Rooms and Corridors	100 PSF
Stairs	100 PSF

Wind loads (1603.1.4, 1609)

ASCE 7 Sec. 6.5

Analytical Design option utilized (1609.1.1, 1609.6)
100 MPH Basic wind speed (1809.3)
II / Iw=1.0 Building category and wind importance Factor, I_w table 1604.5, 1609.5)
C Wind exposure category (1609.4)
+/- 0.18 Internal pressure coefficient (ASCE 7)
per ASCE 7-02 Component and cladding pressures (1609.1.1, 1609.6.2.2)
23 PSF Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

ELFP Design option utilized (1614.1)
I Seismic use group ("Category")
Sds=0.373, Sd1=0.100 Spectral response coefficients, S_{ds} & S_{d1} (1615.1)
D Site class (1615.1.5)

Per 1607.9 Live load reduction
20 PSF Roof *live* loads (1603.1.2, 1607.11)
 Roof snow loads (1603.7.3, 1608)
60 PSF Ground snow load, P_g (1608.2)
46 PSF If $P_g > 10$ psf, flat-roof snow load P_f
1.0 If $P_g > 10$ psf, snow exposure factor, C_e
1.0 If $P_g > 10$ psf, snow load importance factor, I_s
1.1 Roof thermal factor, C_t (1608.4)
N/A Sloped roof snowload, P_s (1608.4)
C Seismic design category (1616.3)
Steel Braces / Wood Shear Walls Basic seismic force resisting system (1617.6.2)
R=3/R=6 Cd=3/Cd=4 Response modification coefficient, R_f and deflection amplification factor C_d (1617.6.2)
Equivalent Lateral Force Procedure Analysis procedure (1616.6, 1617.5)
130kips (R=3) 65kips (R=6) Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

N/A Flood Hazard area (1612.3)
FFE=52.0'/BFE=39.0' Elevation of structure

Other loads

Per IBC Concentrated loads (1607.4)
Per IBC Partition loads (1607.5)
Per IBC Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



Certificate of Design Application

From Designer: Becker Structural Engineers, Inc.
 Date: 12/18/2008
 Job Name: Florence House
 Address of Construction: 190 Valley Street, Portland, ME

2003 International Building Code

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 Is the Structure mixed use? Yes If yes, separated or non separated or non separated (section 302.3) separated
 Supervisory alarm System? Yes Geotechnical/Soils report required? (See Section 1802.2) Provided

Structural Design Calculations

Completed Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.1.1, 1807)

Floor Area Use	Loads Shown
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Earth design data (1603.1.5, 1614-1623)

ELFP Design option utilized (1614.1)

I Seismic use group ("Category")

Sds=0.373, Sd1=0.100 Spectral response coefficients, S_{D_s} & S_{D_1} (1615.1)

D Site class (1615.1.5)

<u>Per 1607.9</u>	Live load reduction
<u>20 PSF</u>	Roof <i>live</i> loads (1603.1.2, 1607.11)
	Roof snow loads (1603.7.3, 1608)
<u>60 PSF</u>	Ground snow load, P_g (1608.2)
<u>46 PSF</u>	If $P_g > 10$ psf, flat-roof snow load P_f
<u>1.0</u>	If $P_g > 10$ psf, snow exposure factor, C_e
<u>1.0</u>	If $P_g > 10$ psf, snow load importance factor, I_s
<u>1.1</u>	Roof thermal factor, C_t (1608.4)
<u>N/A</u>	Sloped roof snowload, P_s (1608.4)
<u>C</u>	Seismic design category (1616.3)
<u>Steel Braces / Wood Shear Walls</u>	Basic seismic force resisting system (1617.6.2)
<u>R=3/R=6 Cd=3/Cd=4</u>	Response modification coefficient, R and deflection amplification factor C_d (1617.6.2)
<u>Equivalent Lateral Force Procedure</u>	Analysis procedure (1616.6, 1617.5)
<u>130kips (R=3) 65kips (R=6)</u>	Design base shear (1617.4, 1617.5.1)

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FFE=52.0'/BFE=39.0' Elevation of structure

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Per IBC Partition loads (1607.5)

Per IBC Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



Certificate of Design

Date:

10/10/14

From:

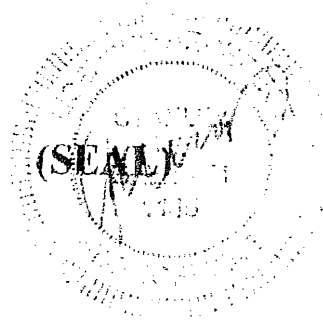
James J. Galloway, Architect

These plans and / or specifications covering construction work on:

Florence Home, Interior and Appliances

700 Main Street

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



Signature:

James J. Galloway

Title:

ARCHITECT

Firm:

James J. Galloway, Architect

Address:

700 Main Street

Portland, Maine 04101

Phone:

207-844-2222

Ganneston

CONSTRUCTION CORP

FROM FACSIMILE

(207) 621-8508

COVER SHEET

10 Page (s) to follow.

DATE: December 29, 2008 FAX #: 207-874-8716

TO: CHRIS & TAMMY AT: CITY OF PORTLAND
BUILDING INSPECTIONS

FROM: MIKE ADAMS

Re: FLORENCE HOUSE PROJECT

MESSAGE:

ATTACHED CONTRACTOR'S STATEMENT OF RESPONSIBILITY
AND RELATED ATTACHMENTS AS REQUESTED

CC: AVESTA AND GAWRON TURGEON

553-7778
DEB

883-0361
REBECCA

mikeadams@gannestonconstruction.com and my cell 207-557-0963
when I am not in the office.

Should you experience?

Any difficulty with transmission

Please contact us at:

(207) 621-8505

General Contractor - Construction Manager - Design Builder

P.O. Box 27 - North Belfast Avenue - Augusta, ME 04332-0027

Office: (207) 621-8505

Fax: (207) 621-8508

Ganneston Construction Corp
 PO Box 27, North Belfast Avenue
 Augusta, ME 04332-0027

LETTER OF TRANSMITTAL

Tel: (207) 621-8505
 Fax: (207) 621-8508

GCC PROJECT NUMBER
 GCC-80677

To:

CITY OF PORTLAND
 BUILDING INSPECTIONS DIVISION
 389 CONGRESS STREET
 PORTLAND, MAINE 04101

Date: December 29, 2008
 Attention: CHRIS & TAMMY
 RE: FLORENCE HOUSE PROJECT

WE ARE SENDING YOU X ATTACHED UNDER SEPARATE COVER

COPIES	NO.	DESCRIPTION
1		CONTRACTORS STATEMENT OF RESPONSIBILITY AND RELATED ATTACHMENTS AS REQUESTED

REMARKS

PLEASE DO NOT HESITATE TO CALL WITH ANY QUESTIONS OF FOR ADDITIONAL
 INFORMATION THAT YOU MAY REQUIRE.

Signed: 

MICHAEL L. ADAMS PROJECT MNGR.

Date:

18-Dec-08

Project: Florence House
Date Prepared: September 2, 2008

Contractor's Statement of Responsibility

Each contractor responsible for the construction or fabrication of a system or component designated in the Quality Assurance Plan must submit a Statement of Responsibility. The Statement of Responsibility is required for Seismic Design Category C or higher. Make additional copies of this form as required.

Project: Florence House 190 Valley Street, Portland, ME 04101

Contractor's Name: Ganneston Construction Corp.

Address: P.O. Box 27, Augusta, ME 04332

License No.: NA

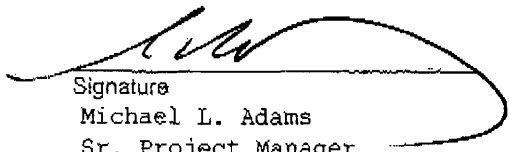
Description of designated building systems and components included in the Statement of Responsibility:

Project consists of 31,345 gross s.f. including 15 safe haven beds, 10 emergency shelter beds and 25 SRO apartments.

Contractor's Acknowledgment of Special Requirements

I hereby acknowledge that I have received, read, and understand the Quality Assurance Plan and Special Inspection program.

I hereby acknowledge that control will be exercised to obtain conformance with the construction documents approved by the Building Official.


Signature
Michael L. Adams
Sr. Project Manager

Date

Contractor's Provisions for Quality Control

Procedures for exercising control within the contractor's organization, the method and frequency of reporting and the distribution of reports is attached to this Statement.

Identification and qualifications of the person(s) exercising such control and their position(s) in the organization are attached to this Statement.

Ganneston

CONSTRUCTION CORP

**FLORENCE HOUSE PROJECT, PORTLAND, MAINE
PROJECT CONTOLS DIRECTORY**

TESTING AND SPECIAL INSPECTIONS,

Owner **Avesta Florence House LP**
307 Cumberland Ave.
Portland, Maine 04101
Deb Keller **207-553-7780 Office**

PROJECT CONTROLS - CONTRACTOR

Contractor **Ganneston Construction** **207-621-8505 Office**
PO box 27
Augusta, Maine 04330
 (Reports Directly to Owner via Sr. Project Manager)

Project Executive **Stacey Morrison, CEO** **207-621-8505 Office**
 (Company Owner)

Sr. Project Manager **Michael Adams** **207-621-8505 Office**
mikeadams@gannestonconstruction.com **207-557-0963 Cell**
 (Reports directly to Owner and Project Executive)

**Project Super &
Project Safety** **Richard Bealieu** **207-458-2102 Cell**
 (Reports to Project Manager Owner and Project Executive)

Project Surveyor **Falla & Son** **207-692-7418**
 (Reports to Project manager and Project Super)

Corporate Accounting & Requisition & Line Waivers Preparation

Subcontract Admin **Emilie Ferland** **207-621-8505 Office**
 (Works with Project Manager, Super and Reports Directly to Project Executive)

A.

General Contractor – Construction Manager – Design Builder

3025 North Belfast Avenue – P.O. Box 27 – Augusta, Maine 04332-0027
 Office: (207) 621-8505 Fax: (207) 621-8508 E-mail: gannestonconstruction@adelphia.net

Ganneston

CONSTRUCTION CORP

Payroll Dept &

Safety Coordinator **Bette Feener** **207-621-8505 Office**
(Works with Project Manager, Super and Reports Directly to Project Executive)

Corporate Admin

Assistant **Bonnie Powers** **207-621-8505 Office**
(Works with Project Manager, Super and Reports Directly to Project Executive)

Meetings and Reports distribution,

Owner reports to investors, banks, governing agencies and legal as required.
(contact the Avesta Housing for details)

Contractor reports directly to owner and regulatory agencies as required.

Project super is responsible for the day to day operations and controls for the project and creates daily reports and submits them to the project manager who then reviews for accuracy and then forward to owner's team as set forth in the contract documents, specifications and plans.

Project Super is also responsible for day to day – front line communications with adjacent abutters and local code enforcement officials once project is started and permits are in place.

Project Manager is responsible for the overall project and also conducts all formal meetings such as pre-construction, weekly subcontractor, weekly owner, monthly requisition, co-ordination meetings, etc, with minutes of all such meetings distributed to the project team members and as applicable to the subcontractors and major suppliers with in 48hours. (Monday if meeting is Friday)

Project Manager also handles all project documentation as required by the project documents, such as meeting minutes, presentations of requisitions, change orders, submittals process, secures permits, project schedules, issues purchase orders and subcontracts, process back charges, etc...

Subcontractors and Suppliers

(Report Directly to Project Super and Project Manager)

General Contractor – Construction Manager – Design Builder

3025 North Belfast Avenue – P.O. Box 27 – Augusta, Maine 04332-0027
Office: (207) 621-8505 Fax: (207) 621-8508 E-mail: gannestonconstruction@adelphia.net

Ganneston

CONSTRUCTION CORP

**FLORENCE HOUSE PROJECT, PORTLAND, MAINE
PROJECT DIRECTORY**

Owner	Avesta Florence House LP 307 Cumberland Ave. Portland, Maine 04101 Deb Keller	207-553-7780 Office
Architect	Gawron Turgeon Architects 29 Black Point Road Scarborough, Maine 04074 Rebecca	207-883-6307 Office
Contractor	Ganneston Construction PO box 27 Augusta, Maine 04330	207-621-8505 Office
Project Executive	Stacey Morrison, CEO	207-621-8505 Office
Sr. Project Manager	Michael Adams mikeadams@gannestonconstruction.com	207-621-8505 Office 207-557-0963 Cell
Project Super & Project Safety	Richard Bealien	207-458-2102 Cell Office – TPD
Corporate Accounting & Subcontract Admin	Emilie Ferland	207-621-8505 Office
Payroll Dept & Safety Coordinator	Bette Feener	207-621-8505 Office
Corporate Admin Assistant	Bonnie Powers	207-621-8505 Office

(B.)

General Contractor – Construction Manager – Design Builder

3025 North Belfast Avenue – P.O. Box 27 – Augusta, Maine 04332-0027
Office: (207) 621-8505 Fax: (207) 621-8508 E-mail: gannestonconstruction@adelphia.net

Ganneston

CONSTRUCTION CORP

Michael L. Adams, Senior Project Manager

- 2007-Present** Ganneston Construction Corp, Augusta, Maine
Senior Project Manager
Responsibilities include complying with the construction contract terms and conditions; managing project correspondence including transmittals, letters, requests for information (RFI's), Change Order Proposals (COP's), Contract Change Orders (CCO's), and requests for payment; managing the submittals process; and managing the construction budget. Additional responsibilities include working closely with the other project personnel (superintendent, subcontractors, suppliers) and management, developing, monitoring, updating the overall project schedule; attending periodic on-site project meetings including requisition meetings with the owner, and maintain meeting minutes of all such meetings; assisting and supporting the project superintendent in a timely and productive manner.
- 2005-2007** MLA Construction Services, Holden, Maine
Sole Proprietor/Consultant
Responsibilities included providing project management, estimating, project supervision and other types of construction services.
- 1999-2005** H.E. Sargent, Inc., Stillwater, Maine
Project Manager/Estimator
Responsibilities included project management and estimating as outlined above.
- 1994-1999** American Ski Company, Newry, Maine
Director of Construction
Primary responsibility was overseeing all ongoing construction activities at various ski resorts owned by American Ski Company.

Education

Lawrence High School, Fairfield, Maine
K.V.V.T.I., Fairfield Maine

Additional Professional Training

K.V.V.T.I. Basic Computer
OSHA 30-Hour
First Aid
Project Manager Training
Metal Building / Product Pricing School
HCSS Estimating System Training
Numerous, construction related, seminars and short courses
EPA-approved Stormwater Training (sponsored by Wal-Mart)

Michael L. Adams, Senior Project Manager, Page 2

Professional Affiliations

Associated Builders & Contractors, Inc.

Representative list of satisfied clients and/or completed projects

Machias Dental Office	Machias, Maine
PROP/Bayside East Senior Housing	Portland, Maine
Ellsworth Courthouse	Ellsworth, Maine
Town of Stonington	Stonington, Maine
United States Post Office	Various locations
Trade Winds Marketplace	Blue Hill, Maine
Hancock County Commissioners	Ellsworth, Maine
Envisionet/Microdyne	Old Town, Maine
US General Services Administration	Augusta, Maine
Jackson Laboratory	Bar Harbor, Maine
MBNA	Belfast & Camden, Maine
Old Town School Department	Old Town, Maine
Down East Heritage Center	Calais, Maine

Ganneston

CONSTRUCTION CORP

"PRIME"

Richard Beaulieu, Superintendent

2002-Present Ganneston Construction Corp., Augusta, Maine
Project Superintendent
Responsible for project specific, day-to-day field operations from project startup until completion, including layout, quality control, manpower and materials scheduling and allocations, project planning and scheduling, coordination of trades, problem solving, and carrying out any designer/client/employer directives. Also responsible for compliance with all company policies as related to project site including employee record keeping, safety, and jobsite security.

2000-2002 Mid State Machine, Winslow, Maine
Utility and Shipping Manager

1986-2000 Ganneston Construction Corp., Augusta, Maine
Foreman, Carpenter

1986-1986 Rodrigue Builders, Augusta, Maine
Carpenter

Additional Professional Training:
NCCER Project Supervision Course
Blue Print Reading
10-Hour OSHA Certification
First Aid/CPR
EPA-approved Stormwater Training (sponsored by Wal-Mart)

Education:
Cony High School, Augusta, Maine

Representative list of satisfied clients and/or completed projects

PROP/Bayside East LP	Portland, Maine
University of Southern Maine	Lewiston, Maine
University of Maine	Augusta, Maine
Lewiston Public Library	Lewiston, Maine
Fairground Apartments	Orrington, Maine
Dr. Rice/Dr. Bossong Dental Offices	Brunswick, Maine
Dr. Bufo Offices	Scarborough, Maine
Coastal Maine Foot & Ankle Offices	Falmouth, Maine
Air National Guard	Bangor, Maine
USDA	Bangor, Maine
Stillwater, LLC	Bangor, Maine
CPM Constructors	Freeport, Maine
Orthopaedic Associates	Scarborough, Maine

Ganneston

CONSTRUCTION CORP

"ASSISTANT"

Everett E. Stewart, Superintendent

- 2007-Present** Ganneston Construction Corp.
Superintendent
Responsible for project specific, day-to-day field operations from project startup until completion, including layout, quality control, manpower and materials scheduling and allocations, project planning and scheduling, coordination of trades, problem solving, and carrying out any designer/client/employer directives. Also responsible for compliance with all company policies as related to project site including employee record keeping, safety, and jobsite security.
- 2004-2007** Payton Maine Corp.
Superintendent
Responsible for all on-site operations.
- 2002-2004** PICERNE
Superintendent
Responsible for all on-site operations.
- 1974-2002** D. L. Poulin, Inc.
Responsible for all on-site operations.

Additional Professional Training

- TQM Seminar, Jack Miller
- Creative Problem Solving in Business, USM
- Supervisory Training Program, Leadership & Motivation, and Problem Solving & Decision Making, AGCA
- Estimating Training Program

Everett E. Stewart, Superintendent, Page 2Representative list of satisfied clients and/or completed projects

Central Maine Power	Belfast, Maine
Casco Bay YMCA	Freeport, Maine
Reny's Department Store	Bridgton, Maine
Unity Gardens Housing Project	Unity, Maine
Paris Elementary School	Paris, Maine
BNAS Military Housing	Brunswick, Maine
Stonington Elementary School	Stonington, Maine
Mast Landing Elementary School	Freeport, Maine
Augusta Armory/Camp Keyes	Augusta, Maine
McDonald's Restaurant	Freeport, Maine
Applebee's	Brunswick, Maine
Applebee's	Dover, New Hampshire
Chili's Restaurant	Lebanon, New Hampshire
Maine Youth Center	Windham, Maine
Veteran's Administration Hospital	Augusta, Maine
Classic Buick, BMW, GMC	Westbrook, Maine
Car Wash & Lube for J&S Oil	Manchester, Maine
68 Unit Motel	Lewiston, Maine

condominium within which consists of 2 units as described

Applicant: Avesta Florence House, LP Date: 9/20/07 (find source req)

Address: 190 ~~Valley St~~ C-B-L: 064-F-020 ← used

The Florence House Condominium 68-A-011

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Ref by reference #08-1569

Zone Location - Contract Zone/B-2 conditional rezoning

Interior or corner lot - # C-48

Proposed Use/Work - 3 story residential building to accommodate a maximum of

Sewage Disposal - City 65 women - with AN @ 138# footprint floor area of 25 studio Apts → 12m floor 2 & floor 3 breakdown (13), 249#

Lot Street Frontage - All used (15 Safe Haven units 25 Emergency Beds)

Front Yard - None req showing 10 shown on permit Appl. MAX OCCUPANCY (NOT INCLUDING STAFF)

Rear Yard - 11' for basement & 1st floor see Attachment #10

Side Yard - 11' for distance of 21' for 2nd & 3rd floor 14' for 2nd & 3rd floors for distance of 8' 47' setback for remaining portion

Width of Lot -

Height - 45' - Average grade of Postconstruction = 46.81' scaled 42' 8 1/2" A-401

Lot Area - 24,968# given

Lot Coverage/ Impervious Surface - 40% MAX 33% shown (8138 ÷ 24968)

Area per Family -

Off-street Parking - unit 1: 9 pkg unit 2: 7 pkg ⇒ 16 space parking area & 3 pkg/drop off area @ 6 Valley St

Loading Bays - N/A

Site Plan - # 2007-0156 - Site plan & Subdivision → 25 lot subdivision

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 13 - Zone C

* ANY residential use within the basement of the building is strictly prohibited open space ratio: 26% - is meeting per documentation 10/2/07 - sheet A



December 30, 2008

Mr. Chris Hanson, CEO
City of Portland Inspections Department
389 Congress Street
Portland, ME 04101

Dear Chris:

The Florence House was designed to meet IBC 2006 and based on our recent review,
also meets IBC 2003.

Sincerely,

Stan Gawron, AIA
Principal

Copy: Rebecca Dillon, Deb Keller, Mike Adams, File



City of Portland, Maine

Planning & Urban Development Department

Penny St. Louis Littell, Director

Planning Division

Alexander Jaegerman, Director

September 18, 2008

Betsy Melrose
Mitchell & Associates
The Staples School
70 Center Street
Portland ME, 04101

RE: Florence House
Vicinity of 190 Valley Street, Portland
CBL: 68-A-11 and 64-F-20
Application ID: Site Plan/Subdivision #2007-0156

Dear Betsy:

Thank you for your recent letter requesting an extension to the Site Plan approval for the Florence House project located at 190 Valley Street. I understand that your request is based on the fact that an appeal regarding the conditional zoning agreement delayed progress on the development.

In my capacity as ~~Planning Division Director~~ for the City of Portland, I am granting your request to extend your Site Plan approval to July 9, 2009, as based on the provisions of the City's Land Use Ordinance Section 14-525 (f) 2. If you have any questions, please contact Jean Fraser at (207) 874-8728.

Sincerely,

Alexander Jaegerman
Planning Division Director

Electronic Distribution:

Penny St. Louis Littell, Director of Planning and Urban Development
Alexander Jaegerman, Planning Division Director
Barbara Barbydt, Development Review Services Manager
Jean Fraser, Planner
Philip DiPierro, Development Review Coordinator
Marge Scamuckal, Zoning Administrator

Leanne Bourke, Inspections Division
Lisa Danforth, Administrative Assistant
Michael Bobinsky, Public Services Director
Kathi Farley, Public Works
Bill Clark, Public Works
Michael Farmer, Public Works
Jim Carmody, City Transportation Engineer
Jane Ward, Public Works
Captain Greg Cass, Fire Prevention
Jeff Farling, City Arborist
Tom Errico, Wilbur Smith Consulting Engineers
Dan Goyette, Woodard & Curran
Assessor's Office
Approval Letter File
Hard Copy Project File

cc. Avesta Florence House L.P; Florence House Housing Corporation (FHHC); Florence House
Condominium Association
C/O Debora Keller
Development Officer
Avesta Housing
307 Cumberland Avenue
Portland, ME, 04101

MEMORANDUM

To: FILE

From: Ann Machado

Dept: Zoning

Subject: Application ID: 2007-0156

Date: 10/17/2007

We will need a copy of the filled-in and signed and recorded contract for the record.

I have received documentaion (October 2, 2007 - Sheet A) that the maximum open space ratio of 26% is being met. As far as documentation for the maximum lot coverage of 40% being met, the plans submitted on October 2, 2007 show the building footpring at 8138 sf which is 33% of the total square footage of the lot (24,968 sf). With these two requirements being met, zoning can sign off on the site plan.

Ann Machado
Zoning Specialist

CONDITIONAL ZONE AGREEMENT

C-48

**AVESTA FLORENCE HOUSE LP, FLORENCE HOUSE HOUSING CORPORATION
AND FLORENCE HOUSE CONDOMINIUM ASSOCIATION**

AGREEMENT made this ____ day of _____, 2007 by AVESTA FLORENCE HOUSE LP, a Maine limited partnership with a place of business in Portland, Maine ("Florence House"), FLORENCE HOUSE HOUSING CORPORATION, a Maine nonprofit corporation with a place of business in Portland, Maine, and each of their successors and assigns ("FHHC") and FLORENCE HOUSE CONDOMINIUM ASSOCIATION, a Maine nonprofit corporation (the "Association;" the Association, FHHC and Florence House are sometimes collectively called "Owner")

WITNESSETH

WHEREAS, Owner has acquired land and buildings located at 190 Valley Street in Portland, consisting of parcels shown on City of Portland Tax Map 64, Block F, Lot 20 and Tax Map 68, Block A, Lot 11, and more particularly described in a deed from C & D Associates dated _____, 2007 and recorded in the Cumberland County Registry of Deeds in Book _____, Page _____ (collectively the "Property"); and

WHEREAS, Owner intends to create a condominium within the proposed building to be built on the Property, which will consist of two units, as more particularly described in this Agreement, and the Association will be responsible for certain maintenance obligations as set forth in this Agreement; and

WHEREAS, Owner has requested a rezoning of the Property in order to permit the development of the project described in this Agreement within each unit of the condominium to be created by Owner; and

WHEREAS, Owner's funding sources require that each of the two condominium units be held in separate ownership; and

WHEREAS, the Portland City Council has determined the rezoning and proposed development would provide needed housing in the City for low income individuals as is consistent with the housing component of the Comprehensive Plan, and would not negatively impact the surrounding business and residential community; and

WHEREAS, the Portland City Council, pursuant to 30-A M.R.S.A. § 4352(8) and Portland City Land Use Code (the "Code") §§ 14-60 to 14-62, and after notice and hearing and due deliberation thereon, recommended the rezoning of the Property as aforesaid, subject, however, to the conditions set forth in this Agreement; and

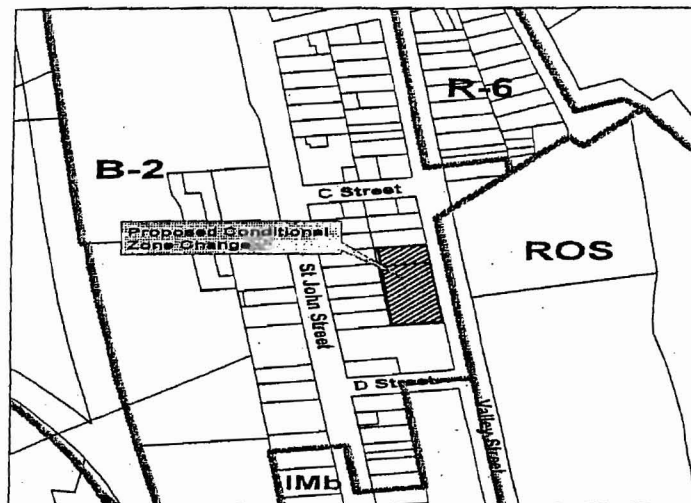
OCT 17 2007

WHEREAS, the City Council (the "City") has determined that because of the unusual nature and unique location of the proposed development it is necessary and appropriate to impose by agreement the following conditions and restrictions in order to ensure that the rezoning is consistent with the City's comprehensive land use plan; and

WHEREAS, the City Council has on _____, 2007 approved this Agreement in its entirety, by City Council Order No. _____, a true copy of which is attached hereto as Attachment 1 (the "Order");

NOW, THEREFORE, in consideration of the rezoning, Owner covenants and agrees as follows:

1. Pursuant to the Order, the City shall amend the Zoning Map of the City of Portland, dated _____, 200__ (as amended from time to time and on file in the Department of Planning and Urban Development, and incorporated by reference into the Zoning Ordinance by § 14-49 of the Code) by adopting the map change amendment shown below. If this Agreement is not recorded within sixty days after the date of the approval of the Order, then the conditional rezoning shall become null and void and the zoning of the Property shall revert to the pre-existing B-2 zone.



Florence House, 190 Valley Street
Proposed Rezoning: B-2 to Conditional Zone

2. The building to be built on the Property is being developed as a two-unit condominium, to be called Florence House Condominium (the "Condominium").

a. Unit 1 of the Condominium shall consist of the following uses which are permitted under and subject to this Agreement:

i. On the first floor of the building:

1. maximum capacity of 40 beds (up to 25 emergency shelter beds and 15 safe haven beds) for women only. For purposes of this Agreement, the term "emergency shelter" has the meaning given

to it in Section 14-47 of the Code, and the term "safe haven" means a facility or space providing semi-private accommodations with shared washroom facilities, with meals provided, for individuals with special needs (such as but not limited to individuals who are or were formerly homeless and/or are suffering from mental illness, substance abuse or other disability), with appropriate levels of social services provided to the residents of the safe haven.;

2. laundry, kitchen and pantry as labeled; and
3. three offices

all as shown on the floor plans attached hereto as Attachment 3.

ii. On the basement level of the building, two offices, a conference room, an employee lounge, an open office area, three storage and three mechanical/maintenance rooms and a bicycle storage closet, all as shown on the floor plans attached hereto as Attachment 2. The facilities in the basement of the building shall be used for providing services to the residents of Units 1 and 2 but not to the general public. Any residential use within the basement of the building is strictly prohibited. *

b. Unit 2 of the Condominium shall consist of the following uses which are permitted under and subject to this Agreement:

i. ^{SR0} Up to twenty-five affordable rental efficiency apartments (twelve on floor 2 and thirteen on floor 3) for women only on the second and third floors of the building ("Unit 2") as shown on the floor plans attached hereto as Attachments 4 and 5.

ii. One office, a community room and a community kitchen on the second floor, all as shown on the floor plans attached hereto as Attachment 4. All uses described in this subsection (ii) shall be for providing services to the residents of Units 1 and 2 but not to the general public.

iii. One office, a laundry and a storage area on the third floor, all as shown on the floor plans attached hereto as Attachment 5. All uses described in this subsection (iii) shall be for providing services to the residents of Units 1 and 2 but not to the general public.

Unit 1 shall be owned by FHHC or an entity wholly owned by or affiliated with Avesta Housing Development Corporation, a Maine nonprofit corporation ("Avesta"), and Unit 2 shall be owned by Avesta Florence House LP. The Association shall have and fulfill the responsibilities set forth in the Maine Condominium Act, 33, M.R.S.A. Section 1601-101 et seq. Each of FHHC and Florence House shall retain sole discretion as to what level of social services to provide to the residents of Units 1 and 2, respectively. At minimum, however, there shall be adequate, on-site, awake staff, consisting of not less than three persons, providing security for and supervision of residents of both Units 1 and 2 twenty four hours a day, seven days a week. The number of awake staff may be reduced pursuant to the Management Plan referred to in Section 6 below,

based on operational history of the facility, and subject to approval by the Director of the City's Department of Health and Human Services.

3. Except as limited in Section 12 of this Agreement, execution of this Agreement binds FHHC, Florence House and the Association and their respective successors and assigns to the terms of this Agreement.

4. Any change in ownership of either Unit 1 or Unit 2 shall be brought to the Planning Board for its review and approval, but this requirement shall not apply (i) with respect to Unit 1 so long as the transfer is to an entity that is either affiliated with or wholly owned by Avesta, provided notice of any such change is provided to the Planning Department in advance of such change, or (ii) to the granting of mortgages or other security interest by Owner or to the enforcement by the mortgagees of their rights under such mortgages.

5. The Association shall be responsible for ongoing maintenance of the Property, including snowplowing, salting, sanding, sweeping, lighting, trash pickup (at least weekly) by a private contractor, mowing, etc. If the Association fails to satisfy its obligations under this Section, after written notice and a reasonable opportunity to cure, then FHHC and Florence House and their respective successors and assigns shall be jointly and severally liable for performance of the obligations set forth in this Section.

6. A Management Plan, containing, at minimum the following specific categories of control (Responsibilities, Staffing, Access Restrictions, Surveillance including functional surveillance cameras, Safety measures, Control of behaviors, Control of noise levels, and Monitoring reports) shall be submitted to the City for review and approval prior to site plan approval. Thereafter the Management Plan shall be implemented and enforced by the Association. Compliance review with respect to the Management Plan shall be performed by the City on a quarterly basis during the first year after issuance of a certificate of occupancy and at least annually thereafter, or as otherwise requested by the City, to ensure the effectiveness of such plan to protect the health, safety and welfare of the residents and the City as a whole. This Management Plan is subject to periodic updating, upon demand by the City, should it be determined by the City that the Management Plan in place is ineffective or as otherwise reasonably necessary to achieve its purposes. By virtue of this Agreement, the Association agrees to and shall be bound to amend, fund and implement the Management Plan. Should the Association fail to fulfill this obligation, FHHC and Florence House and their respective successors and assigns shall be responsible for the amendment, funding and implementing of such plan; provided, however, that if FHHC is unable to secure sufficient funding for the continued implementation of such plan, Florence House shall have the option of seeking an amendment to this Agreement terminating this Agreement as to Unit 1 only, and in the event Florence House seeks such an amendment, any obligation of Florence House to operate Unit 1 in the manner provided in this Agreement shall immediately terminate, and Unit 1 thereafter may not be operated in the manner set forth in Section 2(a) of this Agreement.

7. The Property will be developed substantially in accordance with the Site Plan, including but not limited to elevations, floor plans, roof plans and height depictions, shown on Attachments 2 through 9, submitted by Mitchell and Associates dated _____, 2007.

8. The Planning Board shall review and approve the development of the building according to the site plan and subdivision provisions of the Code.

9. Space and Bulk Requirements. The following space and bulk requirements shall apply to the Property:

B-2:

a. Occupancy and Density: Maximum occupancy (not including staff) and density shall be no more than 40 beds for women only on the first floor including up to 25 emergency shelter beds and 15 safe haven beds; and up to twenty five affordable rental efficiency apartments on the second and third floors, with associated ancillary service space as detailed in paragraph 2. above. *

b. Minimum rear yard: 11 feet as follows:

- i. 11 foot setback for basement and first floor for a distance of 50 feet as shown on Attachment 10:
- ii. 11 foot setback for second and third floors for a distance of 21 feet as shown on Attachment 10:
- iii. 14 foot setback for second and third floors for a distance of 8 feet as shown on Attachment 10:
- iv. 47 foot setback for remaining portion of the building as shown on Attachment 10.

c. Minimum side yard on northerly property line: 5 feet

d. Maximum lot coverage: 40%

e. Parking requirements:

Unit 1: 9 parking spaces.

Unit 2: 7 parking spaces.

R-6:

a. Density: Maximum density shall be no more than 40 beds for women only on the first floor including up to 25 emergency shelter beds and 15 safe haven beds; and up to twenty five affordable rental efficiency apartments for women only on the second and third floors, with associated ancillary service space as detailed in paragraph 2. above.

b. Minimum rear yard:

- i. 11 foot setback for basement and first floor for a distance of 50 feet as shown on Attachment 10:
- ii. 11 foot setback for second and third floors for a distance of 21 feet as shown on Attachment 10:
- iii. 14 foot setback for second and third floors for a distance of 8 feet as shown on Attachment 10:
- iv. 47 foot setback for remaining portion of the building as shown on Attachment 10.

- c. Minimum side yard on northerly property line: 5 feet
- d. Maximum lot coverage: 40%
- e. Minimum front yard: none required
- f. Open space ratio: 26 %.
- g. Parking requirements:

Unit 1: 9 parking spaces.
Unit 2: 7 parking spaces.

The measurement of building height per code is the vertical measurement from grade to the highest point on the roof beams in a flat roof. The average grade of the site, post construction, is 46.81 feet, The building height proposed here, taking into account the average grade, complies in all respects with the building height permitted in the B-2 (45 feet) and R-6 (45 feet) zones and need not be altered herein.

To the extent not otherwise altered herein, the zoning requirements for the underlying B-2 zone (and the R-6 by reference therein) shall apply to this site.

10. Florence House agrees to maintain, for a term of 90 years, the rent levels and income requirements for the efficiency affordable rental apartments in Unit 2 as follows:

60% of units at 50% of Area Median Income

40% of units at 60% of Area Median Income

11. The provisions of this Agreement, including the permitted uses listed in paragraph 2, are intended to supersede the uses and requirements of the underlying B-2 zone. To the extent not otherwise altered herein, the limitations and requirements for the underlying B-2 (and the R-6 by reference therein) zone shall apply to this site.

12. In the event of a breach by Owner or its successors or assigns of the zoning provisions contained herein (whether the Zoning Administrator, the Zoning Board of Appeals or a court determines such breach), the Planning Board, after notice and hearing, may recommend to the City Council that the Conditional Zone and this Agreement be amended, or be rescinded, such rescission to result in the termination of this Agreement and a reversion of the Property to the B-2 zone in place before the execution of this Agreement.

In the event that either Florence House or FHHC, or their approved successors and assigns, defaults in its respective obligations hereunder and fails to remedy said default within a reasonable period of time after written notice from the City, this Amended and Restated Conditional Zone Agreement shall remain in full force and effect with respect to the portion of the Property occupied by the non-defaulting party. Neither Florence House nor FHHC shall have any obligation to operate an emergency shelter or a safe haven or associated social services otherwise permitted in this Agreement, but FHHC and Florence House shall have the obligation to fulfill the requirements of Section 5 and 6 above as and to the extent detailed therein. Each party shall have the right (but not the obligation) to cure any default or violation of the defaulting party under this Agreement.

13. The above stated restrictions, provisions, and conditions are an essential part of this Conditional Rezoning Agreement, shall run with the Property, shall bind and benefit Owner, any entity affiliated with Owner that takes title to the Property, their successors and assigns, and any party in possession or occupancy of said Property or any part thereof, and shall inure to the benefit of and be enforceable by the City, by and through its duly authorized representatives. Owner shall file a counterpart original of this Agreement in the Cumberland County Registry of Deeds.

14. If any of the restrictions, provisions, conditions, or portions thereof set forth herein is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed as a separate, distinct, and independent provision and such determination shall not affect the validity of the remaining portions hereof.

15. Except as expressly modified herein, the development, use, and occupancy of the subject premises shall be governed by and comply with the provisions of the Portland City Code and any applicable amendments thereto or replacement thereof.

WITNESS:

AVESTA FLORENCE HOUSE LP

BY: Pinetree Housing Development LLC,
its General Partner

By: Avesta Housing Development
Corporation, its Sole Member

By _____
Dana Totman, its President

FLORENCE HOUSE HOUSING
CORPORATION

By _____
Dana Totman, its President

FLORENCE HOUSE CONDOMINIUM
ASSOCIATION

By: _____
Dana Totman, its President

STATE OF MAINE
CUMBERLAND, ss.

_____, 2007

Personally appeared before me the above-named Dana Totman, in his capacity as President of Avesta Housing Development Corporation, Sole Member of Pinetree Housing Development LLC, General Partner of Avesta Florence House LP, as President of Florence House Housing Corporation, and as President of Florence House Condominium Association, as aforesaid, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporations, limited liability company and limited partnership.

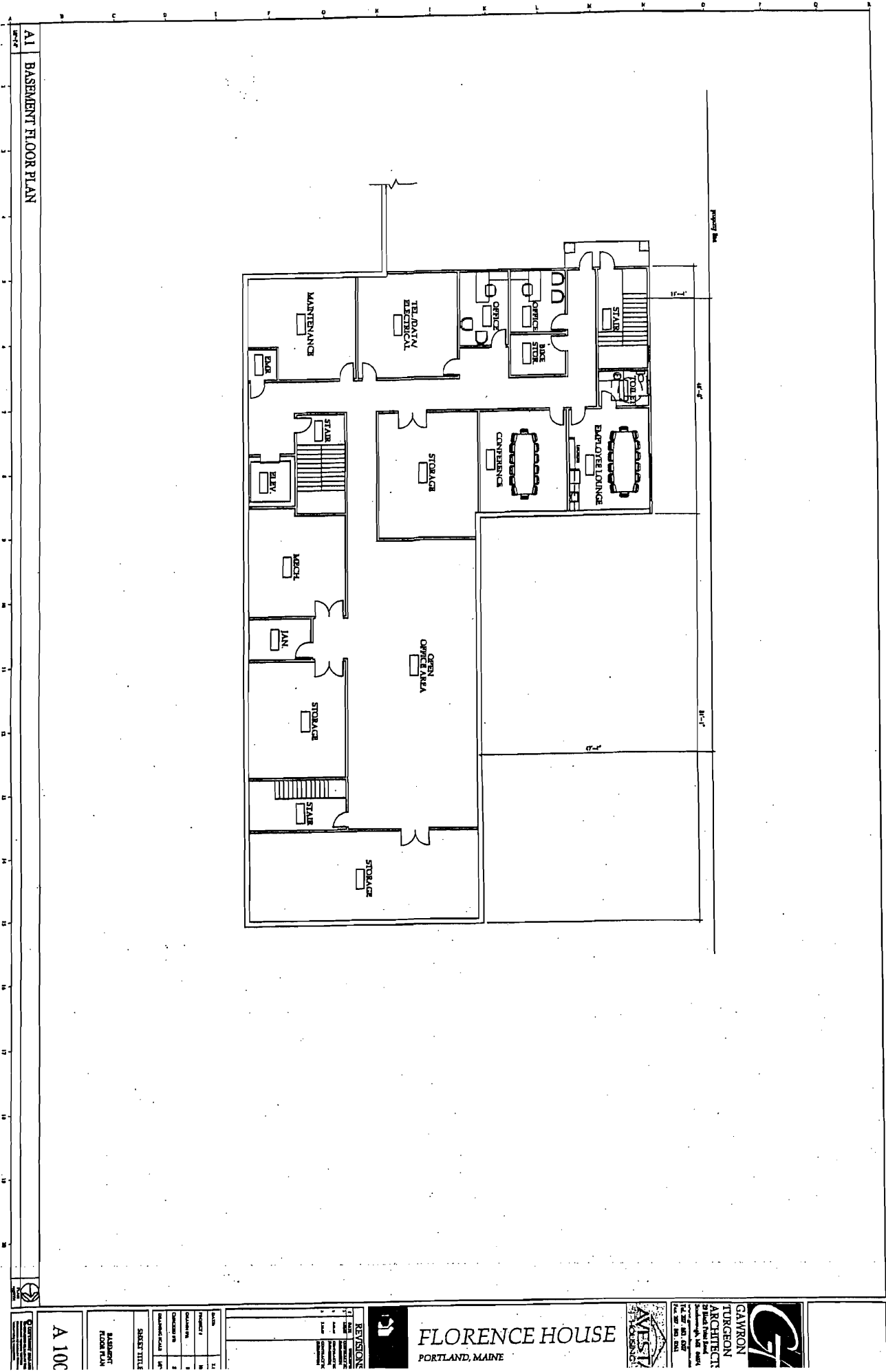
Before me,

Notary Public/Attorney at Law

LIST OF ATTACHMENTS

<u>Attachment no:</u>	<u>Description:</u>
1.	City Council Order
2.	A100 Basement Plan
3.	A101 First Floor Plan
4.	A102 Second Floor Plan
5.	A103 Third Floor Plan
6.	A106 Roof Plans
7.	A401 Elevations
8.	A402 Elevations
9.	Site Plan
10.	Building setback plan

O:\MAS\99475 Avesta\Florence House\Land use\Florence House CZA 8_2_07_Final.doc



ATTACHMENT 3



GAWRON
TURGEON
ARCHITECTS
29 South Street
Portland, ME 04101
Tel: 207.867.7200
Fax: 207.867.8823



FLORENCE HOUSE
PORTLAND, MAINE



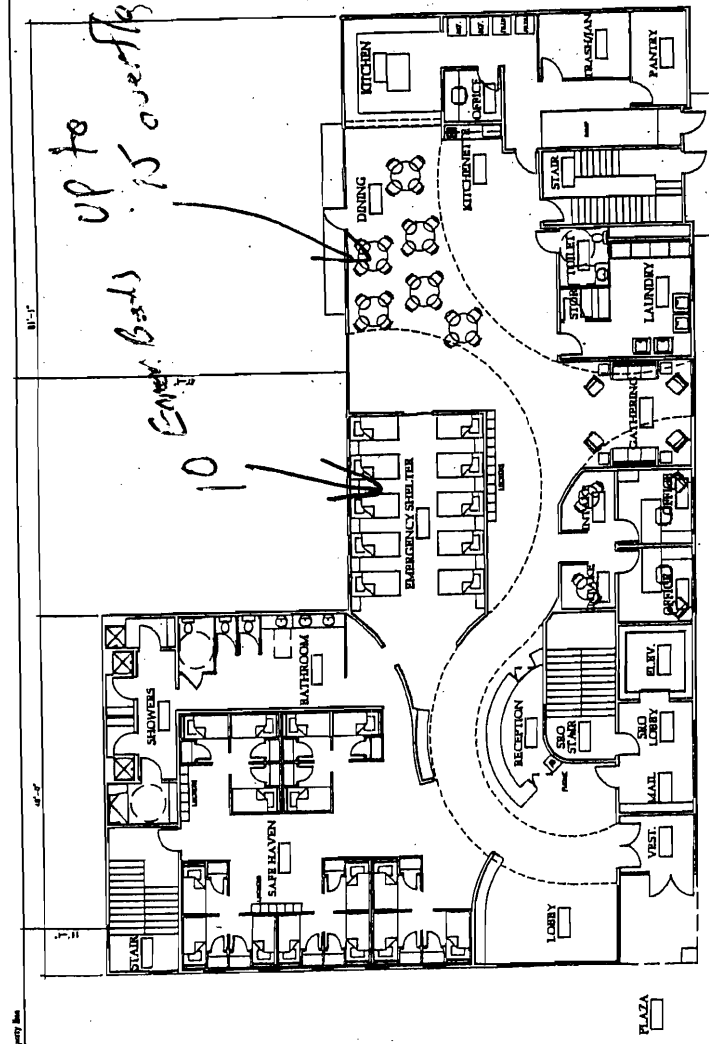
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2	10/10/08	ISSUED FOR PERMIT
3	10/10/08	ISSUED FOR PERMIT
4	10/10/08	ISSUED FOR PERMIT
5	10/10/08	ISSUED FOR PERMIT

NO.	DATE	DESCRIPTION
1	10/10/08	ISSUED FOR PERMIT
2	10/10/08	ISSUED FOR PERMIT
3	10/10/08	ISSUED FOR PERMIT
4	10/10/08	ISSUED FOR PERMIT
5	10/10/08	ISSUED FOR PERMIT

NO.	DATE	DESCRIPTION
1	10/10/08	ISSUED FOR PERMIT
2	10/10/08	ISSUED FOR PERMIT
3	10/10/08	ISSUED FOR PERMIT
4	10/10/08	ISSUED FOR PERMIT
5	10/10/08	ISSUED FOR PERMIT

A 101

UP to 15 overflows
Total Emer Beds 25
CLM.



A1 FIRST FLOOR PLAN

ATTACHMENT 4

G7
 GAYRON
 TURGEON
 ARCHITECTS
 1000 BROADWAY
 PORTLAND, ME 04101
 TEL: 857-1800
 FAX: 857-1801

WEST
 HOLDINGS

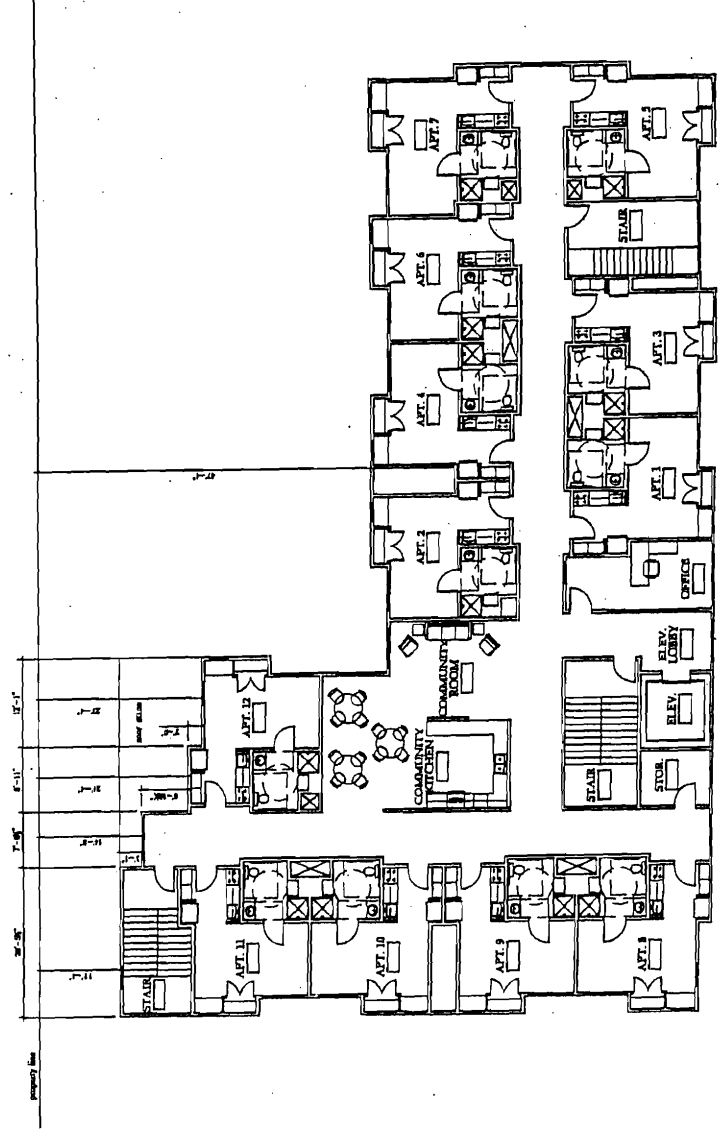
FLORENCE HOUSE
 PORTLAND, MAINE

REVISIONS	
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3	REVISION
4	REVISION
5	REVISION
6	REVISION
7	REVISION
8	REVISION
9	REVISION
10	REVISION

NO.	DATE	BY	CHKD.
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

SHEET TITLE
 SECOND FLOOR PLAN

A 102



A1 SECOND FLOOR PLAN

ATTACHMENT 5



GAWRON
TURGEON
ARCHITECTS
22 South Park Ave. Suite 200
Portland, ME 04106
Tel: 603.763.1000
Fax: 603.763.1001



FLORENCE HOUSE
PORTLAND, MAINE



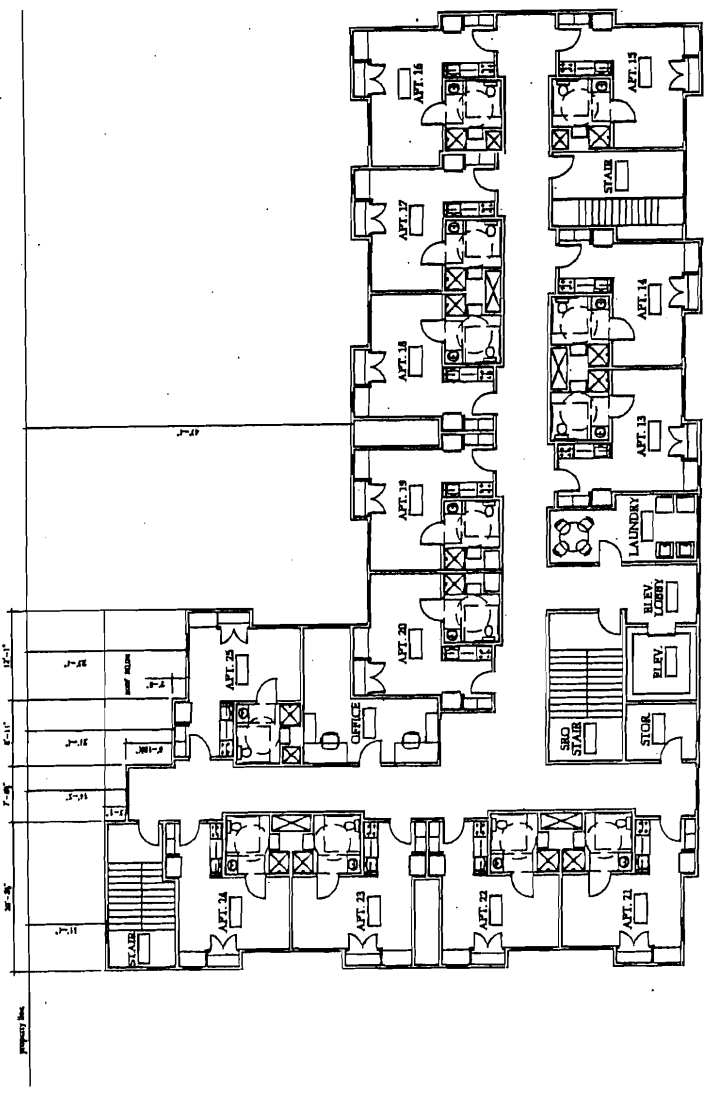
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3	REVISED
4	REVISED
5	REVISED
6	REVISED
7	REVISED

DATE	BY	REVISION

SHEET TITLE	
1	THIRD FLOOR PLAN

THIRD FLOOR PLAN

A 103



A1 THIRD FLOOR PLAN

ATTACHMENT 6



GAWKRON
TURGEON
ARCHITECTS
23 Black Point Road
Carrabassett Valley, ME 04927
Tel: 207.848.4455
Fax: 207.848.1243



FLORENCE HOUSE
PORTLAND, MAINE

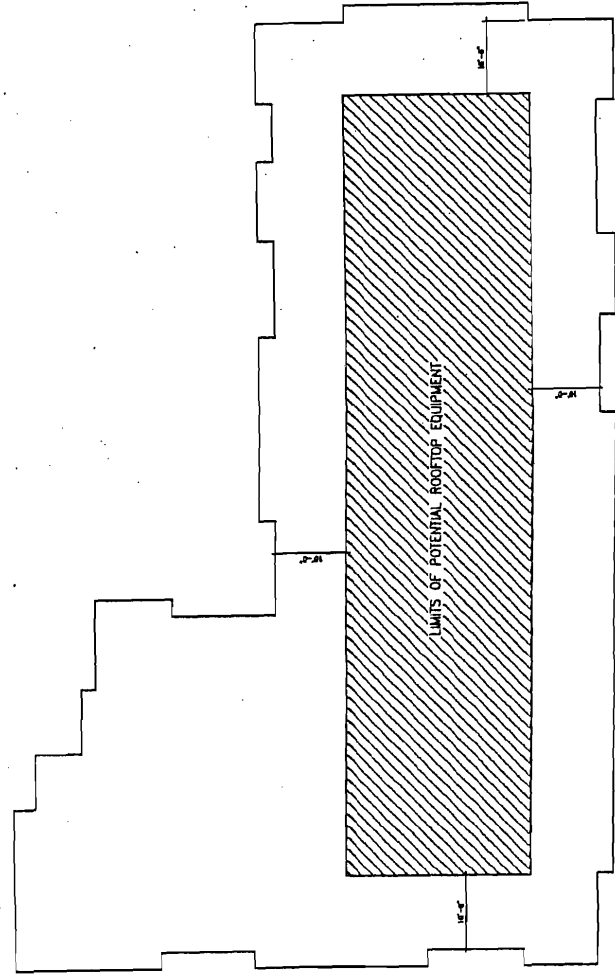


REVISIONS	
NO.	DESCRIPTION
1	Issue
2	Revised
3	Revised
4	Revised
5	Revised

DATE	BY	CHKD

SHEET TITLE	

ROOF
PLAN
A 105



A1 ROOF PLAN

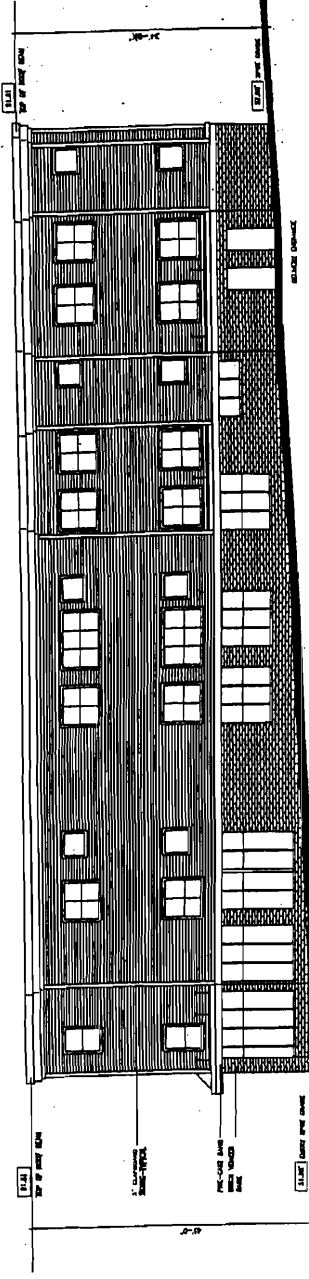
ATTACHMENT 7

REVISIONS	
NO.	DESCRIPTION
1	Issue
2	Issue
3	Issue
4	Issue

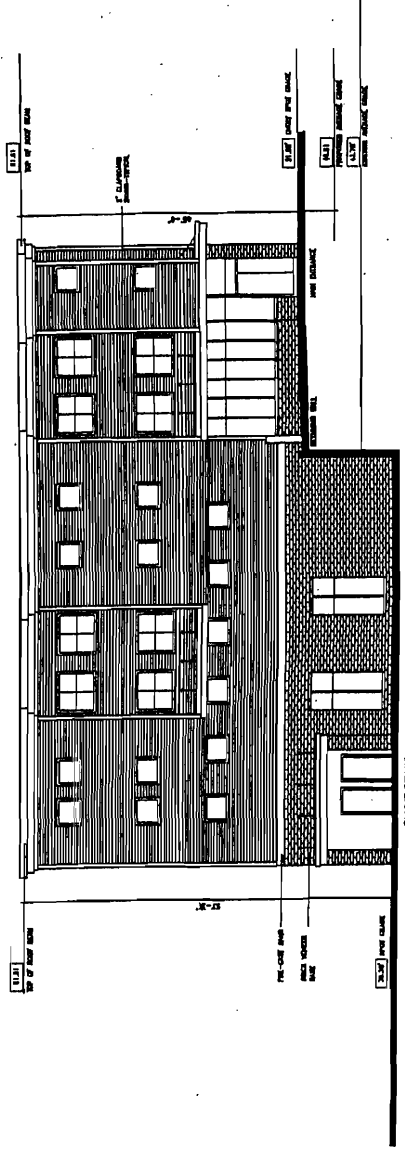
DATE	BY	APP.

SHEET TITLE	ELEVATION

A401



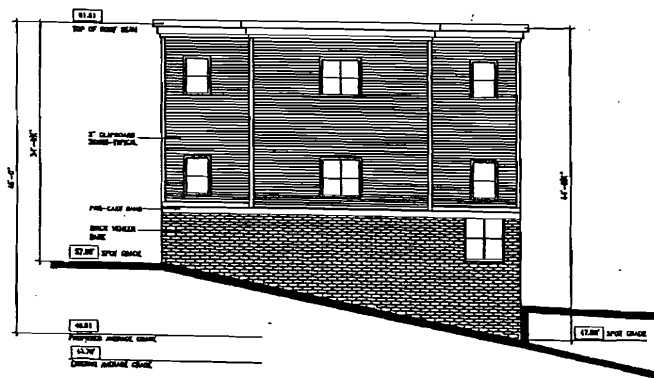
J1 VALLEY STREET ELEVATION



A1 LEFT SIDE ELEVATION



J1 REAR ELEVATION



A1 RIGHT SIDE ELEVATION



GAWRON
TURGEON
ARCHITECTS
27 Mack Point Road
Scarborough, ME 04074
www.gawronturgeon.com
Tel. 207.883.4337
Fax. 207.883.0343



FLORENCE HOUSE
PORTLAND, MAINE

REVISIONS	
NO.	DESCRIPTION

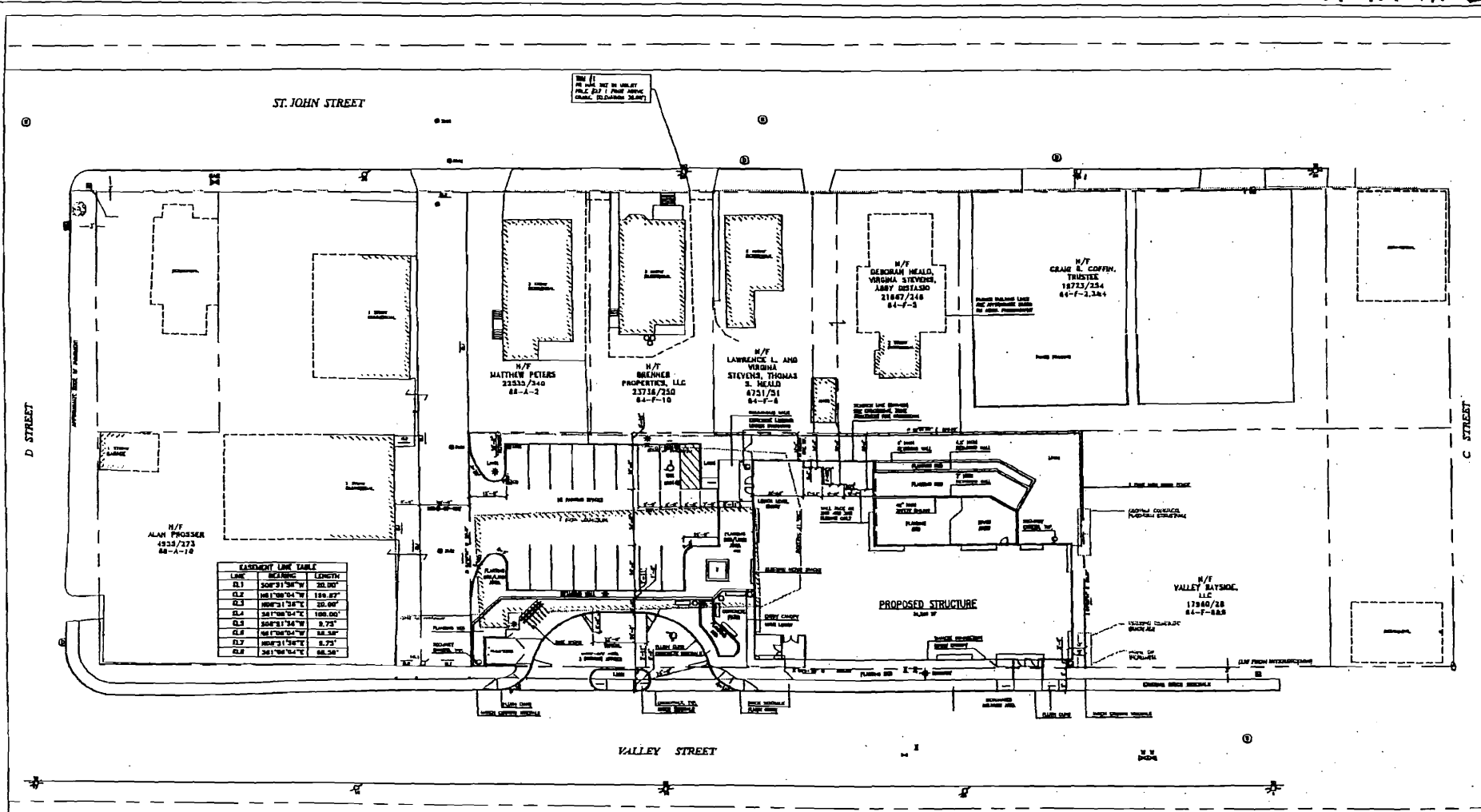
DATE	TITLE

SHEET TITLE

ELEVATIONS

A402

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EASEMENT LINE TABLE

LINE	BEARING	LENGTH
0.1	S00°31'50"W	22.90'
0.2	N63°28'04"W	124.87'
0.3	N02°31'35"E	20.60'
0.4	S67°28'51"E	100.00'
0.5	S00°31'50"W	8.73'
0.6	N63°28'04"W	22.58'
0.7	N02°31'35"E	8.73'
0.8	S67°28'51"E	68.54'

Prepared For:
Applicant:
AVESTA HOUSING
207 Cumberland Avenue
Portland, Maine 04103
Tel: (207) 622-7777

Prepared By:
MITCHELL & ASSOCIATES
Landscape Architects
100 Main Street
7th Floor
Portland, Maine 04101
Tel: (207) 776-6887

City of Portland
Department of Planning & Development
100 State Street
Portland, ME 04101
Tel: (207) 776-6887

FLORENCE HOUSE
Portland, Maine
190 Valley Street

Date: **APRIL 2, 2007**

Contract For:
CONTRACT ZONE AND SITE PLAN REVIEW

Revisions:
April 11, 2007 - For Staff
May 08, 2007 - For Staff
June 01, 2007 - For Staff
July 11, 2007 - For Staff
July 24, 2007 - For Staff

LEGEND

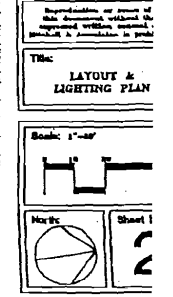
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PROPERTY LINE	---	---	ELECTRIC TRANSFORMER	⊕	⊕
SEWER LINE	---	---	WATER VALVE	⊕	⊕
PROPOSED FOUND	---	---	GAS VALVE	⊕	⊕
SEWER FOUND	---	---	UTILITY POLE	⊕	⊕
SEWER FOUND	---	---	UTILITY POLE WITH LIGHT	⊕	⊕
FIELD MILET	---	---	LIGHT POLE	⊕	⊕
SEWER MANHOLE	⊕	⊕	SECURITY CAMERA LOCATIONS	⊕	⊕
SEWER MANHOLE	⊕	⊕	FENCE	---	---

GENERAL NOTES

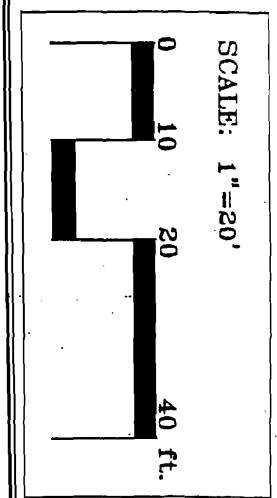
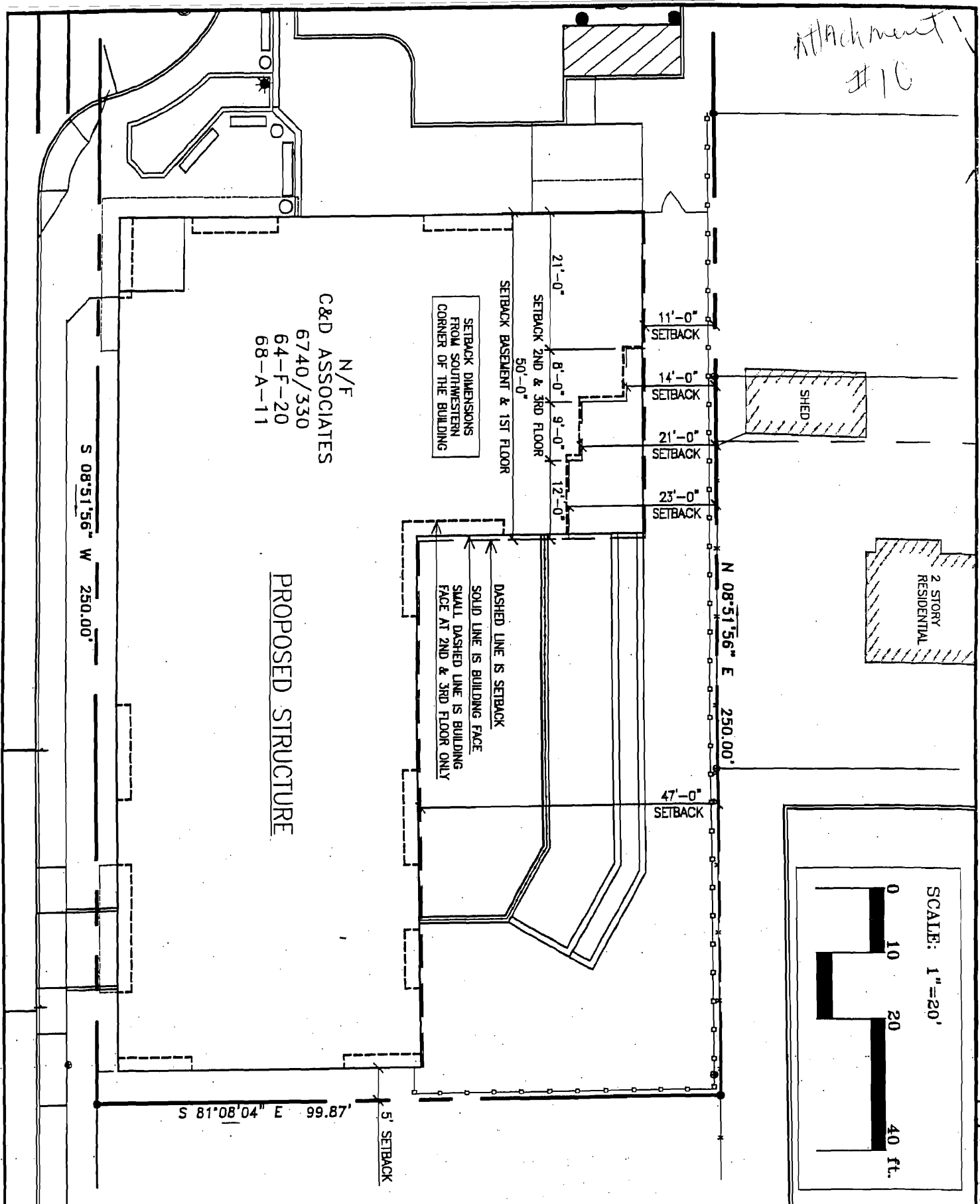
- TOTAL SITE AREA: 24,969 SF OR 0.57 ACRES
- ZONING DISTRICT: B-2, COMMUNITY BUSINESS ZONE
- SPACE AND BULK REQUIREMENTS: (SEE FINAL CONDITIONAL ZONE AGREEMENT FOR OFFICIAL CALCULATIONS)

	B-2 ZONE	B-2C ZONE	SEE PLAN
MINIMUM LOT SIZE:	NONE	NONE	24,969 SF
DENSITY:	NONE	NONE	SEE CONDITIONAL ZONE AGREEMENT
FRONT YARD SETBACK:	20 FEET	20 FEET	NONE
REAR YARD SETBACK:	NONE	10 FEET (3 STORY)	SEE CONDITIONAL ZONE AGREEMENT
MINIMUM LOT COVERAGE:	N/A	40% COVER (20 LIMIT)	5 FEET
MINIMUM BUILDING HEIGHT:	43 FEET	43 FEET	20 FEET
OPEN SPACE RATIO:	N/A	30% COVER (20 LIMIT)	20 FEET
PARKING REQUIREMENTS:	SEE ORDNANCE	SEE ORDNANCE	24 SPACES
MINIMUM LOT SIZE:	10,000 SF	4,500 SF	N/A
MINIMUM STREET FRONTAGE:	50 FEET	40 FEET	250 FEET
MINIMUM LOT WIDTH:	NONE	50 FEET	250 FEET
MINIMUM PAVEMENT SURFACE:	50 FEET	N/A	74 FEET
- OWNER OF PROPERTY: E+D ASSOCIATES, 175 BEAR ST. JOHN STREET, PORTLAND, MAINE 04102
- BUILDING APPROVAL: OPTION TO PURCHASE: AVESTA HOUSING DEVELOPMENT CORP., 307 CLIFDEN AND AVENUE, PORTLAND, MAINE 04101
- BUILDING FOOTPRINT: 8,138 SF
- TOTAL BUILDING SQUARE FOOTAGE: 31,249 SF
- NUMBER OF STORES: 3 STORES

- BOUNDARY LINE AND TOPOGRAPHIC INFORMATION BASED ON SURVEY PREPARED BY NORTHEAST CIVIL SOLUTIONS, FROM PLANS DATED JANUARY 31, 2007.
- DENCHMARK IS THE REAL SET IN UTILITY POLE #87 ONE FOOT ABOVE GRADE ON THE EASTERN SIDE OF ST. JOHN STREET BETWEEN C STREET AT D STREET WITH AN ELEVATION OF 30.00'.
- ALL MATERIALS AND INSTALLATION DETAILS SHALL MEET PLUGG. AND/OR CITY OF PORTLAND STANDARD SPECIFICATIONS.
- BUILDING MOUNTED AND SITE POLE MOUNTED LIGHTING TO BE MANUFACTURED BY RFL LIGHTING. SITE POLE MOUNTED LIGHTING TO BE 515. SMALL STRUCTURAL, 173 WATT METAL HALIDE, WHITE CRI-90.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND KEEPING STREETS CLEAN DURING CONSTRUCTION. A MAINTENANCE PLAN SHALL BE PREPARED AND APPROVED BY THE CITY'S REPRESENTATIVE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL LIGHT POLE BASES (INCLUDING THE FLEMING ROW) AND TRENCHING FOR CONDUIT.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONDUIT FOR ELECTRIC SERVICE FOR POLE MOUNTED FIXTURES. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POLE MOUNTED LIGHT FIXTURES AND POLES.
- EXACT LOCATIONS OF SECURITY CAMERAS TO BE DETERMINED AT SITE PLAN REVIEW.



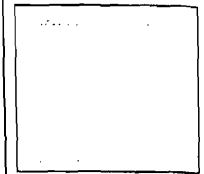
Attachment 1
#10



Mitchell & Associates
Landscape Architects
70 Center Street
Portland, Maine 04101
(207) 774-4427

Title: SETBACK EXHIBIT
Date: JULY 31, 2007
Project: FLORENCE HOUSE
Scale: 1"=20'

North:



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2007-0156

Application I. D. Number

9/4/2007

Application Date

Florence House

Project Name/Description

Avesta Florence House, LP

Applicant

307 Cumberland Avenue, Portland, ME 04101

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (207) 553-7780 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

190 - 190 Valley St, Portland, Maine

Address of Proposed Site

064 F020001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail

Manufacturing Warehouse/Distribution Parking Lot Apt 0 Condo 0 Other (specify) _____

24968

Proposed Building square Feet or # of Units

Acreage of Site

Conditional Zone

Zoning

Check Review Required:

- Site Plan (major/minor) Zoning Conditional - PB Subdivision # of lots 25
- Amendment to Plan - Board Review Zoning Conditional - ZBA Shoreland Historic Preservation DEP Local Certification
- Amendment to Plan - Staff Review Zoning Variance Flood Hazard Site Location
- After the Fact - Major Stormwater Traffic Movement Other _____
- After the Fact - Minor PAD Review 14-403 Streets Review

Fees Paid: Site Plan **\$1,625.00** Subdivision _____ Engineer Review _____ Date **9/5/2007**

Zoning Approval Status:

Reviewer

M. G. S. - J. W. P.

- Approved Approved w/Conditions
See Attached Denied

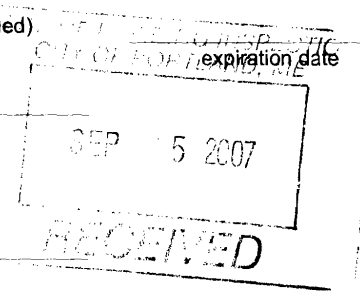
Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets
Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | expiration date | |
| <input type="checkbox"/> Final Inspection | _____ | _____ | _____ |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | _____ | _____ |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | _____ |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | _____ |
| | date | signature | |



MEMORANDUM

To: FILE

From: Marge Schmuckal

Dept: Zoning

Subject: Application ID: 2007-0156

Date: 9/20/2007

I have reviewed the submittal for a site plan and subdivision against the condition rezoning contract. I would need a copy of the filled-in and signed and recorded contract for the record.

Most requirements of the conditional rezoning is being met. However, I do not have any documentation to show that the maximum 40% lot coverage is being met. I also have no documentation showing that the maximum open space ratio of 26% is being met. If the applicant could submit that documentation, I believe my review will be completed.

Marge Schmuckal
Zoning Administrator

From: Marge Schmuckal
To: Penny Littell
Date: 7/19/2007 3:34:29 PM
Subject: Re: height (Florence House)

Yes, this is true. On the plans that I have received on 7/12/07, their average post grade is 46.81 feet. And the top of beam shown on the plans submitted on the same date is 91.81 feet. That mathematically comes out to 45 feet! Imagine that!

Marge

>>> Penny Littell 7/17/2007 11:08:15 AM >>>

Please review the following language and let me know if it is accurate. We want to include some kind of language in the rezoning agreement which shows they do not need to vary the height since they can meet it with their proposal.

"The measurement of building height per code is the vertical measurement from grade to the highest point on the roof beams in a flat roof. The average grade of the site, post construction, is 46.81 feet. The building height proposed here, taking into account the average grade, complies in all respects with the building height permitted in the B-2 (45 feet) and R-6 (45 feet) zones and need not be altered herein."

Is this true

Proposed

see plan

38.5 ✓

sheet # 3

38.5 ✓

Grading & Drains of 51.98 finished
auto-gm.

51.5 ✓

plan received &

47.0 ✓

Stamped in plan

38.5 - finished

57.0 ✓

7/12/07

grade at

51.98 ✓

rear

51.5 ✓ top of wall → 52

38.5 ✓

~~374.48~~

= 46.81 → average grade

374.48

45.00

+ 91.81 → given on
plan A 401

received

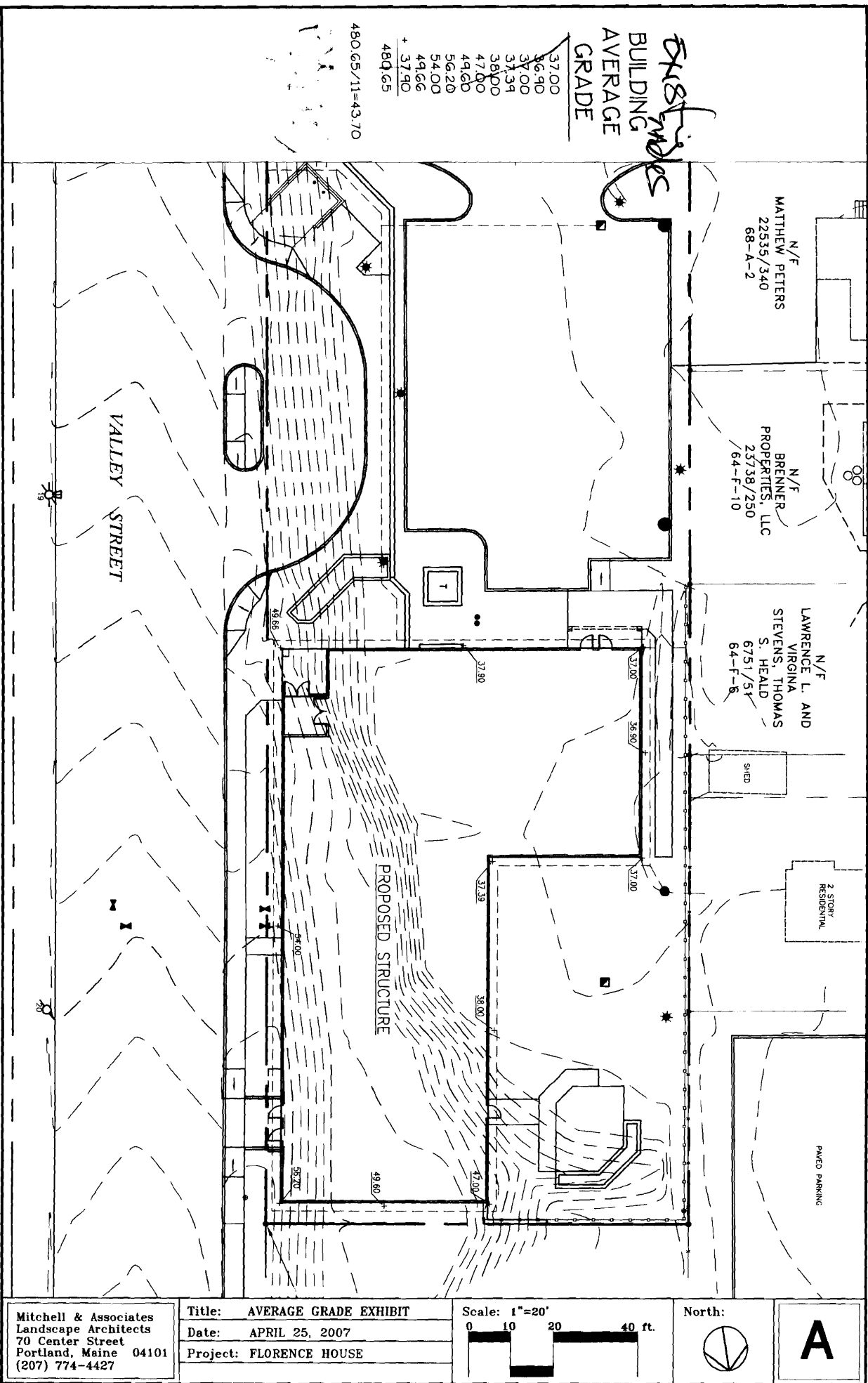
7/12/07

From: Penny Littell
To: Marge Schmuckal
Date: 7/17/2007 11:08:16 AM
Subject: height (Florence House)

Please review the following language and let me know if it is accurate. We want to include some kind of language in the rezoning agreement which shows they do not need to vary the height since they can meet it with their proposal.

"The measurement of building height per code is the vertical measurement from grade to the highest point on the roof beams in a flat roof. The average grade of the site, post construction, is ~~46~~⁴² feet. The building height proposed here, taking into account the average grade, complies in all respects with the building height permitted in the B-2 (45 feet) and R-6 (45 feet) zones and need not be altered herein."

Is this true



7/2/07
SEA HOUSE

Mitchell & Associates
Landscape Architects
70 Center Street
Portland, Maine 04101
(207) 774-4427

Title: AVERAGE GRADE EXHIBIT
Date: APRIL 25, 2007
Project: FLORENCE HOUSE

Scale: 1"=20'
0 10 20 40 ft.

North:

A

used 7/12/07 plans

Florence House

7/19/07

Parking:

uses: 25 studio Apts - for new const: 2 PK for ea. Dupl plus
in addition of for every 6

$$25 \div 8 = 3.125 \text{ or } 3 \text{ PKs req}$$

15 safe haven "Downs"
10 emergency beds → "beds" 1 for each 8 beds
office space — 12 req

$$\begin{aligned} &\rightarrow 25 \times 2 = 50 \\ &\text{plus } 25 \div 6 = 4.2 \\ &\hline &54 \text{ pkg req} \end{aligned}$$

office area totals

basement = 2970 #

1st floor = 703.5 #

2nd floor = 184.5 #

3rd floor = 223 #

$$4081 \# \div 334 = 12.22 \text{ pkg or } 12 \text{ req}$$

Apts = 54 pkg req

25 Beds = 3 req.

office = 12 req.

$$\hline 69 \text{ pkg req}$$

Applicant: **Florence House**
 Address: **190 Valley St**

Date: **4/9/07**
 C-B-L: **64-F-20**

Doesn't meet def. of
 lodging house
 No Fe.
 No shelter for
 some def. does
 not include
 persons

CHECK-LIST AGAINST ZONING ORDINANCE

Date -	B-2	R-6
Zone Location -	① Offices permitted	① General offices not permitted - Prof. office allowed by cond. use
Interior or corner lot -	② Food service rest, only	② General Food Service use not permitted
Proposed Use/Work -	③ Res. Apts referred to closest R zone	③ multi-family use permitted
Accommodate -	④ Safe Haven Dorms <u>not permitted</u>	④ Safe Haven <u>not permitted</u>
Sewage Disposal -	⑤ Emergency Shelters <u>not permitted</u>	⑤ Emergency shelter <u>not permitted</u>
Lot Street Frontage -	50' min	40' min St. frontage
Front Yard -	None except can't exceed av. lots on side	10' min / NO MAX. req
Rear Yard -	20' min (Abuts res. use)	20' min
Side Yard -	10' min (Abuts res. use)	4 stories: 12' req allow 10' reduction
Projections -		
Width of Lot -		50' min
Height -	45' MAX	45' MAX
Lot Area -	10,000 sq ft	Res: 4,500 sq ft All other uses: 4,500 sq ft MAX. lot cov. for 20+ D.U. = 40%
Lot Coverage/ Impervious Surface -	80% MAX IMPERV.	1,000 sq ft per 1st 3 D.U. Then 1,200 sq ft per 1 D.U. (22 x 1,200 = 26,400 + 3,600 = 29,400 sq ft per D.U. + extra for 20+ D.U. = 55 req. 1,000 sq ft per 334 sq ft?
Area per Family -	See Residential	
Off-street Parking -	16 parking spots in rear	
Loading Bays -	3 → parking, deep off back lot	
Site Plan -	Contract # 1139	
Shoreland Zoning/ Stream Protection -	N/A	N/A
Flood Plains -	Panel 13 - Zone C	
Open Space Ratio -		uses other than B & G have 20+ D.U. = 30%
Front yd parking	not permitted in B-2	or R-6

How was AS grade determined? Showing 55' from A.O. grade (43.70' given as A.O. grade)

Further rules for design of cars 10' back

show calc

offices: 1 per 334 sq ft
 rest: 1 per 150 sq ft
 see res. req.

uses other than B & G have 20+ D.U. = 30%

Find Property Lookup Notices Forms Application Invoicing Charges Close

Zone

Appl ID 1139 Dept PB Appl. Date 04/02/2007 CBL 064 F020001 Recommendation Date
 Status Open Property Location 190 Valley Street Approval Date
 Appl Type Conditional/Contract Rezoning Review Type Committee Review Enactment Date

Comment Date	Comment	Add	Delete	Save
06/07/2007	My comments are in response to further public comments to this proposed project. Conditional/contract zoning is allowed under the Land Use Ordinance. At this stage "regular" zoning analysis does not apply and is not an active issue for my review. Conditional/contract zoning is a function of planning staff and the planning board ultimately the City Council.			
	Name mes Follow Up Date Completed <input type="checkbox"/>			
05/08/2007	4.24.2007 Considered at PB workshop where abutters raised concerns regarding the height and bulk of the proposed building. Staff met with applicants 5.3.2007 with a view to achieving revisions. Staff consider the proposal must substantively meet site plan requirements before zone amendment is finalized. Some site plan comments are under Appl #2007-0011			
	Name JF Follow Up Date Completed <input type="checkbox"/>			
04/30/2007	Notices to be sent to both address lists. A small cbl block had been left off in the original noticing.			
	Name jmy Follow Up Date Completed <input type="checkbox"/>			
04/19/2007	It is noted that the emergency shelter use is not presently allowed in either the B-2 zone or the R-6 zone. It is use that is recognized by the Land Use Ordinance and permitted in other zones. The conditional use of "Sheltered Care Group Home" in the R-6 zone limits the population being served at 12 individuals plus staff and is proposing more than 12 individuals being served. A sheltered care group home also does not			
	Name mes Follow Up Date Completed <input type="checkbox"/>			
04/19/2007	I did a zoning analysis for planning showing what the B-2 zone requires and what the R-6 zone requires.			
	Name mes Follow Up Date Completed <input type="checkbox"/>			
04/11/2007	This is a conditional/contract zone - I just received the application. At this juncture, I have no approved contract to compare for zoning compliance. Once there is an approved contract for this proposal, I will review for zoning compliance.			
	Name mes Follow Up Date Completed <input type="checkbox"/>			

Created By: jmy Create Date: 04/03/2007 Mod By: jmy Mod Date:

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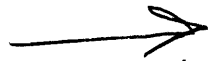
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04/03/2007

printed 5/9/06

economic remuneration, arrange for or provide any housing accommodations including but not limited to long term, short term or overnight accommodations for an actual or potential guest, customer, or patron of the business at any off-premises site in the City, unless such a facility is authorized, under the applicable provisions of Portland's Land Use Code, to offer such accommodations as a bed and breakfast, hotel, inn, lodging house, motel or tourist home.

Billboard: A structure, either freestanding or attached to a building, the surface of which is available for hire for advertising purposes.



Building, height of: The vertical measurement from grade, or the predevelopment grade on the islands, to the highest point of the roof beams in flat roofs; to the highest point of the roof beams or the highest point on the deck of mansard roofs; to a level midway between the level of the eaves and highest point of pitched roofs or hip roofs; or to a level two-thirds of the distance from the level of the eaves to the highest point of gambrel roofs. For this purpose the level of the eaves shall be taken to mean the highest level where the plane of the roof intersects the plane of the outside wall on a side containing the eaves.

Business service: Establishments primarily engaged in rendering services to other business establishments on a fee or contract basis such as advertising, mailing services, building maintenance services, employment services, management and consulting services, protective services, personnel services and similar businesses.

Chemical-free night club: An alcohol-free commercial establishment that offers live entertainment, amplified music, and/or dancing, where the primary source of income for such alcohol-free commercial establishment is derived from the entertainment and/or any admission or cover charge.

Clinics: Any establishment where patients are admitted for examination and treatment by one (1) or more professionals such as, but not limited to, physicians, dentists, psychologists or social workers.

Coastal wetland: All tidal and subtidal lands; all lands below

me wide
3-story ABASement
by definition

CONTRACT ZONE

SPACE AND BULK REQUIREMENTS

figure out parking 7/4/07
only the use of
in parking out head
send to Jean in June will consider

- parking space -
- open space -
- density -
- setbacks -
let us try to complete density notices instead
for a complete density notices instead
plans don't meet

	Required B-2	Required R-6	Site Plan	Conditional Zone Agreement Waivers Requested
Maximum Lot Size	None	None	24,968 SF	-
Density	-	-	No more than 40 individuals on the first floor including 10 emergency shelter beds, more or less, 15 safe haven beds, more or less, and staff; and 25 affordable rental efficiency apartments on the second floor with associated ancillary service space as detailed in paragraph 2 of Agreement.	No more than 40 individuals on the first floor including 10 emergency shelter beds, more or less, 15 safe haven beds, more or less, and staff; and 25 affordable rental efficiency apartments on the second floor with associated ancillary service space as detailed in paragraph 2 of Agreement.
Minimum Front Setback	None	10 Feet	None	-
Minimum Rear Setback	20 Feet	20 Feet	10 Feet	10 Feet
Minimum Side Setback	None	12 Feet (3 stories)	4 Feet	-
Maximum Lot Coverage	N/A	40% (Over 20 Units)	33%	-
Maximum Building Height	45 Feet	45 Feet	45 Feet	using normal zoning methods of calculating height
Open Space Ratio	N/A	30% (Over 20 Units)	26%	26%
Parking Requirements	(See Parking Study)	(See Parking Study)	16 - On Site 3 - Drop Off	9 - Unit 1 7 - Unit 2
Minimum Lot Size	10,000 SF	4,500 SF	N/A	-
Minimum Street Frontage	50 Feet	40 Feet	250 Feet	-
Minimum Lot Width	None	50 Feet	250 Feet	-
Maximum Impervious Surface	80%	N/A	74%	-



*Comments
Submitted*

City of Portland, Maine
Department of Planning and Development
Conditional/Contract Rezoning Application

Application ID: 1139 Application Date: 04/02/2007 CBL: 064 F020001 Property Location: 190 Valley Street

Applicant Information:

Avesta Housing
Name

Business Name

307 Cumberland Avenue
Address

Portland, ME 04101
City, State and Zip

207-553-7780
Telephone

207-553-7778
Fax

Applicant's Right, Title or Interest in Subject Property:

Option Agreement

Current Zoning Designation: B2

Existing Use of Property:

One story commercial building.

Proposed Use of Property:

Florence House will provide permanent, supported housing to chronically homeless women. The proposed structure consists of a 4 story building (including walkout lower level) designed to accommodate 50 women (25 studio apartments, 15 safehaven units and approximately 10 emergency beds). Vehicular access will be from St. John Street via a 20 foot right-of-way to a proposed 16 space parking area. A drop-off area is designed adjacent to the main pedestrian entry off Valley Street.

Property Owner:

C & D Associates
Name

195 Saint John St
Address

Portland, ME 04102
City, State and Zip

Telephone

Fax

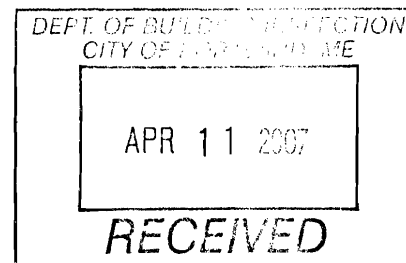
Amendment A

Amendment B

Amendment C

Section 14: _____

Requested: _____



DRC Approval

REVIEW TYPE: Committee Review

RECOMMENDATION DATE: _____ APPROVAL DATE: _____ ENACTMENT DATE: _____

Portland's land use code, to offer such accommodations as a bed and breakfast, hotel, inn, lodging house, motel or tourist home.

Impervious surface: Means any surface which does not absorb rain and includes all buildings, roads, sidewalks, parking areas, and any area paved with bricks, concrete or asphalt.

▼ (*Impervious surface ratio:*) The proportion of a site covered by impervious surfaces. Landscaping islands of strips of two hundred (200) square feet or less shall be included in the calculations as impervious surfaces. The ratio is calculated as follows:

$$\frac{5,000 \text{ square feet (impervious surfaces)}}{10,000 \text{ square feet (gross land area)}} = 0.50 \text{ impervious surface ratio}$$

Inaccessible area:

- (a) Land which is separated from the main portion of the development parcel by means of one (1) or more of the following:
1. Existing easements, rights-of-way or dedicated areas which preclude use in conjunction with the proposed development;
 2. Gullies, drainage swales or watercourses, where the land which is separated thereby from the main development parcel is not to be used for the building of units or is not available for active or passive recreation areas; or
 3. Areas which are located more than three hundred (300) feet from the nearest proposed dwelling unit.
- (b) Areas which are not to be used for building purposes and are connected to the main portion of the development parcel only by a strip of land which is less than fifty (50) feet wide shall also be deducted as inaccessible areas.

Indoor amusement and recreation centers: Facilities which limit admission either to members or to persons paying an entrance fee and which offer one (1) or more of the following activities: indoor athletics, including exercise and practice facilities, or

From: Marge Schmuckal
To: Jean Fraser
Date: 4/20/2007 9:54:16 AM
Subject: Re: Florence House

Jean,
First of all, do not use this e-mail in your packet to the PB.

The description of "Sheltered Care Group Home" in the R-6 zone under conditional uses states that it can serve only up to twelve individuals plus staff. This facility is serving many more than 12. It also states the this use excludes handicapped persons and parolees, and persons involved with prerelease programs. The Safe Haven definition from the applicants state: "Most have significant untreated mental illnesses that prevent them from engaging in traditional services". They are not meeting the qualifications of Sheltered Care Group Home in the ordinance.

I will revise my comments in Urban Insight.
Marge

>>> Jean Fraser 4/19/2007 6:11:40 PM >>>

Yes- I realize that and thanks. But they do not answer this question and I anticipate the Planning Board will ask it and I would like to know why this classification is not appropriate- it seems exactly what they are proposing on the first floor.

Also please see my attached draft summary based on our discussion.

Thanks
Jean

>>> Marge Schmuckal 4/19/2007 4:15:37 PM >>>

I have already put my comments in earlier in Urban Insight.
Marge

>>> Jean Fraser 4/19/2007 4:03:27 PM >>>

Marge,

Before you write your e-mail for inclusion in the PB Memo, could you just clarify for me why the first floor accommodation does not fit clearly into the definition of a Sheltered care group home.

In section 14-47:

" **Sheltered Care Group Home:** A facility which, in addition to providing food and shelter to a defined population, provides guidance or counseling services. Such services are a primary function of the facility."

It seems to me that is what we could state is the zoning classification for the first floor. As you said, its not really an "emergency shelter" because of the level of support.

If that is the case, the R-6 zone allows these as a conditional use up to 12 bed spaces; they are proposing 25 and that then could be identified as another "variation" addressed by the contract Zone.

So if you are writing to clarify the way their uses should be interpreted, this might be included.

thanks
Jean

Florence House Resident Overview

Florence House has been designed to serve homeless women through three types of housing in an effort to meet their varied needs. Despite this range of needs, there are some consistencies throughout this population. The majority of these women have experienced significant trauma, are incredibly vulnerable and thus are very fearful of engaging in services. Their needs require special accommodations for safety, privacy, and support. Their day to day life revolves around trying to stay safe and survive. These women depend heavily on each other – and food and shelter services. By making these resources available exclusively to women at Florence House, the hope is that this increased feeling of safety and community will allow them to begin to address some of the root causes of their homelessness and thus successfully maintain permanent housing.

Emergency Shelter: Nearly half the women currently served at the Preble Street Women's Shelter stay between 1-10 nights/month. These women are in need of short term support as their homelessness is of an episodic nature. Often these women have become homeless due to a change in relationship status or financial difficulty. With minimal support, they have an ability to connect with services quickly and transition into more permanent housing. Because many of these women are working or currently seeking employment it is important that the location of the shelter allow them to easily access public transportation, as the majority does not have vehicles.

Safe Haven: There is a smaller group of homeless women that stay all or most nights at the shelter. These chronically homeless women are typically over 40 years old and may have lived at the shelter for several years. The barriers to these women accessing permanent housing are great. Most have significant untreated mental illnesses that prevent them from engaging in traditional services. Often their financial resources are minimal as their disabilities prevent them from working as well as accessing disability benefits. These women depend on the services that meet their immediate needs such as the soup kitchen, day and overnight shelters. Their day to day life revolves around the safety of these resources. The Florence House safe haven will allow these women to easily access needed services and with time they may be able to access independent apartments and financial benefits.

Efficiency Apartments: Many of the women that currently access homeless services would likely be able to manage permanent housing with some support. They have failed at maintaining housing in traditional settings because their needs are not met by housing alone. For some of these women living alone is a frightening and isolating experience. They often lack the skills to develop community on their own, and would benefit from an environment that nourishes this support with staff assistance.

From: Jean Fraser
To: Schmuckal, Marge
Date: 4/19/2007 6:11:43 PM
Subject: Re: Florence House

Yes- I realize that and thanks. But they do not answer this question and I anticipate the Planning Board will ask it and I would like to know why this classification is not appropriate- it seems exactly what they are proposing on the first floor.

Also please see my attached draft summary based on our discussion.

Thanks
Jean

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thanks
Jean



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Lee Urban - Director of Planning and Development
Marge Schmuckal, Zoning Administrator

Meeting Information

DATE: 1/19/07

LOCATION: 180-198 Valley St - Florence House

PEOPLE PRESENT: ^{AVESTA} Deb Kellum - ^{curtis} Cito Salame - ^{Therese} Greg Pine -
BARBARA - Penny - Marge - Alex Bob. Rachel & Rebecca
metcalfe GAURON Turgel Arch.

ZONE: B-2 NOW

NEXT STEPS: 3 Types of Housing - 25 Res. - 10 Emerg. beds
Just single women commercial kitchen (safe Haven) ③ 15 semi-private rooms -
① 50-60% income ② shelter
meals provided Dormitory like

17 PKG spc - New structure - old indust. bldg torn down -
ON-Street deliveries off Valley St (small vans - NO semis)

ALAN Auto concerns:
Drainage - blockage of alley currently working on parking needs
indust vs residential 20' row - office space question - Always 3 staff works on
time lines on back of given fact sheet Duty

1st Step - Do A zoning Assessment to be sure the contract zone
some work ALREADY done on document used IS COMPLETE
1/2 acre site -

Please note: this meeting is not an pre-approval of any ordinances. No project can be approved without going thru the appropriate reviews. This meeting is only to outline the City processes to go through based on the information given at this meeting. Any changes to that information may change the process requirements. Please check ordinances that are on-line for further information at www.portlandmaine.gov.



1/19/07

Florence House Fact Sheet

- Florence House will provide permanent, supported housing to chronically homeless women in Portland, Maine.
- The project is a partnership between Avesta Housing and Preble Street
 - Avesta will develop, own and manage the property
 - Preble Street will provide 24-hour staffing by a minimum of three trained staff members
 - Preble Street will coordinate the provision of services to all residents
- The building will include three types of housing and is being designed to accommodate 50 women:
 - Apartments – twenty-five apartments will each include 350 square feet of living space including a small kitchen, a full bathroom, and a living/sleeping area. The apartments will be furnished.
 - Safe Haven – A supported safe haven environment will provide semi-private living space for 15 women who are not yet ready to live independently. This setting will offer shared areas and supports that can help women feel safe and begin to develop trust as well as the self-assurance and skills to become more independent.
 - Emergency Beds – ten emergency beds will provide immediate, short-term housing for temporarily homeless women.
- The Florence House model is based on approaches to homelessness and chronic mental illness that have emerged nationally as key strategies for ending homelessness, as well as experience at the Preble Street Day Shelter and in developing Logan Place.
- The Oxford Street Shelter provided emergency shelter to an average of 29 women each night during the last fiscal year. This number includes 305 different women and 21 women who stayed for more than 121 nights.
- The estimated cost to construct Florence House is \$6.9 million. More than 90% of the required funds have been committed. These include a \$1,080,000 grant from the Region I Homeless Council awarded in 2005, \$20,000 from TDBankNorth's *Housing for Everyone* grant program, \$3,737,000 in equity generated from the sale of tax credits awarded by MaineHousing in December 2006, and \$1,575,000 in subsidy from MaineHousing also awarded in December 2006. The remaining funds will be sought from the City of Portland and other sources.
- Florence House will be located at 180 – 198 Valley Street. The building is being designed by Gawron Turgeon Architects. Avesta will work with the neighborhood and the City of Portland throughout the design and permitting process.
- Florence House is named after Florence Young, a social worker who has played many roles at Preble Street for over 20 years: intern, staff, and board member. Florence helped create and continues to embody the agency's philosophy and values, bringing incredible compassion and commitment to her work.

[Eind](#) | [Property Lookup](#) | [Notices](#) | [Forms](#) | [Application](#) | [Invoicing](#) | [Charges](#) | [Close](#)

[Zone](#)

Appl ID | 1139 | **Dept** | PB | **Appl. Date** | 04/02/2007 | **CBL** | 064 F020001 | **Recommendation Da**
Status | Open | **Property Location** | 190 Valley Street | **Approval Da**
Appl Type | Conditional/Contract Rezoning | **Review Type** | Committee Review | **Enactment Da**

Comment Date	Comment	Add	Delet	Save
04/19/2007	It is noted that the emergency shelter use is not presently allowed in either the B-2 zone or the R-6 zone. It use that is recognized by the Land Use Ordinance and permitted in other zones. The "safe haven" use as designed is not a use recognized or defined within the Land Use Ordinance. It is not a dwelling unit. It is not a lodging room. It is not a dormitory. It is a hybrid use not defined within our Ordinance. For comparison purp			
	Name jmes Follow Up Date Completed <input type="checkbox"/>			
04/19/2007	I did a zoning analysis for planning showing what the B-2 zone requires and what the R-6 zone requires.			
	Name jmes Follow Up Date Completed <input type="checkbox"/>			
04/11/2007	This is a conditional/contract zone - I just received the application. At this juncture, I have no approved con to compare for zoning compliance. Once there is an approved contract for this proposal, I will review for zo compliance.			
	Name jmes Follow Up Date Completed <input type="checkbox"/>			

Created By: | jmy | **Create Date:** | 04/03/2007 | **Mod By:** | jmy | **Mod Date:** |

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04/03/2007

Proposed grade

From: "Betsy M" <BMelrose@mitchellassociates.biz>
To: <mes@portlandmaine.gov>
Date: 6/28/2007 3:39:39 PM
Subject: FW: Florence House Average Grade

Hello Marge-

Attached is some correspondence between Jean and myself regarding Ann Machado's approval of our Average Grade plan (attached). This attached plan was included in our May 1, 2007 submission.

For the building height:
Average Grade: 43.70
Basement FFE: 39.00 (4.70 below average grade)
Building Height Proposed: 48.00
Top of Building Elevation per Ordinance: 91.70 (39.00+4.70+48.00)

The building height of 53'-6" shown on the plan is based on the finished grade around the building (6" below the FFE).

I have cc'd Rebecca Dillon so that she can confirm that the building height has been calculated using the top of the roof beam.

Please confirm with me that you agree with the average grade calculation and let me know if you have further questions regarding the building height.

Thank you.
Betsy Melrose

-----Original Message-----

From: Jean Fraser [mailto:JF@portlandmaine.gov]
Sent: Monday, April 30, 2007 3:11 PM
To: BMelrose@mitchellassociates.biz
Subject: Re: Florence House Average Grade

Betsy,

You have probably heard from Ann Machado direct, but she has confirmed that your average grade calculations have been done in accordance with Marge's zoning approach.

Jean

>>> BMelrose <BMelrose@mitchellassociates.biz> 4/27/2007 4:06:09 PM

>>>

Hello Jean-

Attached is the plan noting the locations of the average grade calculations.

Thank you.

Betsy Melrose

From: "Rebecca L. Dillon" <rdillon@gawronturgeon.com>
To: "Marge Schmuckal" <MES@portlandmaine.gov>, <BMelrose@mitchellassociates.biz>
Date: 6/28/2007 7:54:27 PM
Subject: RE: FW: Florence House Average Grade

Hi Marge,

The elevation to the top of the highest roof beam (from the average grade per ordinance) is 48'-0". It was requested that the drawings show the overall building heights at different points around the building because of the varying grades, so that does add some confusion to the drawings.

Rebecca

Rebecca Dillon
Project Manager

GAWRON TURGEON ARCHITECTS
29 Black Point Road
Scarborough, Maine 04074
207.883.6307 tel
207.883.0361 fax

www.gawronturgeon.com

-----Original Message-----

From: Marge Schmuckal [mailto:MES@portlandmaine.gov]
Sent: Thursday, June 28, 2007 4:16 PM
To: BMelrose@mitchellassociates.biz
Cc: dkeller@avestahousing.org; Rebecca L. Dillon;
johnm@mitchellassociates.biz; Jean Fraser
Subject: Re: FW: Florence House Average Grade

Thank you, Betsy.

I had not seen this sheet. Now I understand where your average grade came from. Now I need to know what the elevation is to the top of the highest roof beam. I did not see that on any of the submittals. I have seen some measurements on the elevation submittals, but I was not sure the measurements were to the highest point of the roof beams.

Thanks again,
Marge

>>> "Betsy M" <BMelrose@mitchellassociates.biz> 6/28/2007 3:38:59 PM
>>>

Hello Marge-

Attached is some correspondence between Jean and myself regarding Ann Machado's approval of our Average Grade plan (attached). This attached plan was included in our May 1, 2007 submission.

For the building height:
Average Grade: 43.70
Basement FFE: 39.00 (4.70 below average grade)
Building Height Proposed: 48.00

Top of Building Elevation per Ordinance: 91.70 (39.00+4.70+48.00)

The building height of 53'-6" shown on the plan is based on the finished grade around the building (6" below the FFE).

I have cc'd Rebecca Dillon so that she can confirm that the building height has been calculated using the top of the roof beam.

Please confirm with me that you agree with the average grade calculation and let me know if you have further questions regarding the building height.

Thank you.
Betsy Melrose

-----Original Message-----

From: Jean Fraser [mailto:JF@portlandmaine.gov]
Sent: Monday, April 30, 2007 3:11 PM
To: BMelrose@mitchellassociates.biz
Subject: Re: Florence House Average Grade

Betsy,

You have probably heard from Ann Machado direct, but she has confirmed that your average grade calculations have been done in accordance with Marge's zoning approach.

Jean

>>> BMelrose <BMelrose@mitchellassociates.biz> 4/27/2007 4:06:09 PM

>>>

Hello Jean-

Attached is the plan noting the locations of the average grade calculations.

Thank you.

Betsy Melrose
Mitchell & Associates
70 Center Street
Portland, Maine 04101
Tel: 207.774.4427
Fax: 207.874.2460

CC: <dkeller@avestahousing.org>, <johnm@mitchellassociates.biz>, "Jean Fraser" <JF@portlandmaine.gov>

From: Jean Fraser
To: Barhydt, Barbara; DiPierro , Philip; Hanson, Chris; Jaegerman , Alex; Littell , Penny; Munson, Tammy
Date: 1/14/2009 4:19:16 PM
Subject: Florence House conditons and payments update

To all:

1. Please find attached the letter confirming which Florence House conditions have been complied with, which they requested for the closing tomorrow.
2. Please note that today they have paid the two infrastructure payments (\$3000 for trees; \$5000 for traffic calming) which were identified as outstanding in UI and on the Building Permit. UI has been updated.
3. I understand they will post the Performance Guarantee tomorrow and then I will release the Plat for recording. Circulation of final stamped plan sets to follow.

Jean

CC: Schmuckal, Marge



Planning & Urban Development Department
Penny St. Louis Littell, Director

Planning Division
Alexander Jaegerman, Director

January 14, 2009

Debora Keller, Director of Development
Avesta Housing Development Corporation
307 Cumberland Avenue
Portland, Maine 04101

RE: Florence House
190 Valley Street, Portland, Maine
CBL 68-A-11 and 64-F-20
Site Plan/Subdivision #2007-0156

Dear Deb:

Reference is made to the Planning Authority's letters of approval for the above-referenced project, dated November 9, 2007 and September 18, 2008. This letter confirms that, except as set forth below, all approval conditions described in the foregoing letters have been satisfied.

The conditions not satisfied as of this date are:

1. Delivery to the City of the required performance guarantee. Once we have received the performance guarantee, we will release to you the final signed subdivision plan for recording; and
2. Conditions intended to be satisfied after issuance of a building permit, namely those set forth in Sections 2(iii), (v), (vii) and (x) of the letter to you dated November 9, 2007, as well as certain of the standard conditions of approval on page 3 of that letter.

Sincerely,

Alexander Jaegerman
Planning Division Director

cc. Penny St Louis Littell, Director of Planning and Urban Development
Barbara Barhydt, Development Review Services Manager
Jean Fraser, Planner
Phil diPierro, Development Review Coordinator
Inspections Division

