

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that CITY OF PORTLAND

Located At 51 VALLEY ST

Job ID: 2011-12-2920-DRG

CBL: 064- E-024-001

has permission to Erect a New Timberframe shed structure w/ metal roof and end walls for a Dog walk Shelter provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

JMB 1/4/12

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-12-2920-DRG	Date Applied: 12/6/2011	CBL: 064- E-024-001	
Location of Construction: VALLEY ST - Dog Park	Owner Name: CITY OF PORTLAND - Joe Dumais	Owner Address: 389 CONGRESS ST PORTLAND, ME 04101	Phone: 874-8801
Business Name:	Contractor Name: Maine Post & Beam/ Public Services	Contractor Address: Yarmouth, ME 04096	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG	Zone: ROS
Past Use: City Park	Proposed Use: Same: City Park- to replace shelter for dog park with new timber frame structure 11' x 16' with metal roof - with sono tubes & gravel floor	Cost of Work: 3000.000000	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/ conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: U Type: 4 IBC 2009 Signature: JMB
Proposed Project Description: Dog Shelter w/ New Timberframe w/ metal roof		Pedestrian Activities District (P.A.D.) 1/4/12	
Permit Taken By: Lannie		Zoning Approval	

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan submitted <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: 12/16/11	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a “Stop Work Order” and subsequent release to continue.**

Final Inspection at completion of work

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-12-2920-DRG

Located At: 51 VALLEY ST

CBL: 064- E-024-001

Conditions of Approval:

Fire

1. All construction shall comply with City Code Chapter 10.

Building

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. Anchorage of the structure shall be installed and designed to resist uplift and sliding forces.



12/6/11

General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: Valley Street Dogpark		
Total Square Footage of Proposed Structure/Area 11x16'	Square Footage of Lot 20 ACRES +	Number of Stories 1
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 064. E024	Applicant * must be owner, Lessee or Buyer* Name City of Portland Address Public Services 55 Portland St. City, State & Zip Portland, ME 04101	Telephone: 874.8801
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ 2500 +/- C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) ROS ^{11x16} Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: SHELTER Is property part of a subdivision? _____ If yes, please name _____ Project description: Replace dogpark shelter with new timberframe w/ metal roof. (same size) on sonnet tubes. No utilities / Gravel floor		
Contractor's name: MAINE POST BEAM.		
Address: _____		
City, State & Zip Yarmouth, Maine 04096		Telephone: 874-8934
Who should we contact when the permit is ready: Joe Dumais		Telephone: 874-8801 (8934)
Mailing address: 55 Portland Street		

DEPT. OF BUILDINGS INSPECT
CITY OF PORTLAND, ME

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

DEC - 6 2011

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: **Joe Dumais** Date: **11-30-11**

This is not a permit; you may not commence ANY work until the permit is issue



Accessibility Building Code Certificate

Designer: Maine Post + Beam
Address of Project: Valley Street Dogpark
Nature of Project: Dog park shelter replacement

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

(SEAL)

Signature: Joseph Demaris
Title: Construction + Parks Manager
Firm: Portland Public Services
Address: 55 Portland Street

Phone: 874-8801

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

Date: 11-30-11

From: _____

These plans and / or specifications covering construction work on:

N/A, see photo attached

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.

Signature: _____

Title: _____

(SEAL)

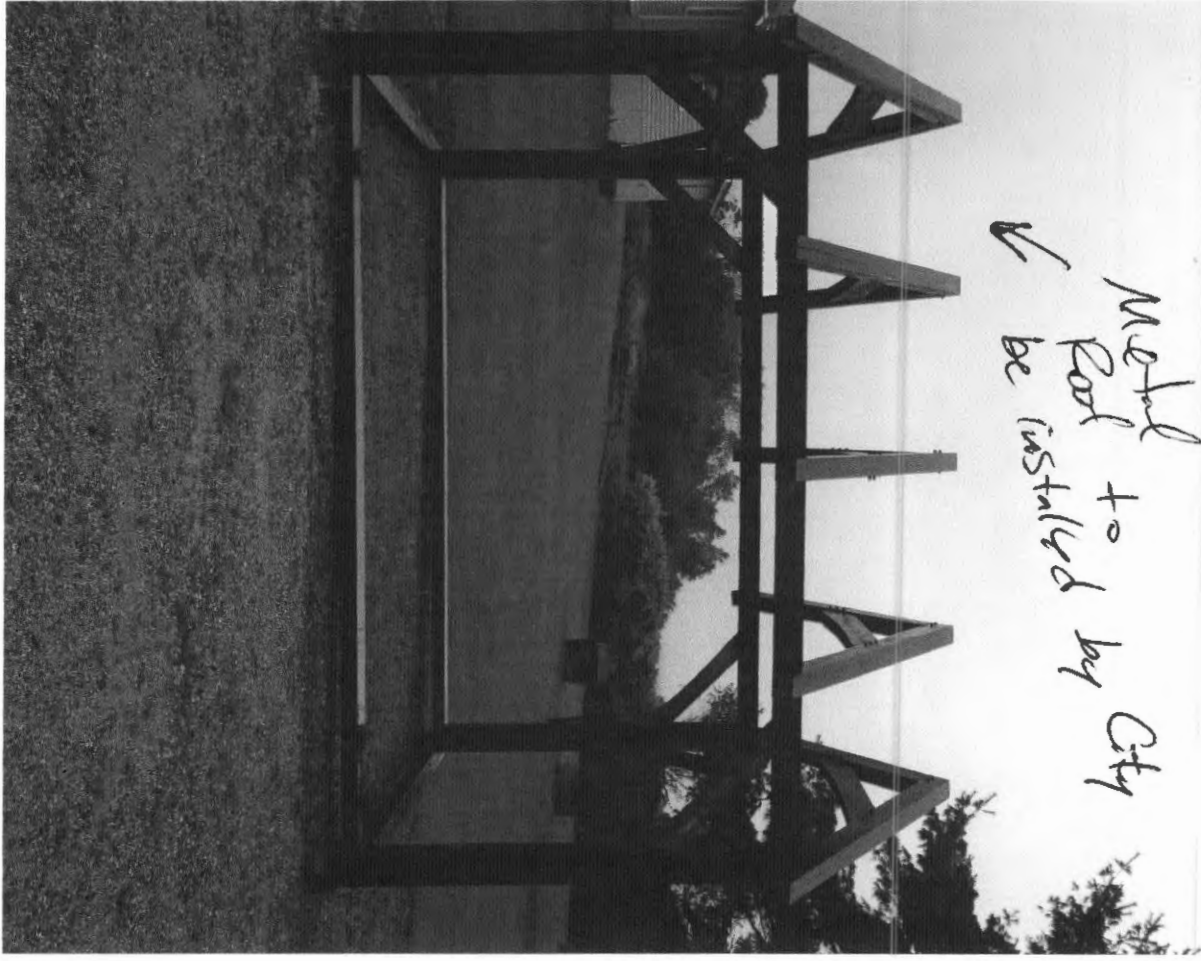
Firm: _____

Address: _____

Phone: _____

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

✓ Metal to be installed by City



A - 11x16



B - 11x16

Client..... City of Portland
Address..... Portland, ME

Description..... Timber Frame Shed
Dimensions..... 11' x 16'
Square Feet..... n/a
Material..... Eastern White Pine, Douglas Fir

Includes timber design, material, joinery, finishing, delivery, raising, insurance (workers compensation and commercial liability), and all applicable taxes.

DESCRIPTION

- 11' x 16' timbered shed
- Eastern White Pine (green) with Douglas Fir bracing
- traditional mortise and tenon joinery with white oak pegs
- all braces fully-housed and fastened with white oak pegs
- rafter sets seated in fully-housed birds-mouth joints on top plate
- timbers surfaced smooth
- timberse finished with two coats of all-natural penetrating oil
- includes delivery and installation on City-provided piers or foundation

Quote: \$2,500





Certificate of Design Application

From Designer: _____

Date: 11.30.11

Job Name: Valley Street Dogpark Shelter

Address of Construction: Valley Street

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year _____ Use Group Classification (s) _____

Type of Construction Timber Frame / CONSTRUCTED

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC N/A

Is the Structure mixed use? N If yes, separated or non separated or non separated (section 302.3) _____

Supervisory alarm System? N Geotechnical/Soils report required? (See Section 1802.2) _____

Structural Design Calculations

_____ Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Wind loads (1603.1.4, 1609)

- _____ Design option utilized (1609.1.1, 1609.6)
- _____ Basic wind speed (1809.3)
- _____ Building category and wind importance Factor, I_w table 1604.5, 1609.5
- _____ Wind exposure category (1609.4)
- _____ Internal pressure coefficient (ASCE 7)
- _____ Component and cladding pressures (1609.1.1, 1609.6.2.2)
- _____ Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

- _____ Design option utilized (1614.1)
- _____ Seismic use group ("Category")
- _____ Spectral response coefficients, S_D & S_{D1} (1615.1)
- _____ Site class (1615.1.5)

- _____ Live load reduction
- _____ Roof *live* loads (1603.1.2, 1607.11)
- _____ Roof snow loads (1603.7.3, 1608)
- _____ Ground snow load, P_g (1608.2)
- _____ If $P_g > 10$ psf, flat-roof snow load P_f
- _____ If $P_g > 10$ psf, snow exposure factor, C_e
- _____ If $P_g > 10$ psf, snow load importance factor, I_s
- _____ Roof thermal factor, C_t (1608.4)
- _____ Sloped roof snowload, P_s (1608.4)
- _____ Seismic design category (1616.3)
- _____ Basic seismic force resisting system (1617.6.2)
- _____ Response modification coefficient, R_d and deflection amplification factor C_d (1617.6.2)
- _____ Analysis procedure (1616.6, 1617.5)
- _____ Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

- _____ Flood Hazard area (1612.3)
- _____ Elevation of structure

Other loads

- _____ Concentrated loads (1607.4)
- _____ Partition loads (1607.5)
- _____ Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

Map



ROS
Zone
Front
25' in
28' Scaled

Interstate



Streets

Buildings



Parcels

Traveled Ways

Stream

Wetland



Lake/Pond



Jetport



County Streets

A15

A21

A31

Photos 2006 (peninsula)



ME Towns



Water Body

Ocean



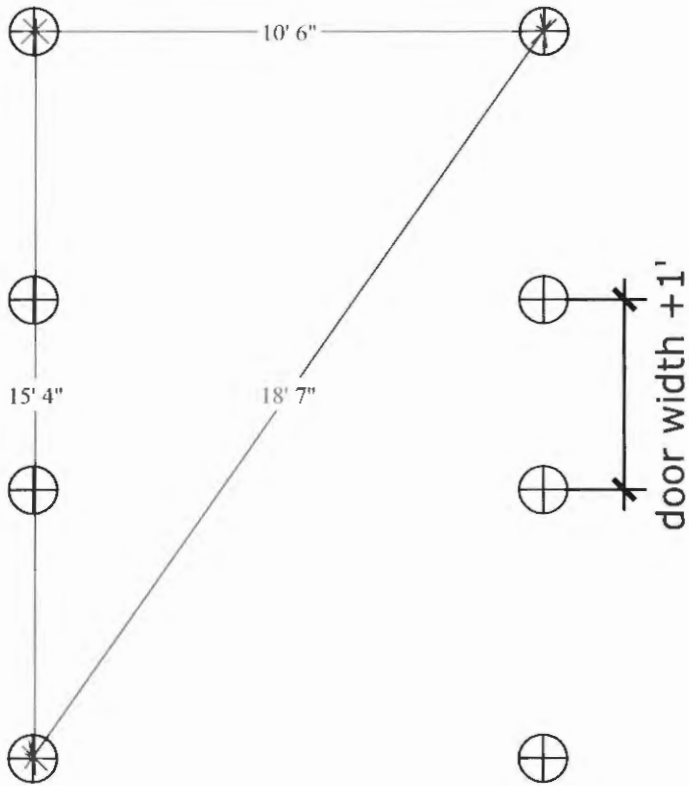
Address **Valley Street**

Address is approximate

Save trees. Go green!

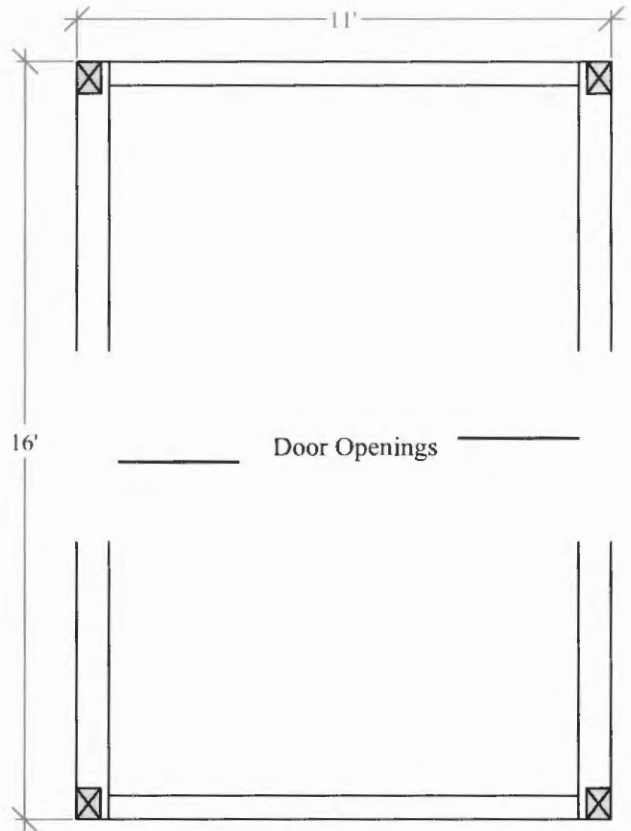
Download Google Maps on your phone at google.com/gmm





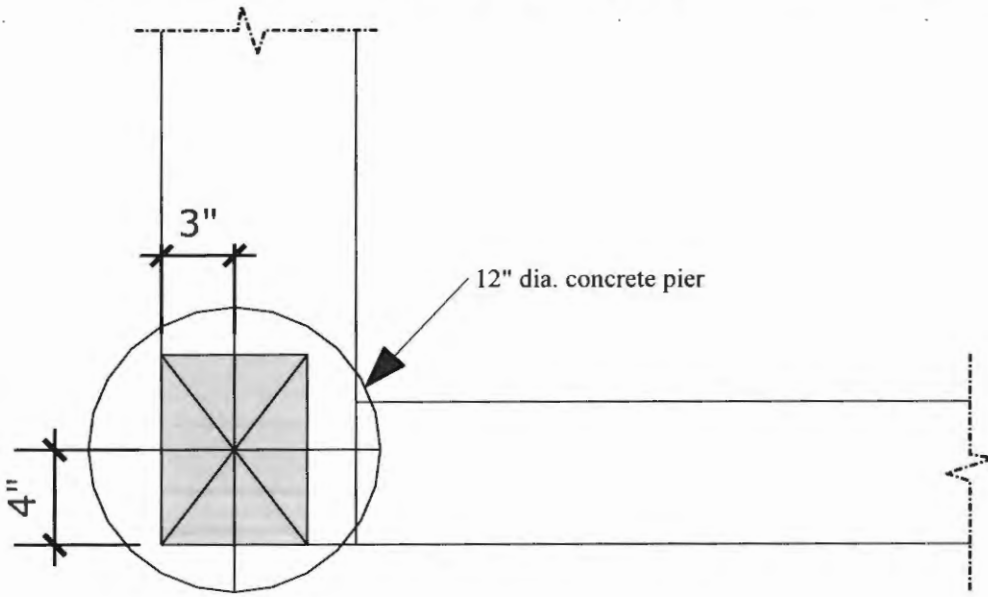
RECEIVED
JAN - 4 2012
Dept. of Building Inspections
City of Portland Maine

0 Concrete Pier Locations
A00 Scale: 1/4" : 1'



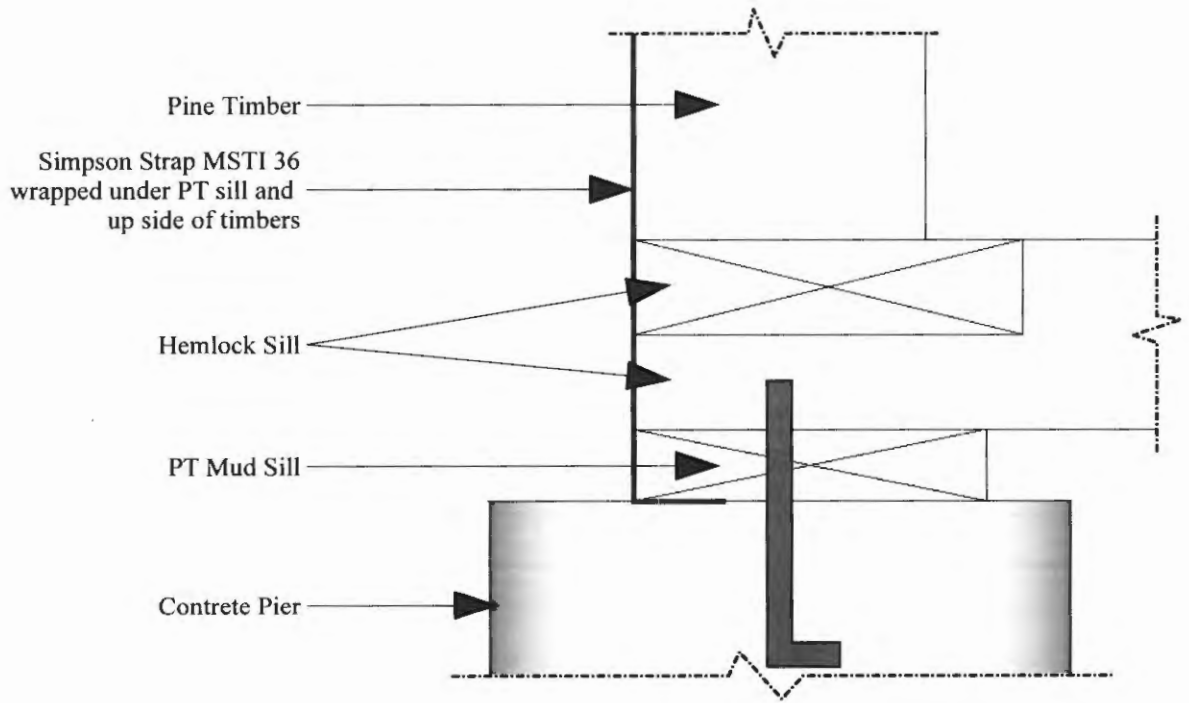
0 Sill Dimensions
A00 Scale: 1/4" : 1'

schematics only - not for construction



0 Post-Pier Detail
A00 Scale: 1 1/2" : 1'

RECEIVED
JAN - 4 2012
Dept. of Building Inspections
City of Portland Maine



0 Post-Pier Detail
A00 Scale: 3" : 1'

schematics only - not for construction



Permit # 2011-12-292

* 2011 - 399

Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

PROJECT NAME: Valley Street Dogpark Shelter (Replacement)

PROJECT ADDRESS: Valley Street Dogpark CHART/BLOCK/LOT: 064.E024

APPLICATION FEE: _____ (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Developm

PORTLAND PUBLIC SERVICES

CONTACT INFORMATION:

OWNER/APPLICANT

Name: Joe Dumais
 Address: 55 Portland St.
Portland, ME.
 Work #: 874.8801
 Cell #: 212.2352
 Fax #: _____
 Home #: _____
 E-mail: JDUMAIS@portland
maine.gov

CONSULTANT/AGENT

Name: N/A
 Address: _____
 Work #: _____
 Cell #: _____
 Fax #: _____
 Home #: _____
 E-mail: _____

Criteria for an Administrative Authorizations: (see section 14-523(4) on pg .2 of this appl.)

Applicant's Assessment Planning Division Y(yes), N(no), N/A

Criteria	Applicant's Assessment Y(yes), N(no), N/A	Planning Division Y(yes), N(no), N/A
a) Is the proposal within existing structures?	N	N
b) Are there any new buildings, additions, or demolitions?	Y	Y - replacing shelter
c) Is the footprint increase less than 500 sq. ft.?	Y	Y
d) Are there any new curb cuts, driveways or parking areas?	N	N
e) Are the curbs and sidewalks in sound condition?	Y	Y
f) Do the curbs and sidewalks comply with ADA?	Y	Y
g) Is there any additional parking?	N	N
h) Is there an increase in traffic?	N	N
i) Are there any known stormwater problems?	N	N
j) Does sufficient property screening exist?	Y	Y
k) Are there adequate utilities?	N/A	N/A
l) Are there any zoning violations?	N	N
m) Is an emergency generator located to minimize noise?	N	N/A
n) Are there any noise, vibration, glare, fumes or other impacts?	N	N

Signature of Applicant: Joe Dumais Date: 11.30.11

Planning Division Use Only

Authorization Granted Partial Exemption Exemption Denied

*Barbara Barby at Dev Rev Serv mgr
12/12/11*

Standard Condition of Approval: The applicant shall obtain all required City Permits, including building permits from the Inspection Division (Room 315, City Hall (874-8703)) prior to the start of any construction.

IMPORTANT NOTICE TO APPLICANT: The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

**PROVISION OF PORTLAND CITY CODE
14-523 (SITE PLAN ORDINANCE)
RE: Administrative Authorization**

Sec. 14-523 (b). Applicability

No person shall undertake any development identified in Section 14-523 without obtaining a site plan improvement permit under this article. (c) Administrative Authorization. Administrative Authorization means the Planning Authority may grant administrative authorization to exempt a development proposal from complete or partial site plan review that meets the standards below, as demonstrated by the applicant.

1. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
2. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
3. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
4. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
5. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
6. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
7. There are no evident deficiencies in existing screening from adjoining properties; and
8. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.
9. There are no current zoning violations;
10. Any emergency generators are to be located to minimize noise impacts to adjoining properties and documentation that routine testing of the generators occur on weekdays between the hours of 9 a.m. to 5 p.m. Documentation pertaining to the noise impacts of the emergency generator shall be submitted; and
11. There is no anticipated noise, vibration, glare, fumes or other foreseeable impacts associated with the project.

- a. **Filing the Application.** An applicant seeking an administrative authorization under this subsection shall submit an administrative authorization application for review, detailing the site plan with dimensions of proposed improvements and distances from all property lines, and stating that the proposal meets all of the provisions in standards 1-11 of Section 14-423 (b)1. **The application must be accompanied by an application fee of \$50.**
- b. **Review.** Upon receipt of such a complete application, the Planning Authority will process it and render a written decision of approval, approval with conditions or denial, with all associated findings.
- c. **Decision.** If a full administrative authorization is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. In the event that the Planning Authority determines that standards a and b of Section 14-523 (b) (1) and at least four (4) of the remaining standards have been met, the Planning Authority shall review the site plan according to all applicable review standards of Section 14-526 that are affected by the standards in this subsection that have not been met. If an exemption or partial exemption from site plan review is not granted, the applicant must submit a site plan application that will undergo a full review by the Planning Board or Planning Authority according to the standards of Section 14-526.

Criteria for an Administrative Authorizations:
(See Section 14-523 (4) on page 2 of this application)

Applicant's Assessment
Y(yes), N(no), N/A

Planning Division
Use Only

a) Is the proposal within existing structures?	No	No
b) Are there any new buildings, additions, or demolitions?	Yes	Yes, new shelter to replace old one
c) Is the footprint increase less than 500 sq. ft.?	Yes	yes
d) Are there any new curb cuts, driveways or parking areas?	No	No
e) Are the curbs and sidewalks in sound condition?	Yes	Yes
f) Do the curbs and sidewalks comply with ADA?	Yes	Yes
g) Is there any additional parking?	No	No
h) Is there an increase in traffic?	No	No
i) Are there any known stormwater problems?	No	No
j) Does sufficient property screening exist?	Yes	Yes
k) Are there adequate utilities?	n/a	n/a
l) Are there any zoning violations?	No	No
m) Is an emergency generator located to minimize noise?	No	n/a
n) Are there any noise, vibration, glare, fumes or other impacts?	no	no

The Administrative Authorization for Valley Street Dogpark was approved by Barbara Barhydt on December 12, 2011 with the following condition(s) Standard Condition of Approval listed below:

1. Standard Condition of Approval: The applicant shall obtain all required City Permits, including building permits from the Inspection Division (874-8703) and any other permits required from the Department of Public Services (874-8801) prior to the start of any construction.

Barbara Barhydt

Dev. Rev. Serv. Mgr
12/12/11

CITY OF PORTLAND

quote
9-21-2011

Client..... City of Portland
Address..... Portland, ME

Description..... Timber Frame Shed
Dimensions..... 11' x 16'
Square Feet..... n/a
Material..... Eastern White Pine, Douglas Fir

Includes timber design, material, joinery, finishing, delivery, raising, insurance (workers compensation and commercial liability), and all applicable taxes.

DESCRIPTION

- 11' x 16' timbered shed
- Eastern White Pine (green) with Douglas Fir bracing
- traditional mortise and tenon joinery with white oak pegs
- all braces fully-housed and fastened with white oak pegs
- rafter sets seated in fully-housed birds-mouth joints on top plate
- timbers surfaced smooth
- timberse finished with two coats of all-natural penetrating oil
- includes delivery and installation on City-provided piers or foundation

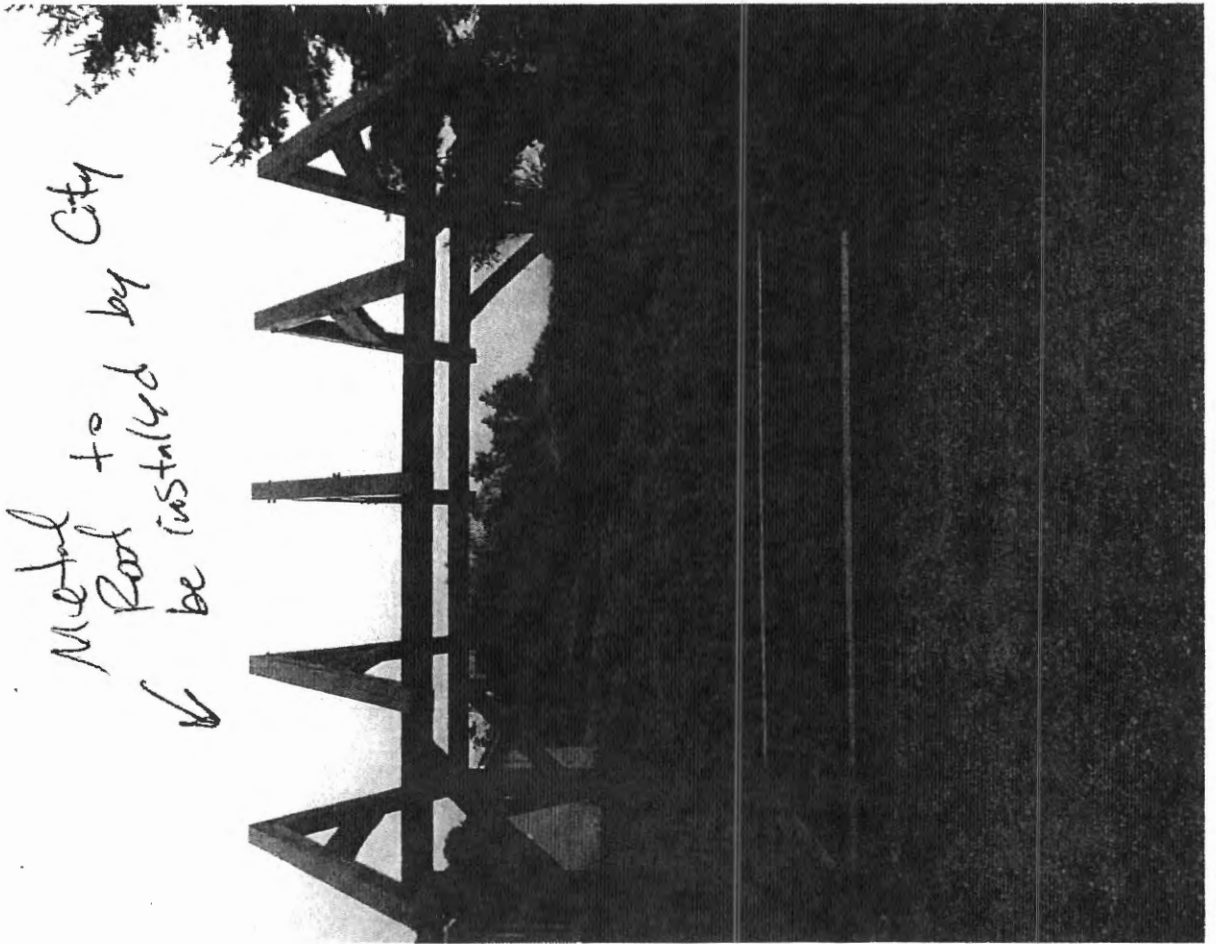
Quote: \$2,500



Maine

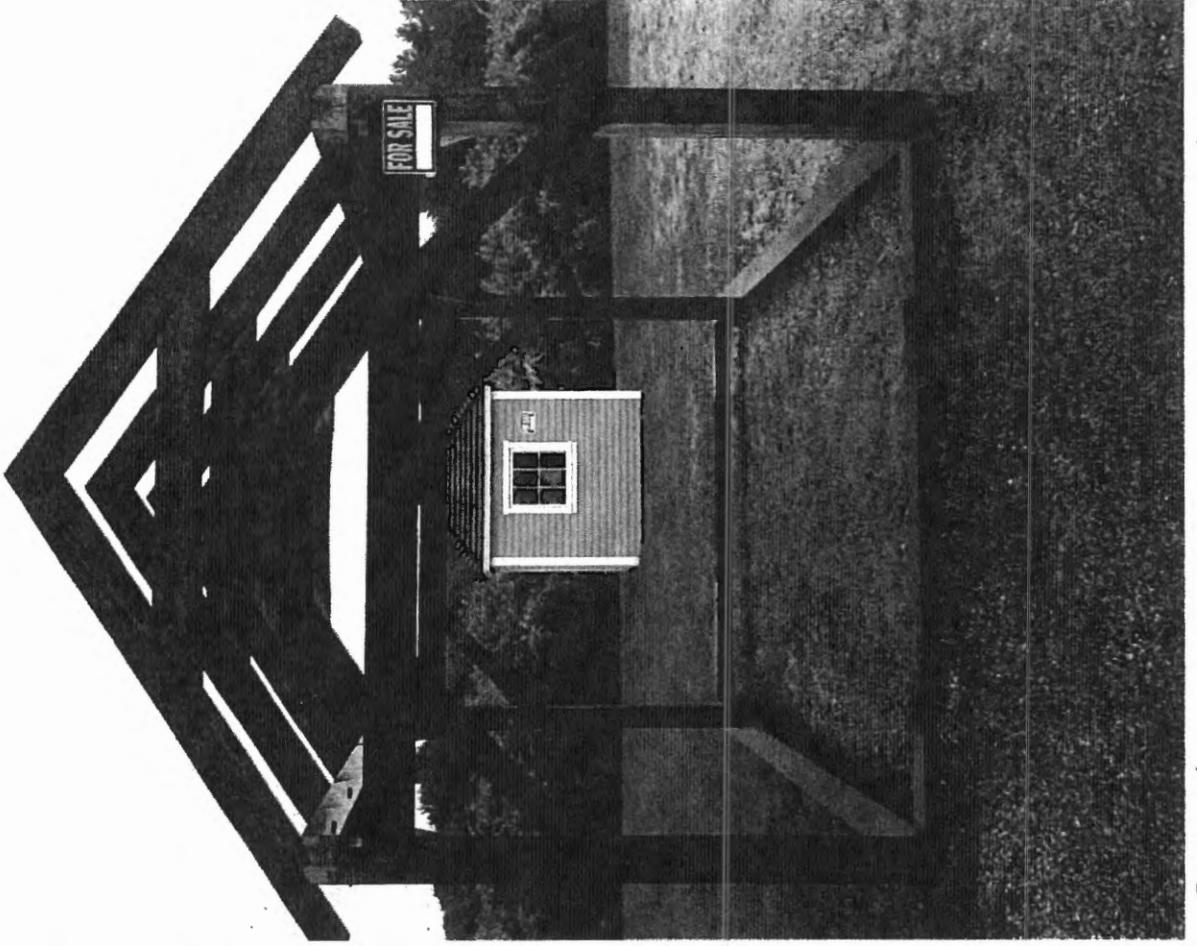
www.mainepostandbeam.com

Yarmouth, ME 04096
(207) 504-0210



✓ Metal to
Rood to be installed by City

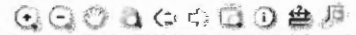
A - 11x16



B - 11x16

City of Portland GIS

Find Property Find Address NotificationC0L NotificationSelection Print



- Results
- Map Contents
- Viewer
 - + Annotation
 - + House Number
 - + Major Roads
 - + Interstate
 - + Unit Lines
 - + Utilities
 - + Streets
 - + Buildings
 - + Parcels
 - + Traveled Ways
 - Wetland
 - + Wetland
 - + Lake/Pond
 - + Jetport
 - + Neighborhoods
 - + Open Space
 - + FEMA Flood Zones
 - + Mean High Tide Inundation
 - + Zoning
 - + Historic
 - + Political Districts
 - + School Districts
 - + Residential Parking Districts
 - + Inspection Districts
 - + Zip Codes
 - + Assessor Chart
 - + Topography
 - + County Streets
 - + Photos 2006 (peninsula)
 - + Photos 2006

