

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-0986	Issue Date: SEP 12 2002	CBL: 064 D001001
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Location of Construction: 269 St John St	Owner Name: Tran Monica R & Don V Jts	Owner Address: 531 Westbrook St PORTLAND	Phone: 207-450-1733
Business Name: n/a	Contractor Name: Restaurant Equipement of Maine	Contractor Address: 75 York Street Portland	Phone: 2077737376
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Change of Use Commercial	Zone: B-2

Past Use: Commercial / Vacant; Prior Use was retail	Proposed Use: <i>NO CHANGE</i> Commercial / Change of Use from retail to grocery and cafe "sandwich shop" <i>condition for retail use; 9 or less SEATS;</i>	Permit Fee: \$128.00	Cost of Work: \$15,000.00	CEO District: 3
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>B</i> Type: <i>3B</i> <i>9/16/02</i>	

Proposed Project Description: Change of use from retail to grocery and cafe	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: gg	Date Applied For: 09/03/2002	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

closed

Special Zone or Reviews <input type="checkbox"/> Shoreland <i>W/A</i> <input type="checkbox"/> Wetland <i>any new signage requires a separate permit</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Denied Date: <i>9/16/02</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

020986

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>269 St John St Portland ME 04101</u>		
Total Square Footage of Proposed Structure <u>1500 sq ft</u>	Square Footage of Lot <u>1500 sq ft</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>024</u> Block# <u>10</u> Lot# <u>021</u>	Owner: <u>MUMIN ABARONE</u> <u>① HUSSEIN ABDIGANI</u> <u>③ MAHED AWALE</u>	Telephone: <u>(207) 450-1733</u>
Lessee/Buyer's Name (If Applicable) <u>MUMIN ABARONE</u>	Applicant name, address & telephone: <u>MUMIN ABARONE 04101</u> <u>P.O. Box 3392 PORTL ME</u>	Cost Of Work: <u>\$15000.00</u> Fee: <u>\$100-</u>
Current use: <u>VACANT</u>		
If the location is currently vacant, what was prior use: <u>RETAIL? "Grocery" Change of use</u>		
Approximately how long has it been vacant: <u>10 months</u>		
Proposed use: <u>Grocery + Cafe & "Sandwich shop"</u>		
Project description: <u>4 tables 4 chairs 15</u> <u>Anchor unit over 1 flyer, 1 griddle, 6 burner stove</u>		
Contractor's name, address & telephone: <u>→ raised 9/6/02 10 less SEATS →</u>		
Who should we contact when the permit is ready: <u>MATT Taylor Rest Equip of Me</u>		
Mailing address: <u>xx 7737374</u> <u>Call</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>7737376</u>		

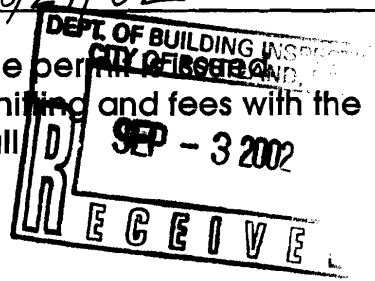
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:	Date: <u>08/27/02</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued and fees with the Planning Department on the 4th floor of City Hall

waiting for check



American Hood Systems, Inc.

Manufacturers of Quality Exhaust Hood Systems
Exhaust Hood Specialist



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- ▶ [Exhaust Fans](#)
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American Hood Systems, Inc. prides itself on being "Your Exhaust Hood Specialist", offering the finest in Exhaust Hoods, Fans, Installation and Fire Suppression with the fastest delivery time in the U.S.

The Founder of American Hood Systems, Inc. has been in the business for over twenty years, and has exceeded customer satisfaction in providing custom made top quality exhaust hood systems that meet the specifications of each individual request. Each Exhaust Hood system is manufactured, in our new state of the art manufacturing facility, specifically for the customer who places the order and American Hood has perfected the manufacturing time and costs to meet the time constraints and budget of that customer.

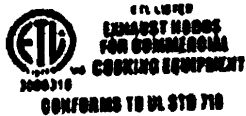
We give you the best value for your dollars spent!

- Specializing in exhaust systems. That's all we do!
- We use 16 gauge aluminized or stainless steel.
- Fans tailored to each hood for maximum effectiveness.
- Fastest delivery time in the U.S.
- Total System Guaranteed.
- Systems designed to exceed all local and national codes.
- Installation anywhere in the country.

American Hood Systems:

- Meets or Exceeds all Local State Codes
- 16 Gauge Aluminized or Stainless Steel
- 3 Year Limited Warranty on all Fans
- Conforms to ANSI/UL Std. 710
- Exceeds NFPA Code 96

American Hood Systems, Inc. "Your Exhaust Hood Specialist"



American Hood Systems, Inc.
177 Reaser Court
P.O. Box 1377
Elyria, OH 44036
1-800-854-3267
(440) 365-4567
contact@AmericanHood.com

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Application ID Number: 2-0986

Department: Zoning Status: Approved with Conditions Reviewer: Marge Schmuckal

Comments: 269 St. John St.
9/6/02 spoke with Matt Taylor - in order to maintain the retail use, the seating has been reduced to nine (9) or less. Approval Date: 09/06/2002

Given On Date: 09/06/2002

OK to Issue Permit Name: Marge Schmuckal Date: 09/06/2002 Date 2:

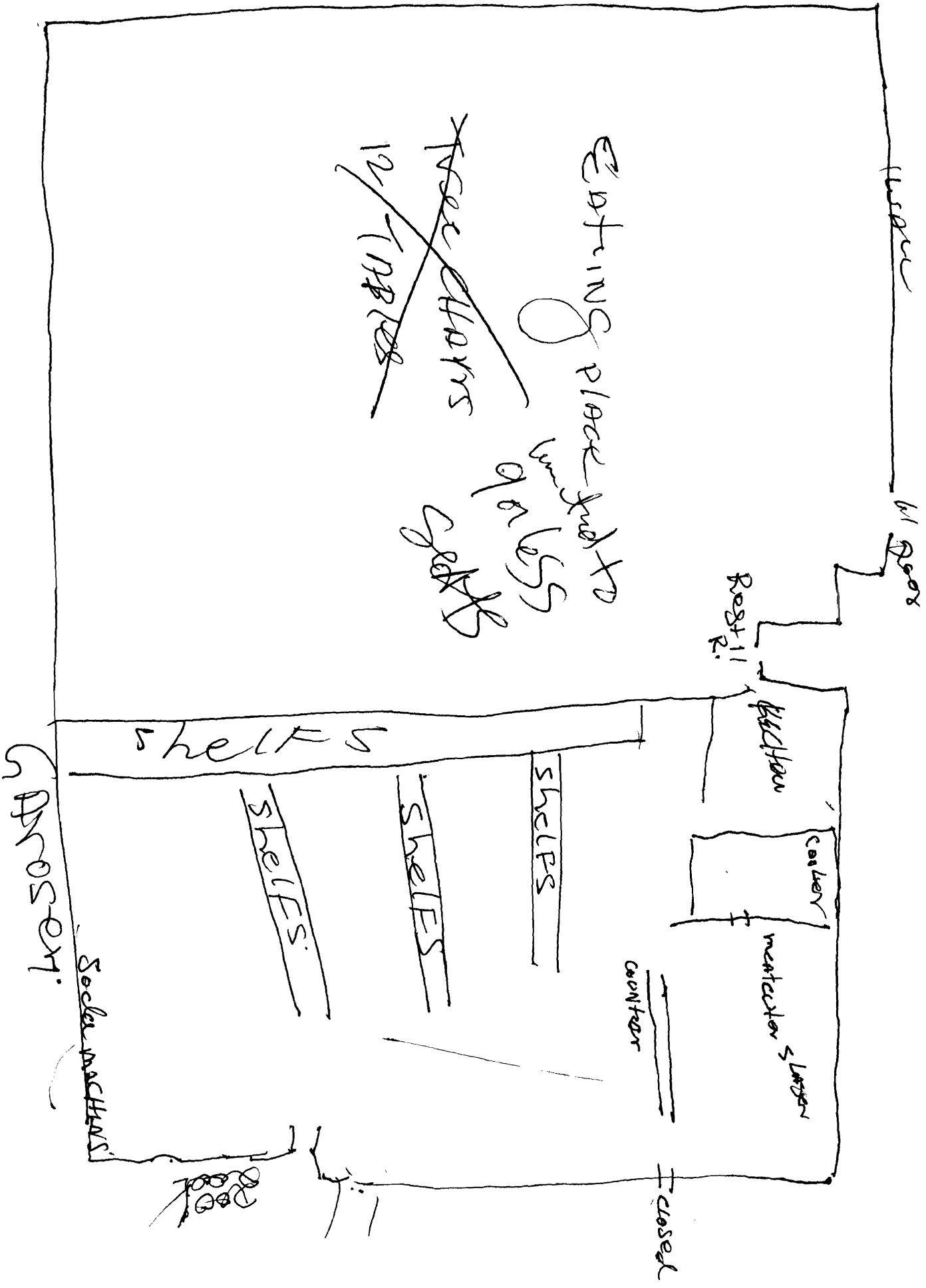
Conditions Section:

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Separate permits shall be required for any new signage.

Per our conversation it is understood that the number of seating for the internal "cafe" has been reduced to nine (9) or less. If at any time the number of seats increases to ten or more, this would change the use from retail to a restaurant. Restaurant uses require off-street parking to be provided with this use. This office would need a change of use permit and a plan showing available off-street parking.

Create Date: 09/04/2002 By: gg Update Date: 09/06/2002 By: mes



W/ Door

Eating place just to

~~use chairs~~
12 tables

open less
seats

Reception

Reception

counter

meat exten S Lotion

counter

closed

shelves

shelves

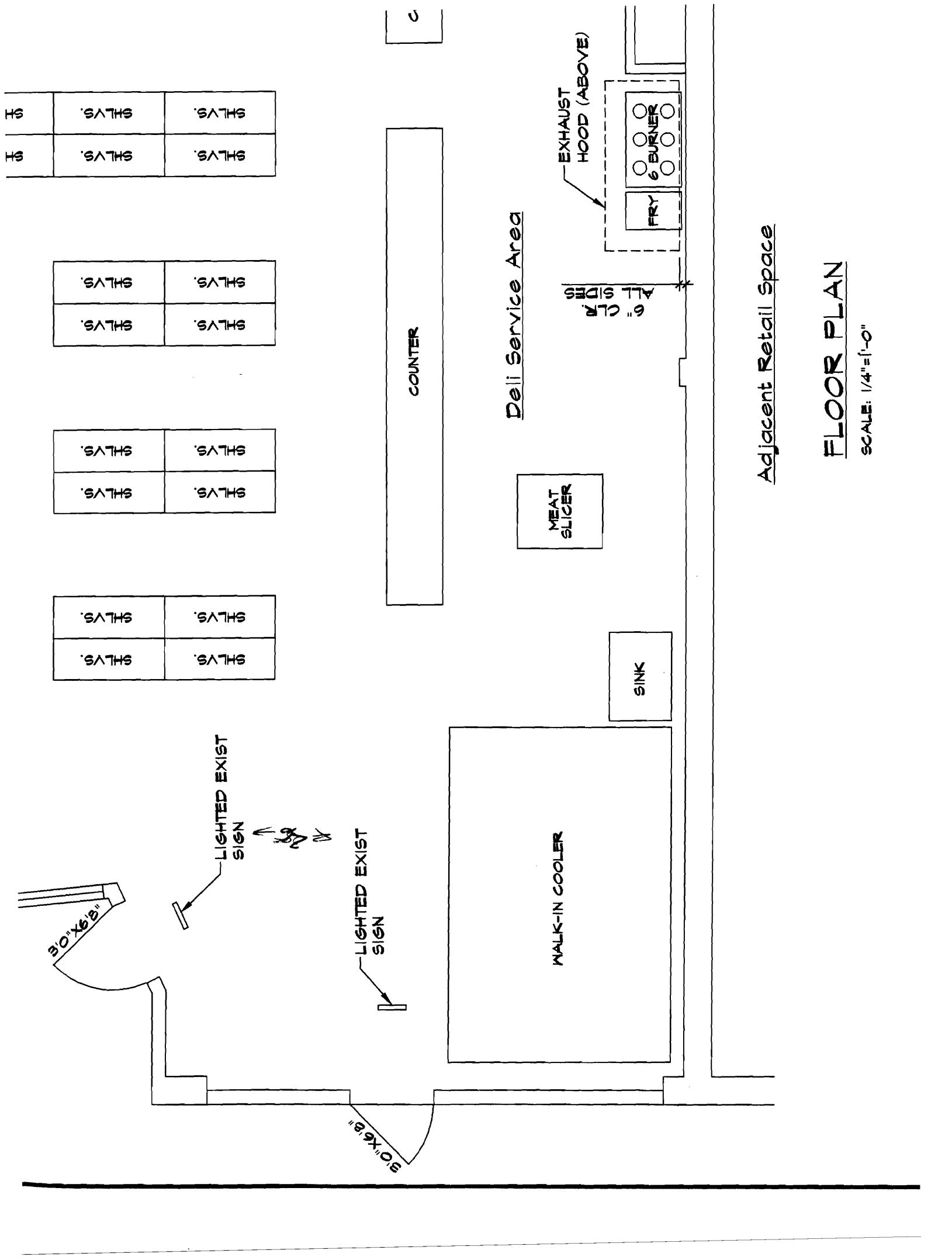
shelves

shelves

Socla machines

G APPROX 24

W/ Door



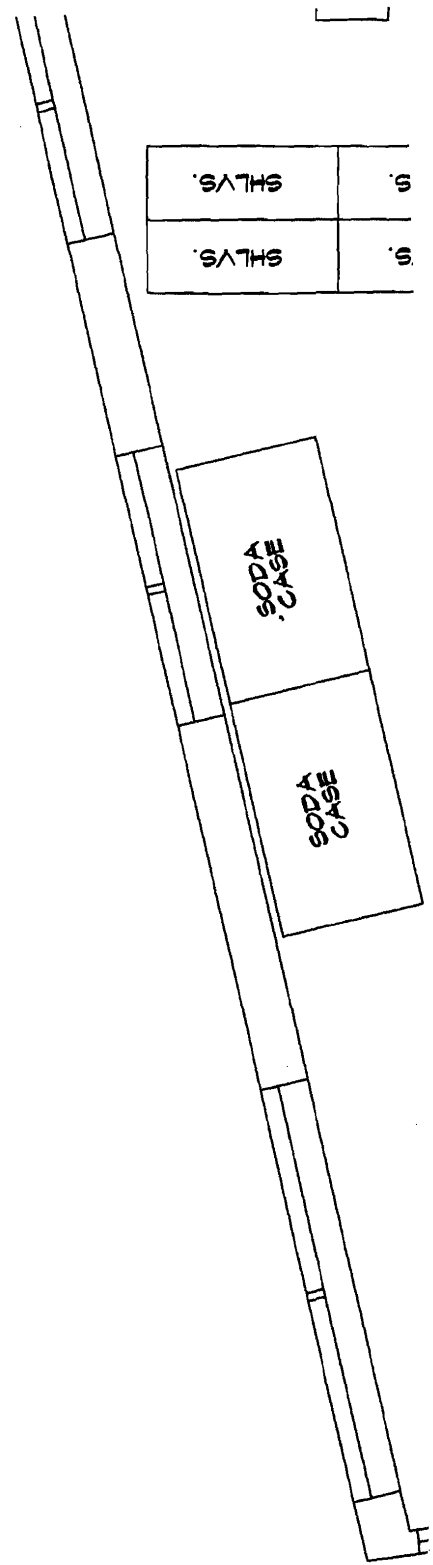
Deli Service Area

Adjacent Retail Space

FLOOR PLAN

SCALE: 1/4" = 1'-0"

S	S
S	S



Waiting Area

(A)
(AI)

SECTION @ DELI EXHAUST HOOD

SCALE: 1/2"=1'-0"

MECHANICAL SUPPLIER DESIGN INFO:

RESTAURANT EQUIPMENT SERVICE OF MAINE
ERIC A. TAYLOR
75 YORK ST.
PORTLAND, MAINE
TEL: 1-800-439-7511

ALL EQUIPMENT INSTALLATION SHALL MEET ALL REQUIRED STATE & LOCAL REQUIRED CODES.

9/6/10 spoke with MATT. Taylor revised plans to go on less seats to maintain retail use

LIGHTED EXIST SIGN W/EMERGENCY LIGHTS

ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO THIS CLIENT BASED UPON INFORMATION PROVIDED BY THE CLIENT. OWNER SHALL ADHERE TO COMMON BUILDING PRACTICES & LOCAL, STATE & FEDERAL CODES. THIS DRAWING WAS NOT PREPARED BY A REGISTERED ARCHITECT, STRUCTURAL ENGINEER OR MECHANICAL ENGINEER. ALL CALCULATIONS, SIZES AND CODES SHALL BE APPROVED BY APPROPRIATE REGISTERED PROFESSIONALS, IF NOT, SHALL BE RESPONSIBILITY OF OWNER. ALL DIMENSIONS, SPECIFICATIONS, CONSTRUCTION TECHNIQUES AND OMISSIONS SHALL BE REVIEWED BY CLIENT/CONTRACTOR OR REGISTERED PROFESSIONAL BEFORE CONSTRUCTION BEGINS. THE OWNER, CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION DEFECTS OR CHANGES AND/OR REVISIONS TO PLAN.

*retail less than 2000 sq ft
No parking required*

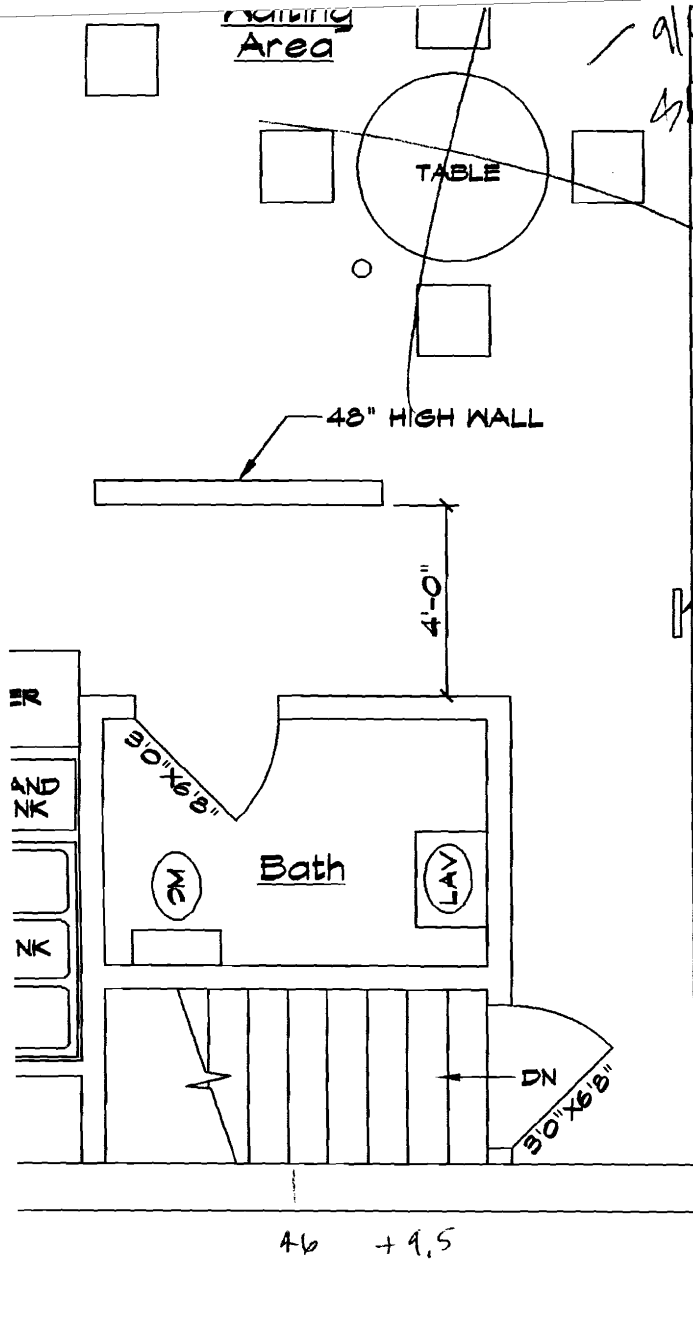
AMERI HALAAL MARKET
269 ST. JOHN ST.

FLR. PLAN & MECHANICAL SEC'

SCALE: AS NOTED

DATE: 09-04-02

AI



36'

DN

LAP FLASHING @ ROOF CURB
(FULLY ADHERE TO ROOF &
CURB) TYP.

EXIST. ROOF FRAMING

EXIST. MEMBRANE ROOFING

UPBLAST RATED
EXHAUST FAN
(ENGR. BY OTHERS)

MTL. VENTED
HOOD CURBS
(ENGR. BY OTHERS)

12"X12"X18 GA.
WELDED B.I. DUCT
(PER MECH. SUPPLIER DESIGN)

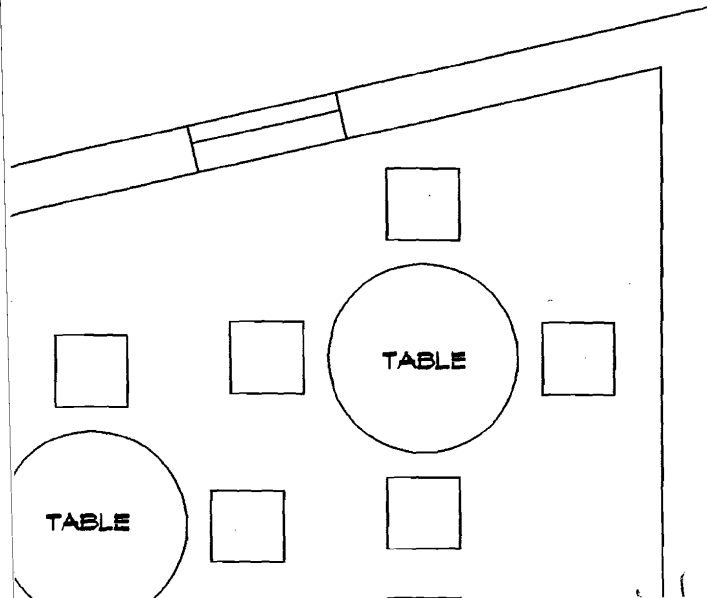
6" MIN.

0" CLEARANCE FIRETEMP DUCT INSUL
3" THICK
(PER MECH. SUPPLIER DESIGN)

SS. KITCHEN HOOD W/FILTERS
(HUNG BY OWNER)

9'-0" EXIST.

EXISTING FIN. FLR.



DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 020986

This is to certify that Tran Monica R & Don V Jts Restaurant Department of Main
has permission to ~~_____~~ ALTERATIONS - COMM
AT 269 St John St 064 D001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification inspection must be given and written permission procured before this building or part thereof is altered or closed-in. HOURS NOTICE IS REQUIRED.

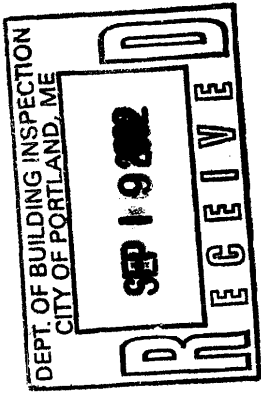
A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name

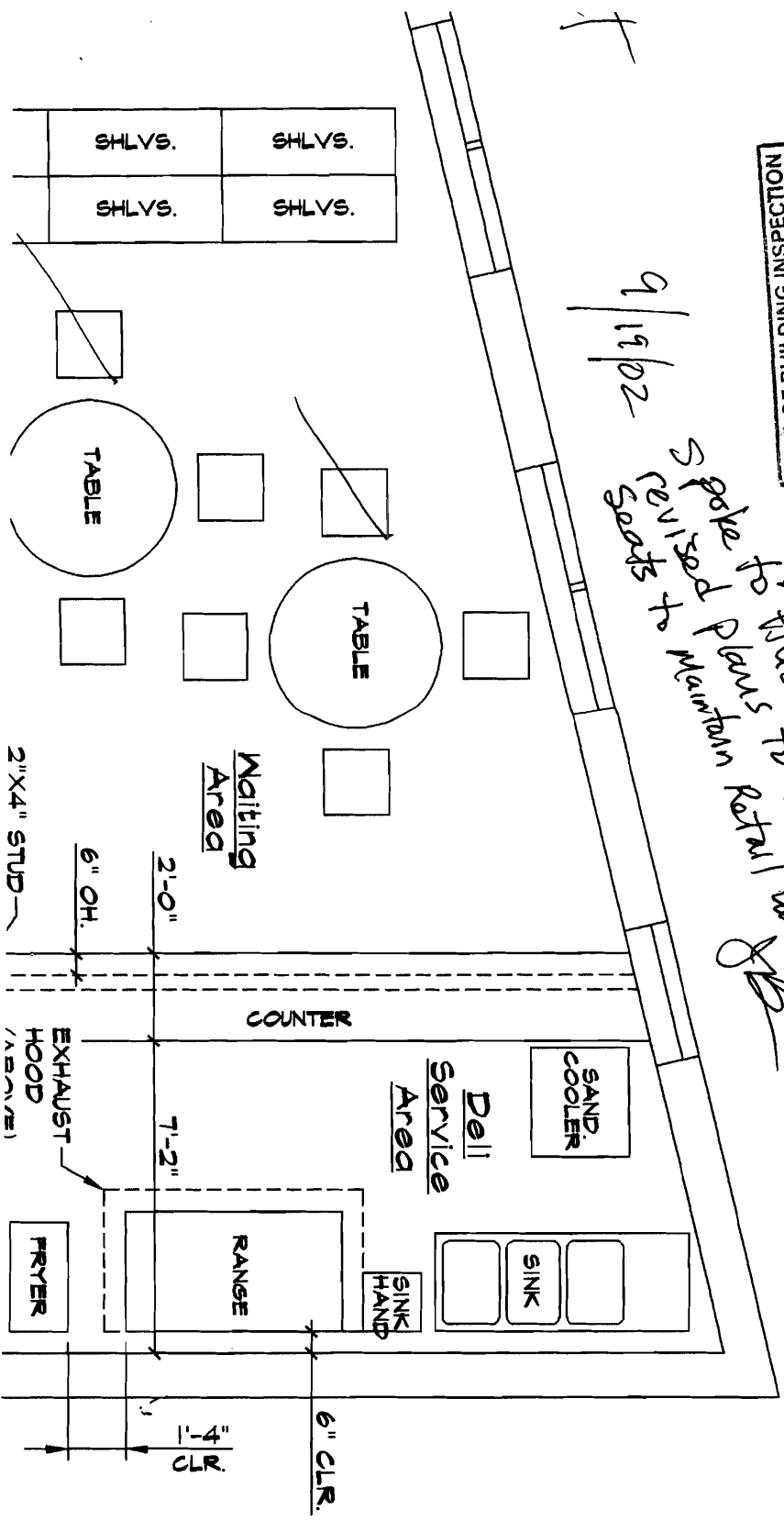
[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

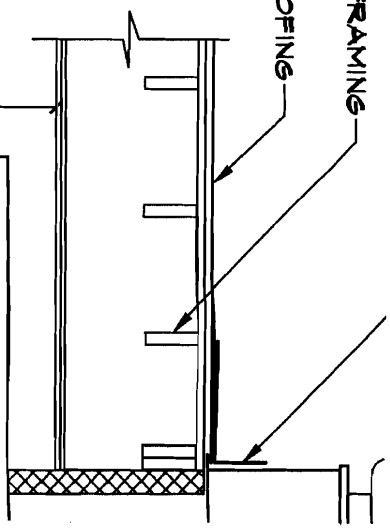


9/19/02

Abdigan
 gove to Hrussein 9/01/02
 S revised Plans to maintain retail use
 seats



EXIST. ROOF FRAMING
 EXIST. MEMBRANE ROOFING

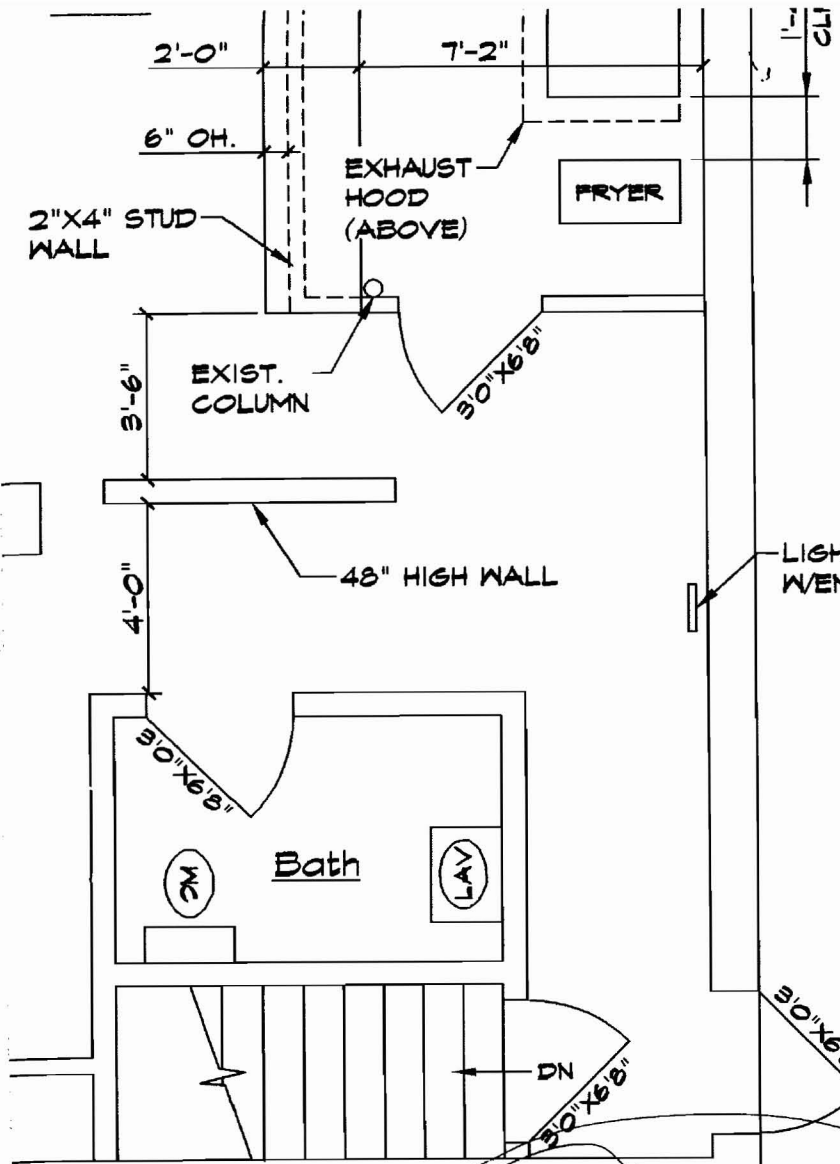


9'-0" EXIST.

SECTION A-A
 SCALE: 1/2"

MECHANICAL SUPPLIER
 RESTAURANT EQUIP
 ERIC A. TAYLOR

(A) SECTION @ DELI EXHAUST HOOD
 (A1) SCALE: 1/2"=1'-0"



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Retail less than 2000 # No parking required

Revised Plans

RECEIVED
 SEP 19 2002

AME I HALAAL MARKET RE: 269 ST. JOHN ST.	
FLR. PLAN & MECHANICAL SEC	
SCALE: AS NOTED	A
DATE: '09-04-02	

LAP FLASHING @ ROOF CURB
(FULLY ADHERE TO ROOF &
CURB) TYP.

EXIST. ROOF FRAMING

EXIST. MEMBRANE ROOFING

UPBLAST RATED
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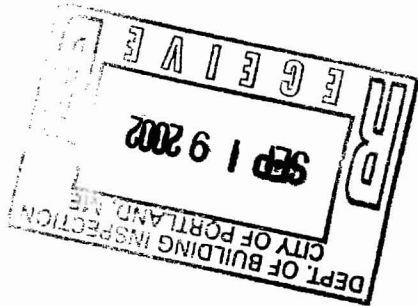
6" MIN.

"0" CLEARANCE FIRETEMP DUCT IN
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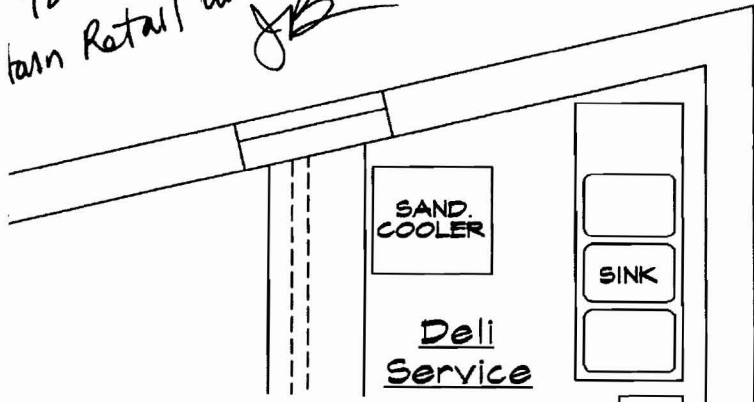
SS. KITCHEN HOOD W/FILT
(HUNG BY OWNER)

9'-0" EXIST.

EXISTING FIN. FLR.



2in
to 9 or less
turn Retail use
JB



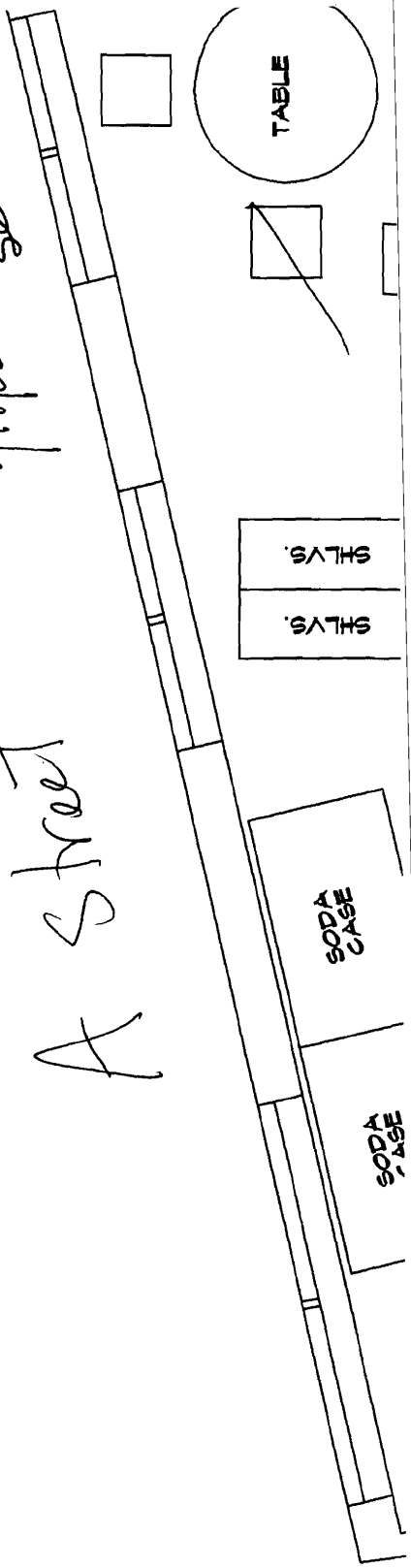
Additional
Sketch
to Plans
Spoke Plans
seats to Main
Seats

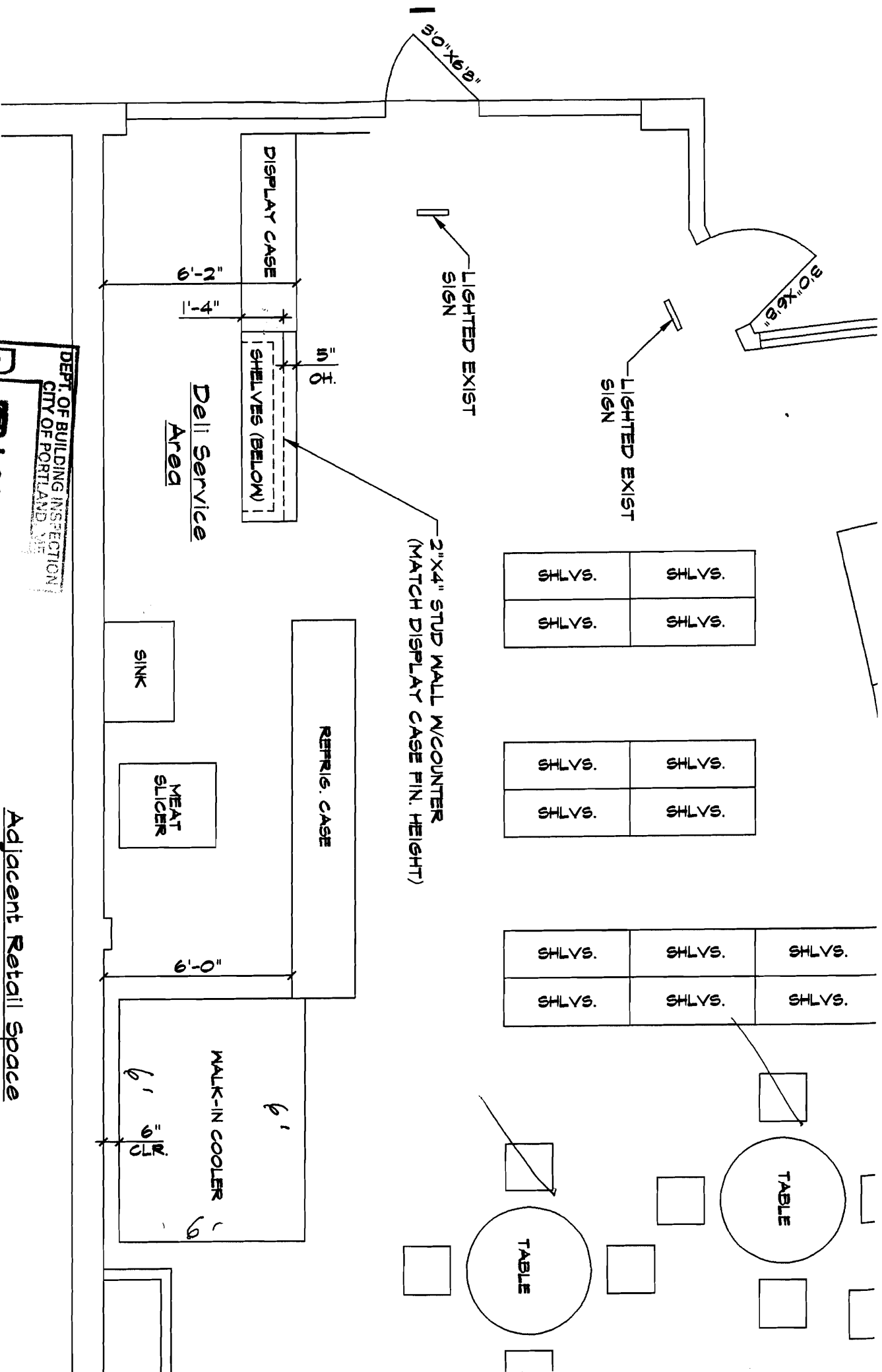
RECEIVED
SEP 19 2002
DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

RECEIVED
SEP 19 2002
DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

9/19/02

A Street





DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
SEP 19 2002
RECEIVE

Adjacent Retail Space

FLOOR PLAN

SCALE: 1/4" = 1'-0"