

SALES & LEASE OWNERSHIP For Less!

NOTICE

THE DESIGN AND LAYOUT OF THE DRAWINGS ARE CONSISTENT OF ALL CURRENT AARON'S SALES AND LEASE OWNERSHIP STORES. THE DRAWINGS HAVE BEEN UPDATED WITH THE MOST CURRENT INTERIOR SPECIFICATIONS. NO DEVIATION FROM THESE PRINTS WILL BE PERMITTED WITHOUT WRITTEN CONSENT.

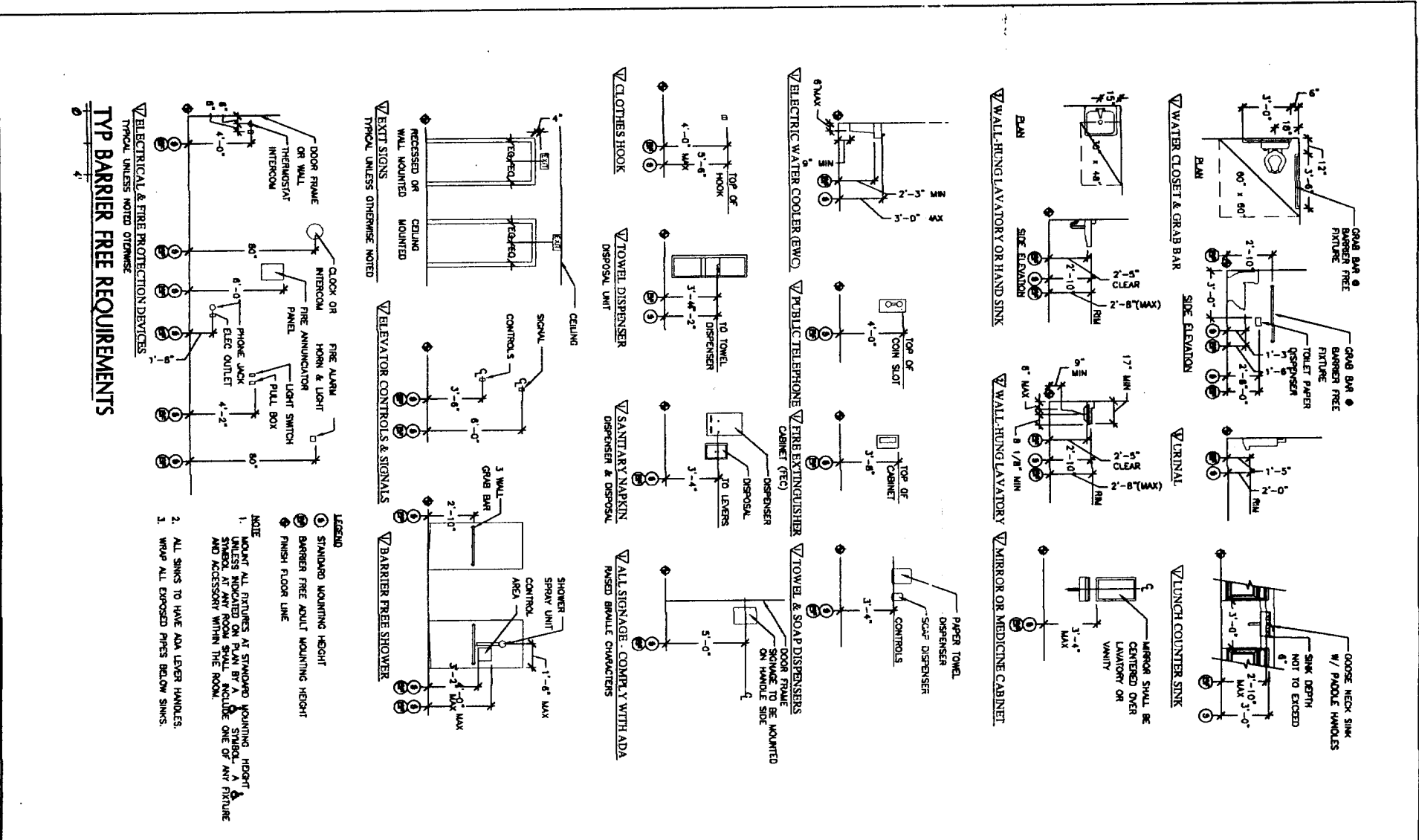
INDEX

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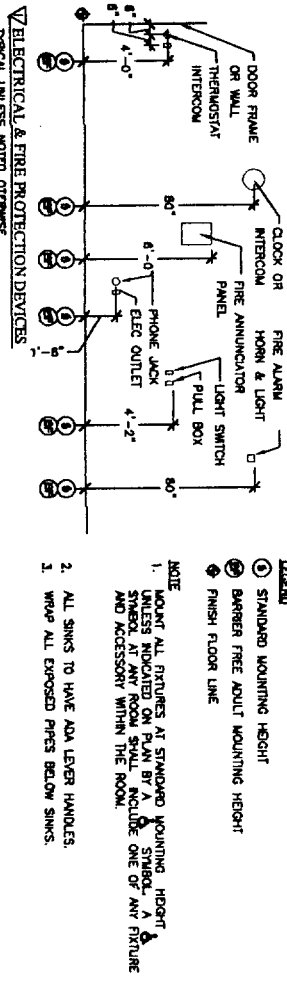
GENERAL NOTES

1. ALL MATERIALS, COMPONENTS, AND WORK ARE NEW AND SHALL BE PROVIDED IN THIS CONTRACT BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
2. ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT.
3. IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC. TO OBTAIN A COMPLETE JOB TO INDUSTRY STANDARD IN A PROFESSIONAL, WORKMANLIKE MANNER.
4. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCY(IES) IMMEDIATELY TO THE ARCHITECT.
5. AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A NEAT AND CLEAN MANNER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS WHICH ARE REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK AND FOR PAYING ALL FEES, HOOK UP CHARGES, ETC. (STATE FIRE MARSHAL PERMIT BY OWNER.)
7. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER FOR THE SEQUENCE AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. AREAS FOR STAGING ETC. MUST BE APPROVED BY THE OWNER.
8. THE CONTRACTOR SHALL DISPOSE OF AND / OR RECYCLE ANY CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY THE STATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DISPOSAL PERMITS WHICH ARE REQUIRED. CONSTRUCTION DEBRIS FROM THE PROJECT SITE SHALL BE IMPOSED OF IN A STATE APPROVED LANDFILL.
9. ROOM NUMBERS ON THE DRAWING ARE FOR COORDINATION PURPOSES AND DO NOT NECESSARILY CORRESPOND TO ACTUAL ROOM NUMBERS.
10. DUTY OF COOPERATION: RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, THE CONTRACTOR, THE ARCHITECT AND THE CONSULTANTS. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERECT AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO NOTIFY THE OWNER COMPOUNDS MISUNDERSTANDING AND MAY INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE OWNER SHALL RELIEVE THE OWNER AND THE ARCHITECT FROM RESPONSIBILITY FROM ALL COSTS.
11. THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
12. ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL PAYMENT.
13. ALL SIGNAGE IN PUBLIC AREAS SHALL HAVE RAISED BRAILLE CHARACTERS.
14. ALL PIPES / CONDUIT SHOULD BE CONCEALED EXCEPT IN UNFINISHED LOCATIONS UNLESS NOTE OTHERWISE.
15. DO NOT SCALE DRAWINGS.
16. BUILDING TO BE FULLY SPRINKLED PER NFPA.

<p>DESIGN</p> <p>PORT CITY</p>	<p>REGISTERED</p> <p>MARK</p> <p>STATE OF MAINE</p> <p>NO. 1638</p>	<p>Aaron's Furniture</p> <p>Union Station Plaza</p> <p>Portland, Maine</p>	<p>COPYRIGHT</p> <p>Name or registration of the owner of the document is not shown.</p> <p>43 DEERING STREET PORTLAND, ME 04101 PHONE: 207.751.9600 FAX: 207.751.9606 COPYRIGHT © 2004 AARON'S</p>
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TYP BARRIER FREE REQUIREMENTS

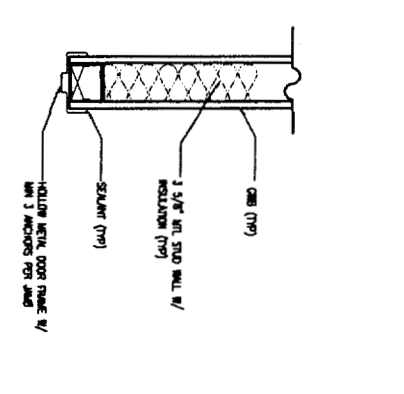


COVER SHEET

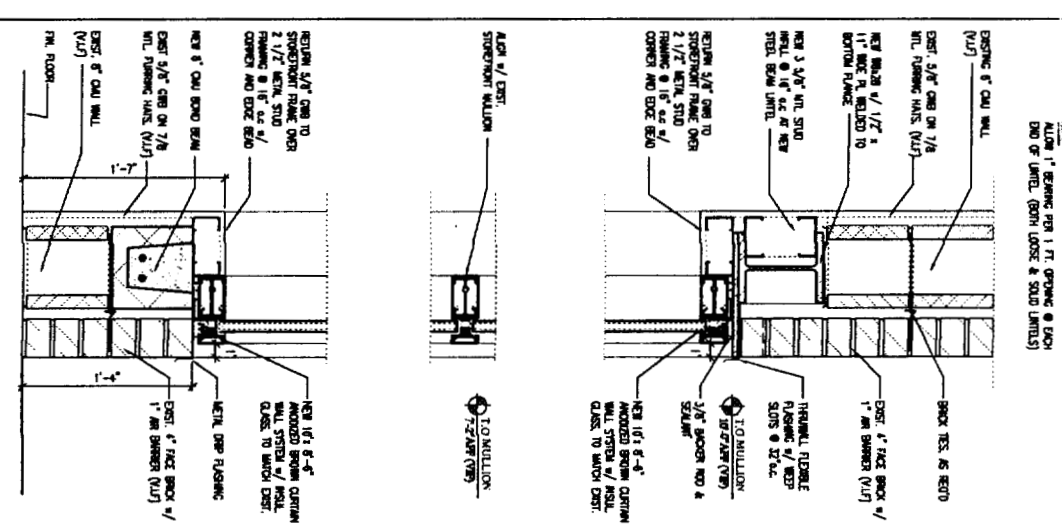
A-1

ISSUE DATE	
PRELIM.	09/29/04
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CDs	
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PRINT	10/15/04

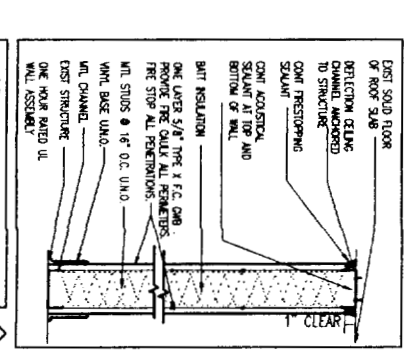
JOB: 04216



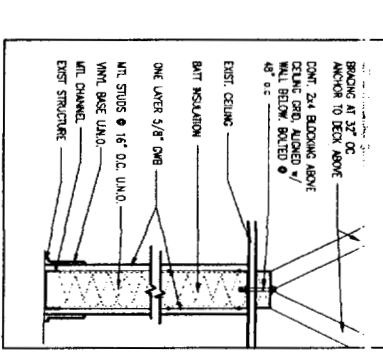
TYP. INTR. MTL. DOOR HEAD DETAIL.
 SCALE: 1/2" = 1'-0"



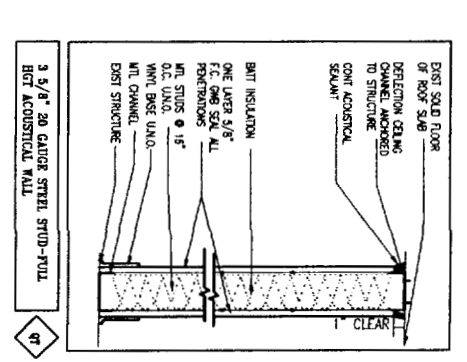
1 INTR. METAL DOOR FRAME
 SCALE: 1/2" = 1'-0"



3 5/8" 20 GAUGE STEEL STUD-FULL SIZ (ONE END BAYED) TO DESIGN U425 SH.



3 5/8" 20 GAUGE STEEL STUD NOT BAYED



3 5/8" 20 GAUGE STEEL STUD-FULL BAY ACROUSTICAL WALL

DOOR AND FRAME SCHEDULE

REFER TO DWG A-1 FOR DOOR LOCATIONS

DOOR NO.	LOCATION	DOOR		FRAME		REMARKS
		FIN.	HT.	FIN.	HT.	
11	FRONT DINING REST	1	7'-4"	1	7'-4"	404 LSP. HALL CL. GL. V4
12	FRONT DINING ROOM	1	7'-4"	1	7'-4"	404 LSP. HALL CL. GL. V4
13	REAR DINING	1	7'-4"	1	7'-4"	404 LSP. HALL CL. GL. V4
14	REAR REST	1	7'-4"	1	7'-4"	404 LSP. HALL CL. GL. V4
15	OFFICE 1	1	7'-4"	1	7'-4"	404 LSP. HALL CL. GL. V4
16	OFFICE 2	1	7'-4"	1	7'-4"	404 LSP. HALL CL. GL. V4
17	APPLIANCE	1	7'-4"	1	7'-4"	404 LSP. HALL CL. GL. V4
18	TOILET	1	7'-4"	1	7'-4"	404 LSP. HALL CL. GL. V4
19	SECURITY	1	7'-4"	1	7'-4"	404 LSP. HALL CL. GL. V4

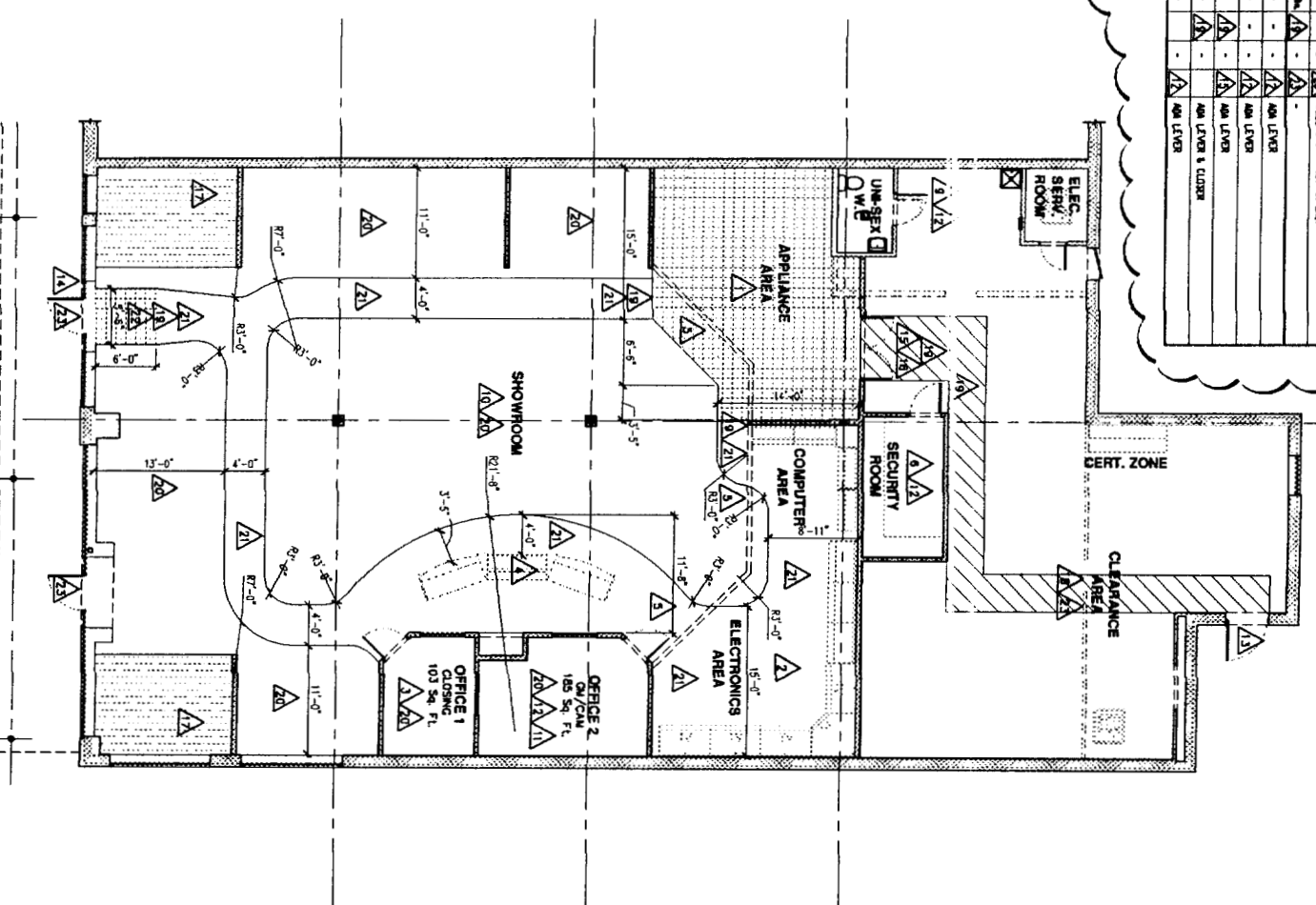
NOTES:
 -ALL HARDWARE TO HAVE POLISHED BRASS FINISH @ INTERIOR DOORS.
 ABBREVIATIONS:
 CL = CLOSER
 CS = COUNTER STRIPPING
 DC = DOUBLE GLASS
 SC = SOLID CORE
 HC = HOLLOW CORE
 KD = KNOCK DOWN METL.
 GL = GLASS
 TEMP = TEMPERED GLASS

LEGEND

	DEMOLITION
	EXIST. WALL (EXTERIOR)
	EXIST. WALL (INTERIOR)
	NEW WALL (INTERIOR)
	1 HR. RATED WALL
	SOFFIT

SQUARE FOOTAGE CHART

CONCRETE AREA	500 SQ. FT.
SHOWROOM	4,472 SQ. FT.
CLEARANCE AREA	1,598 SQ. FT.
TOTAL COVERAGE	4,324 SQ. FT.
BUILDING TOTAL	5,083 SQ. FT.



1 ARCHITECTURAL FINISH PLAN
 SCALE: 1/8" = 1'-0"

NOTES:
 REFER TO DWG A-2 FOR FINISH LEGEND

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 43 DEERING STREET
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 PHONE: 207.761.9500
 FAX: 207.761.9595
 email: info@portcitydesign.com

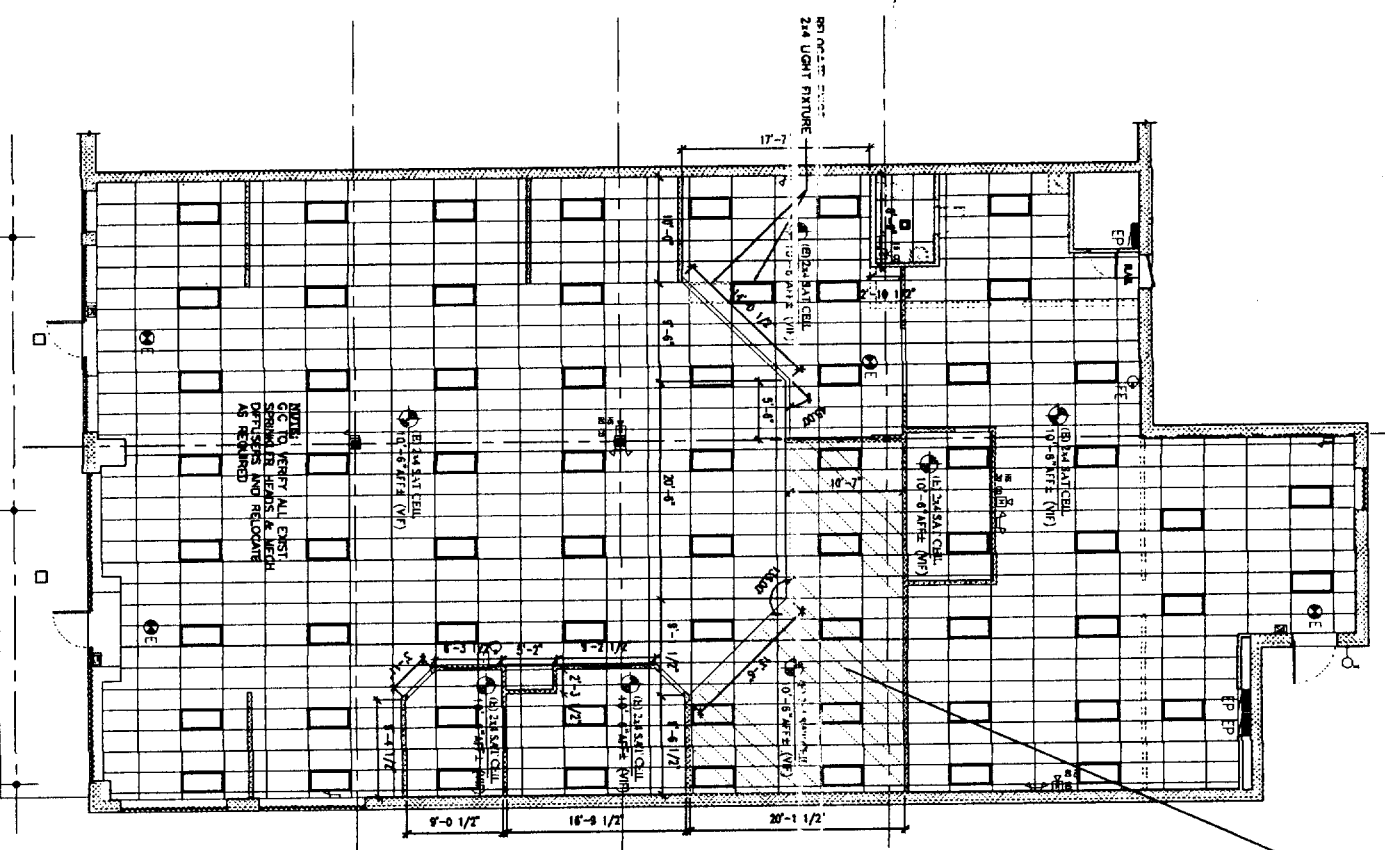


Aaron's Furniture
 Union Station Plaza
 Portland, Maine

JOB: 04216

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PRINT	11/02/04

ARCHITECTURAL
 FINISH PLAN
 & DETAILS
A-3



2 REFLECTED CEILING PLAN
 SCALE: 1/8" = 1'-0"
 NOTE: THIS PLAN IS FOR REPRESENTATION PURPOSES ONLY. FIELD VERIFY ALL WORK BEFORE STARTING CONSTRUCTION. ALL WORK IS TO CONFORM TO LOCAL, STATE AND FEDERAL REQUIREMENTS.

SQUARE FOOTAGE CHART

COVERED AREA	SQUARE FEET
SHOWROOM	4,404 SQ. FT.
CLEARANCE AREA	1,528 SQ. FT.
TOTAL COVERAGE	4,384 SQ. FT.
BUILDING TOTAL	8,068 SQ. FT.

LEGEND

DEMOLITION	----
EXIST. WALL (EXTERIOR)	=====
EXIST. WALL (INTERIOR)	=====
NEW WALL (INTERIOR)	=====
1 HR. RATED WALL	=====
SOFFIT	=====

APPLIANCE AREA

1) FOR REMODEL, BUILD OUT OF EXISTING CONSTRUCTION. USE EXISTING FIXTURES OR REPLACE WITH EQUIVALENT FIXTURES AS REQUIRED. REFER TO (L.B.C.) FOR YOUR AREA BEFORE STARTING ANY CONSTRUCTION.

2) SHOWROOM LIGHTING ONLY, SHOULD EQUAL ONE (1) 2' x 4' LIGHT FIXTURE PER ONE (1) HUNDRED SQUARE FEET.

3) USE EXISTING FIXTURES OR REPLACE WITH EQUIVALENT FIXTURES AS REQUIRED. REFER TO (L.B.C.) FOR YOUR AREA BEFORE STARTING ANY CONSTRUCTION.

COMPUTER AREA

1) LIGHTING IN COMPUTER AREA SHOULD EQUAL TWO (2) LIGHT FIXTURES ONLY. REFER TO THE PLAN FOR THE LOCATION OF THE LIGHT FIXTURES. CONSTRUCTION BEFORE STARTING ANY WORK.

2) FOR REMODEL, BUILD OUT OF EXISTING CONSTRUCTION. USE EXISTING FIXTURES OR REPLACE WITH EQUIVALENT FIXTURES AS REQUIRED. REFER TO (L.B.C.) FOR YOUR AREA BEFORE STARTING ANY CONSTRUCTION.

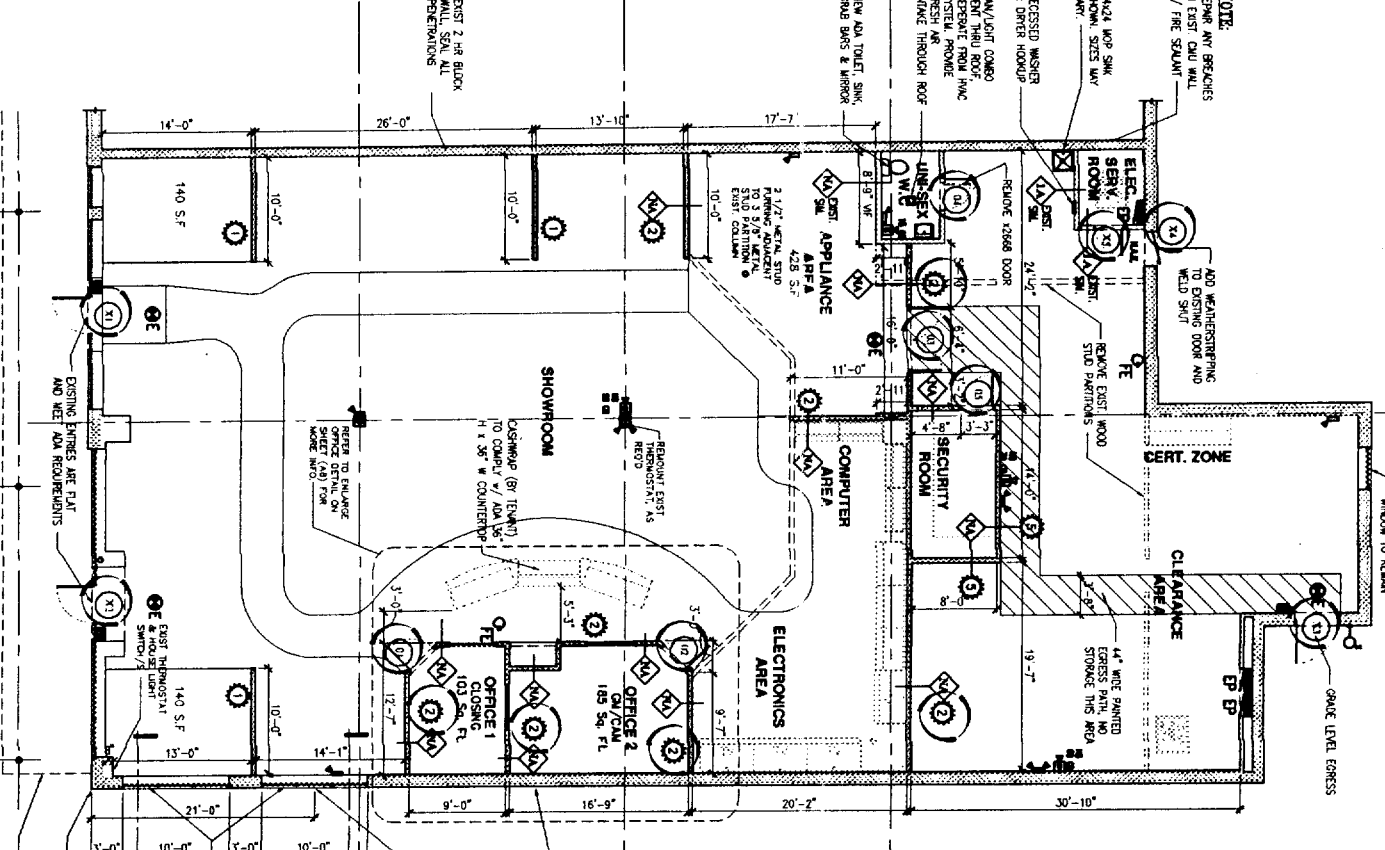
3) USE EXISTING FIXTURES OR REPLACE WITH EQUIVALENT FIXTURES AS REQUIRED. REFER TO (L.B.C.) FOR YOUR AREA BEFORE STARTING ANY CONSTRUCTION.

ELECTRONICS AREA

1) FOR REMODEL, BUILD OUT OF EXISTING CONSTRUCTION. USE EXISTING FIXTURES OR REPLACE WITH EQUIVALENT FIXTURES AS REQUIRED. REFER TO (L.B.C.) FOR YOUR AREA BEFORE STARTING ANY CONSTRUCTION.

2) FOR REMODEL, BUILD OUT OF EXISTING CONSTRUCTION. USE EXISTING FIXTURES OR REPLACE WITH EQUIVALENT FIXTURES AS REQUIRED. REFER TO (L.B.C.) FOR YOUR AREA BEFORE STARTING ANY CONSTRUCTION.

3) USE EXISTING FIXTURES OR REPLACE WITH EQUIVALENT FIXTURES AS REQUIRED. REFER TO (L.B.C.) FOR YOUR AREA BEFORE STARTING ANY CONSTRUCTION.



1 ARCHITECTURAL LAYOUT PLAN
 SCALE: 1/8" = 1'-0"
 NOTE: 1. ALL DIMENSIONS SHOWN ARE FINISH WALL UNLESS NOTED OTHERWISE. FIELD VERIFY ALL DIMENSIONS BEFORE STARTING CONSTRUCTION. ALL INFORMATION SHOWN WAS SUPPLIED BY OTHERS. 2. REFER TO WALL TYPES ON DWG A-3.

FIRE PROTECTION LEGEND

○	FIRE EXTINGUISHER
○	EXIT LIGHT
○	SMOKE ONLY WITH CAMELLA MARKING AS NOTED
○	HIGH SMOKE WITH CAMELLA MARKING AS NOTED
○	DUPL. EMERGENCY LIGHT
○	SINGLE EMERGENCY LIGHT
○	HEAT DETECTOR (COULM)
○	FIRE ALARM NOTION CONTROL PANEL
○	FALL SIGNAGE
○	EXTENSION EMERGENCY LIGHT
○	LINE NOT IN SPIN SPIN W/ RATED BRATTLE
○	VAV
○	VAV ACCESSIBLE

NOTE: REFER TO THE CONSTRUCTION SPECIFICATIONS FOR THE LOCATION OF THE FIRE EXTINGUISHERS AND EXIT LIGHTS. ALL INFORMATION SHOWN WAS SUPPLIED BY OTHERS.

DESIGN

43 DEERING STREET
 PORTLAND, ME 04101
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 aaron@aaronsfurniture.com

PORT CITY

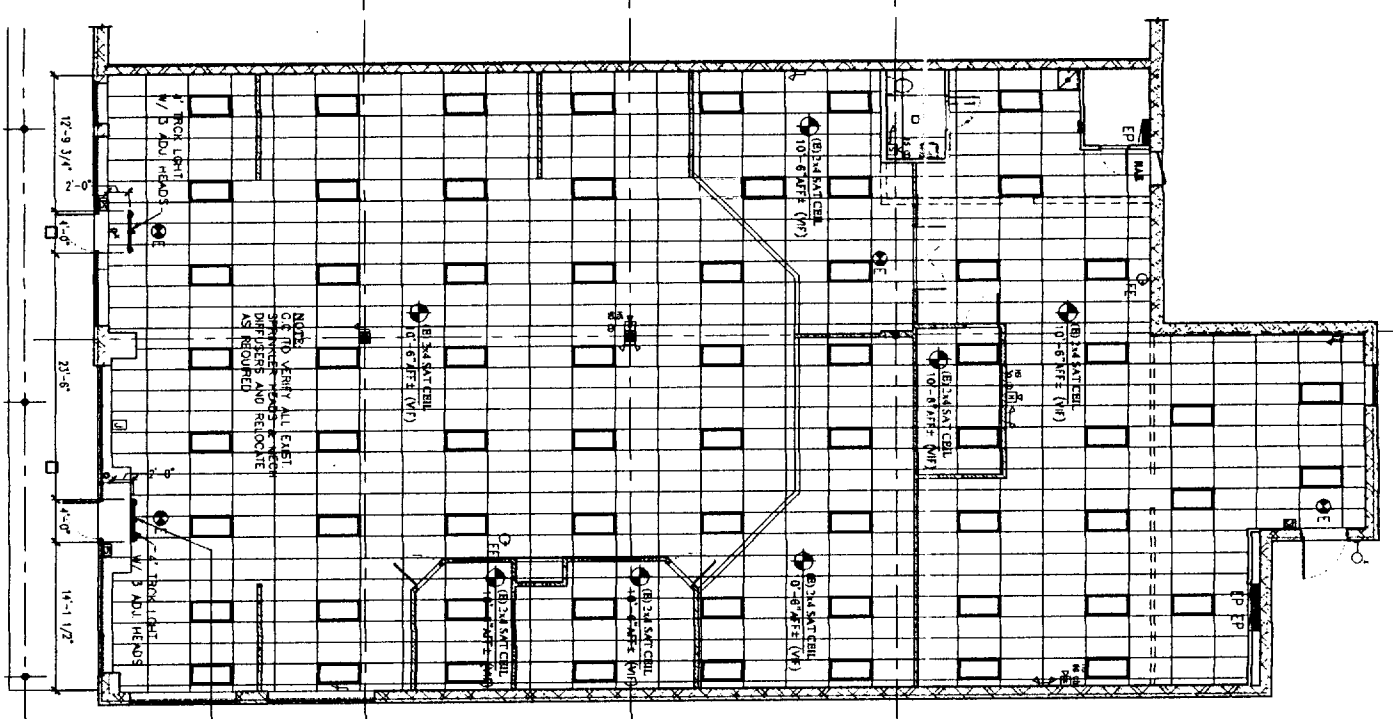
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 Union Station Plaza
 Portland, Maine

JOB: 04216

ISSUE DATE	DESCRIPTION
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-	REV. 2
11/02/04	PRINT

ARCHITECTURAL
 UNION STATION
 PLAN

A-4



2 LIGHTING PLAN
 SCALE: 1/8" = 1'-0"
 ISSUE DATE: 09/29/04
 PREPARED BY: [Name]
 CHECKED BY: [Name]
 REV. 1: [Date]
 REV. 2: [Date]
 PRINT: 10/15/04

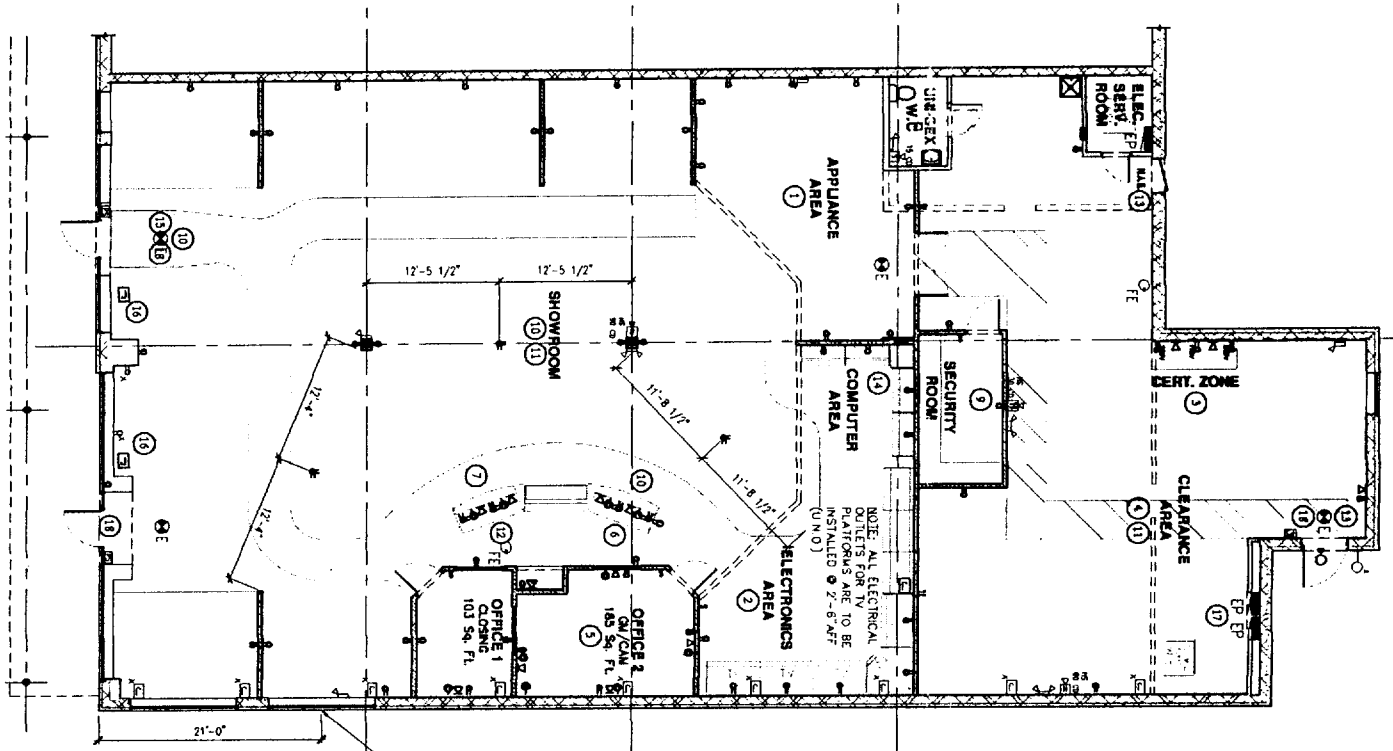
LEGEND

DEMOITION	---
EXIST WALL (EXTERIOR)	=====
EXIST WALL (INTERIOR)	=====
NEW WALL (EXTERIOR)	=====
NEW WALL (INTERIOR)	=====
1 HR RATED WALL	=====
CEILING	=====

ELECTRICAL LEGEND

SYMBOLS	DESCRIPTION
[Symbol]	110V BIPOLAR OUTLET
[Symbol]	QUADRUPLE OUTLET
[Symbol]	220V DUPLEX OUTLET
[Symbol]	110V JUNCTION BOX
[Symbol]	TELEPHONE OUTLET
[Symbol]	DOOR BELL
[Symbol]	FLUORESCENT LIGHT
[Symbol]	LIGHT SWITCH
[Symbol]	COMPUTER OUTLET
[Symbol]	TV OUTLET
[Symbol]	PHONE & DATA JACK
[Symbol]	MUSIC JACK
[Symbol]	FAX JACK
[Symbol]	EMERGENCY LIGHT
[Symbol]	FIRE EXTINGUISHER
[Symbol]	EXIT SIGN
[Symbol]	LEVER
[Symbol]	DOOR
[Symbol]	ELECTRICAL KEY NOTE REFER TO SHEET A-1
[Symbol]	ELECTRICAL KEY NOTE REFER TO SHEET A-2

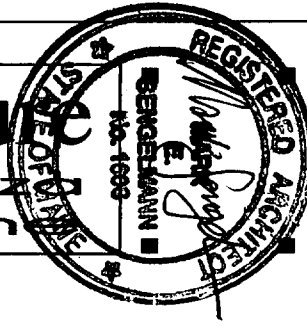
X = DENOTES EXISTING



1 PROPOSED AARON'S LAYOUT PLAN
 SCALE: 1/8" = 1'-0"
ELECTRICAL LAYOUT PLAN
 SCALE: 1/8" = 1'-0"
 ISSUE DATE: 09/29/04
 PREPARED BY: [Name]
 CHECKED BY: [Name]
 REV. 1: [Date]
 REV. 2: [Date]
 PRINT: 10/15/04

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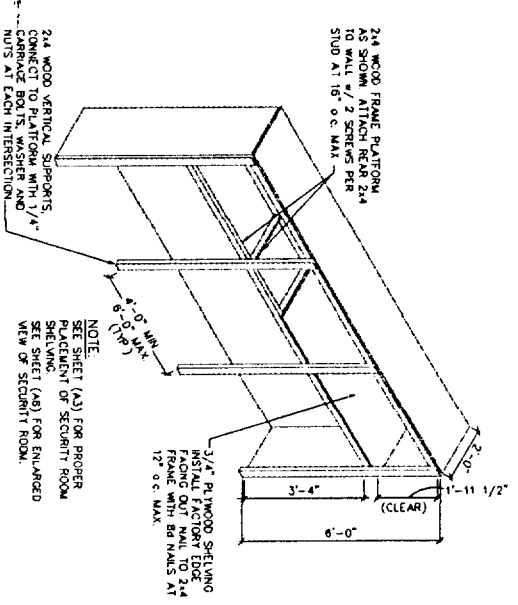


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 Union Station Plaza
 Portland, Maine

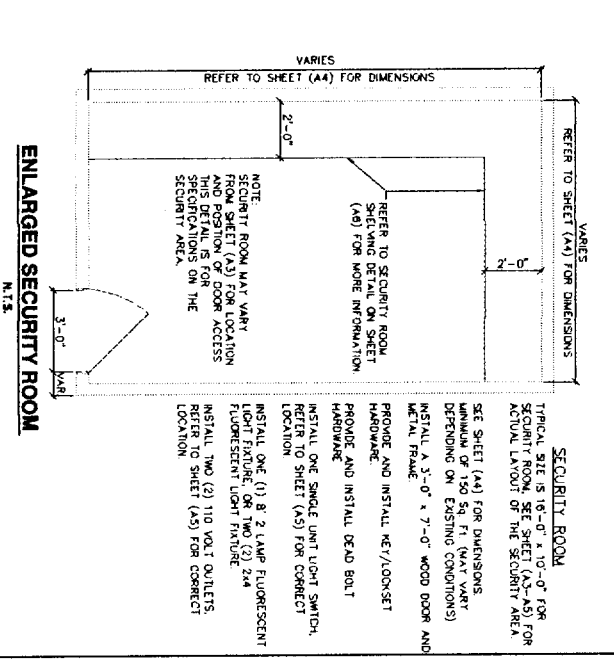
JOB: 04216

ISSUE DATE	09/29/04
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PRINT	10/15/04

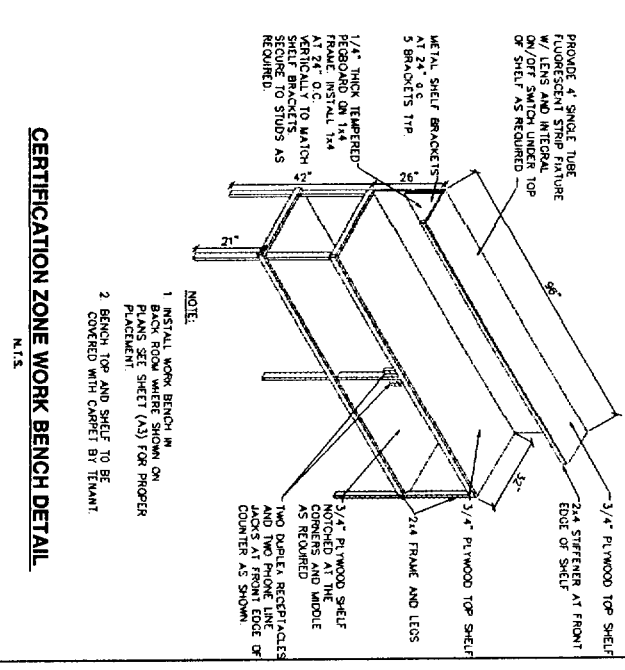
ELECTRICAL LAYOUT PLAN
A-5



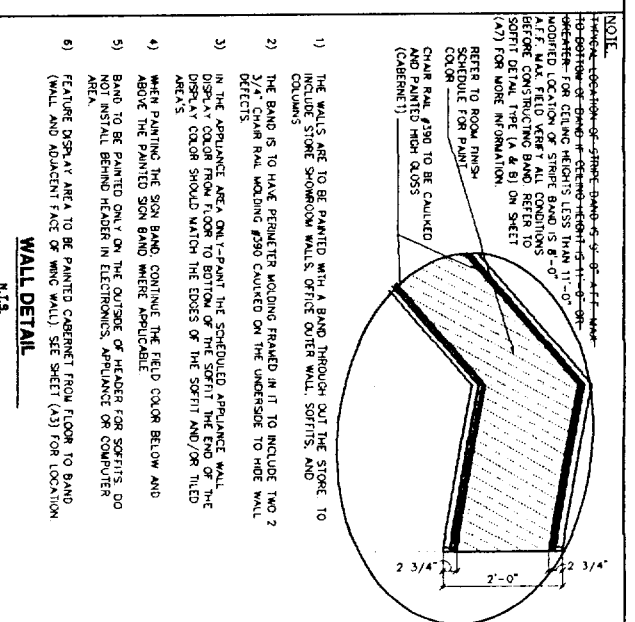
SECURITY ROOM SHELVING DETAIL
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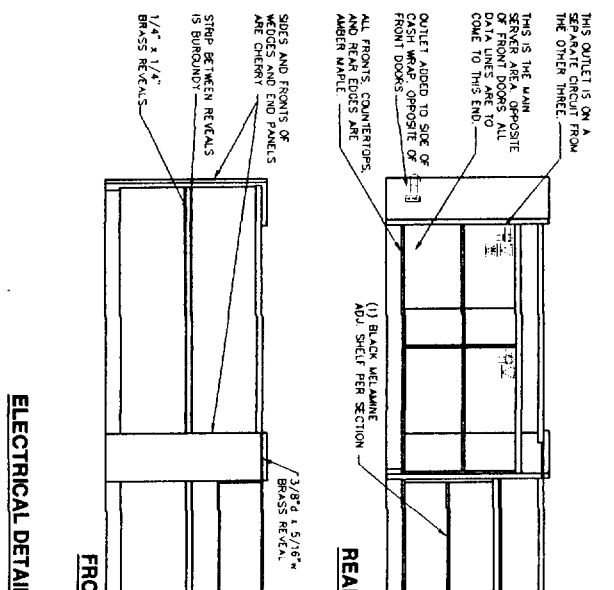
ENLARGED SECURITY ROOM
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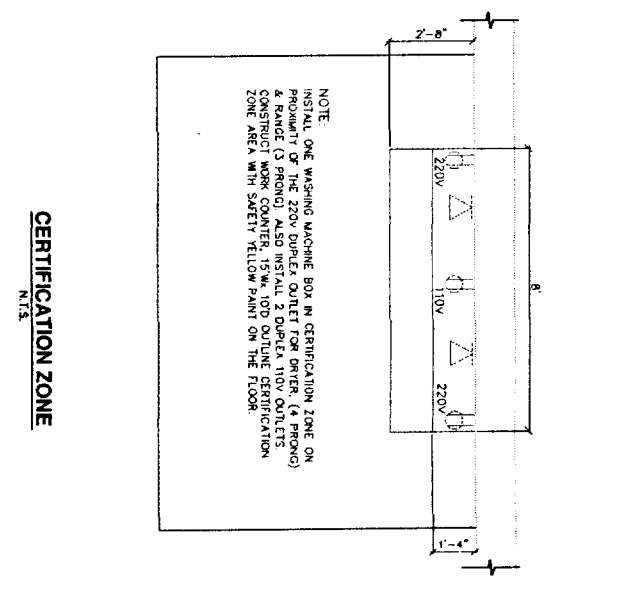
CERTIFICATION ZONE WORK BENCH DETAIL
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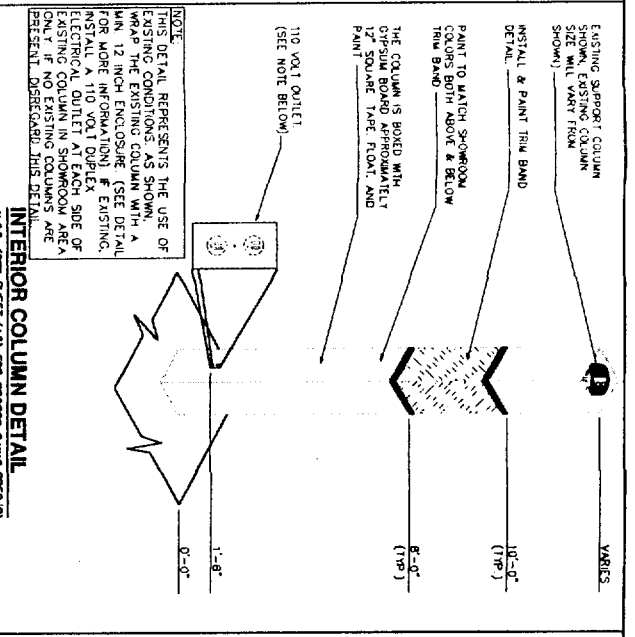
WALL DETAIL
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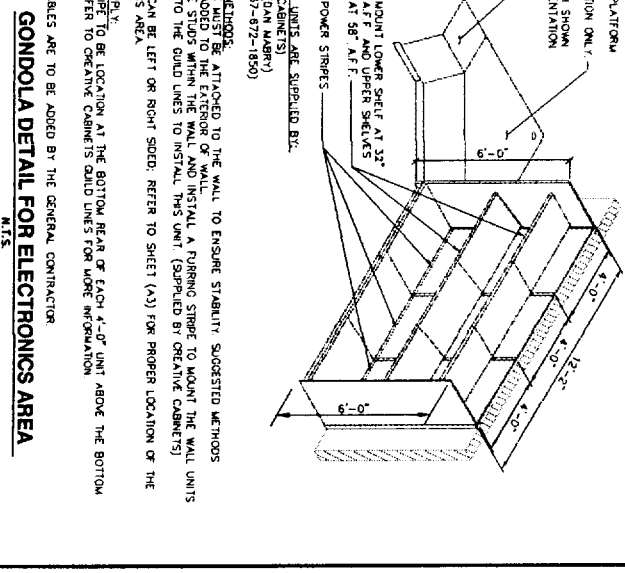
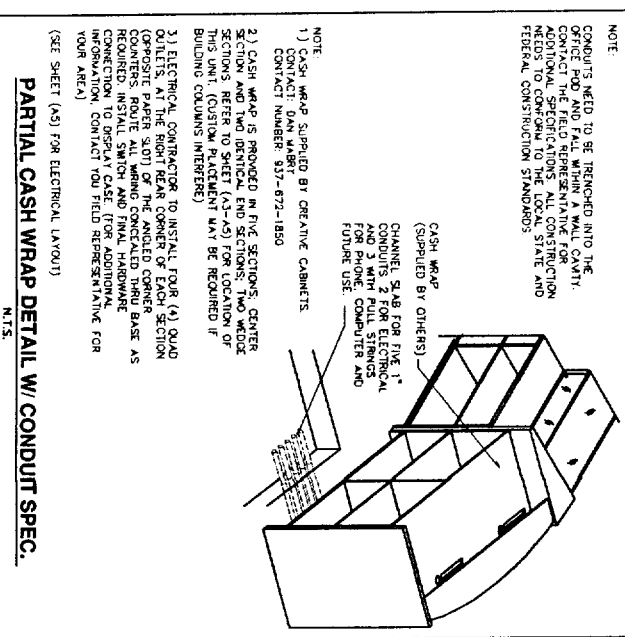
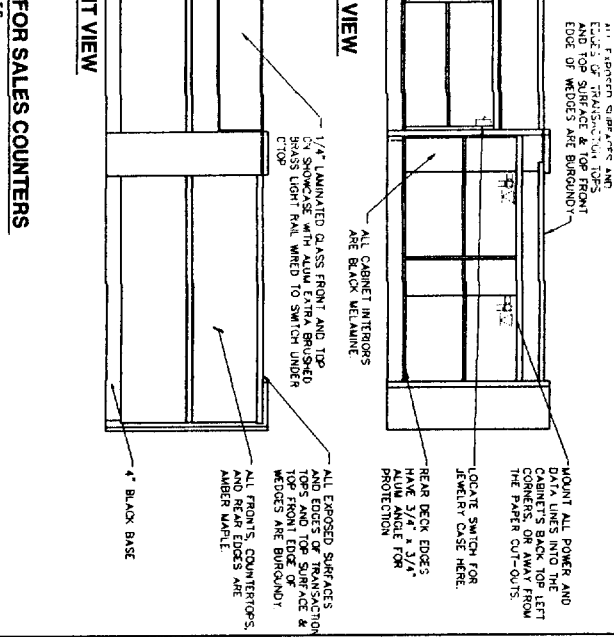
ELECTRICAL DETAIL FOR SALES COUNTERS
N.T.S.



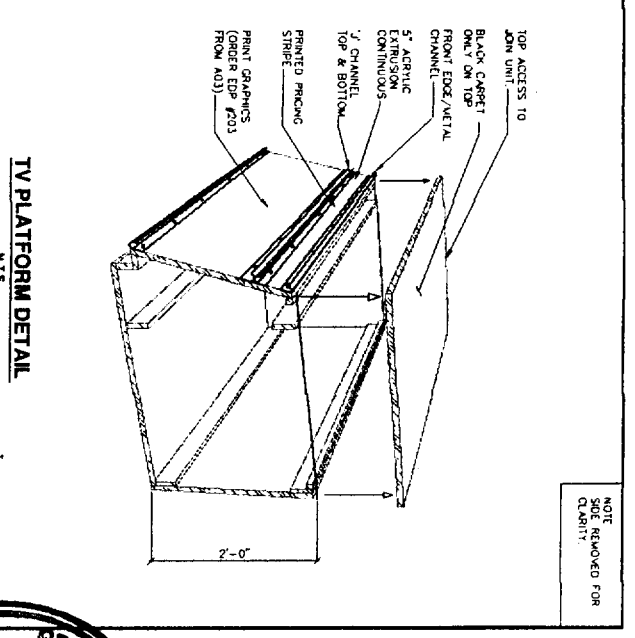
CERTIFICATION ZONE
N.T.S.



INTERIOR COLUMN DETAIL
N.T.S. (SEE SHEET (A3) FOR PROPER PAINT SPEC.)



CORNER TV PLATFORM DETAILS
N.T.S.



TV PLATFORM DETAIL
N.T.S.

DESIGN

413 DEERING STREET
 PORTLAND, ME 04101
 PHONE: 207 761 9900
 FAX: 207 761 9995

REGISTERED ARCHITECT

Matthew E. Bengelmann

NO. 1608

PORT CITY

Aaron's Furniture

Union Station Plaza
 Portland, Maine

ISSUE DATE

PRELIM 09/29/04

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CDs -

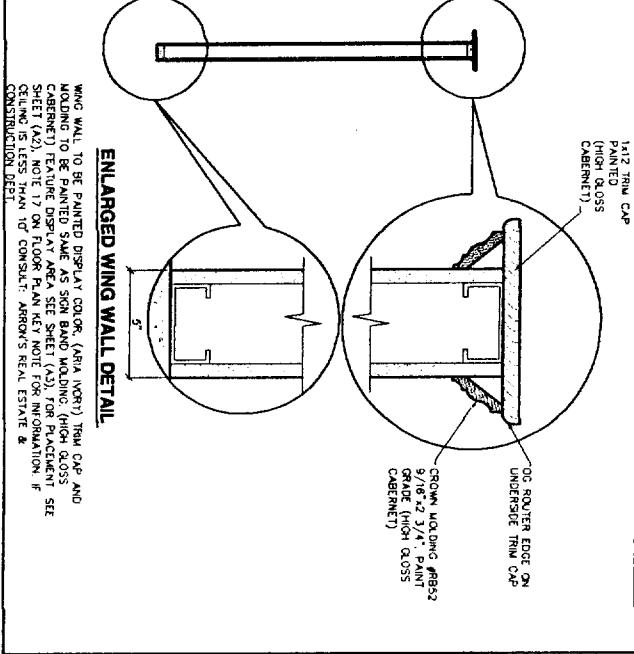
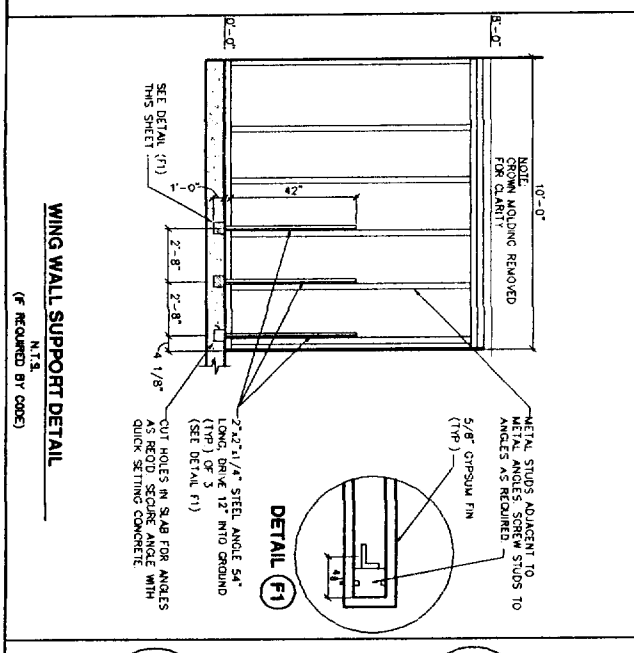
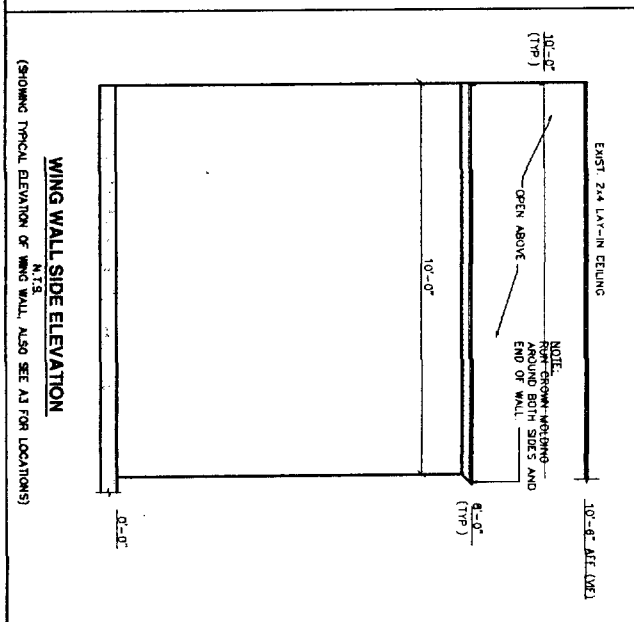
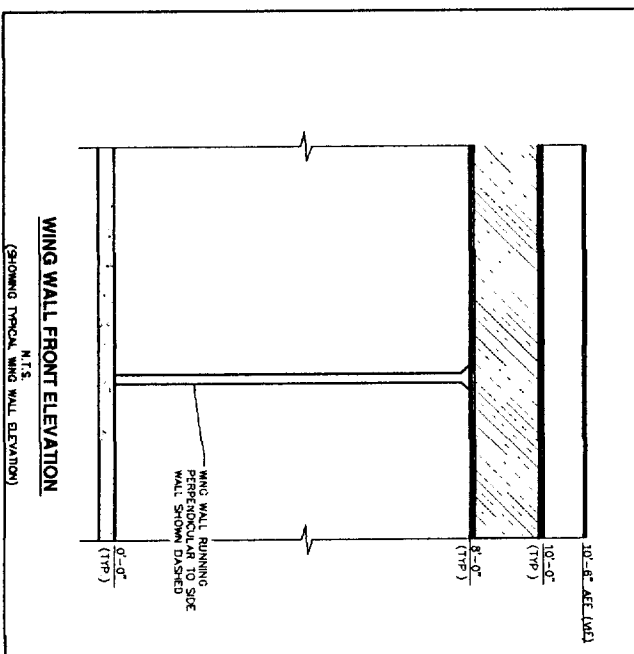
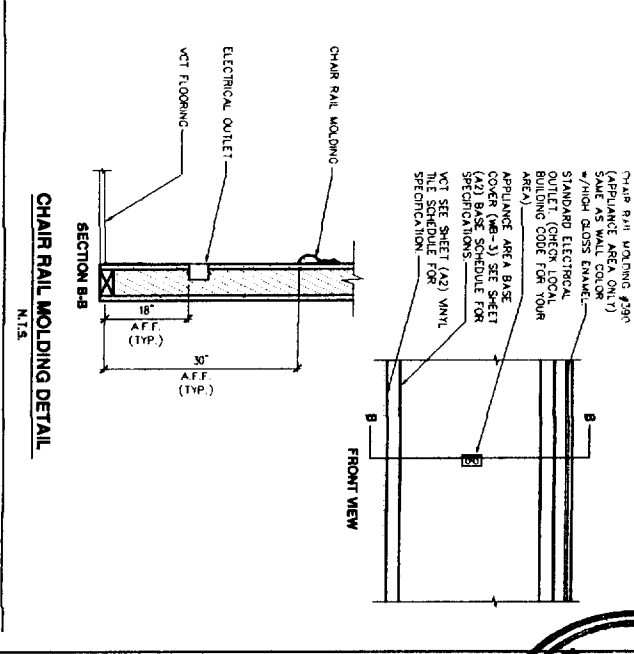
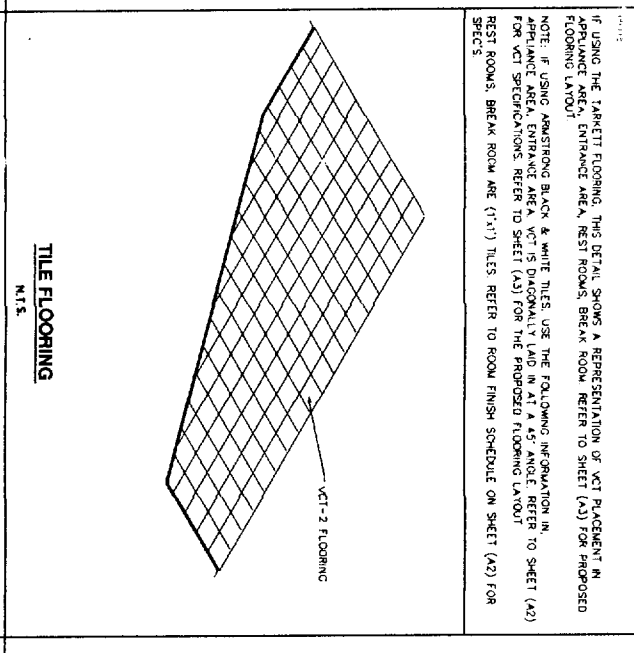
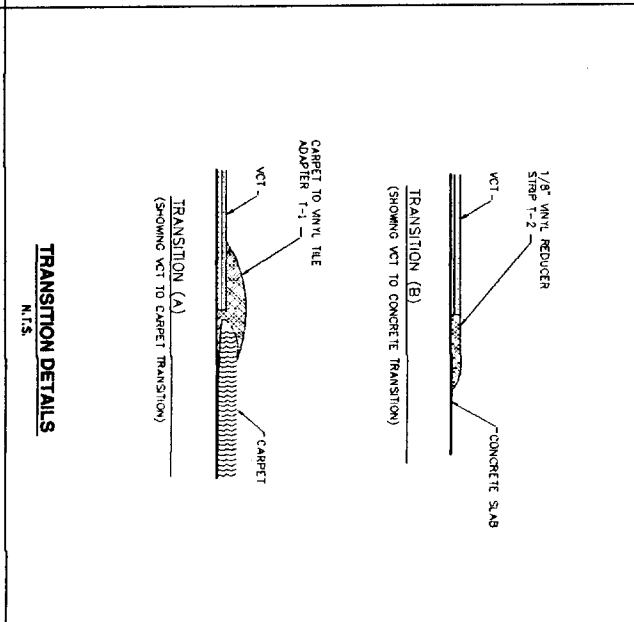
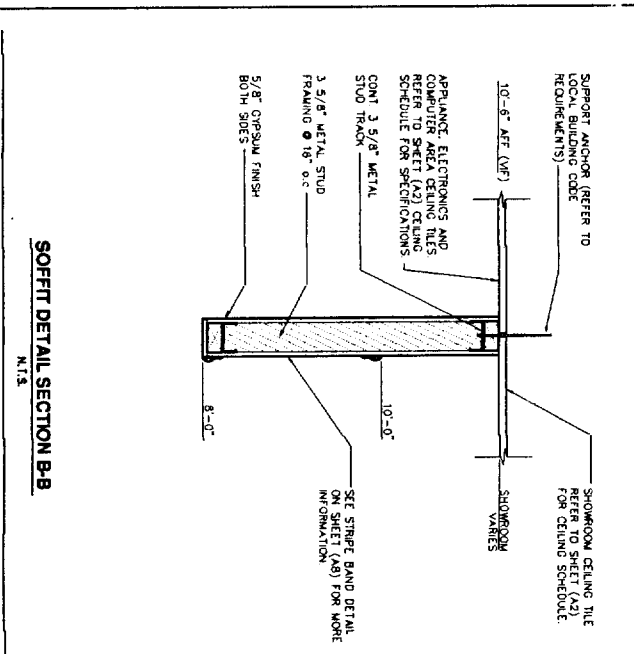
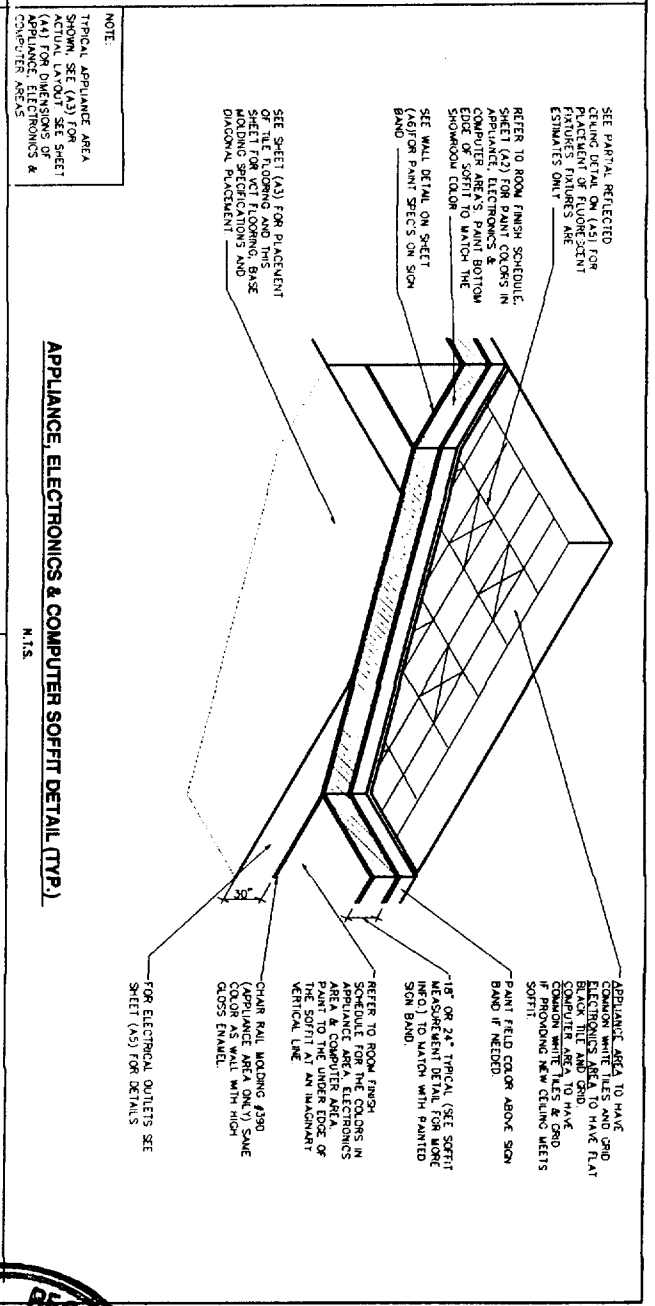
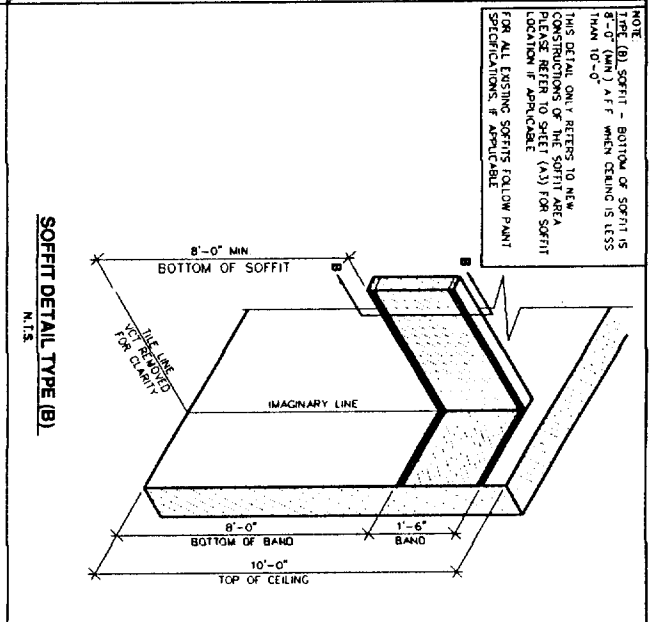
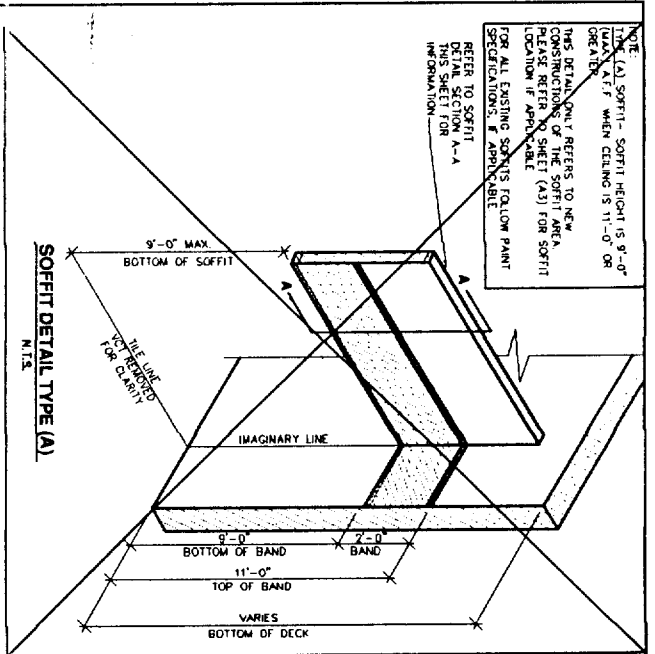
REV 1 -

REV 2 -

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JOB: 04216

PROJECT: A-6



REGISTERED ARCHITECT
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 PORTLAND, OREGON

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Aaron's Furniture
 Union Station Plaza
 Portland, Maine

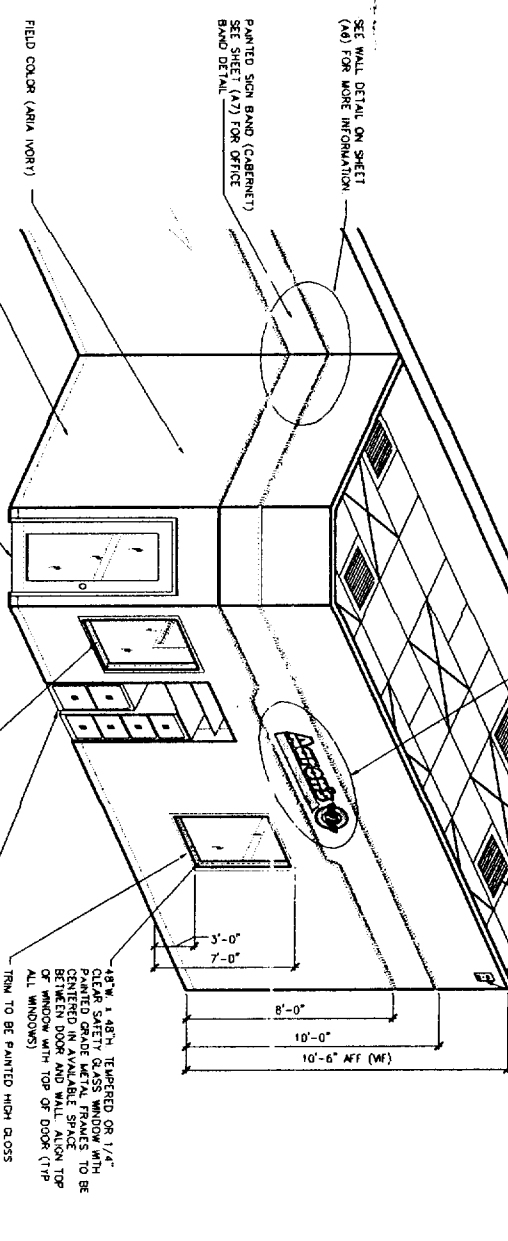
ARCHITECTURAL DETAILS SHEET 1
A-7

ISSUE DATE
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 CD3
 REV. 1
 REV. 2
 PRINT 10/15/04

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OFFICE DETAIL NOTES

- 1) OUTER OFFICE WALLS SHALL RUN TO THE BOTTOM OF THE FINISH FLOOR. ALL FINISH FLOOR SHALL BE REPAIRED TO THE SAME ELEVATION AS THE EXISTING CEILING GRID.
- 2) SEE SHEET (A2) ROOM FINISH SCHEDULE FOR ALL FINISHES OF THE WALL COVER.
- 3) ALL OFFICES TO BE CARPETED USING FIELD CARPET OFFICE.
- 4) STANDARD 3'-0" x 7'-0" DOORS, STANDED GRADE IN EACH OFFICE.
- 5) ALL WINDOWS ARE FINED WITH EITHER TEMPERED OR 1/4" CLEAR SAFETY GLASS.
- 6) WINDOWS FRAMED IN ARE PAINT GRADE METAL FRAME.
- 7) SEE SHEET (A2) ROOM FINISH SCHEDULE FOR ALL TRIM COLORS.
- 8) ALL BUILDERS GRADE HARDWARE TO BE POLISHED BRASS.
- 9) REFER TO OFFICE STRIPE BAND DETAIL ON SHEET (A2) FOR ACTUAL SIGN INFORMATION AND SPECIFICATION.
- 10) OFFICE LAYOUT MAY VARY. SEE SHEET (A3) FOR CURRENT LAYOUT OF THE OFFICE AREA.



PAINTED SIGN BAND (CABINETRY) SEE SHEET (A2) FOR OFFICE BAND DETAIL.

SEE OFFICE STRIPE BAND DETAIL ON SHEET (A2) FOR MORE INFORMATION.

2 1/2" x 7" SUSPENDED ACOUSTICAL CEILING @ 4" AFF. WITH 2' x 4' RECESSED FLUORESCENT LIGHT FIXTURES. EXISTING CEILING LIGHTS TO BE REMOVED AND RELOCATED TO ONE OFFICE AREA (SEE ILLUSTRATION PURPOSES). REFER TO OFFICE DETAIL NOTES (THIS SHEET).

110 V OUTLET FOR SECURITY CAMERA LOCATION IS 1'-6" MAX BELOW CEILING GRID LOCATION OF DOORS ON THE FACE OF THE WALL.

EACH OFFICE SHALL HAVE ONE HVAC AIR VENT AND AIR RETURN.

48" W. x 48" H. TEMPERED OR 1/4" CLEAR SAFETY GLASS WINDOW WITH PAINTED GRADE METAL FRAMES TO BE CENTERED IN AVAILABLE SPACE OF WINDOW WITH TOP OF DOOR (TYP. ALL WINDOWS).

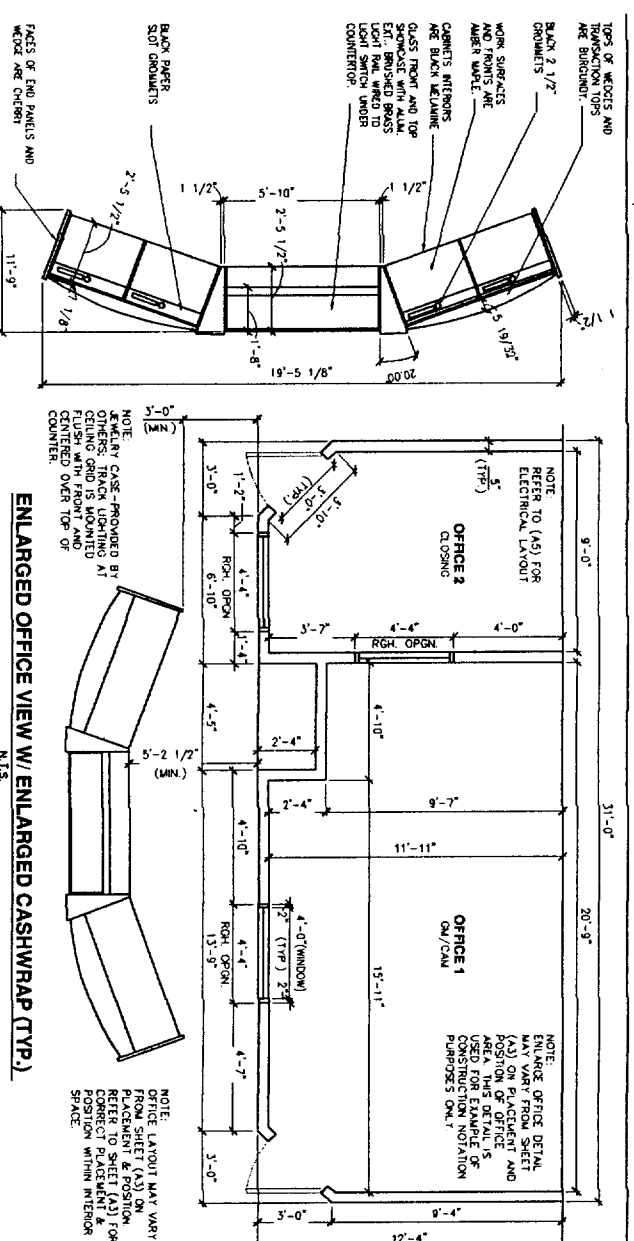
48" W. x 48" H. TEMPERED OR SAFETY GLASS WINDOW WITH PAINTED GRADE METAL FRAMES TO BE CENTERED IN AVAILABLE SPACE BETWEEN DOOR AND WALL, ALIGN TOP OF WINDOW WITH TOP OF DOOR (TYP. ALL WINDOWS).

48" W. x 7'-0" H. x 2'-4" D. RECESSED AREA FOR A STANDARD 4 DRAW & 2 DRAW FILE CABINETS ALIGN TOP OF WINDOW WITH TOP OF DOOR.

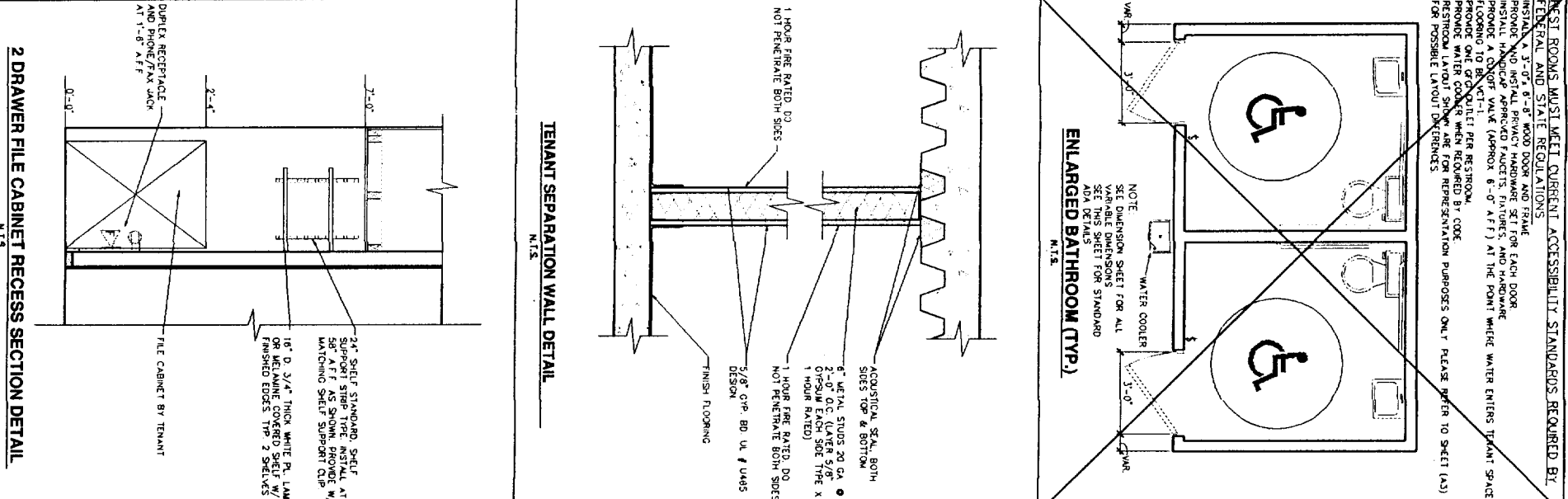
24" SHELF STANDARD. SHELF SUPPORT STRIP TYPE INSTALL AT 24" AFF. AS SHOWN. PROVIDE WITH MATCHING SHELF. INSTALL DUPLEX RECEPTACLES AND PHONE/FAX JACK AT 1'-8" AFF. SEE THIS SHEET FOR FILE CABINET RECESS INFORMATION.

NOTE: ISOMETRIC DETAIL MAY VARY FROM SHEET (A3) ON PLACEMENT AND DETAIL CONSTRUCTION NOTATION PURPOSES ONLY.

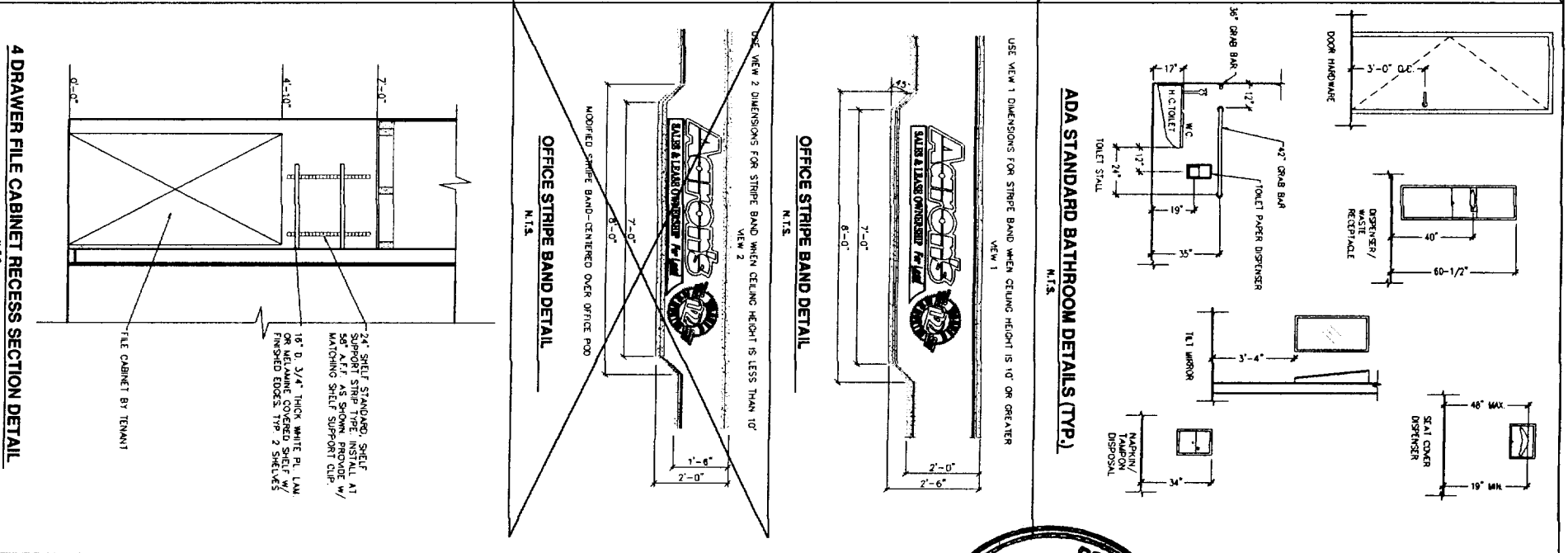
ISOMETRIC OFFICE DETAIL (TYP.)



ENLARGED OFFICE VIEW W/ ENLARGED CASHWRAP (TYP.)



2 DRAWER FILE CABINET RECESS SECTION DETAIL



4 DRAWER FILE CABINET RECESS SECTION DETAIL

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REV. 1

REV. 2

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ARCHITECTURAL
 DESIGN
 SHEET 2

A-8

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