

Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

PERMIT ISSUED

CITY OF PORTLAND

JAN 29 2010

BUILDING PERMIT

Permit Number: 091444
City of Portland

Please Read
Application And
Notes, If Any,
Attached

This is to certify that Joseph Tacks & Maureen Callahan Boardman Carpentry
has permission to install spiral stair case from 2nd floor to 3rd floor to unit 4 and interior renovations to unit 4 - remove walls
AT 161 PINE ST CE 063 G020001

provided that the person or persons, firm or contractor accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise finished-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Carol M. Anderson
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

James Penick 1/29/10
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1444	Issue Date:	CBL: 063 G020001
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Location of Construction: 161 PINE ST	Owner Name: Joseph Tacks & Maureen Callinan	Owner Address: 49 Deering Street	Phone:
Business Name:	Contractor Name: Boardman Custom Carpentry	Contractor Address: 48 Winnocks Neck Road Scarborough	Phone: 2077496081
Lessee/Buyer's Name:	Phone:	Permit Type: Alterations - Multi Family	Zone: R-4

Past Use: 4 Unit Residential <i>1 yd. va. - 4 dw.</i>	Proposed Use: 4 unit Residential - install spiral stair case from 2nd floor to 3rd floor to expand unit 3 - interior renovations to unit 3 - remove walls to expand kitchen & add & change walls in third floor as part of	Permit Fee: \$70.00	Cost of Work: \$5,000.00	CEO District: 2
Proposed Project Description: install spiral stair case from 2nd floor to 3rd floor to expand unit 3 - interior renovations to unit 3 - remove walls to expand kitchen & add & change walls in third floor as part of expansion of unit.		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i># See Conditions</i>	INSPECTION: Use Group: <i>R2</i> Type: <i>SB</i> <i>IBC-2003</i> Signature: <i>[Signature]</i> Date: <i>1/29/10</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Ldobson	Date Applied For: 12/28/2009	Zoning Approval		
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/ conditions</i> Date: <i>1/4/10</i> <i>AK</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>Any extra work</i> Date: <i>revised approval</i> <i>Historic Preservation</i>
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PERMIT ISSUED

JAN 29 2010

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initialzing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.


Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling


Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee


Signature of Inspections Official

1-29-10
Date
1/29/10
Date

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1444	Date Applied For: 12/28/2009	CBL: 063 G020001
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Location of Construction: 161 PINE ST	Owner Name: Joseph Tacka & Maureen Callnan	Owner Address: 49 Deering Street	Phone:
Business Name:	Contractor Name: Boardman Custom Carpentry	Contractor Address: 48 Winlocks Neck Road Scarborough	Phone: (207) 749-6081
Lessee/Buyer's Name:	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use:
4 unit Residential - install spiral stair case from 2nd floor to 3rd floor to expand unit 3 - interior renovations to unit 3 - remove walls to expand kitchen & add & change walls in third floor as part of expansion of unit.

Proposed Project Description:
install spiral stair case from 2nd floor to 3rd floor to expand unit 3 - interior renovations to unit 3 - remove walls to expand kitchen & add & change walls in third floor as part of expansion of unit.

Dept: Zoning Status: Approved with Conditions Reviewer: Ann Machado Approval Date: 01/04/2010
 Note: Ok to Issue:

- 1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) The legal use of this property is four dwelling units. Unit 1 occupies the first floor right side, unit 2 occupies the first floor left side, unit 3 occupies the second floor right side and the rear of the left side and unit 4 occupies the front left side of the second floor and all of the third floor. A future permit is needed for the expansion of unit 4 into the 3rd floor left rear room. This property shall remain a four family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building Status: Approved with Conditions Reviewer: Jeanine Bourke Approval Date: 01/29/2010
 Note: Ok to Issue:

- 1) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 2) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 3) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 4) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire Status: Approved with Conditions Reviewer: Capt Keith Gautreau Approval Date: 01/12/2010
 Note: Ok to Issue:

- 1) No means of egress shall be affected by this renovation
- 2) Two means of egress are required from every story. "State Law Title 25 ~ 2453"
- 3) The entire structure shall comply with NFPA 101 "Existing Apartments" Compliance shall be insured prior to the issuance of a Certificate of Occupancy.
- 4) All construction shall comply with NFPA 101

Comments:

Location of Construction: 161 PINE ST	Owner Name: Joseph Tecka & Maureen Callan	Owner Address: 49 Deering Street	Phone:
Business Name:	Contractor Name: Boardman Custom Carpentry	Contractor Address: 48 Winnocks Neck Road Scarborough	Phone: (207) 749-6081
Lessor/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	
<p>1/28/2010-jmb: Spoke to Tim B. And Joe T. To clarify the apartment layout, vacant rooms if the walls surrounding the common walls are existing, what size is the opening in the brick wall (it will be a 4'x4' window pass thru). Joe will meet on 1/29 to mark up the plans.</p> <p>1/29/2010-jmb: Joe T. Came in to clarify the apartment layout which was in error at the meeting with Ann M., I labeled the unit #'s with a sharpie. Vacant storage area on the 3rd floor left side rear will be renovated on a future permit to expand unit 4.</p> <p>12/29/2009-amachado: Spoke to Tim Boardman, contractor. Need right, title and interest. Are two units being combined with the spiral staircase connecting the two floors? Where are the four units in the building?</p> <p>12/30/2009-amachado: Received deed yesterday and 11" x 17" plan of third floor showing the spiral staircase. Spoke to Tim Boardman. The project description said first floor to second floor. Tim confirmed that the spiral staircas will go from the second to third floor. He also said that the size of some apartments are being reconfigured. I told him that we need more information on how the apartments are changing. He said that he would have the owner call me.</p> <p>1/4/2010-amachado: Met with Joe Tecka and Tim Boardman. Went over the layout of the four units in the building and the current work that was being done.</p>			



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>161 Pine St.</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories <u>3</u>
Tax Assessor's Chart, Block & Lot Chart# <u>63</u> Block# <u>G</u> Lot# <u>20</u>	Applicant *must be owner, Lessee or Buyer* Name <u>Joe Tacka</u> Address <u>49 Deering St</u> City, State & Zip <u>Portland 04101</u>	Telephone: <u>207-749-6081</u>
Lessee/DBA (If Applicable) <u>332-3617</u>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>5,000</u> City Fee: \$ Main Fee: \$ <u>70.00</u>
Current legal use (i.e. single family) <u>multi</u> If vacant, what was the previous use? Proposed Specific use:	Number of Residential Units <u>4</u>	
Is property part of a subdivision? Project description: <u>Installing spiral stair case from 2nd floor cut hole in ceiling for stairs and head off framing per plan</u>	If yes, please name	
Contractor's name: <u>Boardman Custom Carpentry</u>	Address: <u>48 Willocks Neck Rd.</u>	
Address: <u>48 Willocks Neck Rd.</u>	City, State & Zip <u>Scarborough</u>	
Who should we contact when the permit is ready: <u>Tom Boardman</u>	Telephone: <u>207-749-6081</u>	
Mailing address: <u>same</u>		

RECEIVED
DEC 28 2009
Dept. of Building Inspection
City of Portland, Maine

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Tom Boardman Date: 12/12/09

This is not a permit; you may not commence ANY work until the permit is issued.

12/13/09

Spoke to Joe Tacka re: 161 Pine. - meeting with him Monday Jan 4, 2010

- the other had an illegal unit ^(5th) some time back.

- the spiral staircase will connect an apartment on the second floor
~~where apartment on the third~~ rooms on the third floor which were
the illegal unit

- I asked Joe to bring in floor plans for the building to show
the existing layout for the building & what is changing.

Building code Specifications For Quote TACKA121409

1. Minimum clear walking path of 26". A 5'-0" diameter or larger stair will provide this width.
 - a. The diameter of your stair is 5'-0". The clear walking path is 26".
2. Each tread will have a minimum of 7 1/4" tread depth at 12" from the narrow edge.
 - b. The tread depth of your stair is 9 3/4".
3. All treads will be identical.
4. The tread rise shall not be more than 9 1/2" high.
 - c. The riser height of your stair is 9.33".
5. Minimum headroom of 6'-6" or 78" shall be provided, measuring plumb from the edge of the platform down to the tread below.
 - d. The headroom clearance of your stair is 78.97".
6. Landing width shall not be less than the required width of the stairway. Minimum spiral stair tread is 26".
 - e. The size of the platform for your stair is 31X31.
7. Stair balusters shall be spaced so a 4" object cannot pass between. The IRC 2003 & 2006 permits a 4 3/8" space.
 - f. Your stair will have a minimum space of 4".
8. Balcony/Well Enclosure rail balusters shall be spaced so a 4" object cannot pass between. All Salter balcony/Well Enclosure rail will follow this 4" rule.
9. Balcony/Well Enclosure rail height shall not be less than 36" tall.
10. The stairway shall be equipped with one handrail on the wide edge of the tread.
11. Handrail height, measured vertically from the tread nosing, shall not be less than 34" & not more than 38".
12. Handrail grip size, 2" code compliant.
13. A 300 lb. load is required.
14. Code riser tread style will address the open space between each tread so that a 4" object cannot pass between.
 - g. Your stair will have the code riser tread style, Yes.

BUILDING CODE SPECIFICATIONS

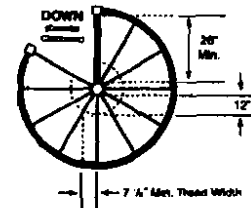
SALTER SPIRAL STAIRS COMPLY WITH NATIONAL BUILDING CODES

Salter's Code Stair Packages will address and meet compliance with each of the requirements that are listed below. This information will apply to the **BOCA Code, USC Code, IRC 2003, IRC 2006, and IFC 2006** codes.

1. Minimum clear walking path of 26 inches. A 5-foot diameter or larger stair will provide this width.
2. Each tread will have a minimum of 7 1/2 inch tread depth at 12 inches from the narrow edge.
3. All treads will be identical.
4. The tread rise shall not be more than 9 1/2 inches high.
5. Minimum headroom of 6 foot 6 inches shall be provided, measuring plumb from the edge of the platform down to the tread below.
6. Landing width shall not be less than the required width of the stairway. Minimum spiral stair tread width is 26 inches. (Salter's code platforms start at 31 inches wide.)
7. Stair balusters shall be spaced so a 4-inch object cannot pass between. The IRC 2003 & 2006 permits a 4 1/4 inch space.
8. Balcony/Well Enclosure guardrail balusters shall be spaced so a 4-inch object cannot pass between.
9. Balcony/Well Enclosure guardrail height shall not be less than 36 inches. (If your state or municipality requires 42-inch tall guardrails, the sales order must reflect this detail.)
10. The stairway shall be equipped with one handrail on the wide edge of the tread.
11. Handrail height, measured vertically from the tread nosing, shall be not less than 34 inches and not more than 38 inches.
12. Handrail grip size. Type I-Handrails with a circular cross section shall have an outside diameter of at least 1 1/4 inches and not greater than 2 inches. (Salter's standard circular handrail is 1 1/2 inch diameter. This will address the UBC minimum cross section of 1 1/4 inch diameter.) If the handrail is not circular, it shall have a perimeter dimension not greater than 6 1/4 inches. Type II-Handrails, with a perimeter greater than 6 1/4 inches, shall provide a graspable finger recess area on both sides of the profile. For further information on our Type II options, please contact our sales department. (Verify what handrail size and shape your inspector will require. Handrail size and shape are a very controversial area within the building code. We recommend that you use our standard 1 1/2" round handrails or our 1 1/2" x 2" B&FG solid wood handrail to comply with the proper circumference.)
13. A 300 lb. concentrated load is required. On request, our sales department can provide structural calculations for your job specifications.

Salter's standard code package does not address the open space between each tread (open riser stair). "If your code, IRC 2003, IRC 2006 or IFC 2006 requires not more than a 4" space in this area, you will need to order our Code Riser treads.

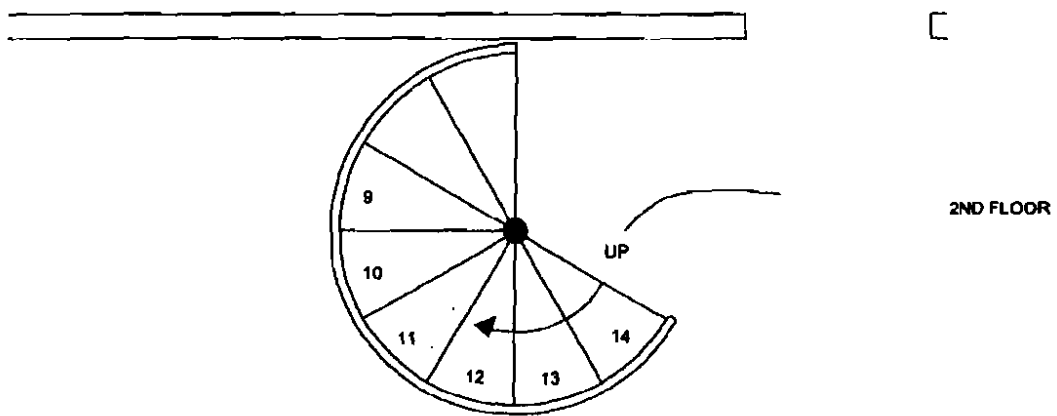
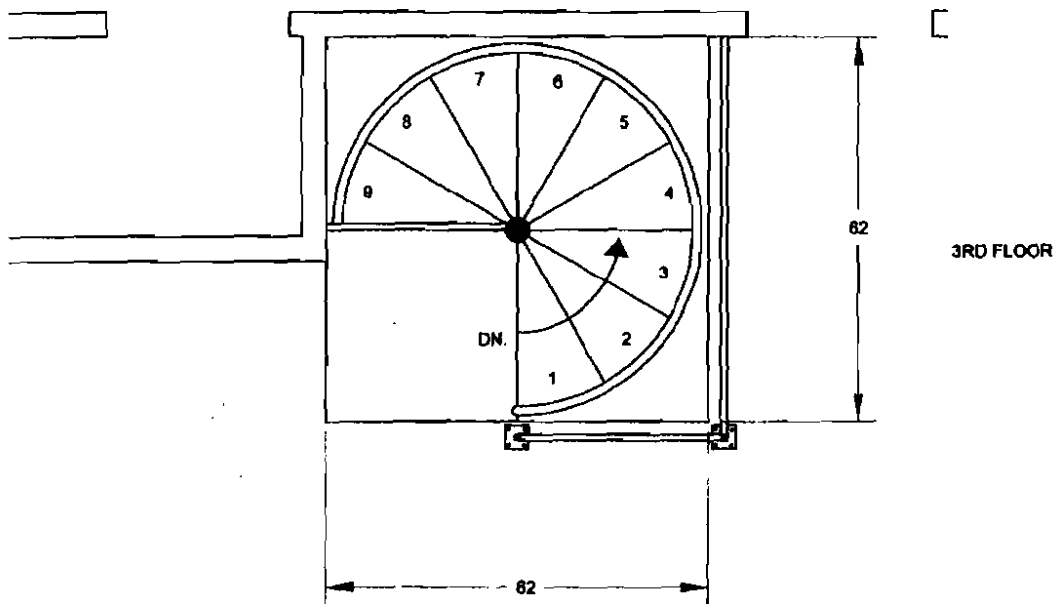
VISUAL INTERPRETATION OF IRC CODE



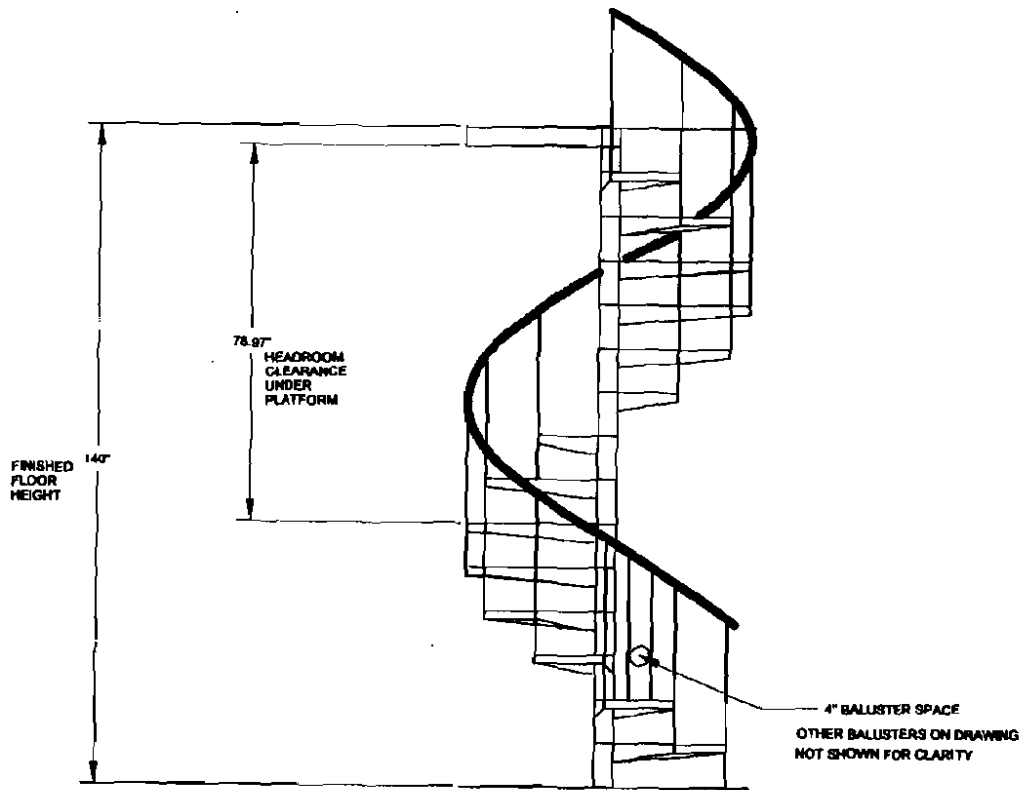
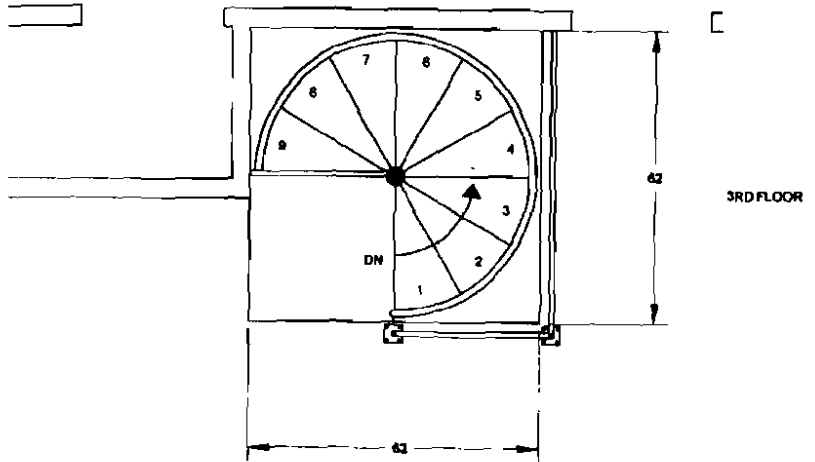
IRC 2006 Stair Building Code

R311.5.2.1 Spiral Stairs. Spiral stairways are permitted, provided the minimum width shall be 26 inches (660 mm) with each tread having a 7 1/2 inch (190 mm) minimum tread depth at 12 inches from the narrower edge. All treads shall be identical, and the rise shall be no more than 9 1/2 inches (241 mm). A minimum headroom of 6 feet, 6 inches (1982 mm) shall be provided. (See above diagram).

JOB: TACKA



JOB TACKA

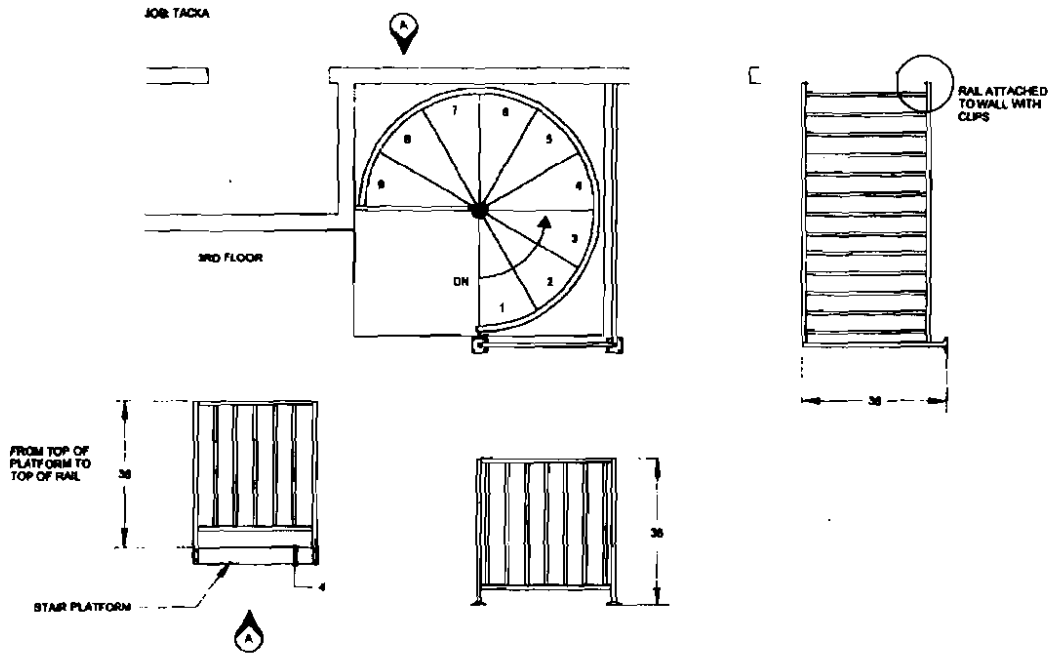




SalterSpiralStair.com

UN-COMPROMISED
Design Strength

Toll Free 800-368-8280
Phone 610-489-5799
Fax 010-489-9286

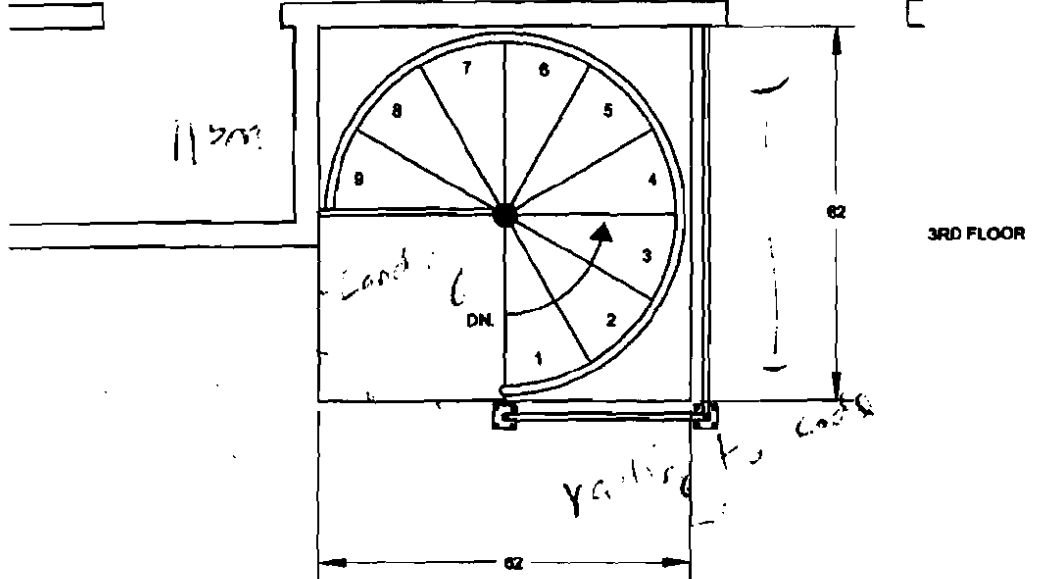


Salter Spiral Stair, 105 G P Clement Drive, Collesville, PA 19426

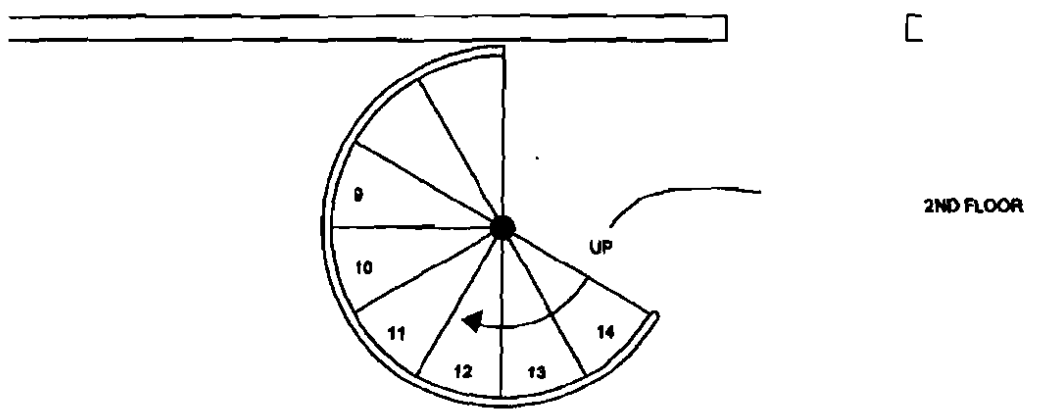
JOB: TACKA

Floor to Floor 140"

5' wide hallway 20' long



3' x 6' of stairs



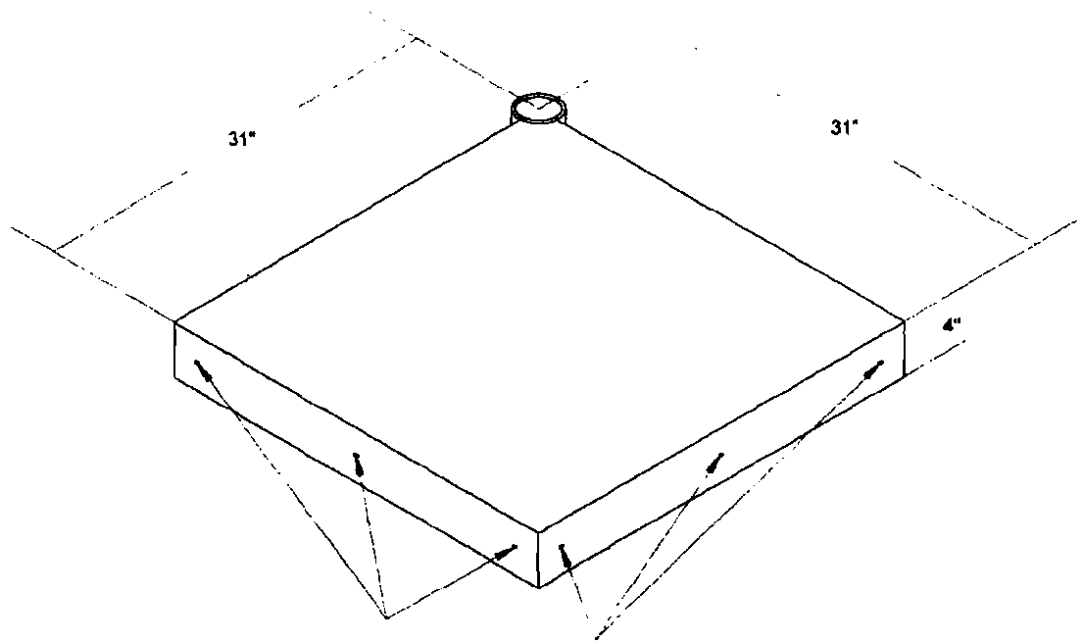
Subfloor preparation



SalterSpiralStair.com

UN COMPROMISED
Design **Strength**

Toll Free: 800-368-8280
Phone: 610-489-5799
Fax: 610-489-9286



3/8" DIAMETER MOUNTING HOLES



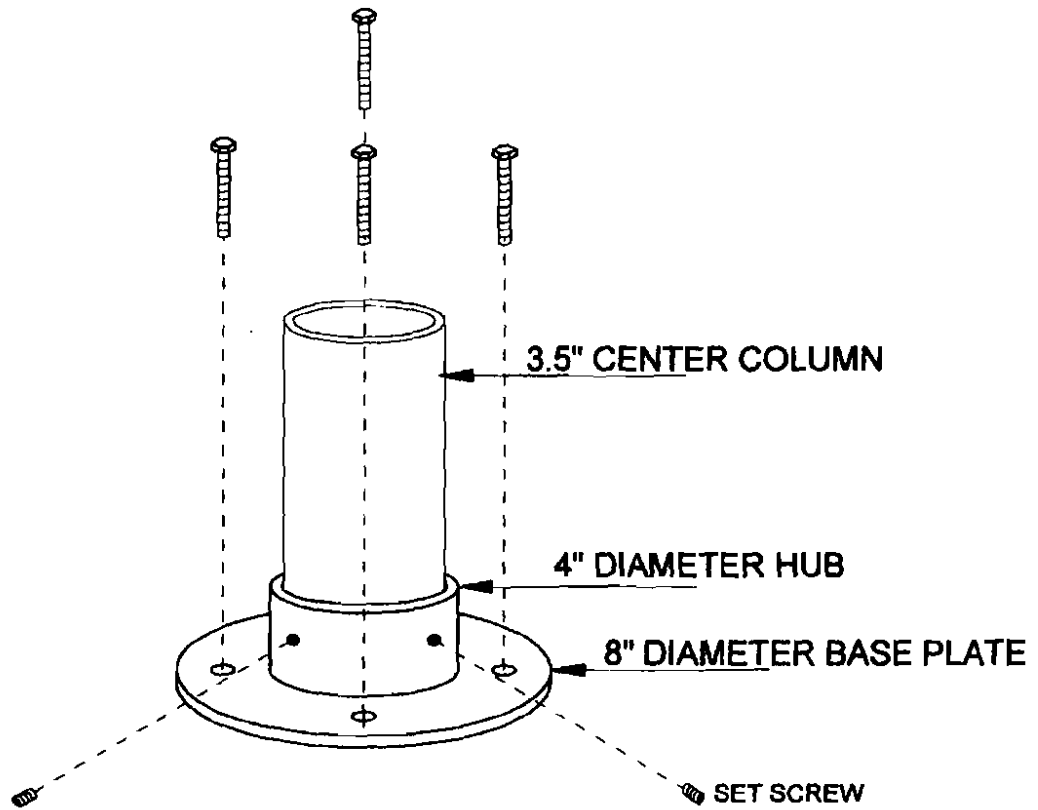
Salter Spiral Stair 106 G P Clement Drive Collegedale PA 19426



SalterSpiralStair.com

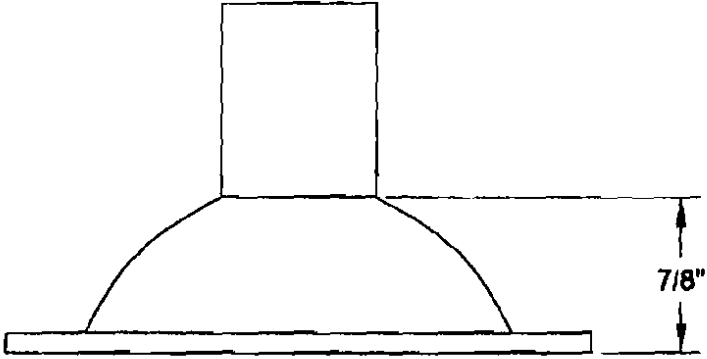
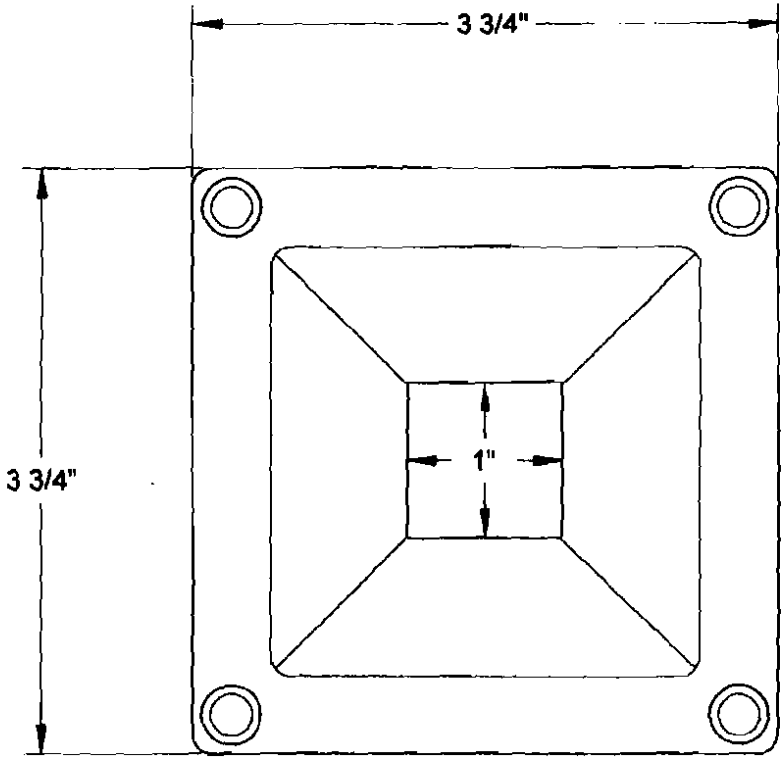
UN-COMPROMISED
Design **Strength**

Toll Free 800-368-6280
Phone 610-489-6799
Fax 610-489-5296



Salter Spiral Stair 105 G.P. Element Drive Collierville PA 39426

RAIL MOUNT FOOT



*New Framing
Material for
STAIR opening*

BOISE

Double 1-3/4" x 9-1/2" VERSA-LAM® 2.0 3100 SP

Floor Beam FB01

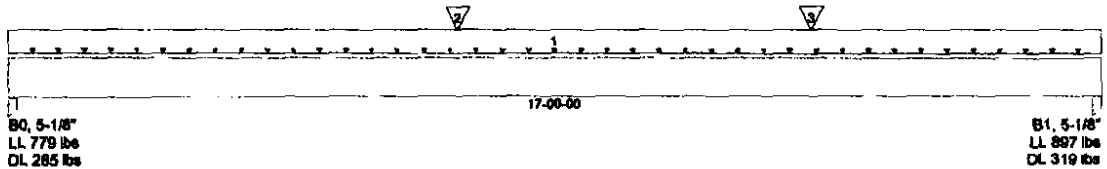
BC CALC® 2.0 Design Report - US
Build 287

1 span | No cantilevers | 0/12 slope

Friday, December 18, 2009 14:46

Job Name:
Address:
City, State, Zip:
Customer:
Code reports: ESR-1040

File Name: BC CALC Project
Description: FB01
Specifier:
Designer:
Company:
Misc:



Total Horizontal Product Length = 17'-00"-00"

Load Summary	Tag	Description	Load Type	Ref.	Start	End	Live 100%	Dead 80%	Snow 116%	Wind 133%	Roof Live 125%	Trib.
1	Standard Load	Unf. Area (psf)	Left	00-00-00	17-00-00	40	10				01-04-00	
2		Conc. PL (lbs)	Left	07-00-00	07-00-00	385	109				n/a	
3		Conc. Pt. (lbs)	Right	04-08-00	04-08-00	385	109				n/a	

Controls Summary	Value	% Allowable	Duration	Case	Span
Pos. Moment	5,214 ft-lbs	37.4%	100%	1	1 - Internal
End Shear	-1,123 lbs	17.8%	100%	1	1 - Right
Total Load Defl.	L/397 (0.492")	80.5%		1	1
Live Load Defl.	L/535 (0.365")	87.3%		1	1
Span / Depth	20.8	n/a			1

Disclosure

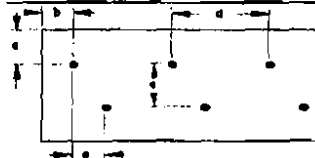
Completeness and accuracy of input must be verified by anyone who would rely on output as evidence of suitability for particular application. Output here based on building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with current installation Guide and applicable building codes. To obtain installation Guide or ask questions, please call (800)232-0788 before installation.

Bearing Supports	Dim. (L x W)	Value	% Allow Support	% Allow Member	Material
B0 Post	5-1/8" x 3-1/2"	1,064 lbs	0.1%	7.9%	Steel
B1 Post	5-1/8" x 3-1/2"	1,216 lbs	0.1%	9.0%	Steel

Notes

Design meets Code minimum (L/240) Total load deflection criteria.
Design meets Code minimum (L/360) Live load deflection criteria.

Connection Diagram



a minimum = 1-1/2" c = 8-1/2"
b minimum = 4" d = 24"
e minimum = 1"

Connection design assumes point load is 'top-loaded'. For connection design of 'side-loaded' point loads, please consult a technical representative or professional of Record.
Member has no side loads.
Concentrated loads are not considered in side load analysis.
Connectors are: SDS 1/4 x 3-1/2

*HHUS410
Allow Load Floor =
5190 #*

*New
Framing Material
For STAIR
opening*

BOISE

BC CALC® 2.0 Design Report - US
Build 287

Single 1-3/4" x 9-1/2" VERSA-LAM® 2.0 3100 SP

1 span | No cantilevers | 0/12 slope

Floor Beam FB01

Friday, December 18, 2009 14:49

Job Name:
Address:
City, State, Zip:
Customer:
Code reports: ESR-1040

File Name: BC CALC Project
Description: FB01
Specifier:
Designer:
Company:
Misc:

B0, 5-1/8"		05-08-00		B1, 5-1/8"	
LL 385 lbs				LL 385 lbs	
DL 109 lbs				DL 109 lbs	

Total Horizontal Product Length = 05-08-00

Load Summary	Load Type	Ref.	Start	End	Live	Dead	Snow	Wind	Roof Live	Trib.
1 Standard Load	Unif. Area (psf)	Left	00-00-00	05-08-00	40	10	115%	133%	126%	03-08-00

Controls Summary	Value	% Allowable	Duration	Case	Span
Pos. Moment	511 ft-lbs	7.3%	100%	1	1 - Internal
End Shear	275 lbs	8.7%	100%	1	1 - Left
Total Load Defl	L/8,838 (0.008")	3.5%		1	1
Live Load Defl.	L/8,773 (0.007")	4.1%		1	1
Span / Depth	6.0	n/a			1

Bearing Supports	Dim. (L x W)	Value	% Allow Support	% Allow Member	Material
B0 Post	5-1/8" x 1-3/4"	494 lbs	0.1%	7.3%	Steel
B1 Post	5-1/8" x 1-3/4"	494 lbs	0.1%	7.3%	Steel

Notes

Design meets Code minimum (L/240) Total load deflection criteria.
Design meets Code minimum (L/360) Live load deflection criteria.

Disclosure

Completeness and accuracy of input must be verified by anyone who would rely on output as evidence of suitability for particular application. Output here based on building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with current Installation Guide and applicable building codes. To obtain Installation Guide or ask questions, please call (800)232-0788 before installation.

BC CALC®, BC FRAMER®, AJS™, ALLJOIST®, BC RIM BOARD™, BC®, BOISE GLULAM™, SIMPLE FRAMING SYSTEM®, VERSA-LAM®, VERSA-RIM PLUS®, VERSA-RIM®, VERSA-STRAND®, VERSA-STUD® are trademarks of Boise Wood Products, L.L.C.

RECEIVED
DEC 29 2009
Dept. of Building Inspections
City of Portland, Maine

WARRANTY DEED
Joint Tenancy
Maine Statutory Short Form

KNOW ALL PERSONS BY THESE PRESENTS, That

Gunnar B. Falk and Paul G. Visinarc

of 540 North Lake Shore Drive#317, Chicago, IL 60611


for consideration paid, grant to **Joseph A. Tacka and Maureen E. Callnan,**


of 49 Deering Street, Portland, ME 04101

with warranty covenants, as joint tenants the land in Portland, County of Cumberland, and State of Maine, described on the attached EXHIBIT A.

WITNESS our/my hand(s) and seal(s) this 4th day of December, 2009.

Signed, Sealed and Delivered in presence of:




Gunnar B. Falk

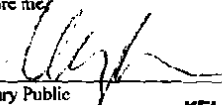
Paul G. Visinarc

STATE OF MAINE

December 4, 2009

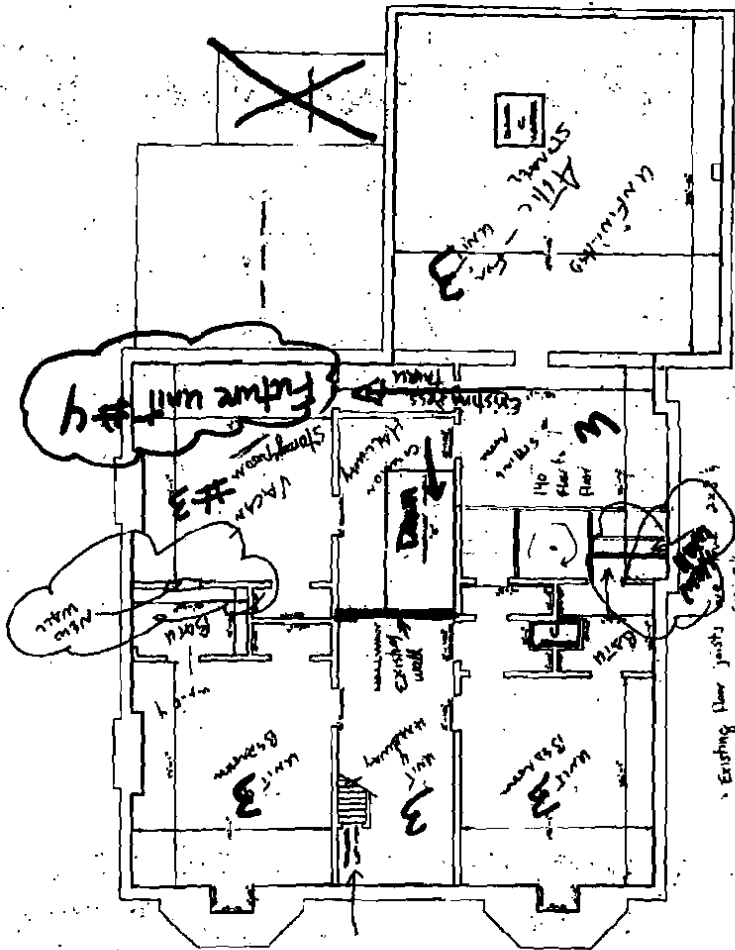
COUNTY OF *Cumberland*

Then personally appeared the above named Gunnar B. Falk and Paul G. Visinarc and acknowledged the foregoing instrument to be Their free act and deed

Before me:

Notary Public
Printed Name: **KELLY A. PECK**
My Commission Expires NOTARY PUBLIC, MAINE **APRIL 2, 2016**

RECEIVED
 APR 29 1971
 DEPT. OF PUBLIC WORKS
 CIVIL ENGINEERING DIVISION

VICTORIAN PLACE CONDOMINIUM
 FLOOR PLAN FOR UNIT #3
 14 PINE STREET
 BURLINGAME, CALIF. 94010
 RONALD P. STEPHENS
 Owen Haskell, INC.



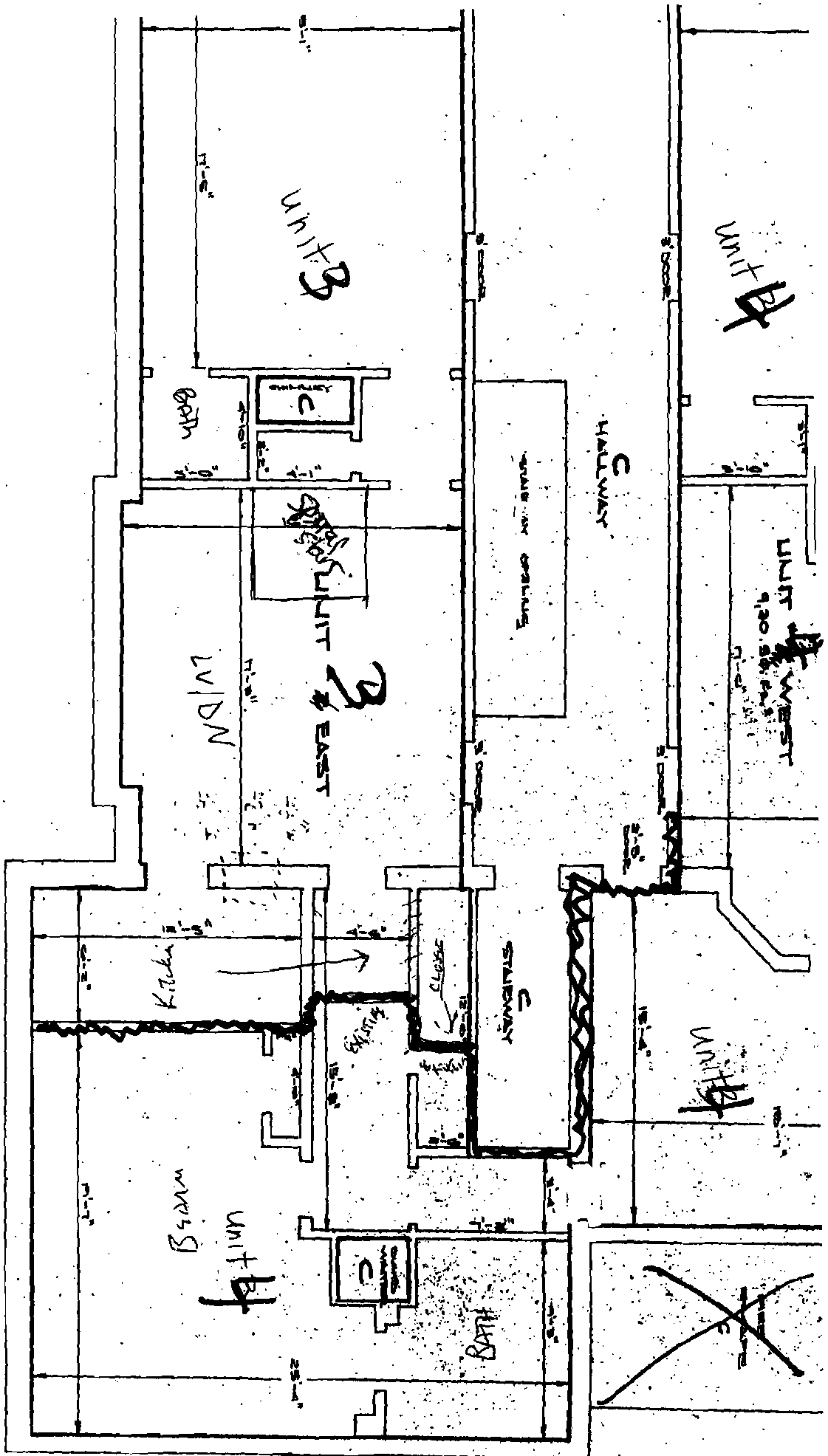
THIRD FLOOR PLAN

- Existing floor joists
- main beam will be (2) 4" x 8"
- headers will be
- single 2" x 8" LVL
- Panel load will be carried to footer

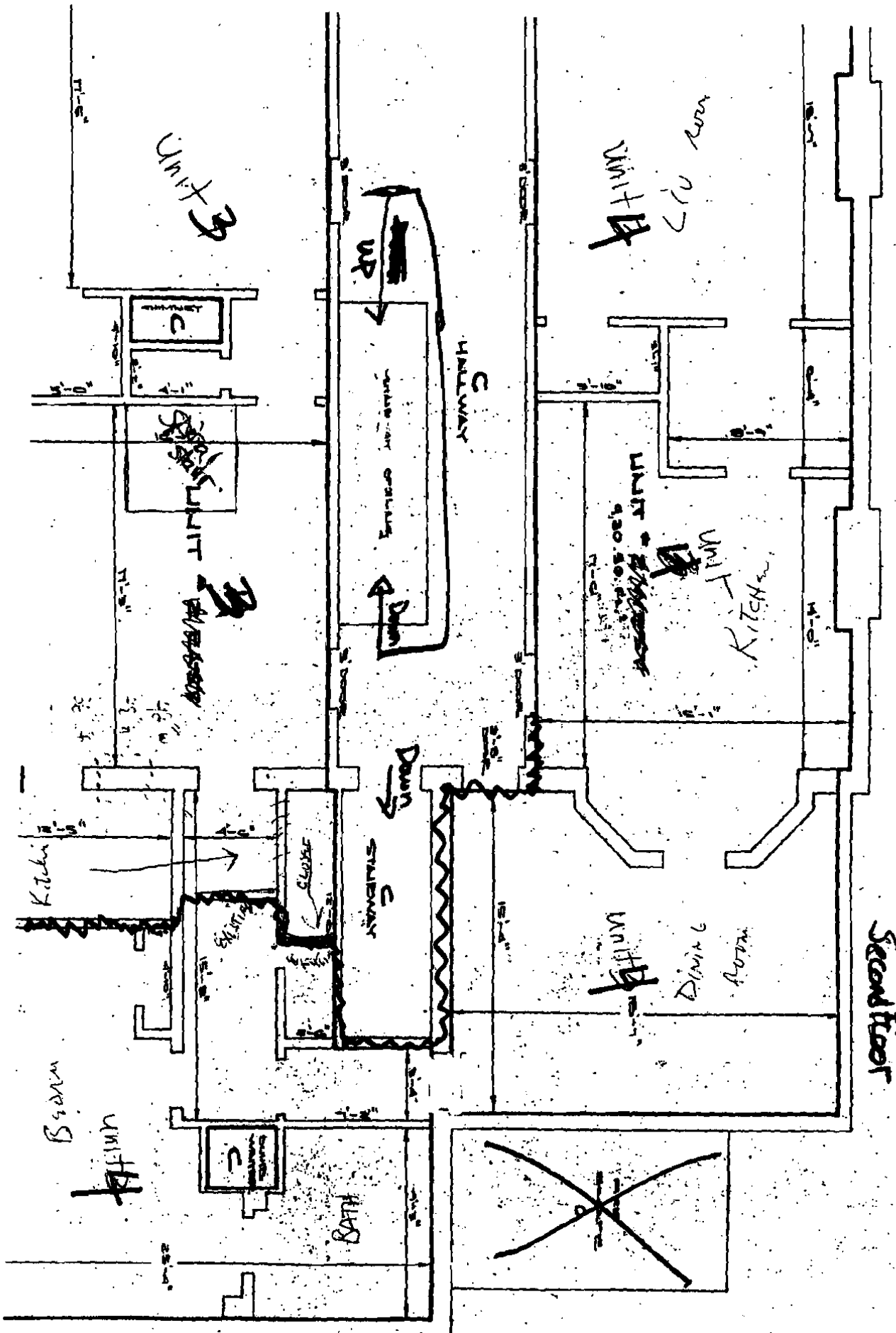
stairs to
 Apt. 1

APPROVED FOR THE SUBMITTER OF THIS PLAN
 [Signature]
 OWEEN HASKELL, INC.
 1400 BAY STREET
 BURLINGAME, CALIF. 94010
 APR 29 1971

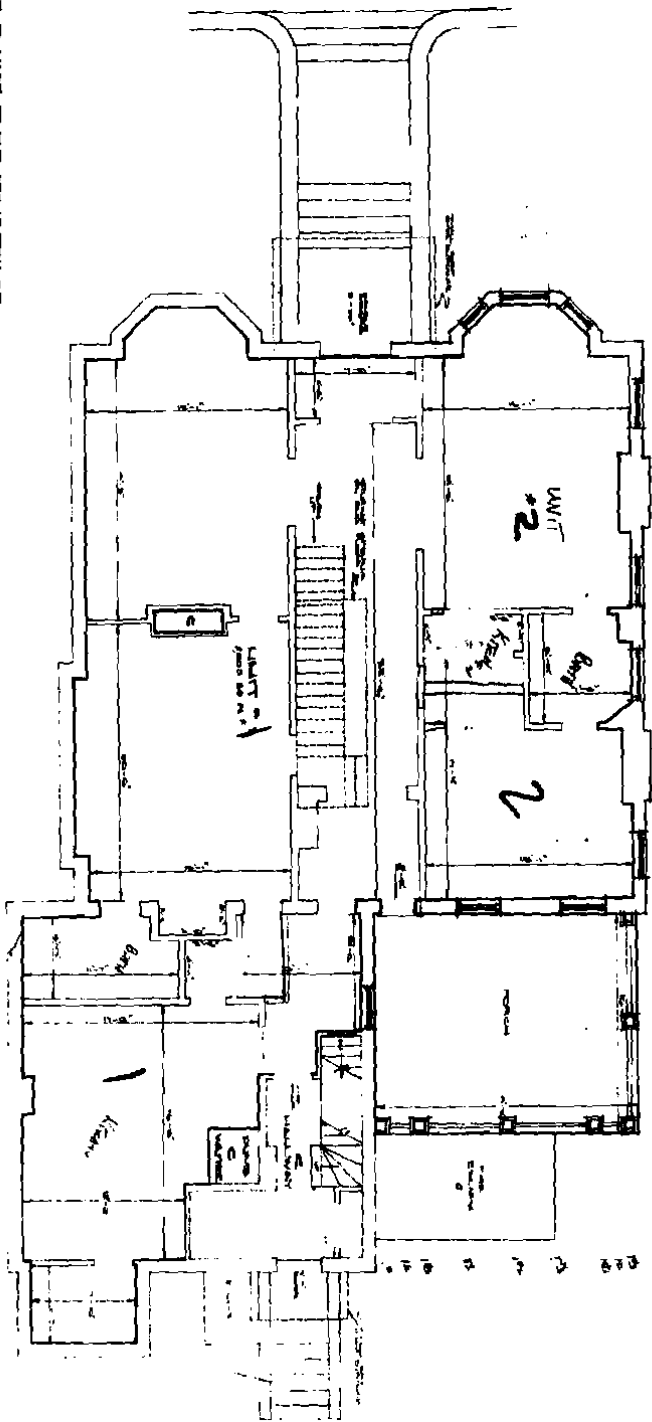
SECOND FLOOR PLAN



cut hole in brick wall window pass through
 4'x4'

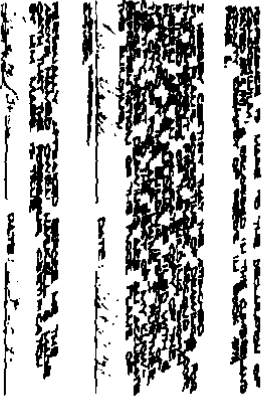


Second Floor



FIRST FLOOR PLAN

NOTE: CHANGES TO BE MADE BY CONTRACTOR



RECEIVED

JAN - 4 200

Dept. of Building Inspectors
City of Portland Maine

1501
1502
1503
1504

EXHIBIT A
LEGAL DESCRIPTION
161 PINE STREET, PORTLAND, MAINE

A certain lot or parcel of land, with the buildings thereon, situated on the northeasterly corner of Pine and Vaughan Streets, in Portland, Cumberland County and State of Maine, bounded and described as follows:

Beginning at the northeasterly corner of said Pine and Vaughan Streets and running thence northeasterly on said Vaughan Street a distance of one hundred sixty-five (165) feet to a point; thence running southeasterly at right angles to said Vaughan Street and parallel with said Pine Street, eighty (80) feet, more or less, to a point; thence running southwesterly at right angles to the last named course and parallel with said Vaughan Street one hundred sixty-five (165) feet to Pine Street; thence northwesterly on said Pine Street eighty (80) feet, more or less, to the point of beginning.

Excepting therefrom so much as was sold by Henry Warren Paine to Elizabeth D. Bradford by warranty deed dated February 15, 1947 and recorded in the Cumberland County Registry of Deeds in Book 1858, Page 125.

Also hereby conveying the easement granted to Ronald R. Stephens by Lawrence Crane by deed dated October 6, 1977 and recorded in said Registry of Deeds in Book 4112, Page 104.

Also subject to an easement for parking spaces conveyed to Lawrence Crane by Ronald P. Stephens by deed dated October 6, 1977 and recorded in said Registry of Deeds in Book 4112, Page 106.

Reference is hereby given to a Quitclaim Deed from Daniel W. Powell and James A. Bruni to Gunnar B. Falk and Paul G. Visinara dated November 18, 1993 and recorded in the Cumberland County Registry of Deeds in Book 11102, Page 212.