

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED	
Permit No: 01-0774	Issue Date: JUL 11 2001
CBL: 063 F005001	

Location of Construction: 95 Chadwick St	Owner Name: Shaw Sandra J	Owner Address: 253 Princes St CITY OF PORTLAND	Phone: 207-786-3554
Business Name: n/a	Contractor Name: Mattson, Kevin	Contractor Address: 126 Second Street Portland	Phone: 2076221406
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Change of Use - Dwellings	Zone: R-4

Past Use: Two family home / 2 apartments	Proposed Use: Change of Use / Convert to Single Family Home	Permit Fee: \$984.00	Cost of Work: \$160,000.00	CEO District: 3
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: 503 PERMIT ISSUED WITH REQUIREMENTS <i>[Signature]</i>	

Proposed Project Description:
 Change of Use to Single Family *with Addition; Roof change within existing footprint*

Signature: *[Signature]*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.):

Action: Approved Approved w/Conditions Denied

Signature: _____ **Date:** _____

Permit Taken By: gg	Date Applied For: 06/27/2001	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>ok with conditions</i> <i>7/10/01</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <i>see letter</i> <input type="checkbox"/> Denied <i>shall meet all Historic Board requirements</i> Date: <i>Requirements</i>
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PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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CITY OF PORTLAND, MAINE
HISTORIC PRESERVATION COMMITTEE

June 22, 2001

Catherine Taylor
Orcutt Associates
81 Bridge Street
Yarmouth, ME 04096

Edward Hobler, Chair
Rick Romano, Vice Chair
Susan Wroth
Camillo Breggia
Robert Parker
Steve Sewall
Cordelia Pitman

Re: 95 Chadwick Street – Exterior Alterations and Addition

Dear Ms. Taylor:

On June 20, 2001, the City of Portland's Historic Preservation Committee voted 7-0 to approve your application for a Certificate of Appropriateness. Approval is for the expansion of the southern ell, new window openings, replacement windows, and reconfiguration of the west facade.

Note that the Committee's approval was made subject to the following conditions:

- The wood infill panels between the garage doors and entrance door are to be finished at the base with a piece of wood trim;
- The new entrance door is to be constructed according to the "Scheme A" option;
- The finish color of the replacement window sash is to be reviewed by staff, with the recommendation that it be compatible with the tones that are traditional to the Italianate Style.

All improvements shall be carried out as shown on the plans and specifications submitted on 6/4/01, except as to comply with the condition above. Changes to the approved plans and specifications and any additional work that may be undertaken must be reviewed and approved by this office prior to construction, alteration, or demolition. If, during the course of completing the approved work, conditions are encountered which prevent completing the approved work, or which require additional or alternative work, you must apply for and receive a Certificate of Appropriateness or Non-Applicability PRIOR to undertaking additional or alternative work.

Please note that you must notify staff at a mid-point during construction, and again upon completion of the project, to ensure compliance with the approved application. (Contact Jeffrey Harris, Preservation Compliance Coordinator, at 874-8728.)

This Certificate is granted upon condition that the work authorized herein is commenced within twelve (12) months after the date of issuance. If the work authorized by this Certificate is not commenced within twelve (12) months after the date of issuance or if such work is suspended in significant part for a period of one year after the time the work is commenced, such Certificate shall expire and be of no further effect; provided that, for cause, one or more extensions of time for periods not exceeding ninety (90) days each may be allowed in writing by the Department.

Sincerely,



Edward Hobler, Chair
Historic Preservation Committee

cc: Approval Letter File
John Orestis

LAND USE - ZONING REPORT

ADDRESS: 95 Chadwick St DATE: 7/9/01

REASON FOR PERMIT: change from 2 D.U. to 1 D.U. with alterations

BUILDING OWNER: Sandra Shaw C-B-L: 063-F-005

PERMIT APPLICANT: Kevin Matteson

APPROVED: with conditions: #1, #6, #12, #13

CONDITION(S) OF APPROVAL

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. During its existence, all aspects of the Home Occupations criteria, Section 14-410, shall be maintained.
3. All the conditions placed on the original, previously approved, permit issued on _____ are still in effect for this amendment, and/or revised permit.
4. The footprint of the existing _____ shall not be increased during maintenance reconstruction.
5. Your present structure is legally nonconforming as to setbacks. If you are to demolish this structure on your own volition, you will only have one (1) year to replace it in the same footprint (no expansions), with the same height, and the same use. Any changes to any of the above shall require that this structure met the current zoning standards.
6. This property shall remain a single family dwelling. ^{After the work is complete} Any change of use shall require a separate permit application for review and approval.
7. Our records indicate that this property has a legal use of _____ units. Any change in this approved use shall require a separate permit application for review and approval.
8. Separate permits shall be required for any new signage.
9. Separate permits shall be required for future decks, sheds, pool(s), and/or garage.
10. This is not an approval for an additional dwelling unit. You shall not add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals.
11. All of the attached Floodplain forms shall be appropriately filled out, signed, and returned prior to the issuance of any certificates of occupancy.
12. Other requirements of condition: All of the 2nd unit's kitchen facilities shall be removed entirely. Plumbing shall be removed to behind wall or under the floor.
13. With the removal of the second unit, any "grandfathered" rights will cease. Any future increase in the number of units shall require a separate permit for reviews and would be required to meet the present ordinance at that time.

Marge Schmuckal, Zoning Administrator

Marge Schmuckal

BUILDING PERMIT REPORT

DATE: 2 July 2001 ADDRESS: 95 Chadwick ST. CBL: 063-F-065

REASON FOR PERMIT: Change From 2 Family Dwelling To one family dwelling

BUILDING OWNER: Sandra J. Shaw

PERMIT APPLICANT: CONTRACTOR Kevin Mattson

USE GROUP: R-3 CONSTRUCTION TYPE: 5 B CONSTRUCTION COST: 160,000 PERMIT FEES: 984.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: *1, *8, *11, *13, *14, *29, *27, *28, *30, *32, *33, *35, *36, *38

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts.
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete and masonry.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
12. Headroom in habitable space is a minimum of 7'6".
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise.
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
17. Each apartment shall have access to two (2) separate, remote and approved means of egress.
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's.
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment.

6/27

- *20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
- 21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- 22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
- 23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
- 24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
- 25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- *27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- *28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- 29. All requirements must be met before a final Certificate of Occupancy is issued.
- *30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
- 31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- 32. Please read and implement the attached Land Use Zoning report requirements. *See Attached*
- *33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
- 34. Bridging shall comply with Section 2305.16.
- *35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
- *36. All flashing shall comply with Section 1406.3.10.
- 37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).

38) All The Historic Board's requirements and conditions shall be met,

[Signature]
 P. Samuel, Building Inspector
 Cc: L. McDougall, PFD
 Marge Schmuckal, Zoning Administrator
 Michael Nugent, Inspection Service Manager

PSH 10/1/00

****This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.**

*****THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. (You Shall Call for Inspections)**

******ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.**

*******CERTIFICATE OF OCCUPANCY FEE \$50.00**

HISTORIC PRESERVATION COMMITTEE
CITY OF PORTLAND, MAINE

PUBLIC HEARING
95 CHADWICK STREET

TO: Chair Hobler and Members of the Historic Preservation Committee

FROM: Jeffrey A. Harris, Preservation Compliance Coordinator

DATE: June 14, 2001

RE: June 20, 2001 – Public Hearing – HP Report #13-01

Application For: Certificate of Appropriateness – Exterior Alterations

Address: 95 Chadwick Street

Applicant: John Orestis
Represented by Catherine Taylor, Orcutt Associates

On May 16, Mr. Orestis and Ms. Taylor met with the Committee in a workshop session to introduce a number of proposed exterior alterations to the carriage house at 95 Chadwick Street. Based on input received during the preliminary review, the applicant has revised the plans and is returning for final review and approval.

Background:

95 Chadwick Street originally served as the carriage house for the G.W. Woodman estate, which featured an Italianate house that stood on the corner of Pine and Vaughan Streets. The main house, built in the 1860s, was demolished to make way for the Williamsburg Apartments complex. The carriage house was later converted into a multi-family dwelling, and the current proposal would convert it into a single-family home.

The brick, two-story carriage house consists of a main block with gable ends oriented to the east and west, facing Chadwick Street and (originally) the estate, and a steeply pitched side gable centered on the southern wall. Two- and one-story ells extend to the south from this block, with a deck constructed atop the one-story ell. Many of the Italianate, character-defining features of the carriage house still exist, including segmentally arched window and door openings, decorative paired brackets and diamond-shaped windows on the gable ends, and large bracketed hoods above the first floor openings on the rear façade.

A number of alterations to the original structure have occurred over time. The two-story, gable end block once featured a louvered lantern at the peak of the roof, and the large arched openings at the first floor level of the east and west facades, which probably once contained large doors, have since been infilled with incompatible window openings. The southern two- and one-story ells were probably later additions (though pre-1924), and the large opening beneath the bracketed lintel on the western façade now features a modern entry door and overhead garage door. The original 2/2 wood sash windows have been replaced with 6/6 sash throughout the carriage house.

Updated Project Description:

As part of a comprehensive reconfiguration of the interior of the former carriage house at 95 Chadwick Street, the applicant is proposing a number of exterior changes to the property.

One of the more significant proposed changes is the expansion of the second floor of the southern ell to the east by approximately 9 ½ feet. This expansion would necessitate the removal of the side gable on the main block of the carriage house. In response to the Committee's feedback at the workshop, the applicant is proposing to maintain the slope of the original ell roof, resulting in a higher roof peak. On the south gable end, the existing trim detail will be replicated, and the round window will be re-centered in the new gable end.

The applicant proposes to replace the existing 6/6 wood sash windows with 2/2 aluminum-clad wood sash thermal windows manufactured by Kolbe & Kolbe, featuring 7/8" applied muntin bars. Proposed new window openings include a sash window on the main (west) façade (located at the second story of the ell, matching the existing window on the ell); a casement window on the first floor of the north façade; and a new sash window on the second floor of the expanded ell's south façade. The existing door at the east end of the southern façade will no longer be operable in the reconfigured carriage house, but the applicant proposes to keep it in its current location. The new window openings will all have granite sills that match the existing ones.

Instead of replacing the picture window in the original front entrance on the west façade with a pair of sash windows, as originally proposed, the applicant has followed the Committee's suggestion by proposing a pair of wood French doors manufactured by Kolbe & Kolbe, each featuring four large window panes.

The interior reconfiguration of the carriage house will result in a larger garage with the capacity for two cars, and shift the entrance doorway slightly to the north. The applicant has agreed to follow the Committee's suggestion to bring the garage and entry wall out flush with the rest of the west façade. The wood brackets currently framing the opening are to be removed, but the structural beam faced in wood will remain, with an added cornice trim to reflect the detailing found elsewhere on the carriage house. The applicant is proposing to replace the existing single garage door with a pair of overhead garage doors manufactured by Designer Doors. These wood doors, featuring large panels of vertical boards and five-light "transom" windows, create the appearance of two sets of paired swinging or sliding carriage doors. The new entry is proposed

to match the garage doors, featuring a transom-like window with a single panel beneath. Two options are proposed for the panel—the vertical board treatment (Scheme A) or a flat surface (Scheme B). (See Attachment 3 for elevation drawings.)

All the decorative brackets beneath the roof cornice are to be retained, but the existing window shutters will be removed. The rear deck and railing will not be changed as part of this proposal. The exterior brick will be repointed with mortar matching the existing, and where necessary, bricks will be replaced in-kind.

A number of changes are proposed for the window and door openings on the rear (east) façade of the carriage house, but because this elevation is not readily visible from a public way, the Committee will not be reviewing these alterations.

Staff Comments:

The Committee may wish to clarify the dimensions of the rails, stiles, and muntin widths of the proposed French doors on the west façade to ensure that they are in proportion to the size of the opening and compatible with the proposed window replacements on the rest of the façade.

Staff suggests that it is important for the proposed garage doors to “read” as single, solid elements as much as possible. Committee members may want to request details on the operation of the overhead doors and clarify whether they will swing upwards as a single door or “roll” up in horizontal sections. If the doors operate in sections, the Committee may wish to clarify the number of sections and how the seams are treated. In addition, the Committee may also want to ascertain the detailing of the vertical board panels, as the door specifications list a number of options, including v-groove and beaded treatments.

Staff suggests that the following standards for the review of alterations are the most relevant in this project:

Standard #2

The distinguishing original qualities or character of a structure, object, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.

Standard #5

Distinctive stylistic features or examples of skilled craftsmanship, which characterize a building, structure, or site, shall be treated with sensitivity.

Standard #9

Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant cultural,

historical, architectural, or archaeological material and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.

Motion for the Committee to Consider:

On the basis of material submitted by the applicant and on the basis of information included in Historic Preservation Report #13-01, the Committee finds that the exterior alterations to 95 Chadwick Street **meet/fail to meet** the Standards for Review of Alterations of the Historic Preservation Ordinance (**subject to the following conditions of approval**):

Attachments

1. Original project application
2. Photographs of property
3. Plans and elevation drawings
4. Specifications for proposed replacement windows
5. Specifications for proposed garage and entry doors
6. Historic Resources Inventory Report
7. 1924 Photograph



Date: 4-1-01

**HISTORIC PRESERVATION
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

Pursuant to review under the City of Portland's Historic Preservation Ordinance (Chapter 14, Article IX of the Portland City Code), application is hereby made for a Certificate of Appropriateness for the following work on the specified historic property:

Property Name and Address: 95 CHADWICK ST.

APPLICANT

Name: CATHERINE TAYLOR Telephone (207) 879-1226

Company, if applicable: _____

Address: 34 WEST STREET #1
PORTLAND, ME 04102

PROPERTY OWNER IF DIFFERENT

Name: ESTATE OF SANDRA SHAW
JOHN ORESTIS, Personal Rep. Telephone (207) 846-3511

Address: P.O. BOX 1408
LEWISTON, ME 04243

Architect (if any): _____

Contractor or Builder (if any): _____

Local Designation:

Landmark Within Historic District Historic Landscape District

C. Taylor
Applicant's Signature

[Signature]
Owner's Signature (if different)

** Note: No application fee is required. Applicant is responsible for costs of sending notices and placement of legal ad. Such costs shall be paid prior to issuance of Certificate/Building Permit or upon denial

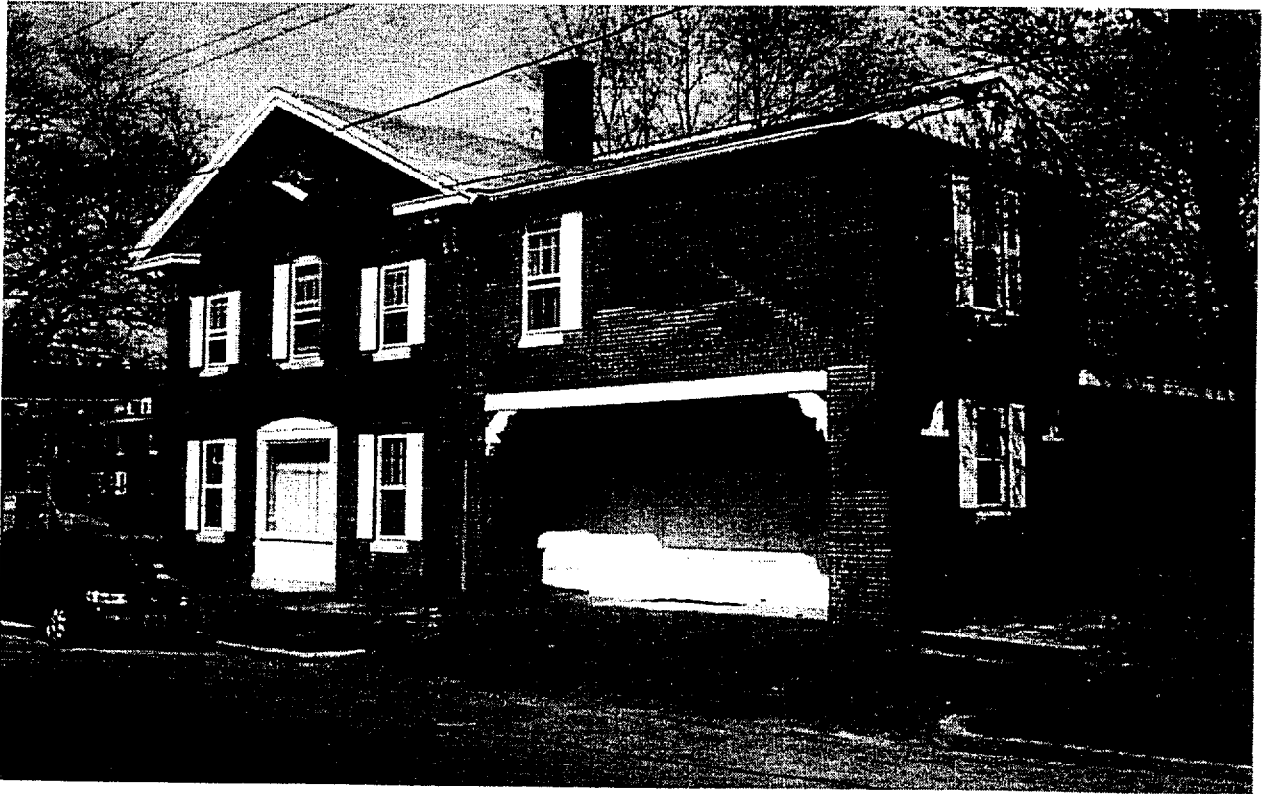
I. DESCRIPTION OF PROJECT

Describe in a separate paragraph each type of proposed exterior architectural alteration, such as window replacement, roof replacement, porch alteration, repointing of masonry, or new addition/construction. Briefly describe the feature or materials affected by the work and give the approximate date that it was constructed, if known. Describe in detail the proposed work and how it will impact the existing feature. Use as many items as necessary to cover all aspects of the project. If more space is needed, continue on a separate page. Reference work items to accompanying drawings or photographs.

- A WINDOW REPLACEMENT - REPLACE EACH 6/6 DOUBLE HUNG WITH 2/2 DOUBLE HUNG AS PER HISTORIC DOCUMENTATION.
- REPLACE PICTURE WINDOW @ WEST ELEV. WITH 2 quantity 2/2 DBL HUNG UNITS (SIDE BY SIDE)
- B WINDOW ADDITION - (1) double hung unit @ west facade (per elev.) (1) casement @ North facade (per elev.); (1) dbl-hung @ South facade (per elev.)
- C ROOF ALTERATION - SECONDARY ROOF ABOVE GARAGE AREA TO BE EXTENDED TOWARDS EAST TO FACILITATE ALTERATIONS IN SECOND FLOOR SITTING ROOM & STAIRS. ELEVATION OPTION 'A' & OPTION 'B' HAVE BEEN PROVIDED FOR REVIEW. OPTION 'A' KEEPS EXISTING ELEVATION HEIGHT OF ROOF OPTION 'B' KEEPS EXISTING ^{PITCH} ~~PITCH~~ ELEVATION. OPTION 'B' IS PREFERRED.
- D MASONRY TO BE REPAIRED ^{& INFILLED} TO MATCH EXISTING WHERE POSSIBLE.
- E DOOR REPLACEMENT
GARAGE DOORS - 2 GARAGE DOORS WILL REPLACE SINGLE DOOR DOOR TO MATCH EXISTING.
DOUBLE GLAZED DOORS TO REPLACE WINDOWS @ PROPOSED KITCHEN AND STUDY ON EAST FACADE
DOUBLE GLAZED DOOR TO REPLACE SLIDER @ DECK. (EAST FACADE)



1. View of north and west facades.



2. View of west and south facades.



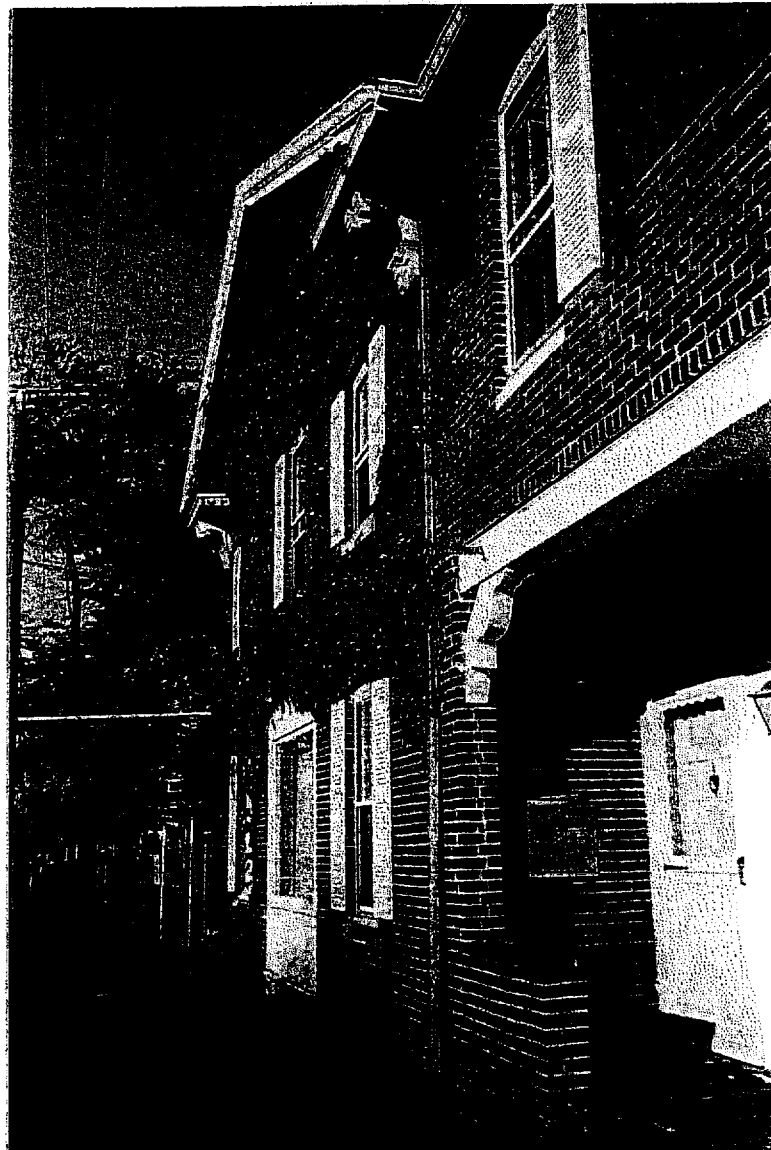
3. View of west and south facades.



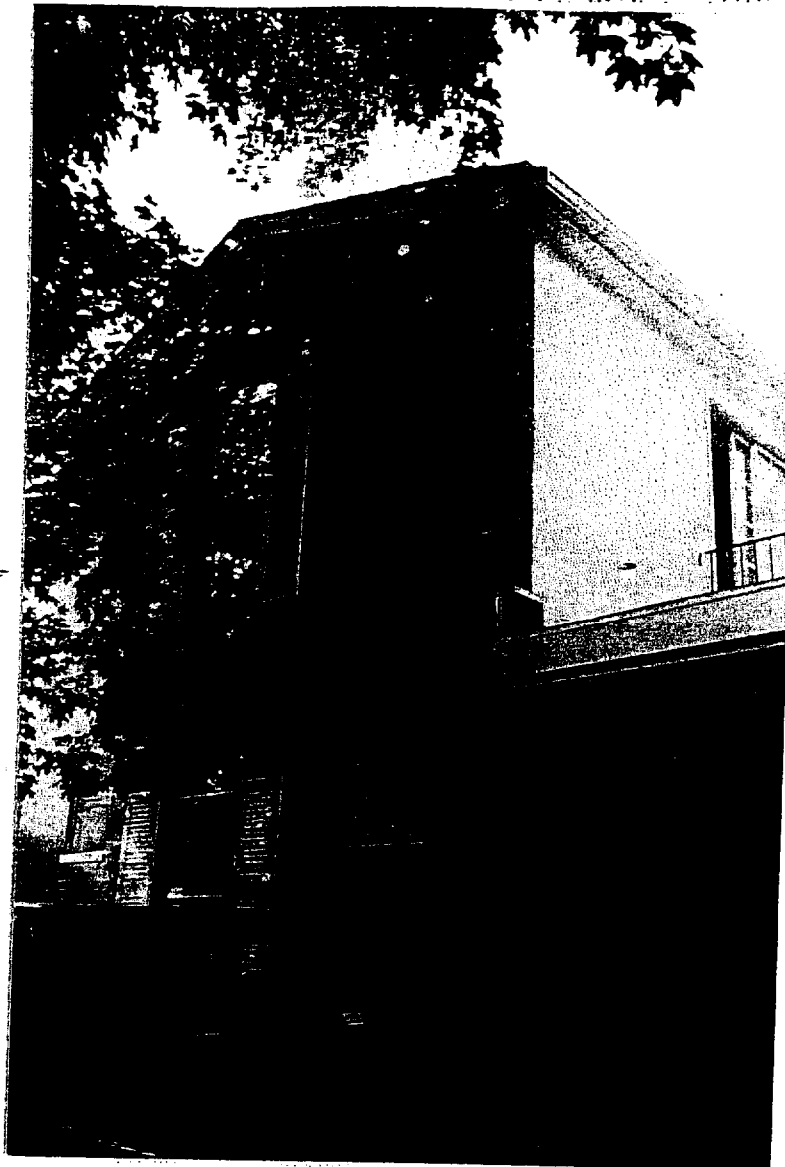
4. View of south façade from Pine Street.



5. VIEW OF WEST FACADE



6. DETAIL, WEST FACADE



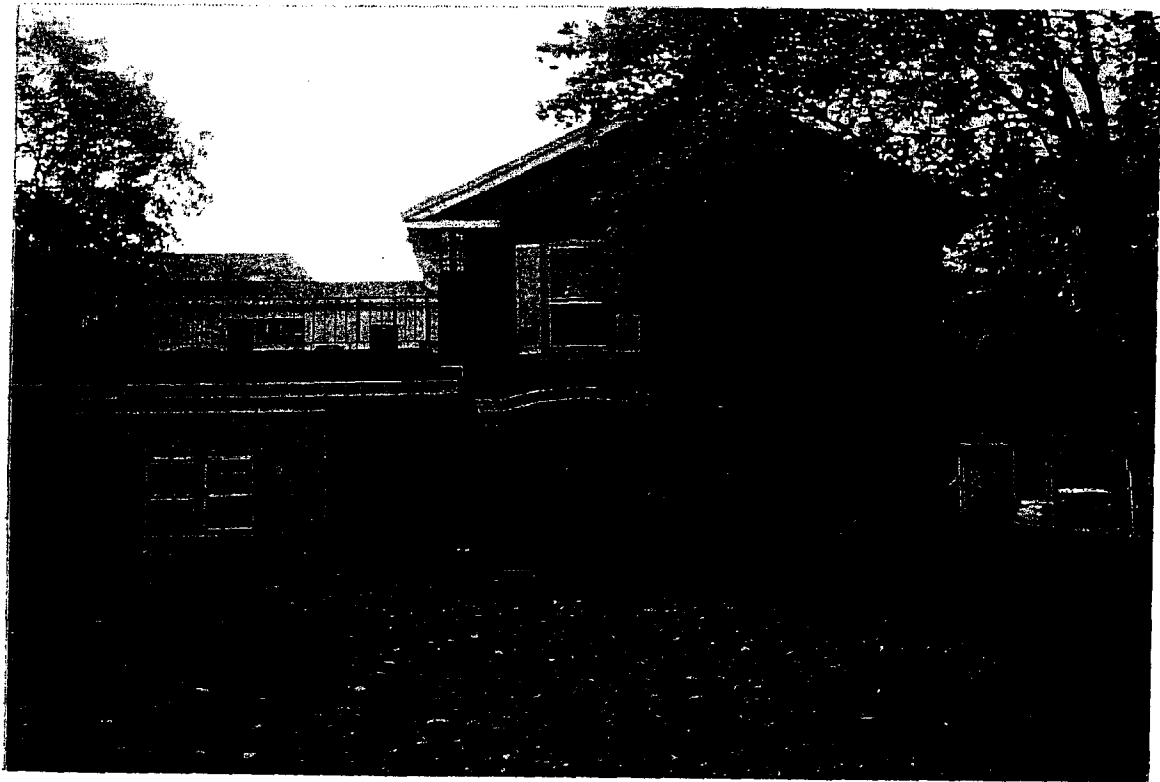
7. DETAIL, SOUTH FACADE



8. VIEW OF SOUTH FACADE

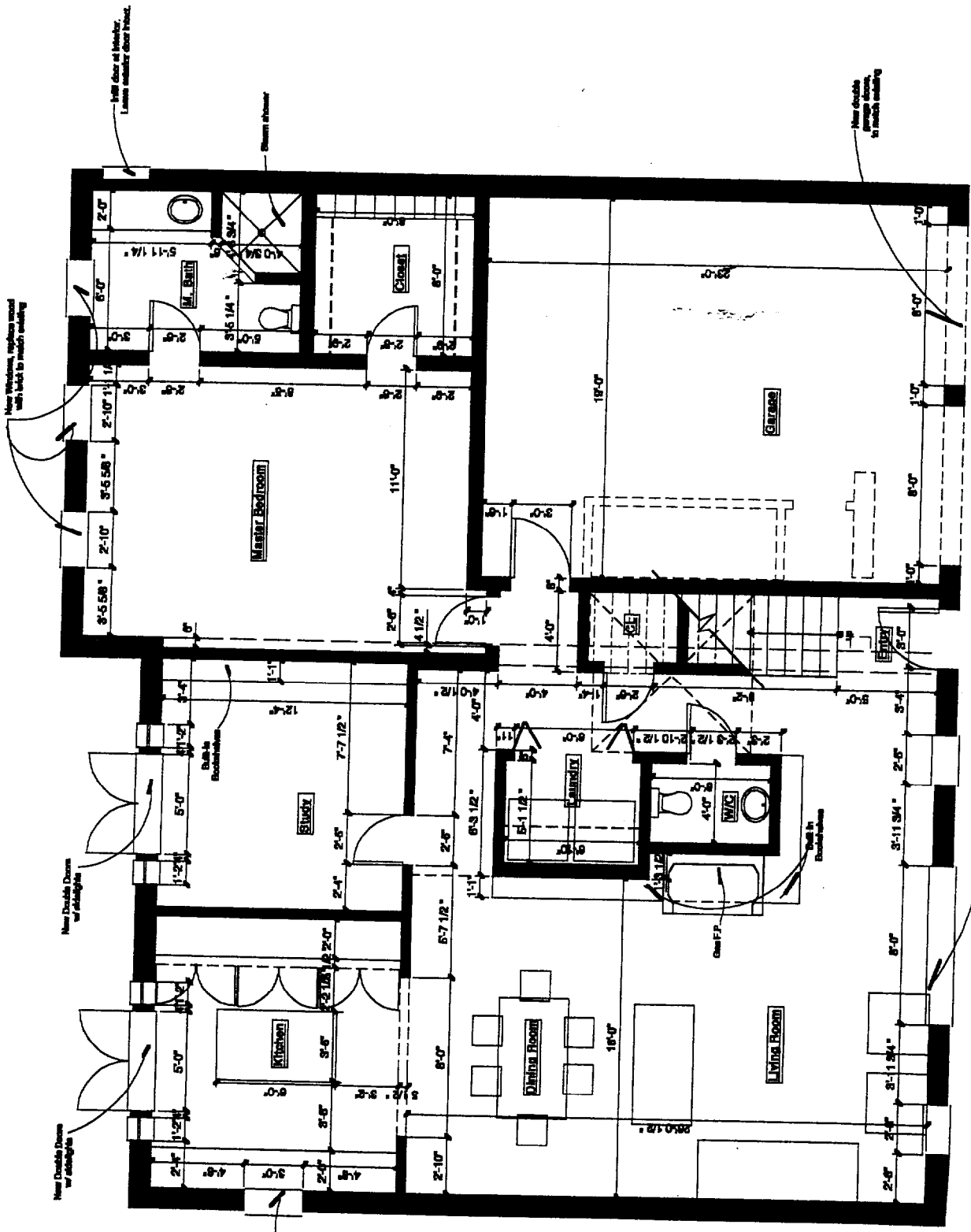


9. VIEW OF EAST FACADE



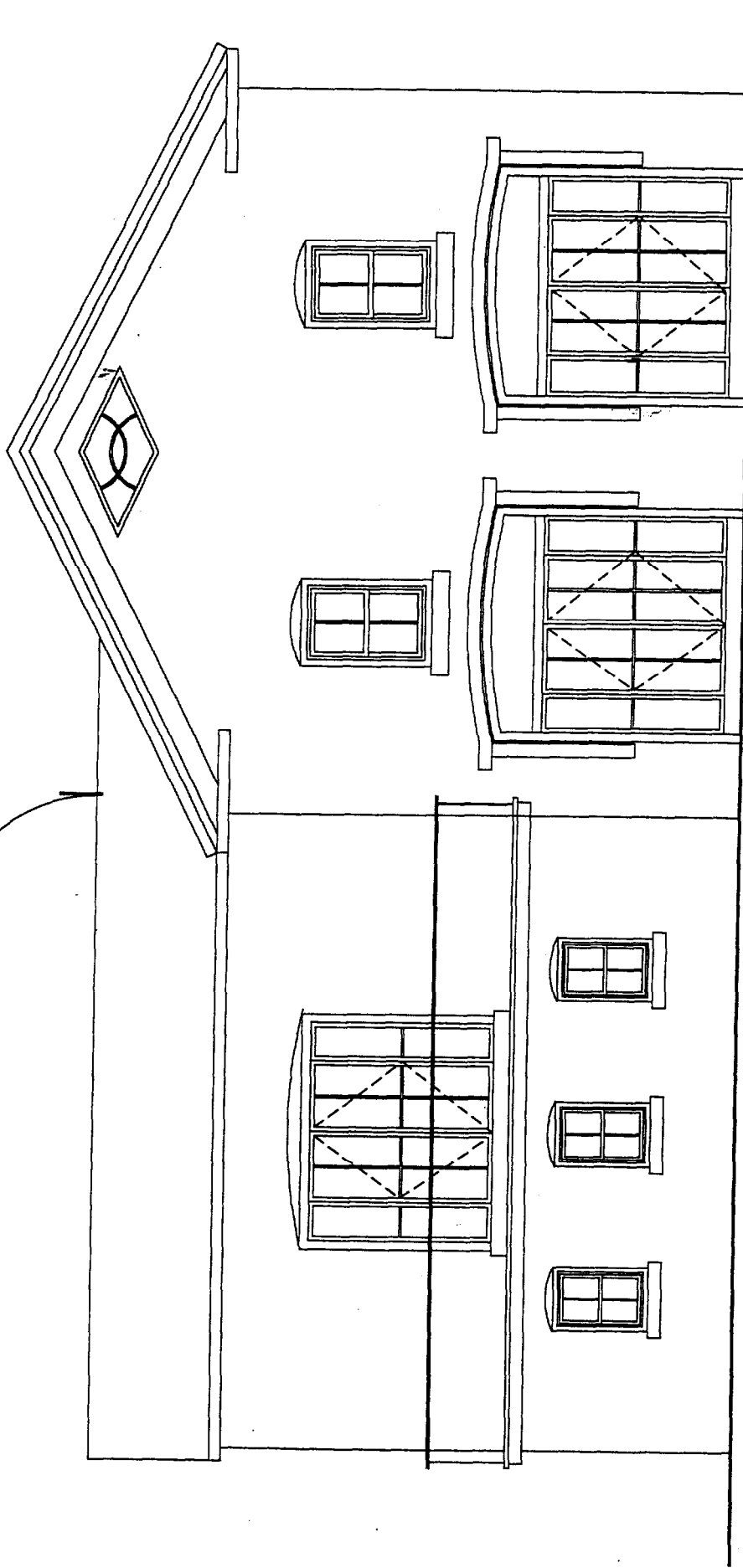
10. VIEW OF EAST FACADE

Chadwick Street

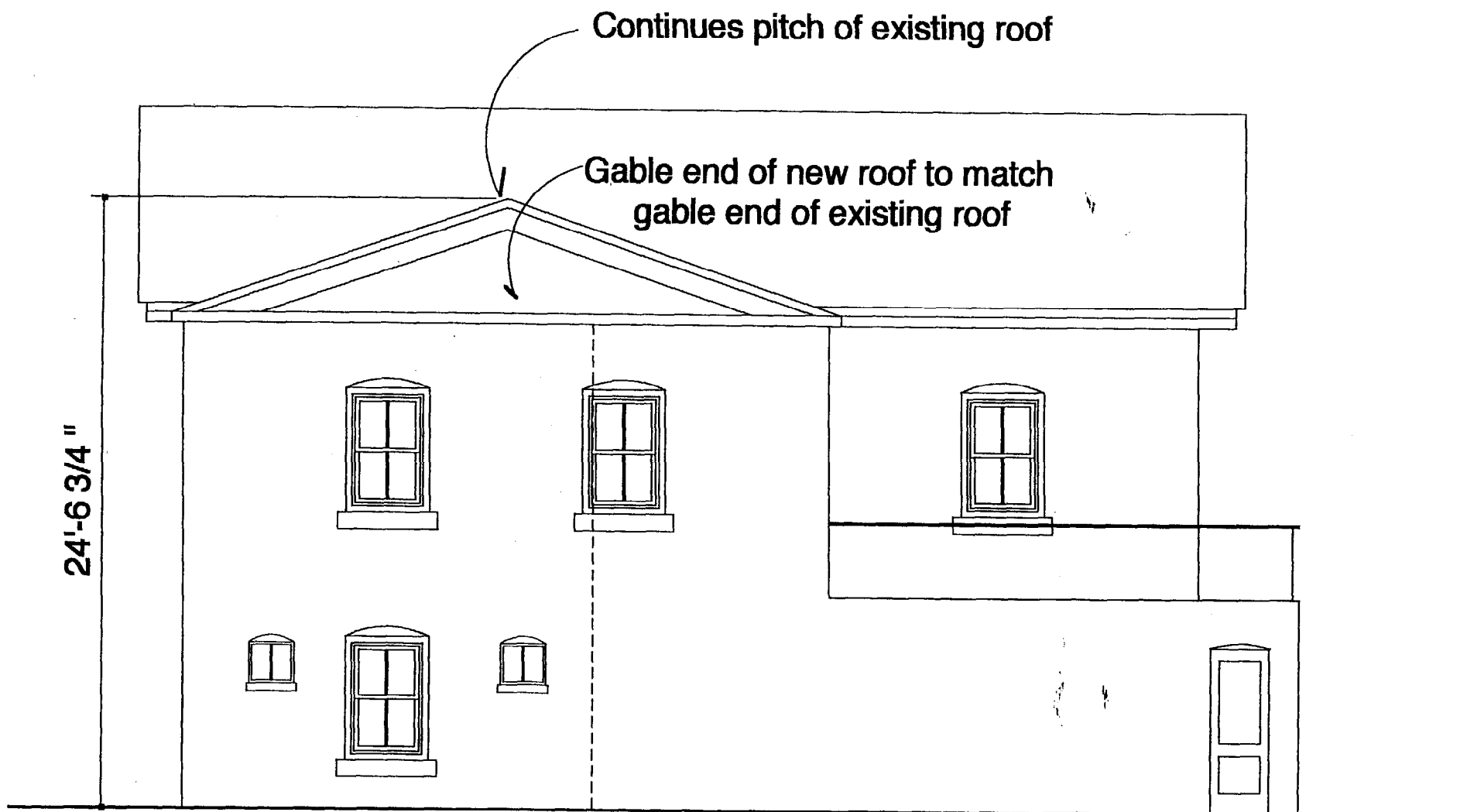


1 Proposed First Floor Plan
1/4" = 1'-0"

Continues pitch of existing roof

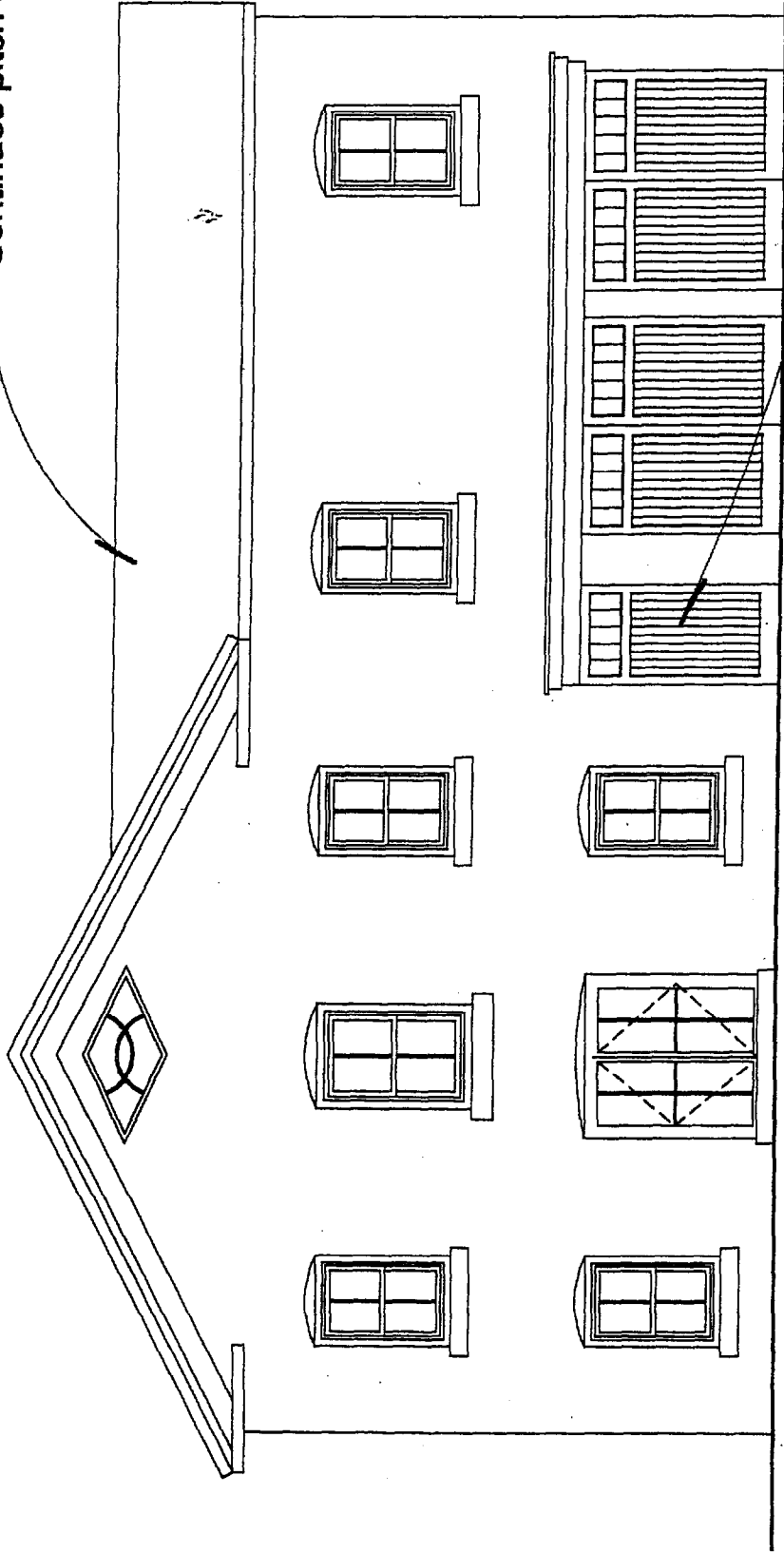


1 East Elevation
1/4" = 1'-0"



2 South Elevation
1/4" = 1'-0"

Continues pitch of existing roof

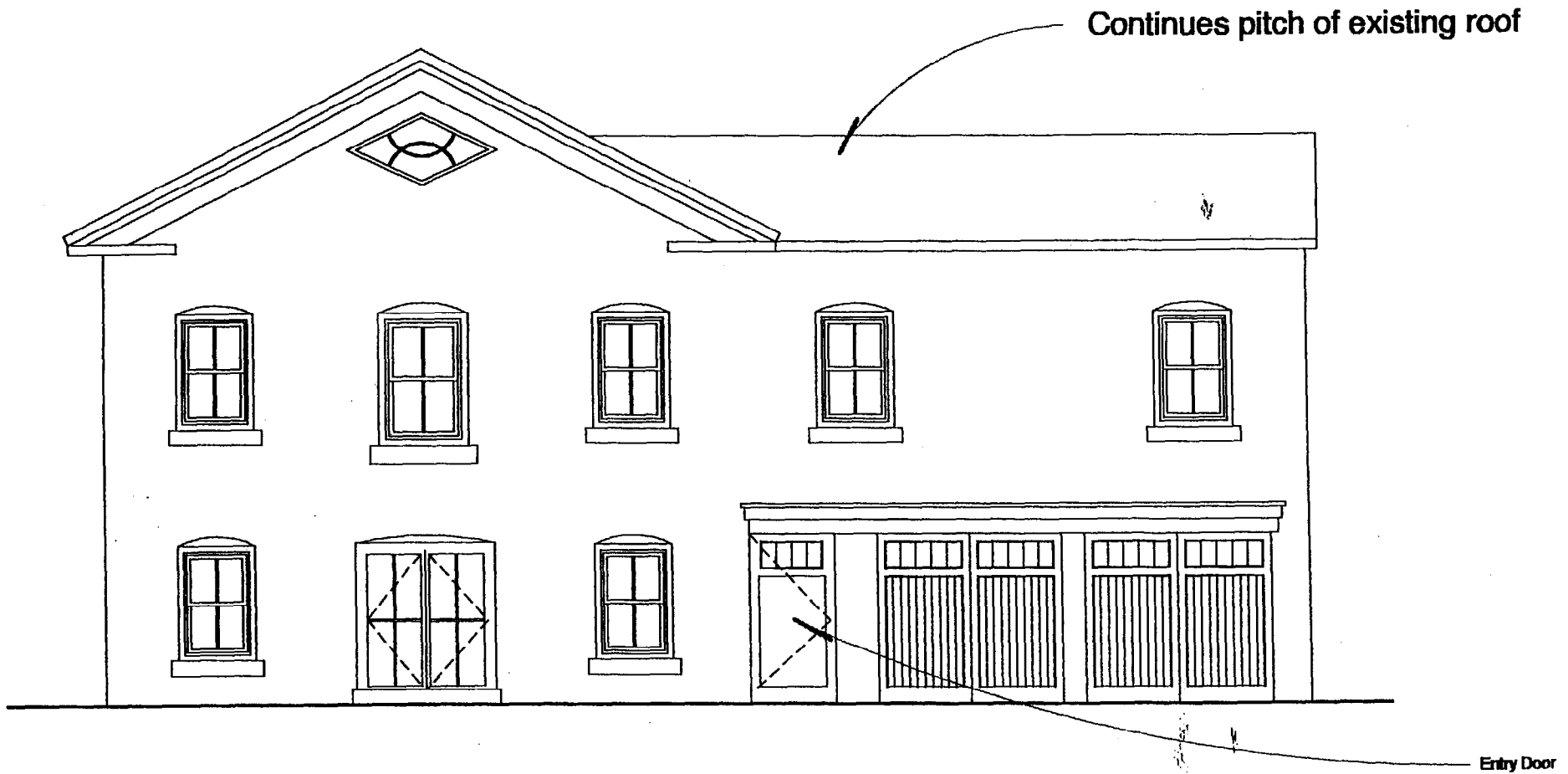


Entry Door

Exterior Notes:

1. Windows and patio doors to be Kolbe and Kolbe, or approved equal, 2/2 clad double hung w/ tilt open sash and 7/8" mullion, sized to match all existing window units, except for front picture window. New window units to be located at same point in plane, as existing.
2. Front door and Garage doors to be custom by Designer Doors, or approved equal, as shown above.
3. All wood sills to be replaced with granite to match existing.
4. All existing exterior brick to be repointed where possible, and replaced where necessary with brick to match existing.

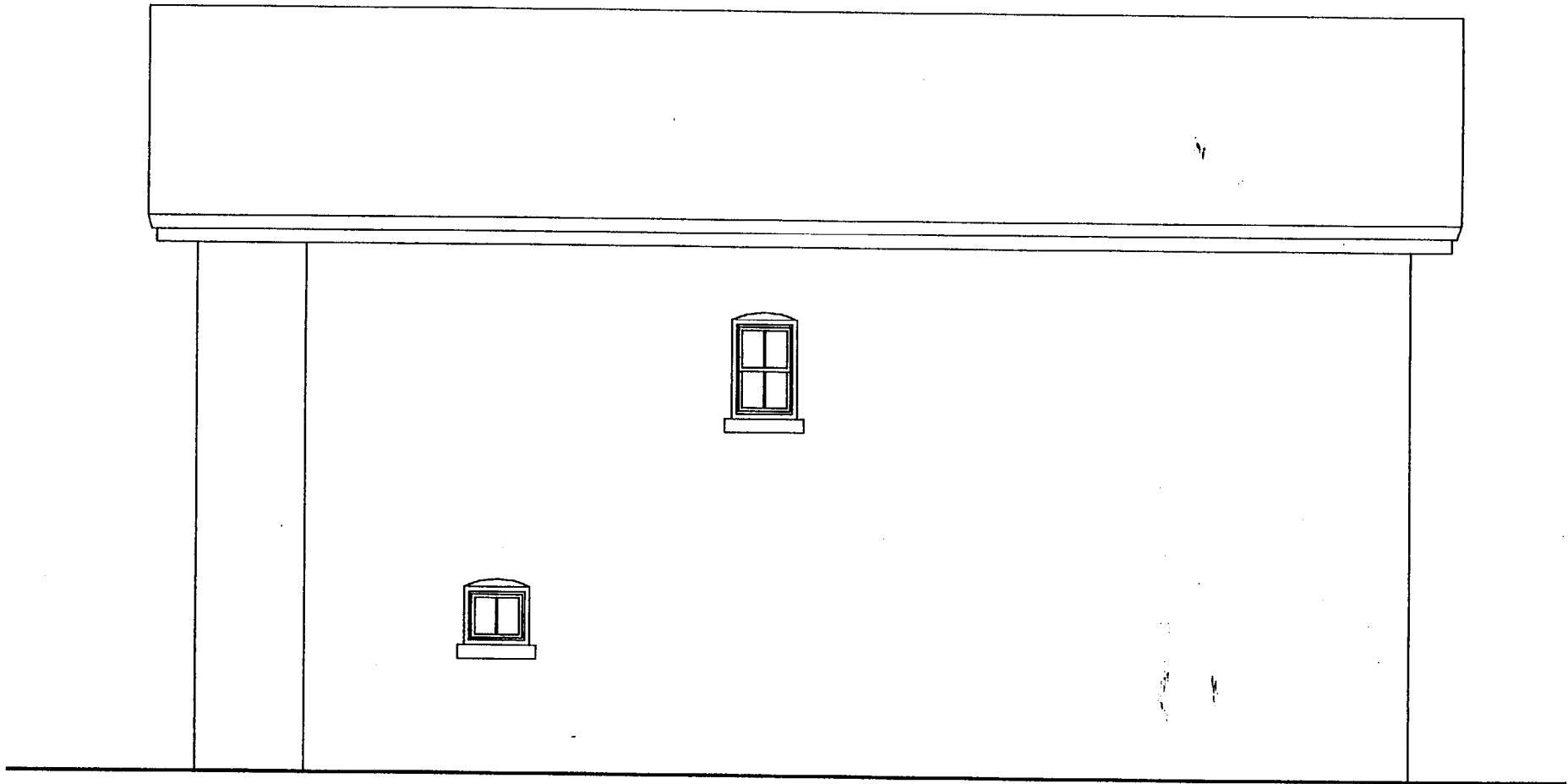
3 Chadwick Street Elevation - West: Sceme 'A'
1/4" = 1'-0"



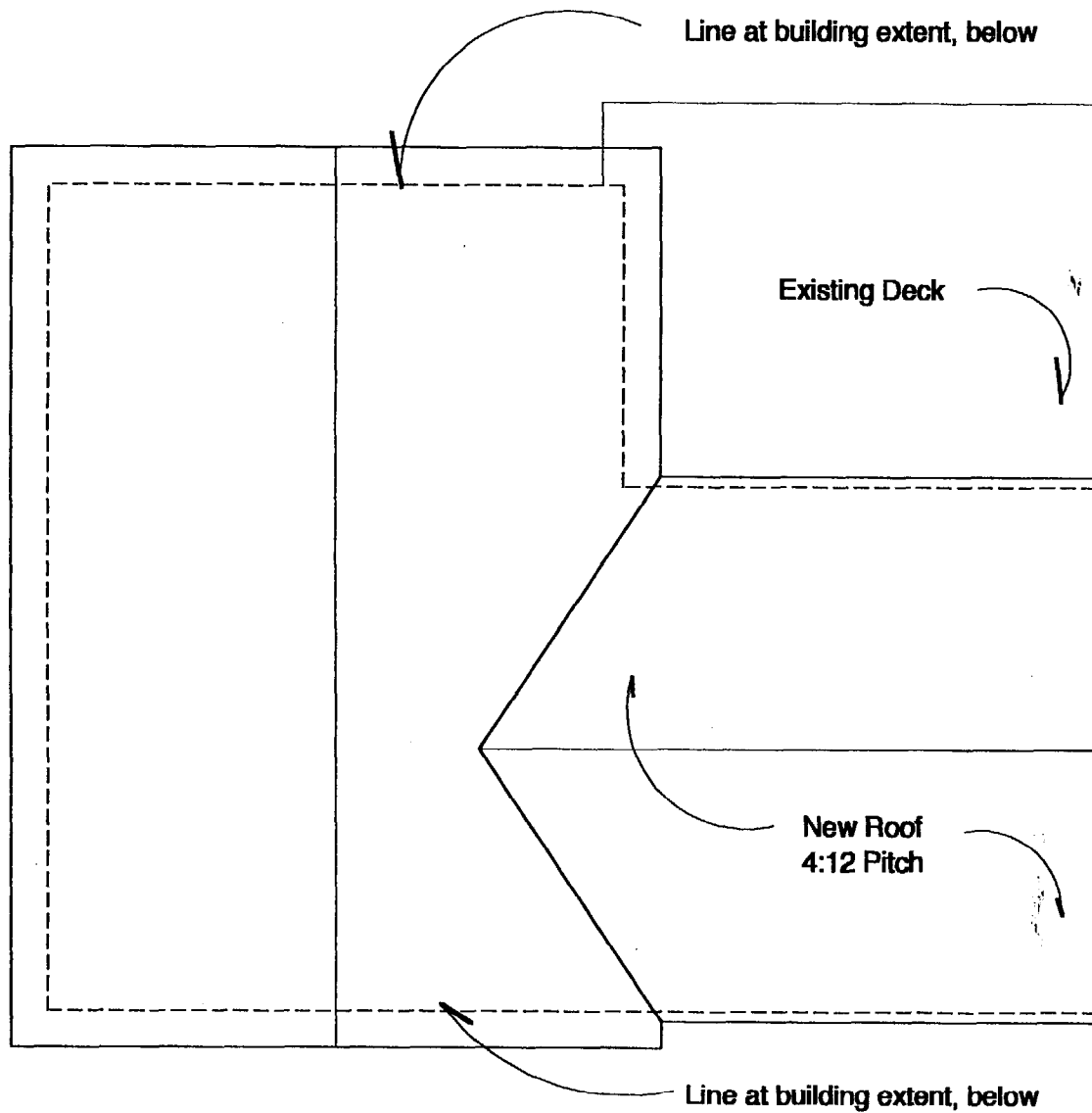
3 Chadwick Street Elevation - West: Scheme 'B'
 1/4" = 1'-0"

Exterior Notes:

1. Windows and patio doors to be Kolbe and Kolbe, or approved equal, 2/2 clad double hung w/ tilt open eash and 7/8" mullion, sized to match all existing window units, except for front picture window. New window units to be located at same point in plane, as existing.
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3. All wood sills to be replaced with granite to match existing.
4. All existing exterior brick to be repointed where possible, and replaced where necessary with brick to match existing.



4 **North Elevation - B**
 $1/4" = 1'-0"$



1 Roof Plan

1/4" = 1'-0"

Chadwick Street

Roof Notes:

1. New roof shingles to match existing.

Frame	The frame is constructed of kiln dried Western pine, water-repellent, preservative treated in accordance with WDMA I.S. 4. Standard jamb width is 4-9/16", the basic box is the same. The 1-3/16" frame sill slopes 14°. Special width jamb extensions are available, factory applied to a total of 12". All exterior surfaces are completely covered with a 5052 alloy, .024 (0.6 mm), roll form aluminum cladding with all corners lap jointed and sealed. A heavy duty vinyl nailing fin is applied.
Sash	<p>The sash is constructed of kiln dried Western pine, water-repellent, preservative treated in accordance with WDMA I.S. 4. The sash is 1-5/16" thick with the corners having slot-and-tenon construction each joined by a double pin. The exterior surface is completely covered by a 5052 alloy, .019" (0.5 mm), roll formed aluminum with a flexible sealer applied under each lap joint.</p> <p>The "Royal" Double Hung utilizes a pair of sash which are 1-3/4" thick (versus our 1-5/16" Traditional Double Hung Sash) having the same daylight opening and stile width as our standard sash, and operating in our standard jambliner. The exterior surface is completely covered by a 5052 alloy, .019" (0.5 mm), roll formed aluminum with a flexible sealer applied under each lap joint. All glass is premium quality float and when fabricated into hermetically-sealed insulating units measures 7/8" (23.0 mm) overall with a 5/8" (16.0 mm) sealed airspace.</p>
Finish	The exterior of all aluminum surfaces are precoated with a baked polyester finish which may be specified in Rustic, White, Beige, Sand, or Hartford Green. The interior surfaces are unfinished, treated wood ready to accept stain and varnish or paint. Optional interior finishes include a light oak stain, high quality white latex primer, or an interior latex paint.
Weather-stripping	The sash is weatherstripped with a vinyl compression bulb at the top of the upper sash and the bottom of the lower sash. The check (meeting) rail has a flexible vinyl dual-fin weatherstrip. The sash stiles seal against the jambliners, which are backed by a resilient foam weather barrier, producing a tight seal yet allowing easy operation.
Hardware	All units have pick-resistant Entry-gard® Cam Locks with concealed locking mechanism, including alignment lugs for an enhanced window seal. The lock and keeper are high-pressure die-cast zinc with an aluminum back plate, available in a choice of Clay, White, Beige, or Brass. Spring loaded block and tackle mechanical balances carry the weight of the sash. Zinc die-cast pins engage and release the balance clutches allowing the sash to be tilted in and removed for cleaning.
Glazing	All glass is premium quality float and when fabricated into hermetically-sealed insulating units measures 1/2" (12.5 mm) overall with a 1/4" (6.4 mm) sealed air space. The unit is bedded into the glass rabbet with a glazing tape and silicone sealant retained by an interior wood glazing bead fastened to the sash. Standard glazing is LoE, argon filled insulating glass or any other standard industry colors and thicknesses of glass are available. For units installed in or traveling through high altitude areas, breather tube units are available, air filled. True Divided Lite glazing utilizes 1/2" (12.5 mm) overall insulating glass.
Screens	Screens are fabricated from .024" aluminum roll form frame surrounds with charcoal fiberglass screen cloth (18 x 16 mesh) held in place by spring loaded plungers. The surround sections are joined and reinforced with a corner key. Available colors include Rustic, White, Beige, Sand, or Hartford Green. An aluminum screen cloth is also available. An extruded aluminum combination storm/screen is available as an option.
Divided Lites	<p>Removable grilles, with a full surround, are fabricated from clear, kiln-dried Western pine. The grille bars measure 7/8" x 1/2" and are available in a colonial (rectangular) or diamond pattern with machined profiles on both sides of the bars to create a realistic simulation of true divided lites. A grille bar which measures 1-1/8" x 1/2" is also available.</p> <p>Grilles in the airspace are available in colors to match our selection of standard clad colors. The aluminum grille measures 5/8" wide x 3/16" and is installed inside the hermetically sealed unit. Additional color options include bright brass, light wood grain, dark wood grain, and a bi-color with wood grain on one side and white on the other. A profiled bar measuring 3/4" x 5/16" in our selection of standard clad colors and a brass pencil bar measuring 5/16" x 5/16" are available for our Royal Double Hung sash only.</p> <p>The Simulite K-bar glazing system gives the appearance of authentic true divided lite without sacrificing energy efficiency. The system utilizes a permanently adhered wood grille bar to the interior, a permanently adhered aluminum grille bar to the exterior, and an aluminum mill-finish color spacer bar between the two panes of glass. Grille bar width options are 7/8" or 1-1/8". This option is only available with our "Royal" Double Hung sash.</p> <p>True divided lite glazing is available with 7/8" or 1-1/8" wide muntin bars for single glazing and 1-1/8" bars for insulating glass. Other bar widths are available upon request. The horizontal and vertical interlocking solid pine bars utilize half-lap joints. True divided lite sash are not available clad with aluminum, but are prefinished with K-Kron. The frame, however, is still actual clad.</p>
Product Performance	See Technical Data section for product performance, including air-water-structural and energy.

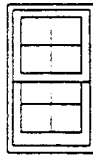
CLAD DOUBLE HUNG UNITS

Scale: 1/4" = 1'0" **ELEVATIONS**

* NOTE: Grilles configuration shown are typical for width and height combinations shown.

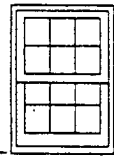
Unit Dim.
Rgh. Opg.
Sash Opg.

1'-9 1/2"
1'-10"
1'-8"



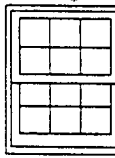
16 x 14

2'-1 1/2"
2'-2"
2'-0"



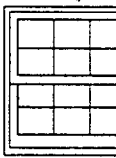
20 x 14

2'-5 1/2"
2'-6"
2'-4"



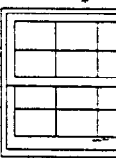
24 x 14

2'-9 1/2"
2'-10"
2'-8"



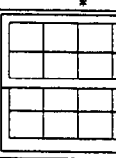
28 x 14

3'-1 1/2"
3'-2"
3'-0"



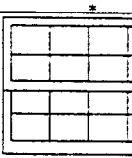
32 x 14

3'-5 1/2"
3'-6"
3'-4"



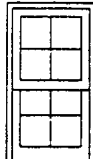
36 x 14

3'-9 1/2"
3'-10"
3'-8"

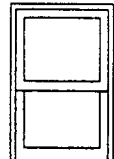


40 x 14

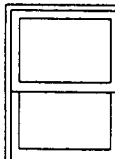
3'-4 7/16"



16 x 16



20 x 16



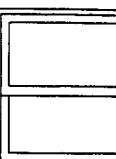
24 x 16



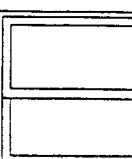
28 x 16



32 x 16

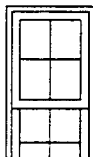


36 x 16

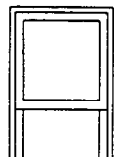


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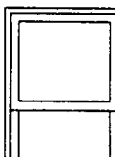
4'-0 7/16"



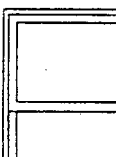
16 x 20



20 x 20



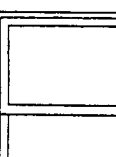
24 x 20



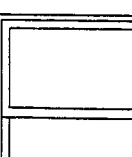
28 x 20



32 x 20

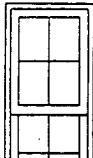


36 x 20

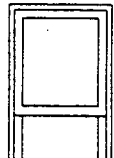


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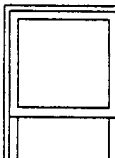
4'-4 7/16"



16 x 22



20 x 22



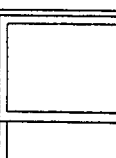
24 x 22



28 x 22



32 x 22

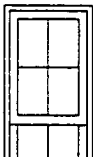


36 x 22

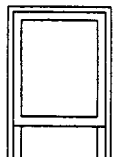


40 x 22

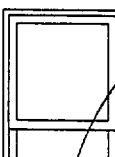
4'-8 7/16"



16 x 24



20 x 24



24 x 24



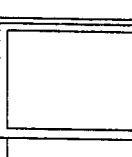
28 x 24



32 x 24



36 x 24

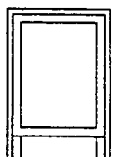


40 x 24

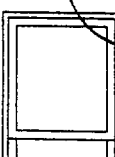
5'-0 7/16"



16 x 26



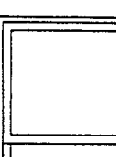
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24 x 26



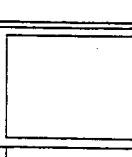
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32 x 26



36 x 26



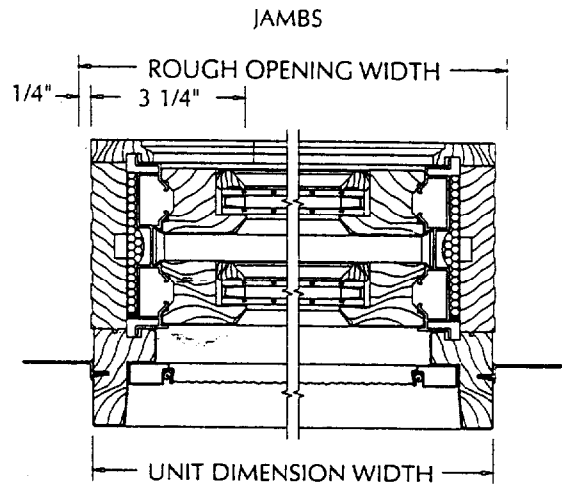
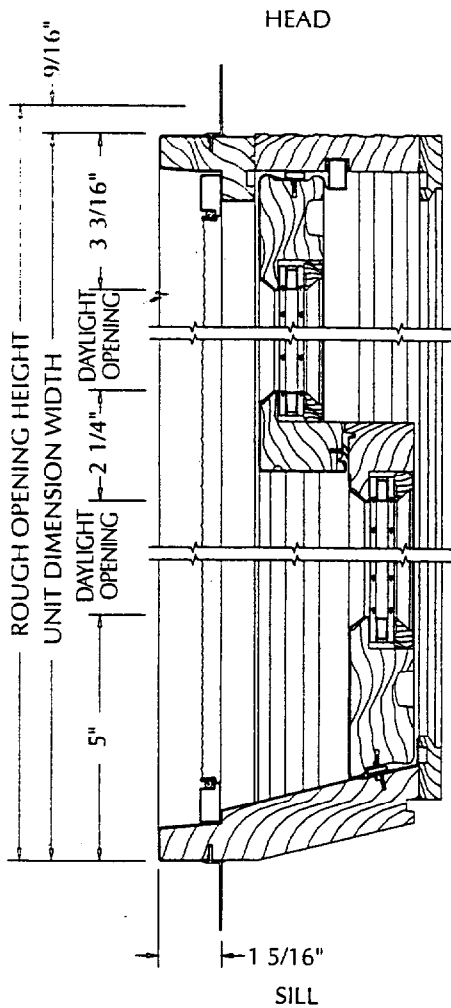
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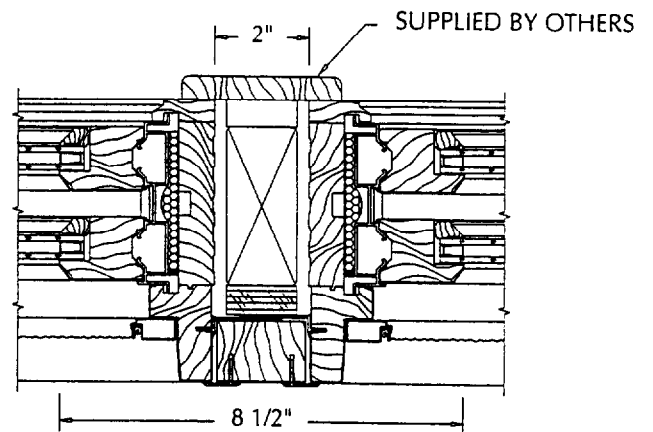
KOLBE & KOLBE
MILLWORK

CLAD DOUBLE HUNG UNITS

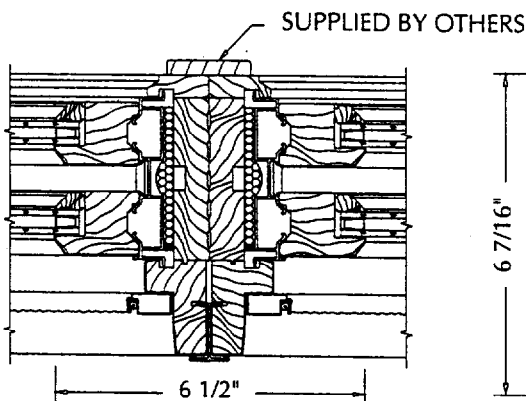
Scale: 3" = 1'0" **SECTIONS**



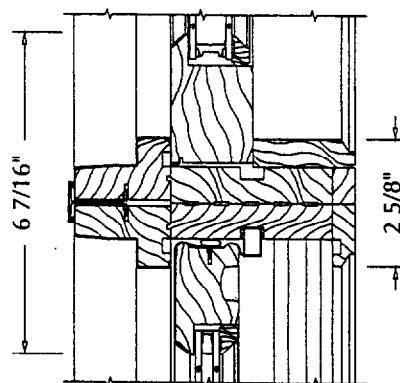
DOUBLE HUNG SUPPORT MULLION



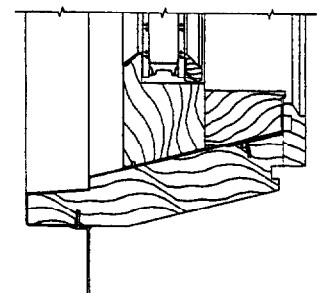
DOUBLE HUNG NARROW MULLION



DOUBLE HUNG TRANSOM STACKED



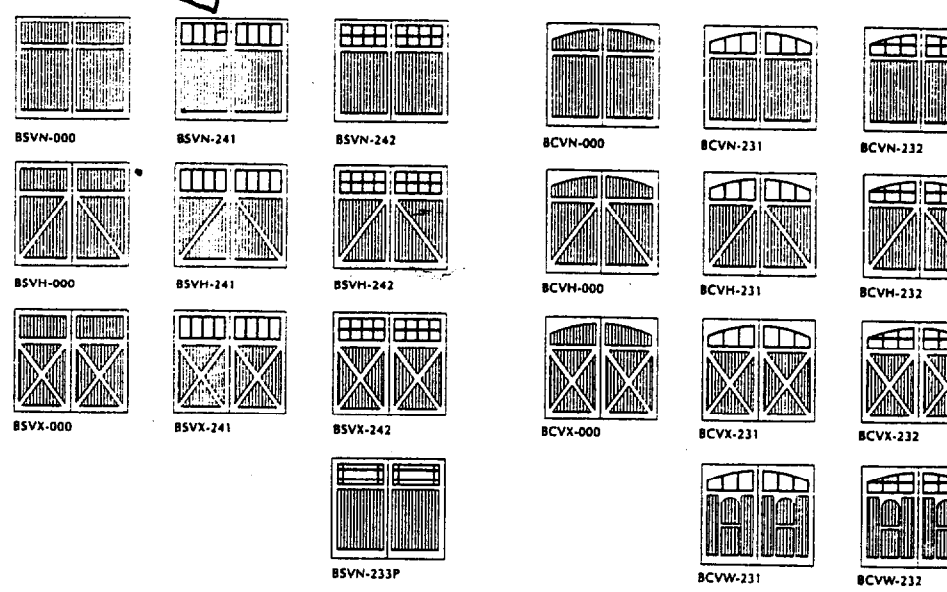
DOUBLE HUNG TRANSOM (WITH OPTIONAL SILL)





EUROPEAN
INSPIRATIONS

CARROZZA **PROVENÇAL**



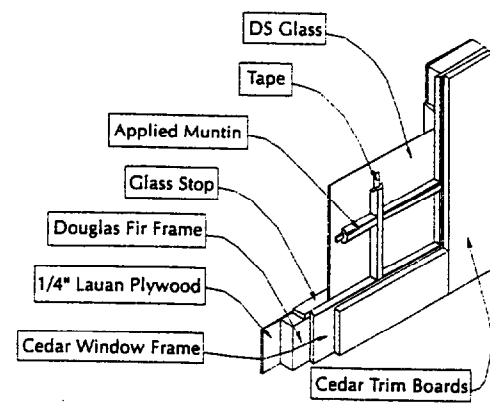
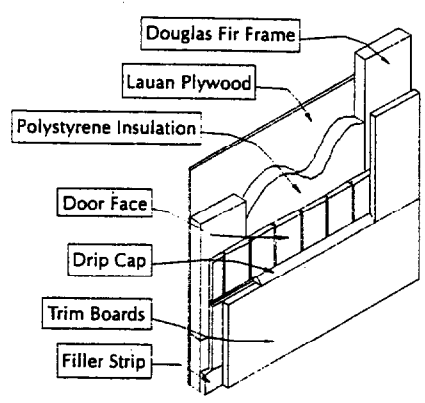
SURFACE MATERIALS AVAILABLE
FOR CAROZZA AND PROVENÇAL DOORS INCLUDE
4" V-GROOVE OR BEADED

SKUS WITH -000 INDICATE NO GLASS

DOORS SHOWN AS 9' X 8'
ALL DOORS AVAILABLE IN THIRTEEN SIZES

8' X 7'	8' X 8'	8' X 9'
9' X 7'	9' X 8'	9' X 9'
10' X 7'	10' X 8'	10' X 9'
16' X 7'	16' X 8'	
18' X 7'	18' X 8'	

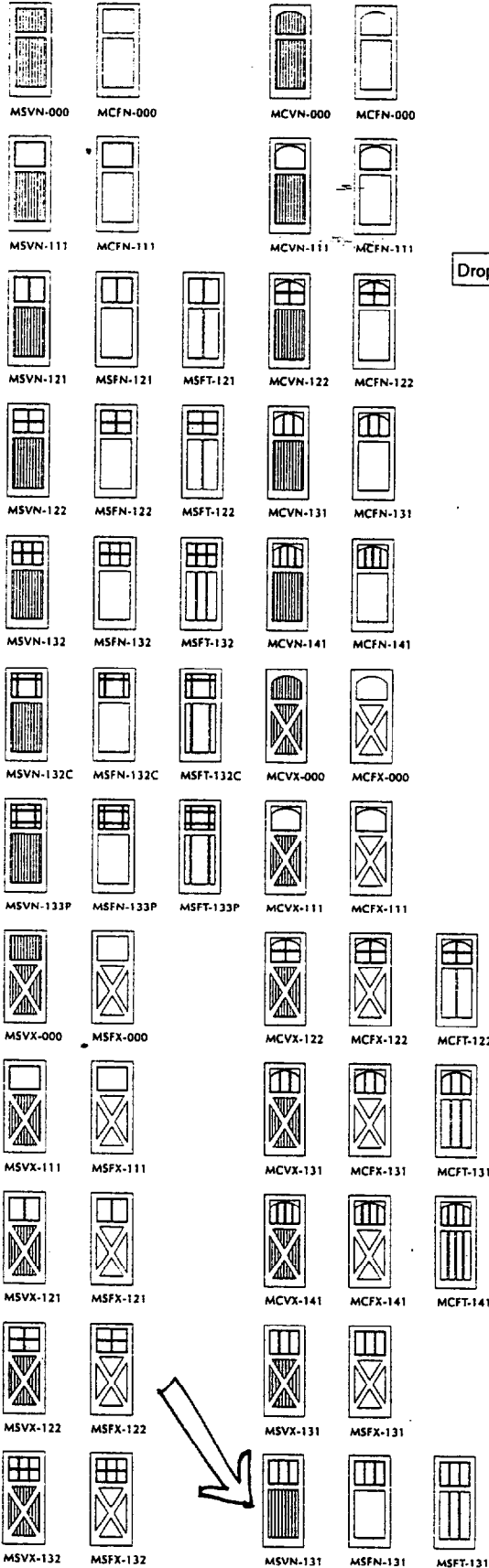
VINTAGE INTERNAL FRAME CONSTRUCTION



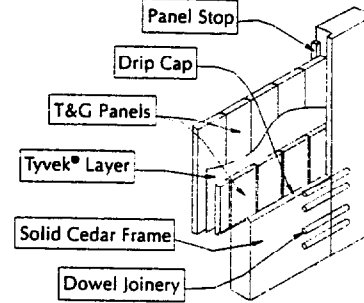
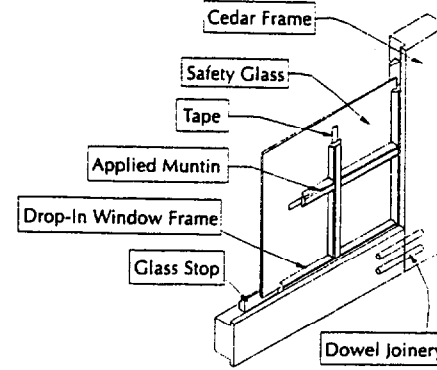


EUROPEAN
INSPIRATIONS

WALK-THROUGH DOORS



CEDAR FRAME CONSTRUCTION



SURFACE MATERIALS AVAILABLE
FOR WALK-THROUGH DOORS
INCLUDE 4" V-GROOVE,
BEADED, MDO, OR FLUSH FACE

SKUS WITH -000
INDICATE NO GLASS

ALL DOORS SHOWN HERE
AS 3' X 6'8"
WALK-THROUGH DOORS ARE
AVAILABLE IN FOUR SIZES

3' X 6'8" 2'8" X 6'8"
3' X 7' 2'8" X 7'



DESIGNER DOORS
PIONEERING POSSIBILITIES

© 2001 Designer Doors, Inc.
Protected by patents and patents pending.

Portland Historic Resources Inventory

Property Address: 95 Chadwick Street

Inventory #: WP-59

Assessor's C/B/L: 63-F-5,1

District: Western Promenade Map #: 59

Rating:

Local Code: CONTRIBUTING

National Register: Ind. Listing N/A District Western Promenade

Date of Placement: Local 08/01/1990 National 02/16/1984

Description of Significant Features and Subsequent Alterations:

In 1865 a new street was laid out from Pine Street east towards Bramhall Street called Chadwick Street. Edmund Phinney built on the corner of Pine and Chadwick in 1865-66 and G.W. Woodman built an Italianate house at 166 Vaughan on the corner of Pine where the Williamsburg Apartments are now located. When this house, which was owned by Charles H. Payson in the 1920's, was later demolished, the carriage house at 95 Chadwick Street was spared. It sat on the back corner of the large estate which was bounded by Vaughan, Pine, and Chadwick Streets.

The two-story brick carriage house has been converted to a multi-family dwelling. The central carriage door has been filled in with a large picture window in a wood surround. The two windows which flank it and the second story windows above it, now all have 6/6 double-hung sash, but originally were 2/2. A garage has been created in the side ell beneath a lintel supported by brackets. The window above it is an original opening. The roof has a low pitched front gable ornamented by a lozenge window in the apex of the gable with semi-circular muntins. The cornice returns are ornamented by paired Italianate brackets. Originally there was a louvered lantern atop the roof.

The back elevation facing the estate was more elaborately decorated. The two carriage doors are protected by overhanging, segmentally arched Italianate hoods on large brackets. The carriage doors have been filled in with windows in wood panels over brick half walls. The second story windows, lozenge in the apex, and bracketed cornice returns are all present despite the building's change in use to housing.

City Review of Certificates:

Date	Action	Type	Summary of Work
------	--------	------	-----------------

Property Name: G.W. Woodman House

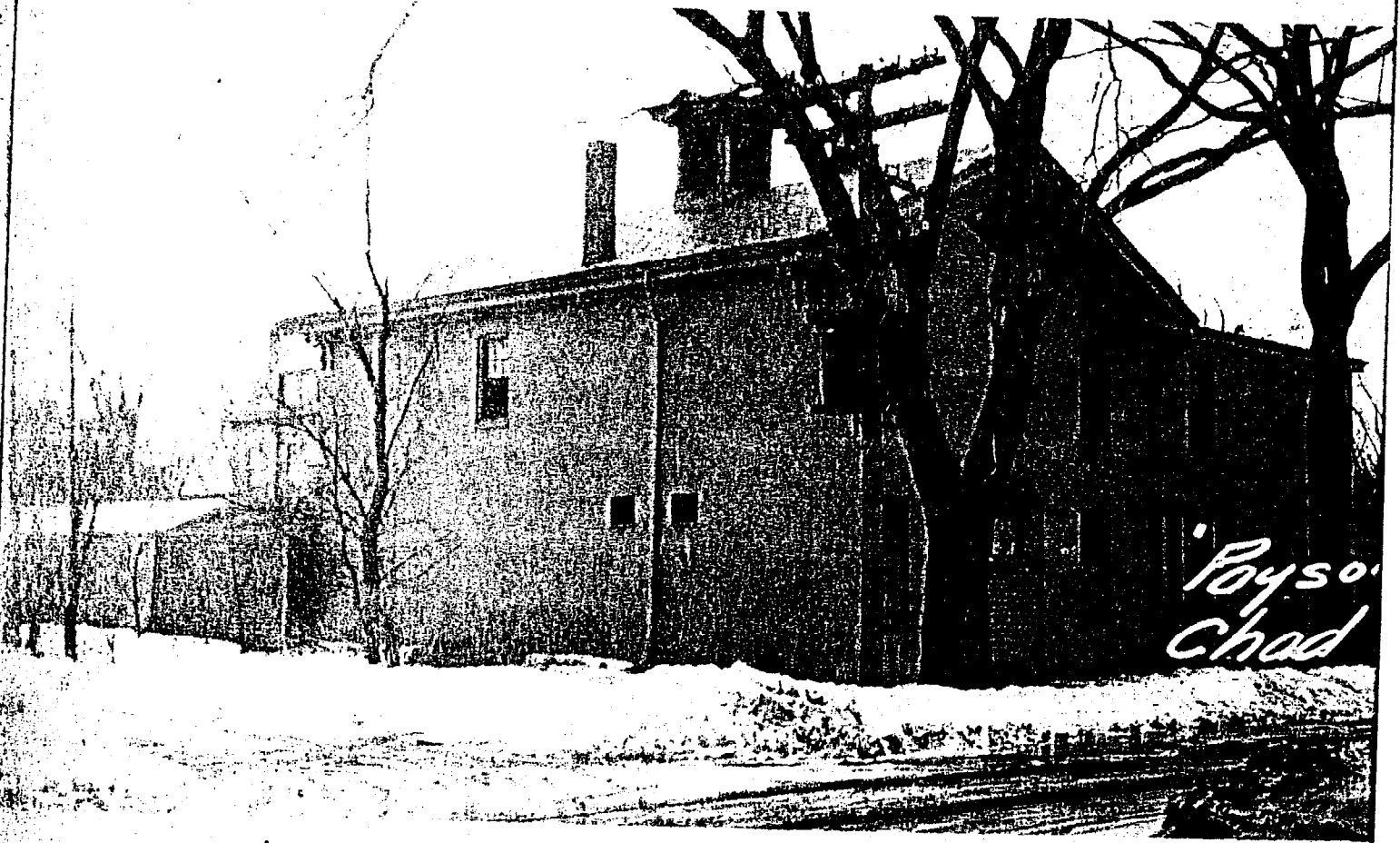
Property Name(Other):

Street Address: 95 Chadwick Street

Town: Portland County: Cumberland

Date Surveyed: 06/1991 Surveyor: Rick Redlon

Updated: (date) by (surveyor)



Foyson
Chad

Surveyed by
APR 14 1934

Chad Foyson

(Remarks on other Side)

2 of 2

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

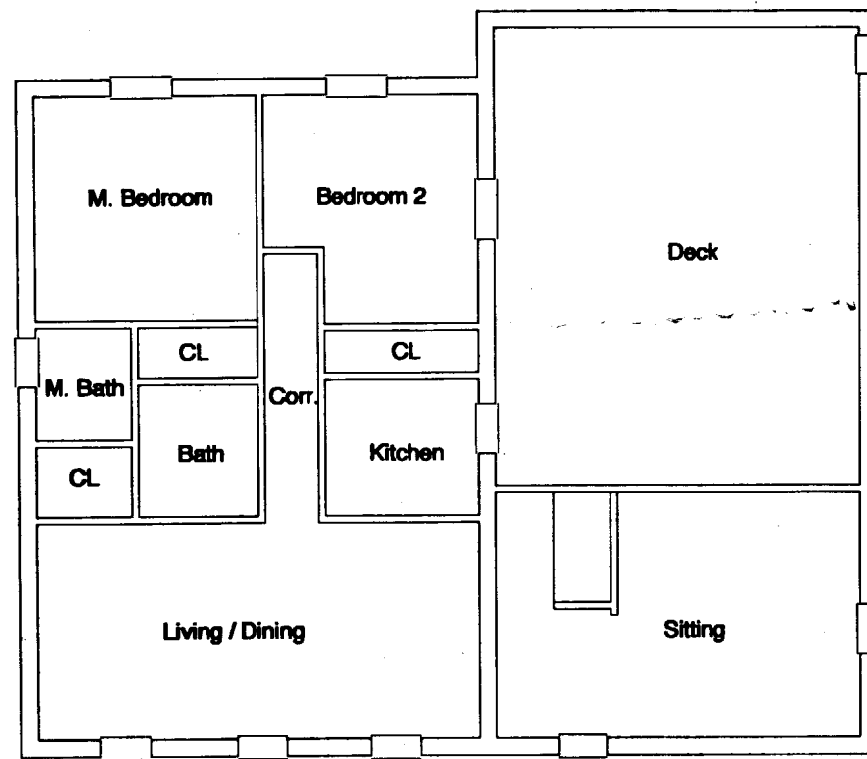
All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 95 95 Chadwick St.		
Total Square Footage of Proposed Structure ≈ 2,100	Square Footage of Lot 3480	
Tax Assessor's Chart, Block & Lot Number Chart# 63 Block# F Lot# 5	Owner: Sandy Shaw John Orestis	Telephone#: W) 786-3554 (h) 946-3511
Lessee/Buyer's Name (If Applicable) —	Owner's/Purchaser/Lessee Address: Box 777, Lewiston, ME	Cost Of Work: \$160,000 - \$ Fee: 984.00
Current use: 2 family house, 2 apartments If the location is currently vacant, what was prior use: Approximately how long has it been vacant: Proposed use: convert to single family home Change of Use Project description: attached is a full description		
Contractor's Name, Address & Telephone: Kevin S. Mattson, 126 Second St, HALLOWEN, ME 207-622-1406		
Applicants Name, Address & Telephone: John Orestis, Box 777, Lewiston, ME Who should we contact when the permit is ready: Kevin Mattson 207-622-1406 call TX Telephone: 622-1406		
If you would like the permit mailed, what mailing address should we use: DEPT. OF BUILDING INSPECTION CITY OF PORTLAND, ME JUN 27 2002 RECEIVE 6/27/02 Rec'd By: <i>Guy</i>		

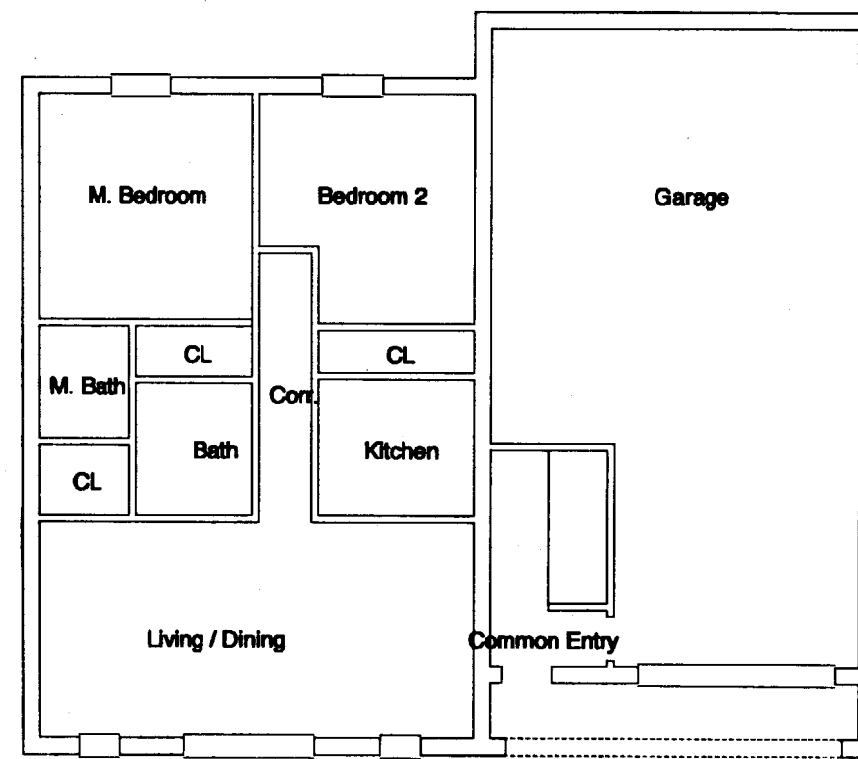
Catherine Taylor

24 West Street
Portland, Maine
04102
Telephone 877 879 1226
Facsimile 877 879 1226
e-mail ct@maine.ct.com



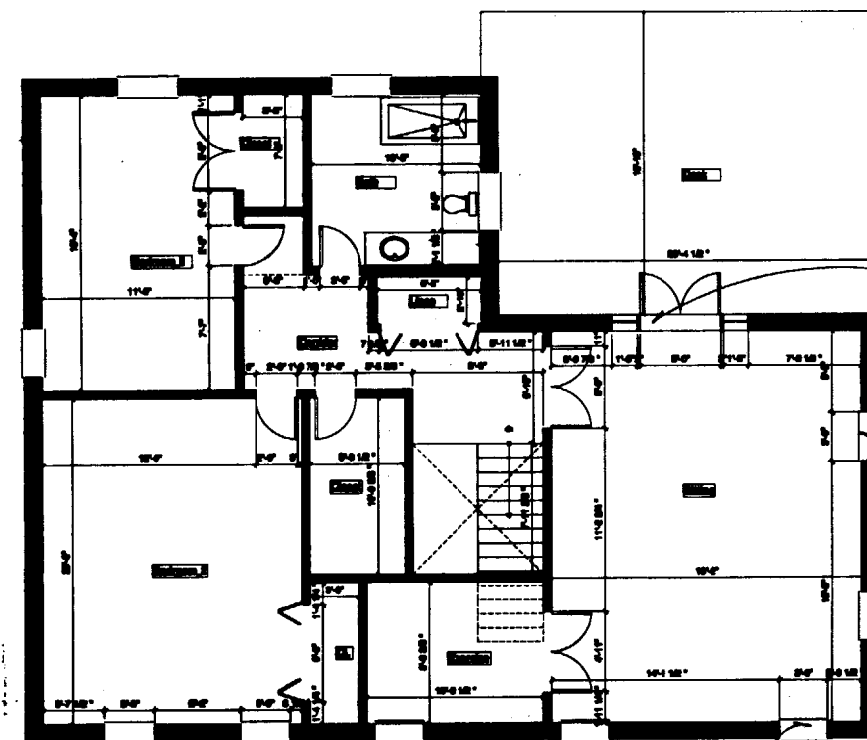
Chadwick Street

4 Existing Second Floor Plan



Chadwick Street

3 Existing First Floor Plan

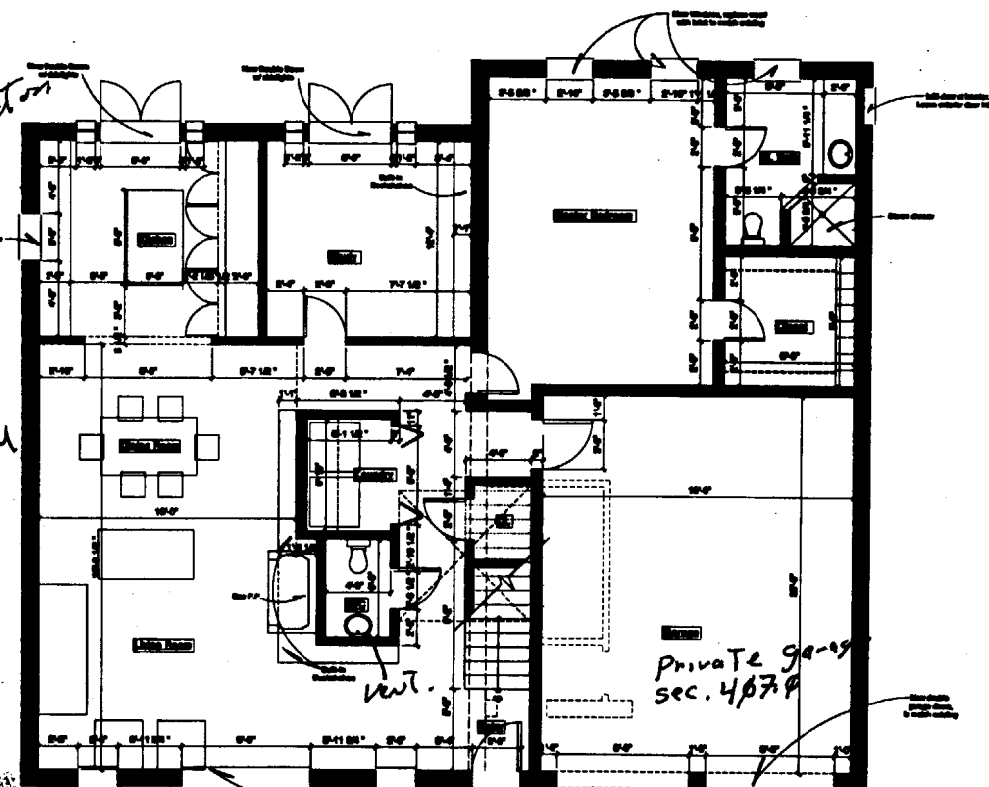


Chadwick Street

2 Proposed Second Floor Plan

Smoke detector
Sec. 920.3.2

Sleeping porch
window - Sec. 1010.4



Chadwick Street

1 Proposed First Floor Plan

517-Forest

Issued For Construction

No. Description Date



Orestis Residence

Portland, Maine

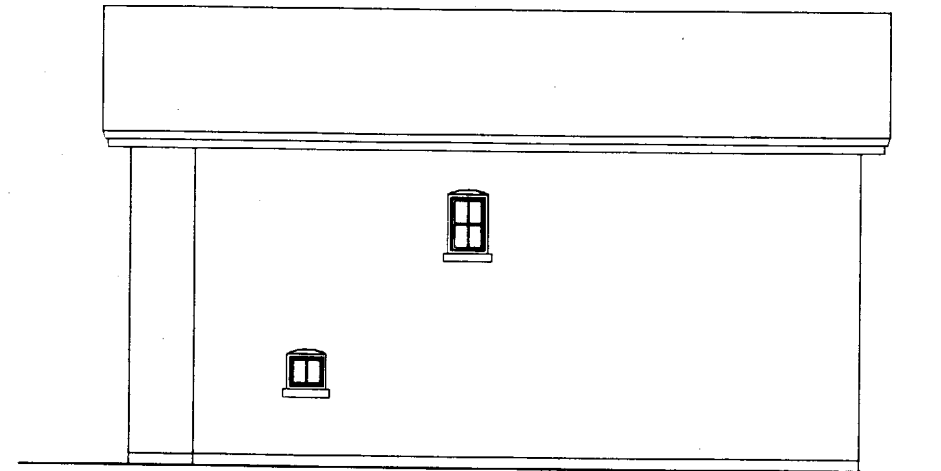
Plans

Checked by
Approved by
Project No.

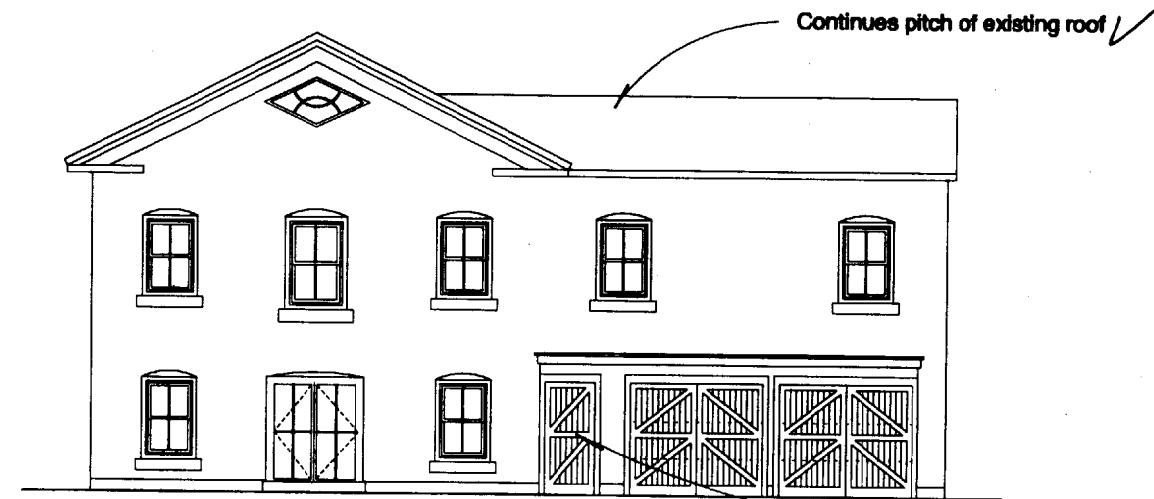
A1.1

Catherine Taylor

24 West Street
Portland, Maine
04108
Telephone 207 879 1334
Facsimile 207 879 1334
e-mail ctt@ctaylor.com



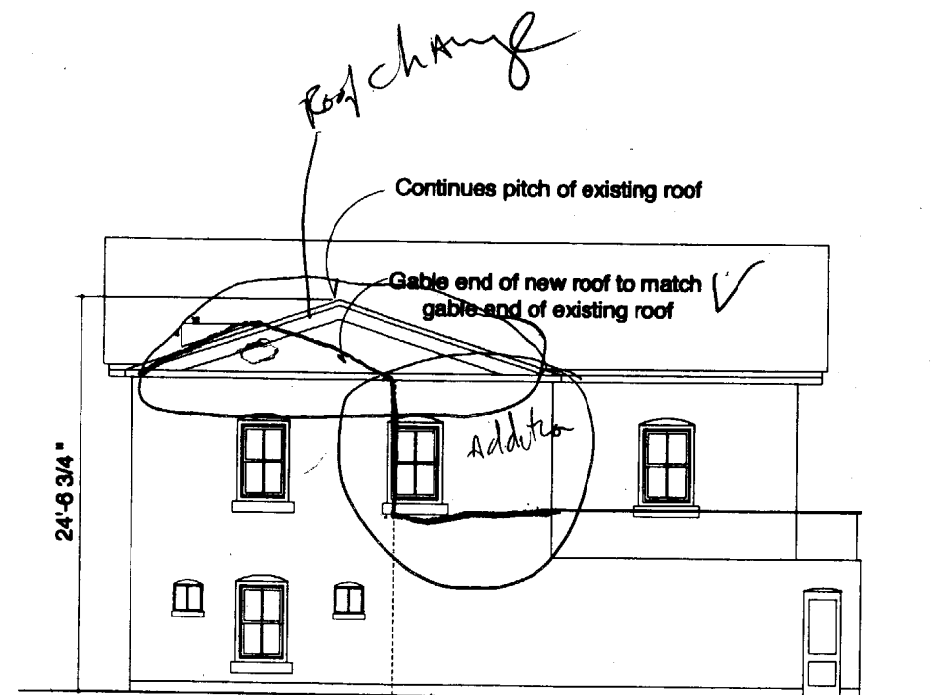
4 North Elevation - B
17A-17B



3 Chadwick Street Elevation - West
17A-17B

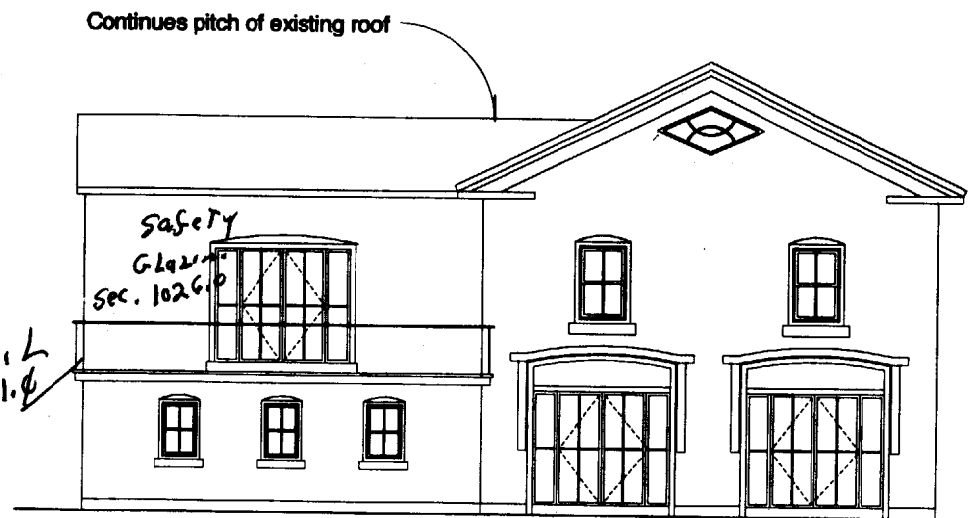
Exterior Notes:

1. Windows and patio doors to be Muller and Hahn, or approved equal, and dual double hung of 66 open ends and 70" medium, sized to match all existing window units, except for front picture window. New window units to be located at same point in plan, as existing.
2. Front door and Garage doors to be custom by Designer Doors, or approved equal, as shown above.
3. All wood sills to be replaced with granite to match existing.
4. All existing exterior brick to be repaired where possible, and replaced where necessary with brick to match existing.



2 South Elevation
17A-17B

1. Flashing - sec. 14 of C. 3.10
2. Roofing - sec. 15 of 5.0



1 East Elevation
17A-17B

Issued For Construction

No. Description Date



Orestis Residence
Portland, Maine

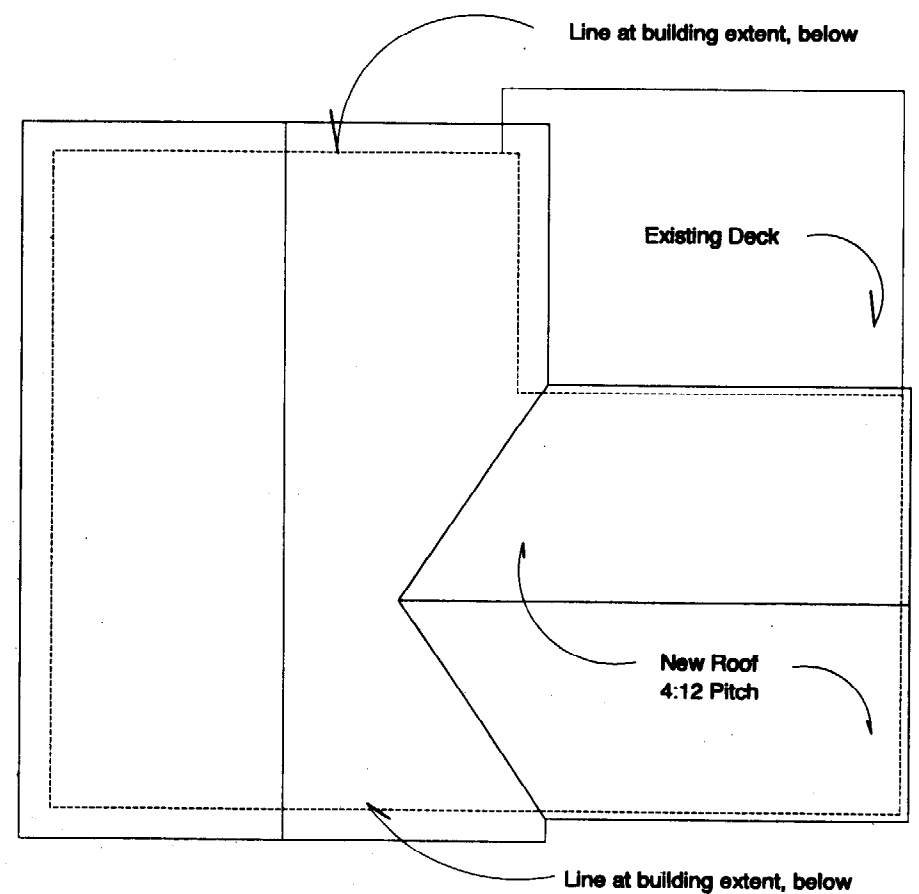
The Elevations

Scale: 1/8"=1'-0" Date: 05/20/01
Drawn By: OT
Checked By:
Approved By:
Project No:

Sheet No: A1.2

Catherine Taylor

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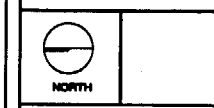
① Roof Plan $\frac{1/4"=1'-0"$

Chadwick Street

Roof Notes:
1. New roof shingles to match existing.

Issued For Construction

No.	Description	Date



Orestis Residence
Portland, Maine

Title
Roof Plan

Scale: 1/4"=1'-0" Date: 05/05/01
Drawn By:
Checked By:
Approved By:
Project No:

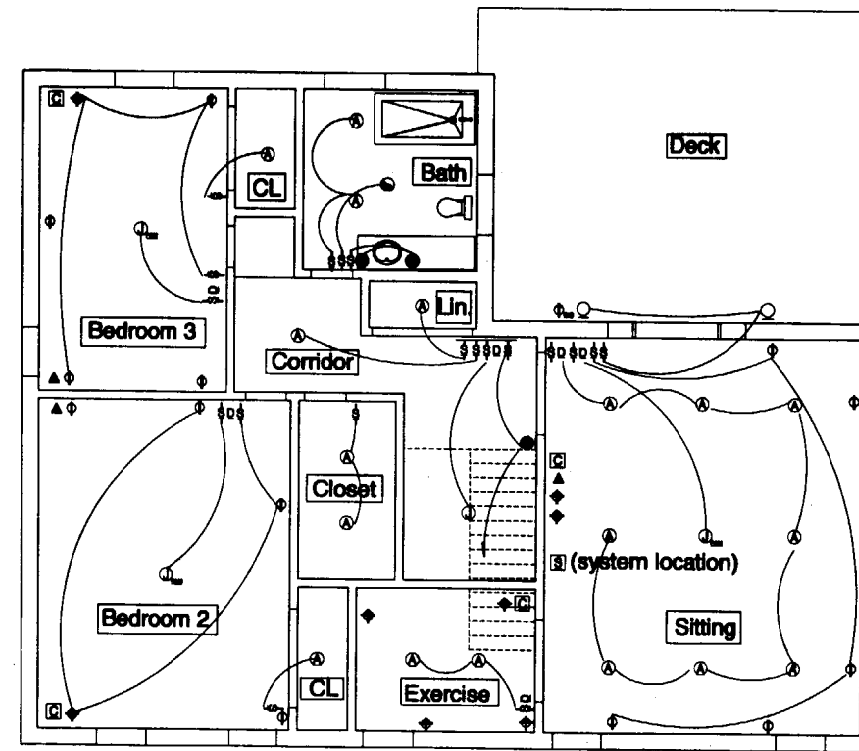
DWG NO: **A13**

Lighting and Electrical Schedule

- Porcelain Light Socket
- Exterior Wall Sconce
- Interior Wall Sconce
- Ⓐ 6" Downlight
- Ⓑ Lightolier Lenslight 1126/1102 pl
- Ⓢ Broan #164 two bulb heater/fan w/ 66w control
- Ⓙ Pendant Mounted Fixture
- Ⓜ Ceiling Fan
- Ⓛ Monopoint Suspended Fixture
- ⓗ Hose Elb
- Undercounter fluorescent lighting
- Ⓞ Garage door switch
- ⓕ Bathroom fan
- ⓐ Gas Hook-up
- Ⓢ Spotlight

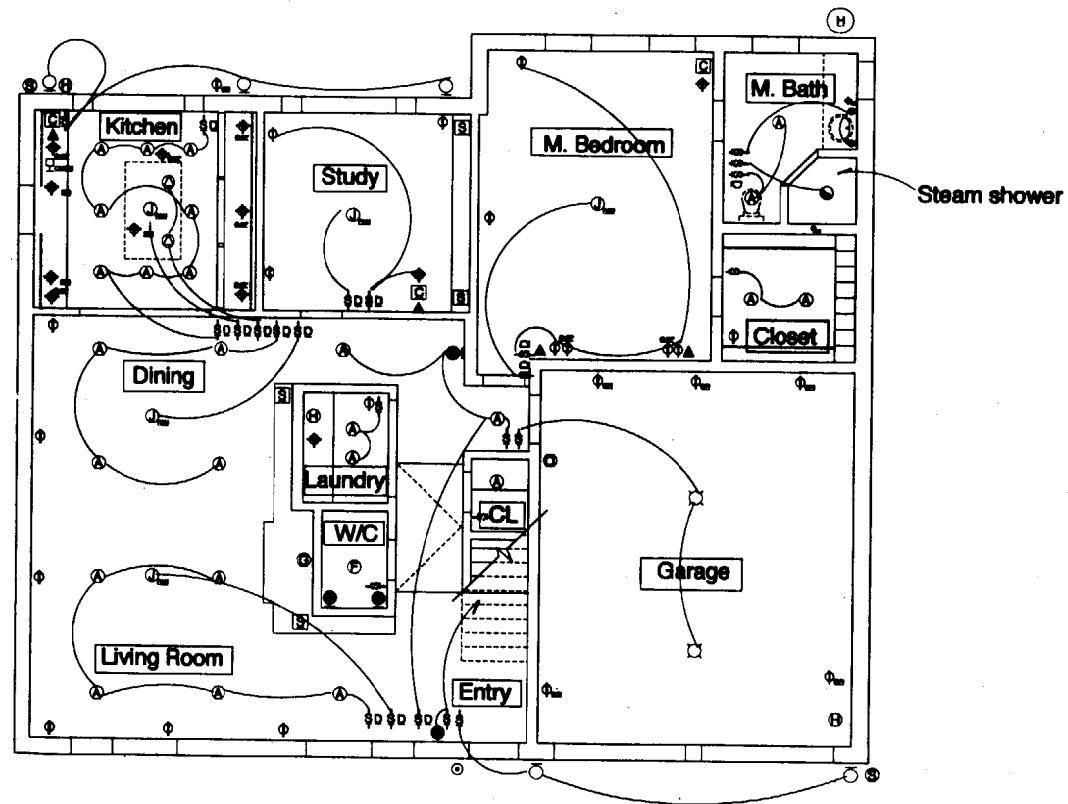
- Ⓢ Sound
- Ⓒ Cable
- Ⓛ Duplex Receptacle
- Ⓞ_{GF} Ground fault int. duplex
- Ⓛ_Q Quadraplex receptacle
- Ⓢ Single pole switch
- Ⓢ_D Dimmer switch
- Ⓞ Doorbell lighted button
- Ⓛ_{CHIME} Doorbell chime
- ▲ Telephone

WORKING NOTES:
1. GC to provide utility for security system and hardened structural elements. (Natura security.com)



2 2nd Floor RCP / Elec. Plan

Chadwick Street



1 1st Floor RCP / Elec. Plan

Chadwick Street

Issued For Construction

No.	Description	Date



Orestis Residence
Portland, Maine

Type
RCP / Elec.

Scale: 1/4" = 1'-0"
Drawn By: CATHY CT
Checked By:
Approved By:
Project No:

Sheet No: **A1.4**