

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

BU **PERMIT** ION

Permit Number: 091193

This is to certify that TINGLEY SAMUEL H & HARRIS HIGH VOLTAGE WORK TINGLE
 has permission to Multi unit Condominiums - code upgrades, prior renovations and life safety upgrades
 AT 197 PINE ST CB 063 E006006

PERMIT ISSUED

DEC 31 2009

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the Application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is set-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. 202

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1193	Issue Date:	CBL: 063 E006006
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Location of Construction: 197 PINE ST	Owner Name: TINGLEY SAMUEL H & HARLEI	Owner Address: 197 PINE ST # 6	Phone:
Business Name:	Contractor Name: HardyPond Construction	Contractor Address: 1039 Riverside St Suite 11 Portland	Phone 2077976066
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R-4

Past Use: Multi unit Condominiums	Proposed Use: Multi unit Condominiums - code upgrades interior renovations and life safety upgrades	Permit Fee: \$1,220.00	Cost of Work: \$120,000.00	CEO District: 2
Proposed Project Description: Multi unit Condominiums - code upgrades interior renovations and life safety upgrades		FIRE DEPT: <input checked="" type="checkbox"/> Approved w/conditions <input type="checkbox"/> Denied 10/29/2009	INSPECTION: Use Group R2 Type: 3 EBC 2009	
		Signature: <i>[Signature]</i> 2009	Signature: <i>[Signature]</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Ldobson	Date Applied For: 10/23/2009	Zoning Approval		
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: <i>10/26/09</i>	Date: _____	Date: _____

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City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1193	Date Applied For: 10/23/2009	CBL: 063 E006006
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Location of Construction: 197 PINE ST	Owner Name: TINGLEY SAMUEL H & HARLEI	Owner Address: 197 PINE ST # 6	Phone:
Business Name:	Contractor Name: HardyPond Construction	Contractor Address: 1039 Riverside St Suite 11 Portland	Phone: (207) 797-6066
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: Multi unit Condominiums (31) - code upgrades interior renovations and life safety upgrades	Proposed Project Description: Multi unit Condominiums (31) - code upgrades interior renovations and life safety upgrades
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 10/28/2009

Note: **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) This property shall remain thirty-one (31) residential condominiums. Any change of use shall require a separate permit application for review and approval.
- 3) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 4) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 12/31/2009

Note: **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Ben Wallace Jr. **Approval Date:** 10/29/2009

Note: Enclose verticle openings, complete fire alarm, separate basement exit, replace standpipe with new class 1, **Ok to Issue:**
other code upgrades.

- 1) The Fire Department will require knox locking caps on all Fire Department Connections on the exterior of the building.
- 2) All construction shall comply with NFPA 101
- 3) A separate fire alarm system permit is required. The fire alarm system shall comply with NFPA 72 and Fire Department Technical Standard.
- 4) A separate suppression system permit is required. A Class 1 standpipe system shall be installed in accordance with NFPA 14. A wet manual standpipe shall be acceptable.
- 5) Fire extinguishers required. Installation per NFPA 10
- 6) Fire department connection type and location shall be approved in writing by fire prevention bureau. The existing FDC type and location shall be acceptable.
- 7) All work shall be completed within 6 months of the date of permit issuance.
- 8) System acceptance and commissioning must be co-ordinated with alarm and suppression system contractors and the Fire Department. Call 874-8703 to schedule.
- 9) All fire alarm records required by NFPA 72 should be stored in an approved cabinet located at the FACP and keyed alike, labeled "FIRE ALARM RECORDS".
- 10) The boiler room shall be rated per 101-31.3.2
- 11) The basement stair door shall be 60-minute door assembly and swing full 180 degrees back against the wall.

Location of Construction: 197 PINE ST	Owner Name: TINGLEY SAMUEL H & HARLEI	Owner Address: 197 PINE ST # 6	Phone:
Business Name:	Contractor Name: HardyPond Construction	Contractor Address: 1039 Riverside St Suite 11 Portland	Phone (207) 797-6066
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

- 12 Egress lighting and marking for the entire structure shall comply with 101-31.2.9 and 101-31.2.10.
- 13 Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit.
- 14 Carbon monoxide alarms are required in the dwelling units per LD 550. Hardwired with battery back up shall be permitted.
- 15 Installation of a Fire Alarm system requires a Knox Box to be installed per city ordinance
- 16 Verify all unit doors are rated per NFPA 101-31.
- 17 Installation of a Fire Alarm system requires a Knox Box to be installed per city ordinance

Comments:

11/10/2009-tmm: need detail on "rebuilding shed" from sheet A-1 and need detail on removing existing door and deck on A-2. Went over w/designer.

11/17/2009-jmb: Spoke to David L. He is still working on the plans for the exterior stair and enclosure, will submit for review.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Signature of Applicant/Designee

Date

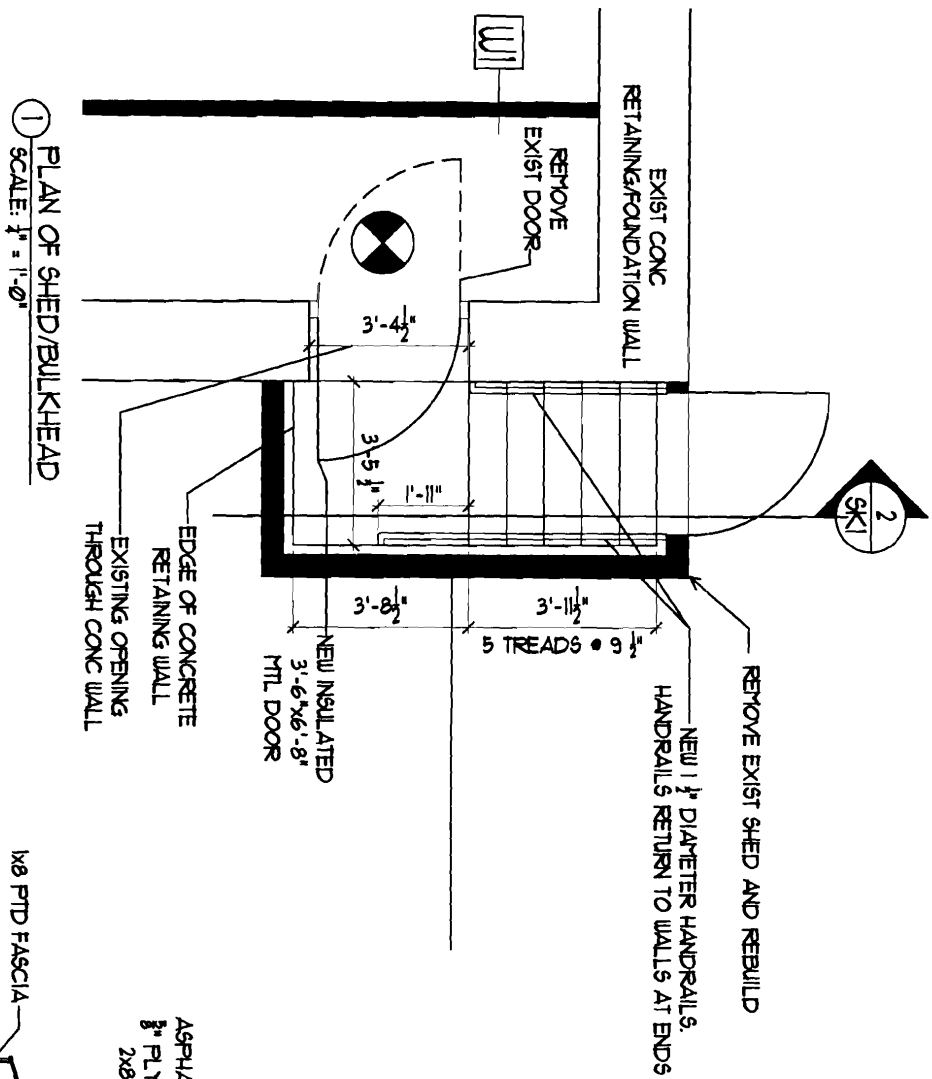
Signature of Inspections Official

Date

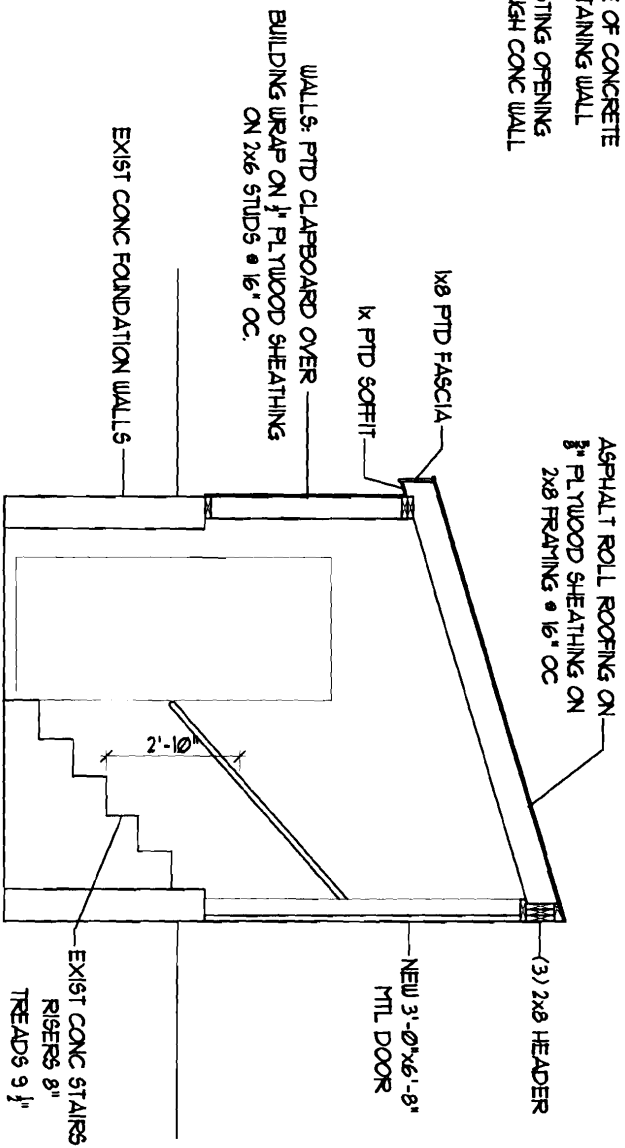
PERMIT ISSUED

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City of Portland



① PLAN OF SHED/BULKHEAD
SCALE: 1/4" = 1'-0"



② SECTION THROUGH SHED/BULKHEAD
SCALE: 1/4" = 1'-0"

SKI	SK TO SHEET A1	Date 12/4/09	Scale 1/4" = 1'-0"	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
	Project: 197 PINE STREET	EXISTING BULKHEAD EGRESS DETAILS		
	197 PINE STREET PORTLAND, MAINE			

From: "Barry Yudaken" <yudaken@archetypepa.com>
To: <tmm@portlandmaine.gov>
Date: 12/4/2009 10:44:46 AM
Subject: 197 Pine Street

Tammy,

As requested, please find attached SK1 showing the existing bulkhead through which the proposed egress will exit. Please let us know if you have any concerns. Thank you.

Archetype, P.A.

48 Union Wharf

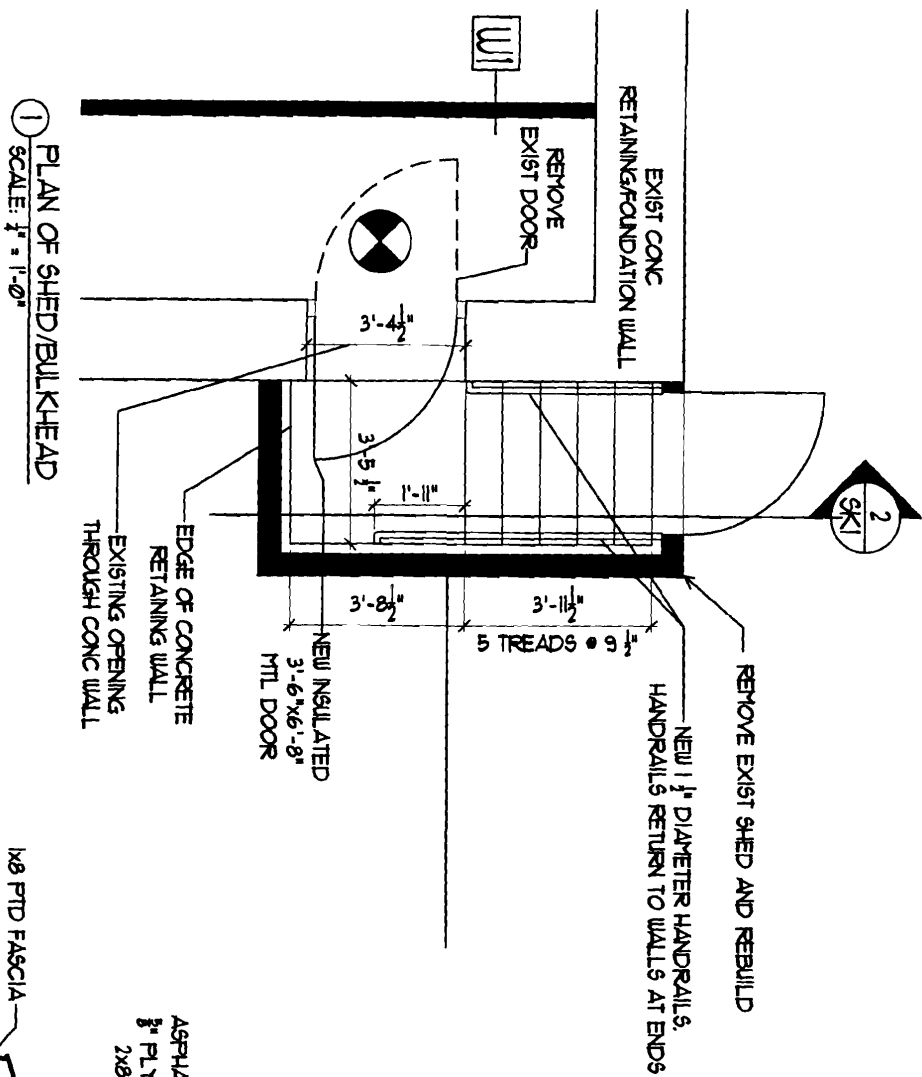
Portland, ME 04101

(207) 772-6022

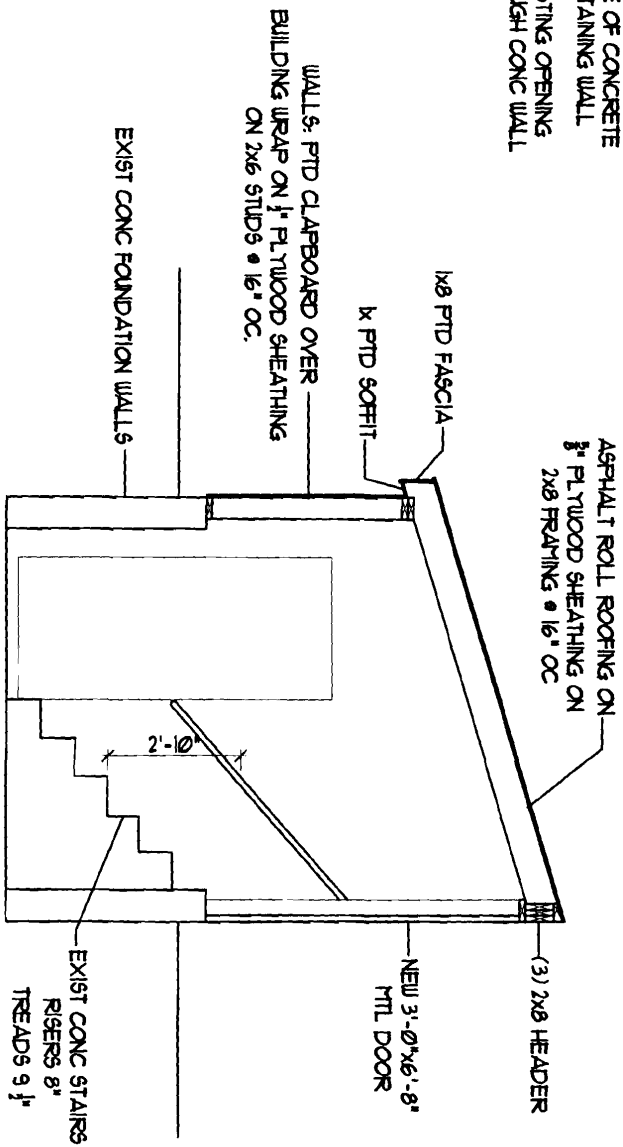
(207) 772-4056 Fax

<mailto:yudaken@archetypepa.com> yudaken@archetypepa.com

<http://www.archetype-architects.com> http://www.archetype-architects.com



① PLAN OF SHED/BULKHEAD
SCALE: 1/4" = 1'-0"



② SECTION THROUGH SHED/BULKHEAD
SCALE: 1/4" = 1'-0"

SKI

SK TO SHEET A1

Project:

197 PINE STREET

197 PINE STREET
PORTLAND, MAINE

Date
12/4/09

Scale
1/4" = 1'-0"

EXISTING
BULKHEAD EGRESS
DETAILS

ARCHETYPE, P.A.
ARCHITECTS

48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

Schedule Inspection | Add | Find | Print Permit | Print C of O | Print Insp | Invoicing | Taxes

Prmt | Text93 | 0 | Constr Type | New | Num1 | 0

Permit Nbr	09-1193	Location of Construction	197 PINE ST	Appl. Date	
Status	Hold	Permit Type	Alterations - Multi Family	Issue Date	
CBL	063 E006006	District Nbr	2	Estimated Cost	\$120,000.00
				Date Closed	

Comment Date	Comment	Add	Delete	Save	F
11/10/2009	need detail on "rebuilding shed" from sheet A-1 and need detail on removing existing door and deck on . Went over w/designer.				
	Name	tmm	Follow Up Date		Completed

CreatedBy	Ldobson	CreateDate	10/27/2009	ModBy	tmm	ModDate	11/10/2009
		Time	1:14 PM			Time	4:14 PM

: Due

Close

1193

10/23/2009

Print

A-2.

]

/2009

45 PM



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>197 Pine Street</u>		
Total Square Footage of Proposed Structure/Area <u>37,152</u>	Square Footage of Lot <u>10,150</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>63</u> Block# <u>E</u> Lot# <u>6</u>	Applicant * must be owner, Lessee or Buyer * Name <u>West End Commons, A Condominium</u> Address <u>197 Pine Street</u> <u>Portland, ME 04102</u> City, State & Zip	Telephone: <u>(207) 671-0933</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>120,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>1,220.00</u>
Current legal use (i.e. single family) <u>Condominiums</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Condominiums</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>Code upgrades as discussed and negotiated with Fire & Code Departments.</u>		
Contractor's name: <u>Hardy Pond Construction</u> Address: <u>1039 Riverside St. - Suite 11</u> <u>Portland, ME 04103</u> City, State & Zip Telephone: <u>(207) 797-6066</u> Who should we contact when the permit is ready: <u>Archetype Architects</u> Telephone: <u>(207) 772-6022</u> Mailing address: <u>48 Union Wharf, Portland, ME 04101</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

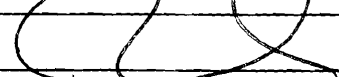
RECEIVED

OCT 23 2009

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information, to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspection Division office, room 315 City Hall or call 874-8703.

Dept. of Building Inspections
City of Portland, Maine

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:  Date: 9/29/09

This is not a permit; you may not commence ANY work until the permit is issued



Certificate of Design Application

From Designer:

Archetype, P.A.

Date:

September 29, 2009

Job Name:

West End Commons, A Condominium

Address of Construction:

197 Pine Street, Portland 04102

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) R-2

Type of Construction Type III

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC No

Is the Structure mixed use? No If yes, separated or non separated or non separated (section 302.3)

Supervisory alarm System? No Geotechnical/Soils report required? (See Section 1802.2)

Structural Design Calculations

Submitted for all structural members (106.1 – 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.1.1, 1807)

Floor Area Use	Loads Shown

Wind loads (1603.1.4, 1609)

Design option utilized (1609.1.1, 1609.6)

Basic wind speed (1809.3)

Building category and wind importance factor, I_w , table 1604.5, 1609.5

NA Wind exposure category (1609.4)

Internal pressure coefficient (ASCE 7)

Component and cladding pressures (1609.1.1, 1609.6.2.2)

Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

Design option utilized (1614.1)

Seismic use group ("Category")

Spectral response coefficients, S_D & S_I (1615.1)

Site class (1615.1.5)

	Live load reduction
	Roof <i>live</i> loads (1603.1.2, 1607.11)
	Roof snow loads (1603.7.3, 1608)
	Ground snow load, P_g (1608.2)
	If $P_g > 10$ psf, flat-roof snow load P_f
	If $P_g > 10$ psf, snow exposure factor, C_e
	If $P_g > 10$ psf, snow load importance factor, I_s
	Roof thermal factor, C_t (1608.4)
	Sloped roof snowload, P_s (1608.4)
<u>NA</u>	Seismic design category (1616.3)
	Basic seismic force resisting system (1617.6.2)
	Response modification coefficient, R , and deflection amplification factor, C_d (1617.6.2)
	Analysis procedure (1616.6, 1617.5)
	Design base shear (1617.4, 1617.5.1)
	Flood loads (1803.1.6, 1612)
	Flood Hazard area (1612.3)
	Elevation of structure
	Other loads
	Concentrated loads (1607.4)
	Partition loads (1607.5)
	Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



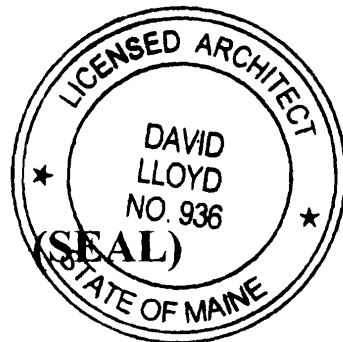
Accessibility Building Code Certificate

Designer: Archetype, PA

Address of Project: 197 Pine Street, Portland, ME 04102

Nature of Project: Code upgrades as discussed and negotiated with Fire & Code Departments.

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: 

Title: Architect

Firm: Archetype, PA

Address: 48 Union Wharf

Portland, ME 04102

Phone: (207) 772-6022

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

Date: September 29, 2009

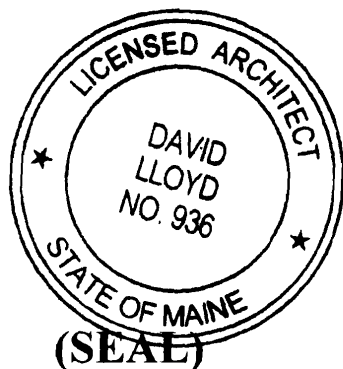
From: Archetype, P.A.

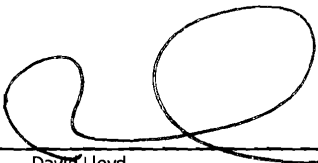
These plans and / or specifications covering construction work on:

West End Commons, A Condominium

197 Pine Street, Portland

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2003 International Building Code** and local amendments.



Signature: 
David Lloyd

Title: Architect

Firm: Archetype, P.A.




Address: 48 Union Wharf

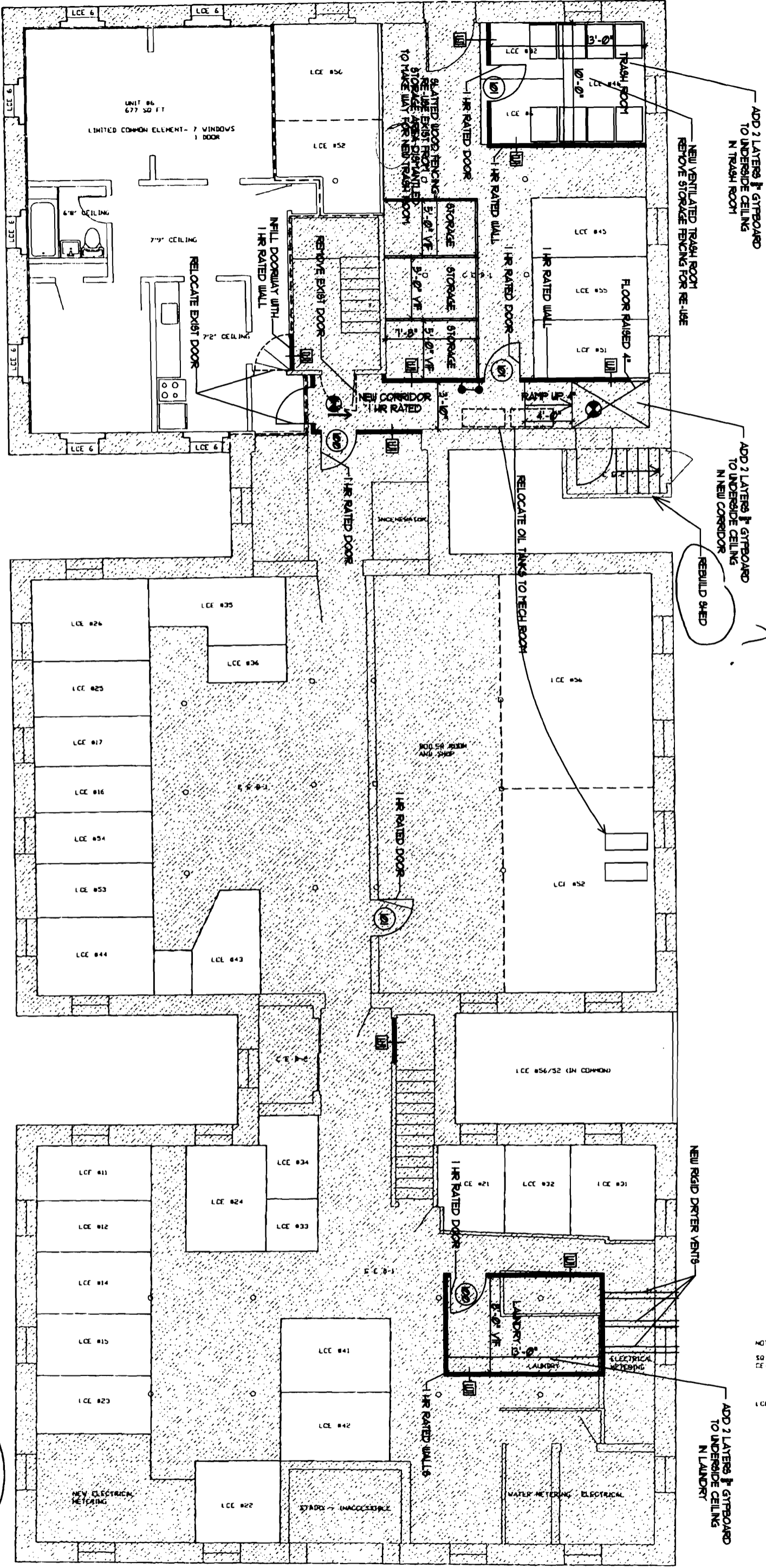
Portland, ME

Phone: (207) 772-6022

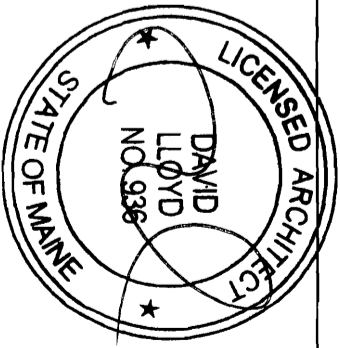
For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

BASEMENT FLOOR PLAN

- KEY**
-  EXIT SIGN
 -  EXIT SIGN WITH DIRECTIONAL ARROW
 -  EMERGENCY LIGHTING



NOTE:
 50 FT² - SQUARE FEET
 CE - COMMON ELEMENTS
 B-1 - BASEMENT
 B-2 - ELEVATOR
 1 - COVERED AREA
 2 - ACCESS WAY
 LCE - LIMITED COMMON ELEMENTS



A1

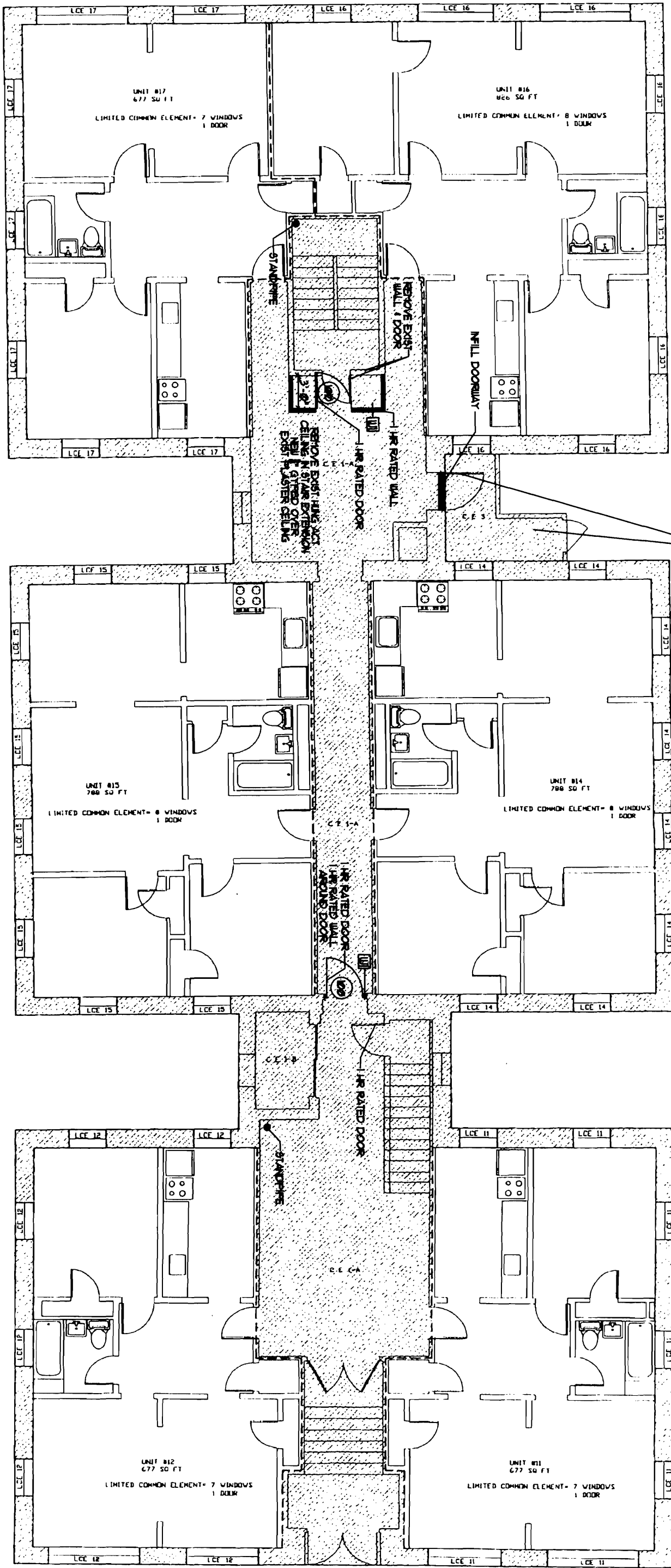
Date: 21 November 2008
 Scale: NTS
BASEMENT FLOOR PLAN

Revisions:

Project: 197 PINE STREET
 197 PINE STREET
 PORTLAND, MAINE

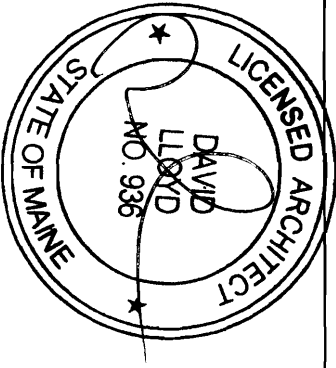
Architect: **ARCHETYPE** Architects
 48 Union Wharf Portland, Maine 04101
 (207) 772-6022 Fax (207) 772-4056

FIRST FLOOR PLAN



REMOVE EXIST DOOR AND DECK

NOTE:
 SQ FT = SQUARE FEET
 CL = COMMON ELEMENTS
 1 = FIRST FLOOR
 A = HALLWAY/STAIRS
 B = ELEVATOR
 S = EXIT STAIR
 LCE = LIMITED COMMON ELEMENTS



Date: 21 November 2008
 Scale: NTS
FIRST FLOOR PLAN

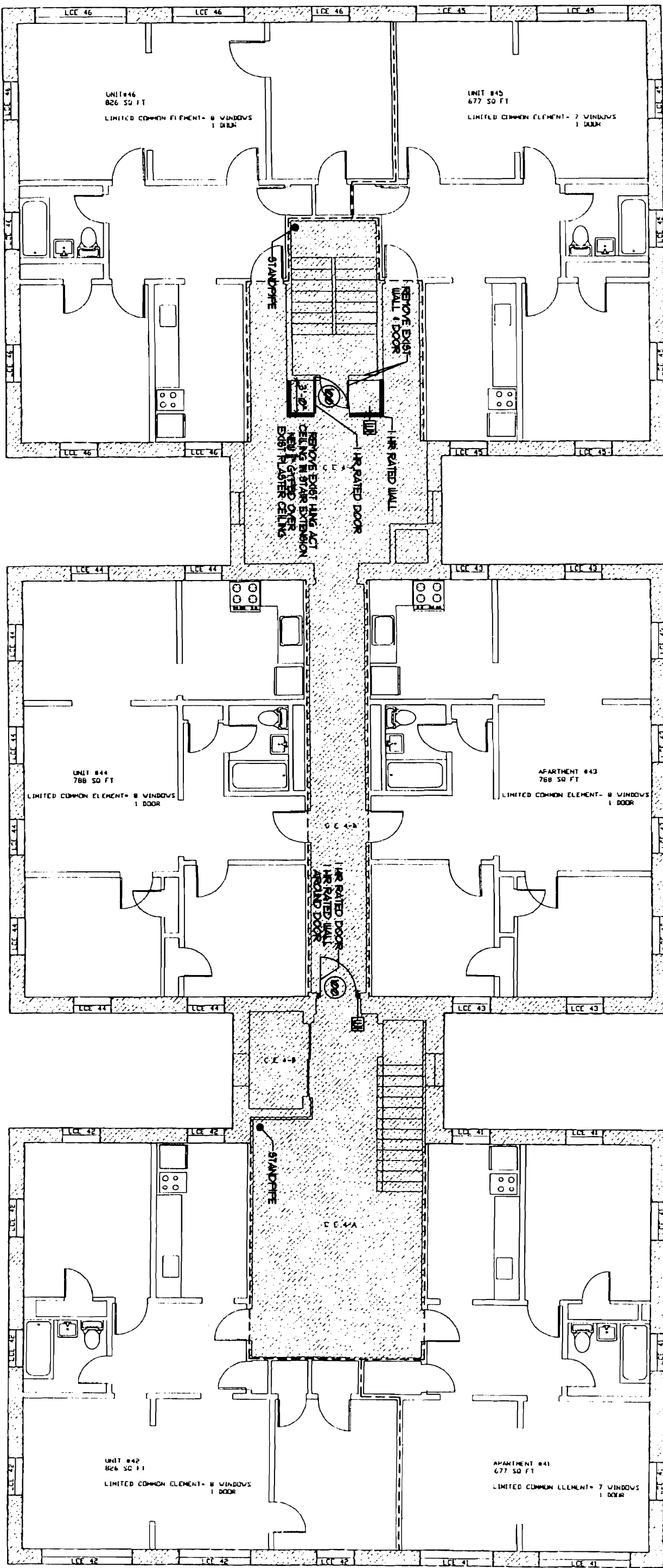
Revisions:

Project: 197 PINE STREET
 197 PINE STREET
 PORTLAND, MAINE

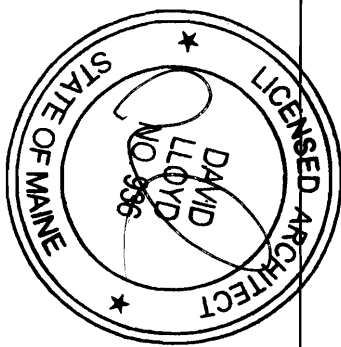
Architect: **ARCHETYPE** architects
 48 Union Wharf Portland, Maine 04101
 (207) 772-6022 Fax (207) 772-4056

A2

TYPICAL FLOOR PLAN



NOTE
 SQ FT= SQUARE FEET
 CE= COMMON ELEMENTS
 4= FOURTH FLOOR
 A= HALLWAY/STAIRS
 E= ELEVATOR
 LCE= LIMITED COMMON ELEMENTS



A3

Date: 21 November 2008
 Scale: NTS
TYPICAL FLOOR PLAN

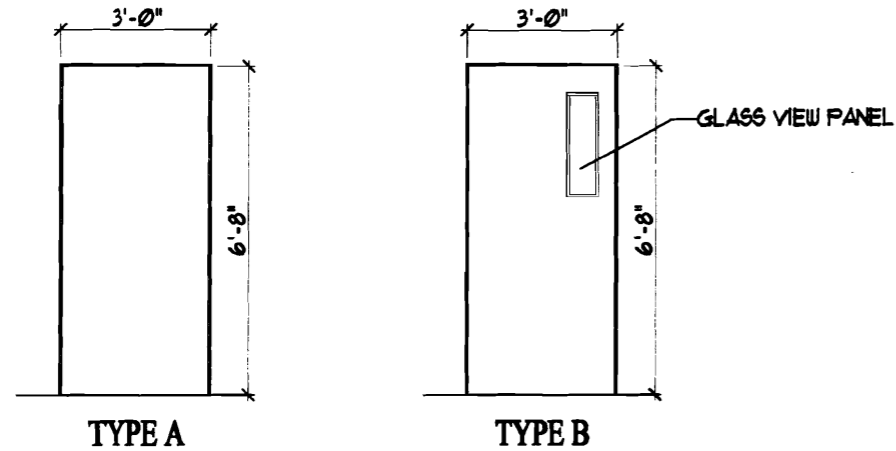
Revisions:

Project:
197 PINE STREET
 197 PINE STREET
 PORTLAND, MAINE

Architect:
ARCHETYPE
 architects
 48 Union Wharf Portland, Maine 04101
 (207) 772-6022 Fax (207) 772-4056

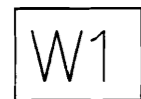
DOOR SCHEDULE

DOOR #	SIZE		DOOR		THRESH	FRAME	LABEL	REMARKS
	WIDTH	HEIGHT x THICKNESS	TYPE	MATERIAL		MATERIAL		
100	3'-0"	6'-8" X 1 3/4"	B	METAL	ALUM	MTL	1 HR	
101	3'-0"	6'-8" X 1 3/4"	A	METAL		MTL	1 HR	



DOOR TYPES

WALL TYPES



GA FILE NO. WP 3510 GENERIC 1 HOUR FIRE

Thickness: 47/8"

Approx. Weight: 7 psf

Fire Test: UL R3501-47, -48, 9-17-65.

Design U309; UL R1319-129, 7-22-70,

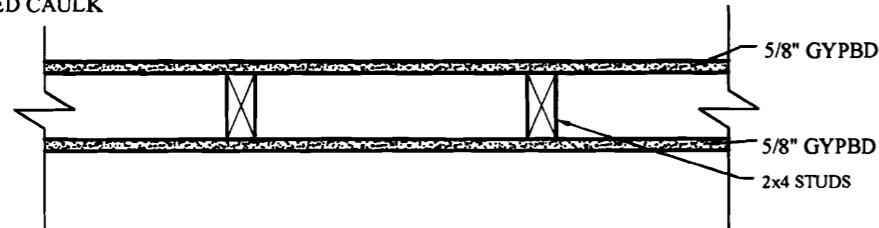
UL Design U314

Sound Test: NGC 2404, 10-14-70

GYPSUM WALLBOARD, WOOD STUDS

One layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to each side of 2x4 wood studs @ 24" o.c. with 6d coated nails, 17/8" long, 0.0915" shank, 1/4" heads, 7" o.c. Joints staggered 24" on opposite sides. (LOAD-BEARING)

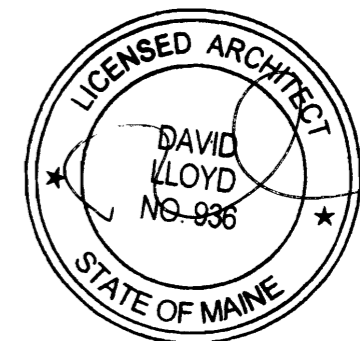
NOTE: ALL RATED WALLS TO BE TAKEN THROUGH CEILING TO UNDERSIDE OF FLOOR SHEATHING AND TO BE CAULKED AT SHEATHING AND AROUND FRAMING WITH 1 HR RATED CAULK



GENERAL NOTES:

1. ALL UNIT ENTRANCE DOORS TO RECEIVE SPRING HINGES
2. ALL UNITS TO RECEIVE HEAT DETECTORS IN EACH ROOM PER NFPA 1011 31.3.4.4.1
3. STAIRWAYS TO RECEIVE STAIRWAY MARKING COMPLYING WITH NFPA 101 7.2.2.5.4
4. DOOR ASSEMBLIES TO BE 1 HR RATED
5. STAIR DOORS MUST SWING IN DIRECTION OF EGRESS TRAVEL
6. STANDPIPE MUST BE BROUGHT TO CODE
7. HOLES IN BASEMENT WALL AND CEILING MUST BE REPAIRED
8. RELOCATE OIL TANKS IN MECHANICAL ROOM
9. EXIT SIGNS SHALL BE MAINTAINED AND ILLUMINATED AT ALL TIMES
10. KNOX BOX REQUIRED AT ENTRANCE
11. 1 HR RATED CORRIDOR ADDED IN BASEMENT
12. 1 HR RATED TRASH ROOM ADDED IN BASEMENT
13. 1 HR RATED LAUNDRY ROOM ADDED IN BASEMENT WITH NEW RIGID DUCTWORK

OK per - 302.1.1 (table)



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Scale: NTS
Date: 21 November 2008
DOOR SCHEDULE AND WALLTYPE

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