

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read  
Application And  
Notes, If Any,  
Attached

## BUILDING INSPECTION

### PERMIT

Permit Number: 061535

This is to certify that URBAN ANNA K & LEE D...S /Wild Dog LLC

has permission to Rebuild Portico (2' x 14') ab... shared... to... existing

AT 129 NEAL ST

063 D020001

PERMIT ISSUED

NOV 20 2006

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission proceeds before this building or part thereof is altered or service closed-in. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

#### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*[Signature]*  
11/3/06  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

Scanned

# City of Portland, Maine - Building or Use Permit Application

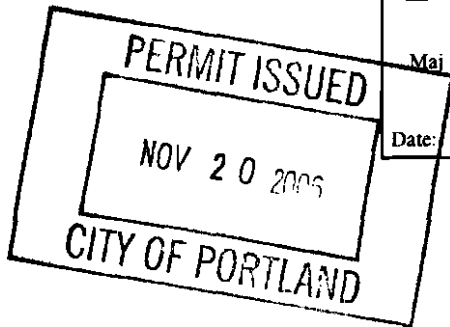
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1535	Issue Date:	CBL: 063 D020001
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Location of Construction: 129 NEAL ST	Owner Name: URBAN ANNA K & LEE D JTS	Owner Address: 129 NEAL ST	Phone:
Business Name:	Contractor Name: Wild Dog LLC	Contractor Address: 12 Simonton St. So. Portland	Phone: 2077123199
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R-6

Past Use: Town House	Proposed Use: Town House - Rebuild Portico (2' x 14') above shared steps to match existing	Permit Fee: \$70.00	Cost of Work: \$5,000.00	CEO District: 2
<p><i>Legal use: 1 dwelling unit per shared steps (#127 &amp; 129 Neal St)</i></p> <p>Proposed Project Description: Rebuild Portico (2' x 14') above shared steps to match existing</p>		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: EB IRC 2003	
Signature:		Signature:		
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied				
Signature:		Date:		

Permit Taken By: Idobson	Date Applied For: 10/18/2006	<b>Zoning Approval</b>		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Major <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>Historic Preservation</b> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions Date: <i>10/23/06</i>	
	Date:	Date:	Date: <i>D. Andrews 10/23/06</i>	



## CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- N/A Footing/Building Location Inspection: Prior to pouring concrete
- N/A Re-Bar Schedule Inspection: Prior to pouring concrete
- N/A Foundation Inspection: Prior to placing ANY backfill
- CO Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- CO Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

Signature of Applicant/Designee

Signature of Inspections Official

Date

Date

CBL: 06 3 D O J Building Permit #:

06 1 53 5

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

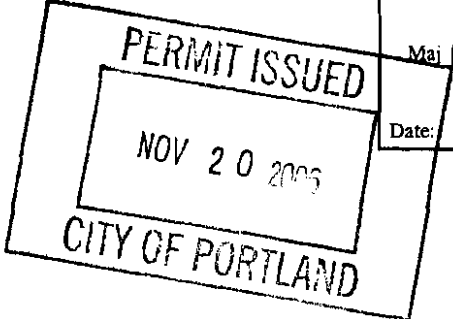
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		Signature: <i>[Signature]</i>		Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Idobson	Date Applied For: 10/18/2006	<b>Zoning Approval</b>		
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Major <input type="checkbox"/> Minor <input type="checkbox"/> MM	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>Historic Preservation</b> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions P.A.D.A 10/23/06 <input type="checkbox"/> Denied
	Date: _____	Date: _____	Date: <i>D. Andrews</i> 10/23/06



**CERTIFICATION**

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SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

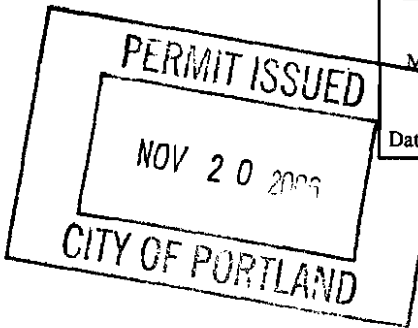
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		Signature: _____		Signature: _____
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
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	Date: _____	Date: _____	Date: <i>D. Anderson</i> 10/23/06



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# City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 06-1535	<b>Date Applied For:</b> 10/18/2006	<b>CBL:</b> 063 D020001
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<b>Location of Construction:</b> 129 NEAL ST	<b>Owner Name:</b> URBAN ANNA K & LEE D JTS	<b>Owner Address:</b> 129 NEAL ST	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Wild Dog LLC	<b>Contractor Address:</b> 12 Simonton St. So. Portland	<b>Phone:</b> (207) 712-3199
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Dwellings	

<b>Proposed Use:</b> Town House - Rebuild Portico (2' x 14') above shared steps to match existing	<b>Proposed Project Description:</b> Rebuild Portico (2' x 14') above shared steps to match existing
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**Dept:** Historical      **Status:** Approved with Conditions      **Reviewer:** Deborah Andrews      **Approval Date:** 10/23/2006  
**Note:** **Ok to Issue:**

- 1) \* Rebuilt portico to match existing exactly--in materials, form and ornamental detail.

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 10/23/2006  
**Note:** **Ok to Issue:**

- 1) Reconstruction and/or repair is allowed within the existing footprint unless building or fire codes require differently at which time only the MINIMUM required expansion shall be allowed.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. It is understood that this proposal encompasses two separate side by side dwelling units one at 127 Neal Street and one at 129 Neal Street.
- 4) This property shall remain a single family dwelling for each address 127 & 129 Neal Street. Any change of use shall require a separate permit application for review and approval.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 11/03/2006  
**Note:** **Ok to Issue:**

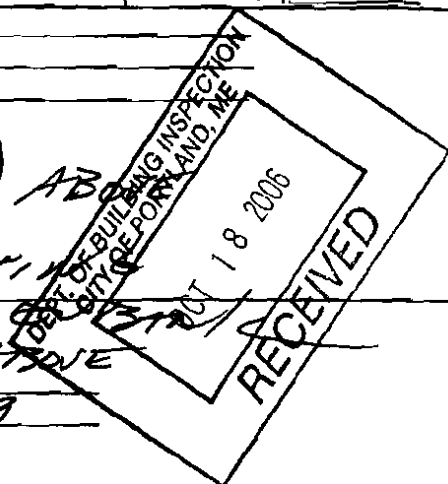
- 1) As discussed, a detail of the ledger attachment will be submitted to this office once exploratory work is done.



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>127-129 NEAR ST.</u>			Total Square Footage of Proposed Structure <u>28 #.2</u>		Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>63</u> Block# <u>D</u> Lot# <u>20</u>		Owner: <u>URBAN/KRAMER</u>		Telephone: <u>712-3199</u>		
Lessee/Buyer's Name (If Applicable)		Applicant name, address & telephone: <u>LAURENCE EUDANK</u> <u>12 SIMONTON ST.</u> <u>S. PORTLAND, ME.</u>		Cost Of Work: \$ <u>5000</u>		
				Fee: \$ _____		
				C of O Fee: \$ _____		
Current Specific use: <u>PORTICO</u>						
If vacant, what was the previous user? _____						
Proposed Specific use: _____						
Project description: <u>REBUILD PORTICO (2'x14') ABOVE</u> <u>SHARED STEPS TO MATCH EXISTING</u>						
Contractor's name, address & telephone:		<u>LAURENCE EUDANK</u> <u>AS ABOVE</u>				
Who should we contact when the permit is ready:		<u>712-3199</u>				
Mailing address:		Phone: <u>712-3199</u>				



Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature] Date: 10/18/06

This is not a permit; you may not commence ANY work until the permit is issued.



**CITY OF PORTLAND, MAINE**  
**Department of Building Inspections**

10.18 2006

Received from Wild Dog LLC

Location of Work 127 Neal

Cost of Construction \$ \_\_\_\_\_

Permit Fee \$ 70<sup>00</sup> / 100

Building (I1) \_\_\_\_\_ Plumbing (I5) \_\_\_\_\_ Electrical (I2) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: 63 020

Check #: 1545

Total Collected \$ 70<sup>00</sup> / 100

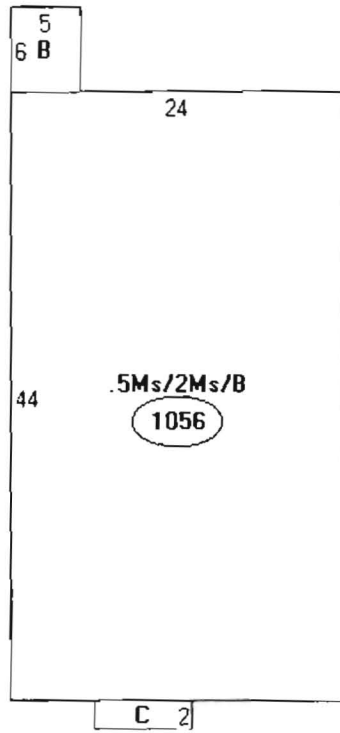
# THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy







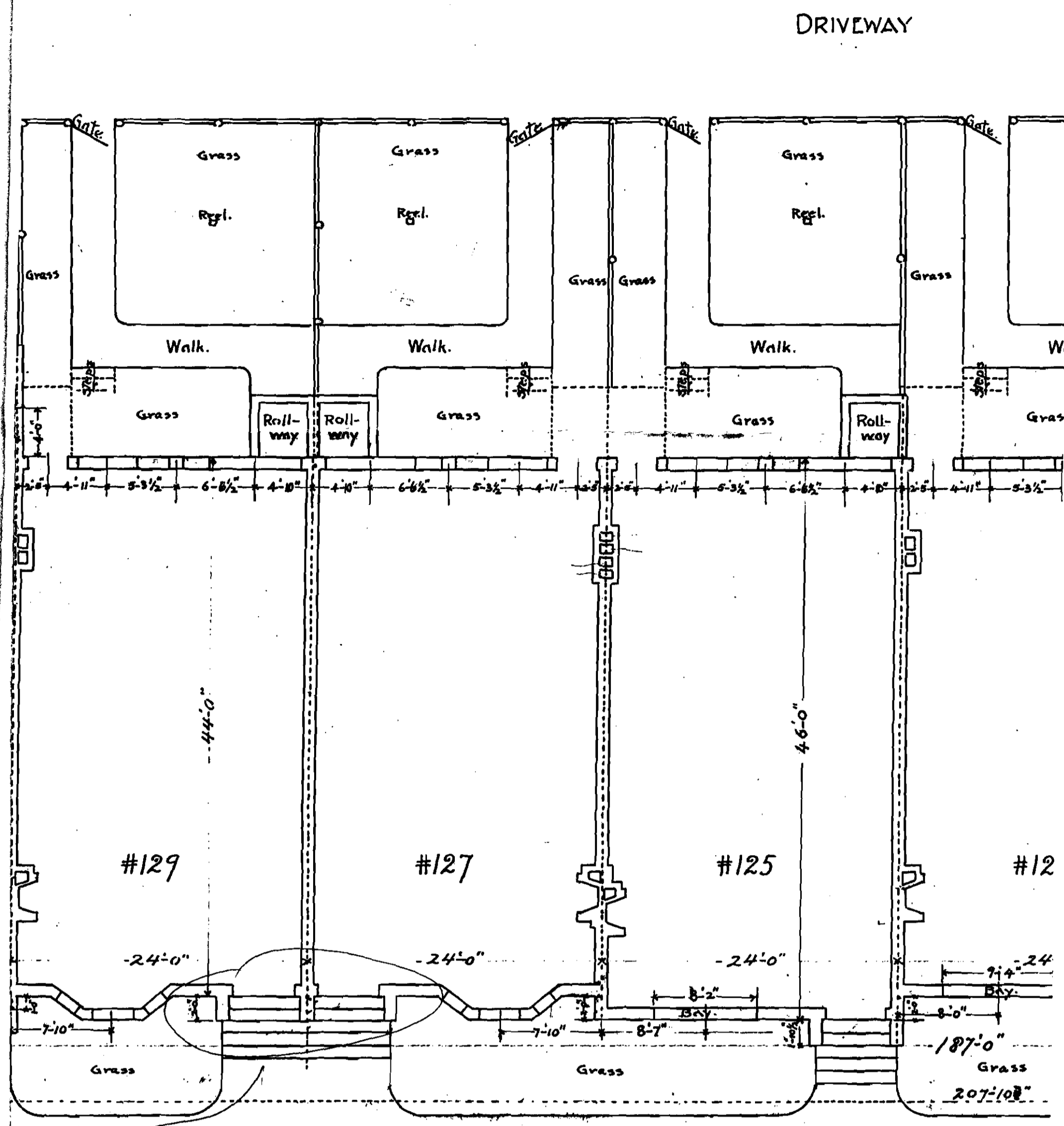
Descriptor

A: .5Ms/2Ms  
1056 sqft

B: EP  
30 sqft

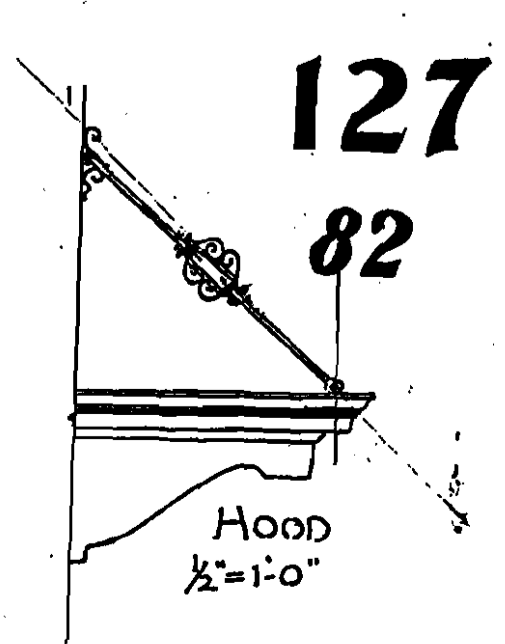
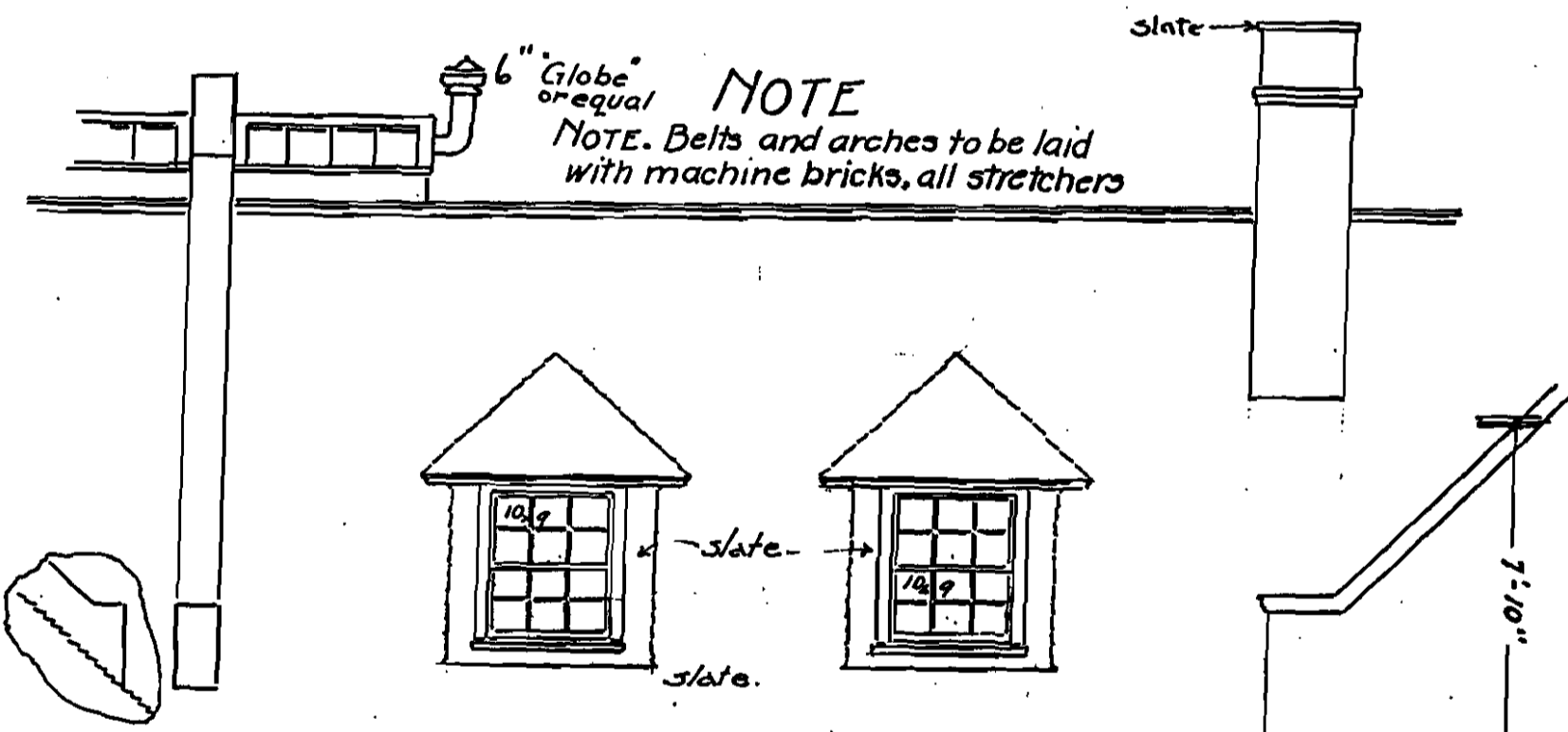
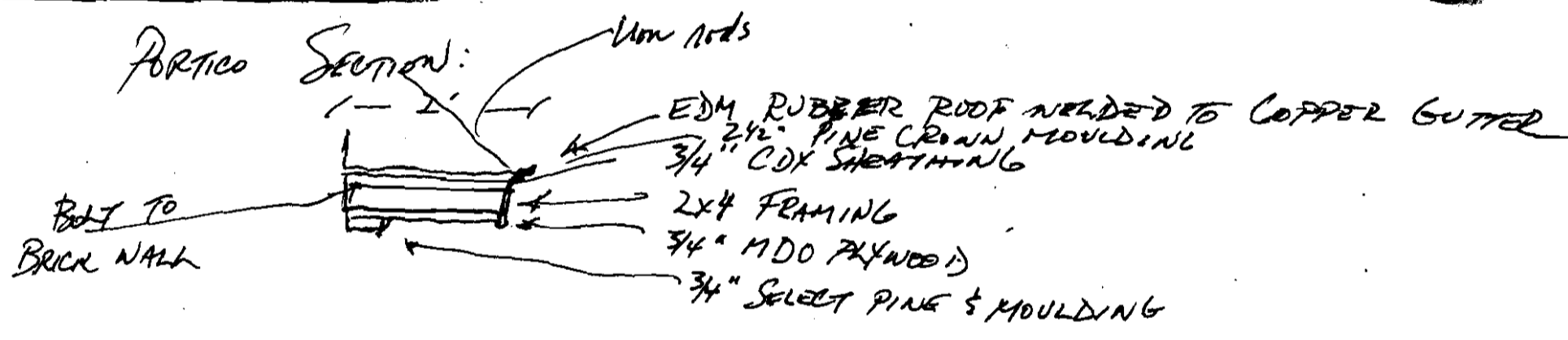
C: 2sMB/B  
14 sqft

Porcello



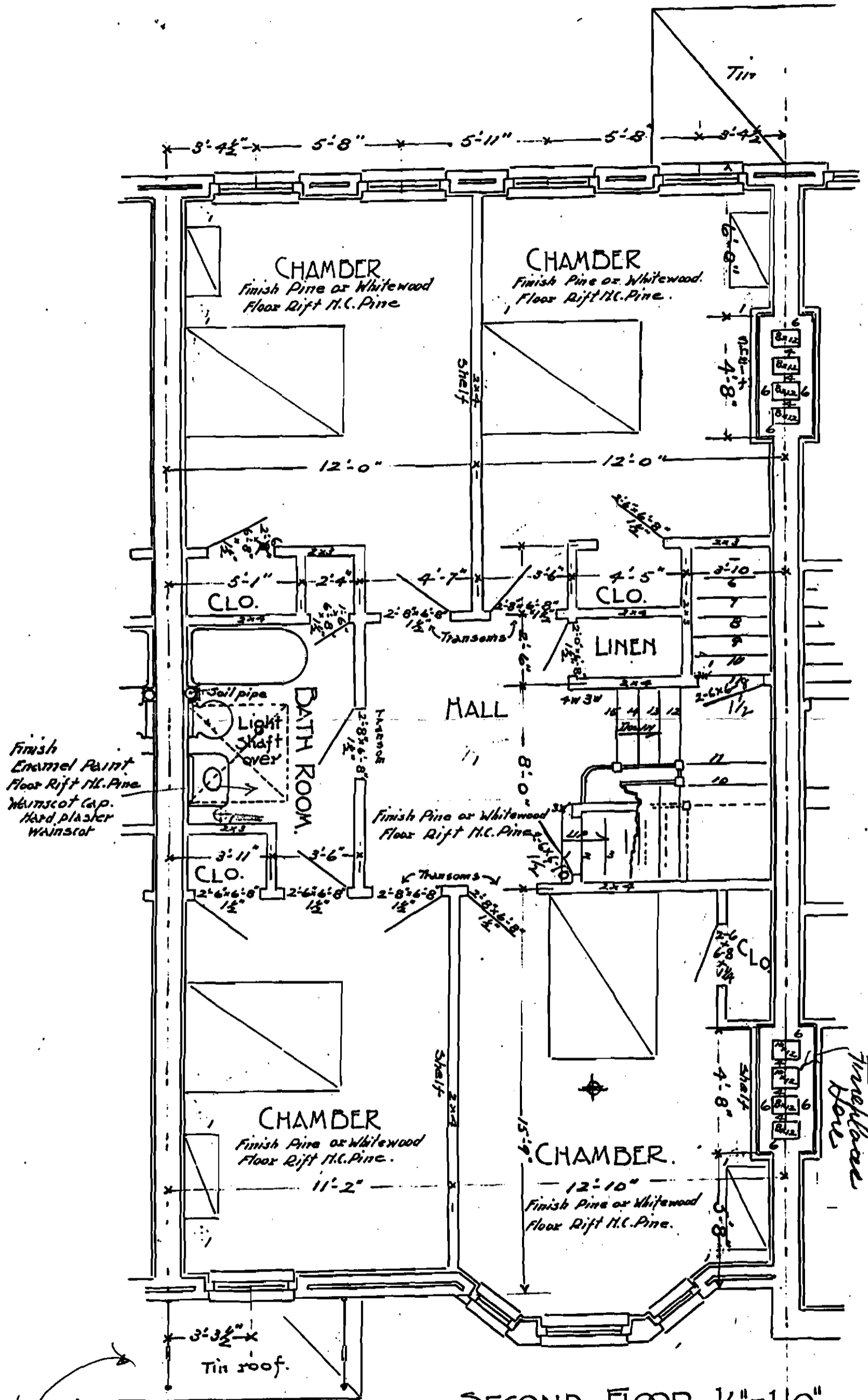
SEE FIGURES ON 1/4" SCALE PLANS

PLAN THRO BRICKWY  
SCALE 1/4" = 1'-0"



FRONT ELEVATION  
1/4" = 1'-0"

BLOCK No 117 to 131 NEAL ST.  
J. D. BROWN ESTATE  
John Calvin Stevens - John Howard Stevens  
Archts Portland, Me.



Finish Enamel Paint  
 Floor Rift H.C. Pine  
 Wainscot cap.  
 Hard plaster  
 Wainscot

Inexpensive floor

Parties over  
 #127 & 129

**127**

**79**

W 2'  
 L 14'

SECOND FLOOR 1/4" = 1'-0"

BLOCK No 117 to 131 NEAL ST.

J. D. BROWN ESTATE

John Calvin Stevens - John Howard Stevens