

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 101202

Please Read Application And Notes, if Any, Attached

This is to certify that SPENCER MARY A. (Thomas C. Holly)
has permission to Front Porch - replace columns, handrails, spindles, railing and install cement pad
AT 43 WEST ST CR# 063 D019001

provided that the person or persons, firm or corporation applying this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise enclosed-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CPM. R. [Signature]

Health Dept. _____

Appeal Board _____

Other _____

Department Name

[Signature] 11/15/10
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

PERMIT ISSUED

NOV 15 2010

City of Portland

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1202	Issue Date:	CBL: 063 D019001
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Location of Construction: 43 WEST ST	Owner Name: SPENCER MARY A	Owner Address: 43 WEST ST # 1	Phone:
Business Name:	Contractor Name: Thomas Connolly	Contractor Address: 56 Carelton St Portland	Phone: 2077750255
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R-6

Past Use: 5 unit Condominium	Proposed Use: 5 unit Condominium - Front Porch - replace columns, handrails, spindles, re-deck and install cement pad	Permit Fee: \$80.00	Cost of Work: \$6,000.00	CEO District: 2
legal 5 unit Condos (res)		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied see conditions	INSPECTION: Use Group: R-2 Type: 57B IBX-2003	
		Signature: (RB)	Signature: JMB 11/15/10	

Proposed Project Description:
Front Porch - replace columns, handrails, spindles, re-deck and install cement pad

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
Action: Approved Approved w/Conditions Denied
Signature: _____ Date: _____

Permit Taken By: Idobson
Date Applied For: 09/24/2010

Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied
	Historic Preservation Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied <input type="checkbox"/>	
	Date: 9/30/10	Date: 10/26/10

PERMIT ISSUED

NOV 15 2010

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

DATE

PHONE



CITY OF PORTLAND, MAINE
Department of Building Inspections

Original Receipt

1 9.24 2010

Received from

Dona Lajoie Corbett
43 West St

Cost of Construction \$ _____

Building Fee: _____

Permit Fee \$ _____

Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 80

Building (L) _____

Plumbing (15) _____

Electrical (12) _____

Site Plan (17) _____

Other _____

CEL 63-D-15

Check #: 105

Total Collected \$

80

No work is to be started until permit issued.
Please keep original receipt for your records.

Taken by: JM

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1202	Date Applied For: 09/24/2010	CBL: 063 D019001
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Location of Construction: 43 WEST ST	Owner Name: SPENCER MARY A	Owner Address: 43 WEST ST # 1	Phone:
Business Name:	Contractor Name: Thomas Connolly	Contractor Address: 56 Carelton St Portland	Phone (207) 775-0255
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: 5 unit Condominium - Front Porch - replace columns, handrails, spindles, re-deck and install cement pad	Proposed Project Description: Front Porch - replace columns, handrails, spindles, re-deck and install cement pad
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Dept: Historic Status: Approved with Conditions Reviewer: Deborah Andrews Approval Date: 10/26/2010
 Note: Ok to Issue:

- 1) Approval based on revised drawing submitted 10/14/2010 to historic preservation staff (attached to original permit.), with the following conditions of approval:
- * All details of the columns and column bases at the top of the stairs shall match those of the existing engaged columns. (The engaged columns retain all their original details.)
 - * Each column shall have its own base.
 - * The height of the new wood railing shall match the existing rail height. In order to meet current code requirements for railing height, a single pipe rail shall be installed above the traditional railing at a 36" height. The piperaill shall be painted the same color as the traditional railing to minimize its visual impact.
 - * Design of wood handrail shall match that at 317 Spring Street.
 - * The metal handrail currently installed at the center of the stairs shall not be reinstalled upon completion of the project.
 - * Balusters to be 2"x 2" square balusters, with chamfered corners. Final spacing between balusters shall not exceed 3 1/4".
 - * Posts at bottom of stairs shall feature the same detailing (in a taller version) as posts at top of stairs. Posts to be capped with simple pyramidal post top.
 - * Treads/risers and porch skirting to conform to specifications included in Guidelines for Porch Repair and Replacement. (A copy of this publication has been provided to you.)
 - * Selected contractor shall meet with historic preservation staff on site prior to commencing the project.

Dept: Zoning Status: Approved with Conditions Reviewer: Marge Schmuckal Approval Date: 09/30/2010
 Note: Ok to Issue:

- 1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
- 2) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 3) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 4) This property shall remain a five family condominium building. Any change of use shall require a separate permit application for review and approval.
- 5) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

PERMIT ISSUED

Location of Construction: 43 WEST ST	Owner Name: SPENCER MARY A	Owner Address: 43 WEST ST # 1	Phone:
Business Name:	Contractor Name: Thomas Connolly	Contractor Address: 56 Carelton St Portland	Phone: (207) 775-0255
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 11/15/2010

Note: **Ok to Issue:**

- 1) This approval is based on IBC Sec. 3403.4 for existing stair slope and Sec. 3407 for historic buildings for guardrail height and opening limitations.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 10/27/2010

Note: **Ok to Issue:**

- 1) No means of egress shall be affected by this renovation
- 2) Two means of egress are required from every story. "State Law Title 25 ~ 2453"
- 3) The entire structure shall comply with Chapter 10 of the Portland City Code for "Existing Apartments." Compliance shall be insured prior to the issuance of a Certificate of Occupancy.
- 4) All construction shall comply with City Code Chapter 10.

Comments:

9/30/2010-mes: The legal 5 unit building was converted into 5 condos on 9-11-81 - The condo conversion ordinance went into effect on 11-16-81. Did not require a condo permit from the City when they converted. There is a C of O on file for the 5 res dwelling units.

10/26/2010-gg: received from historic as of 10-26-10. /gg

10/27/2010-jmb: Spoke with Thomas C. For guard and handrail details per code. He will design a pipe rail at a minimum 36" with less than 4" spacing and present to Deb A. And me for approval.

10/28/2010-jmb: Thomas Connolly submitted the detail for the pipe handrail, gave a copy to Deb A. For her approval.

11/15/2010-jmb: Met with Deb A., for historic significance she does not want the 4" opening limitation at the distance from the balustrade to the pipe handrail. It will still act as fall protection.

PERMIT ISSUED

NOV 15 2010

City of Portland

BUILDING PERMIT INSPECTION PROCEDURES

**Please call 874-8703 or 874-8693 (ONLY)
or email: buildinginspections@portlandmaine.gov**

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

 X **Framing inspection prior to enclosing**

 X **Final inspection required at completion of work.**

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

PERMIT ISSUED

NOV 15 2010

City of Portland



General Building Permit Application

If you or the property owner owns real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>43 WEST STREET</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories <u>2 1/2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>63</u> Block# <u>D</u> Lot# <u>19</u>	Applicant *must be owner, Lessee or Buyer* Name <u>THOMAS CONNOLLY</u> Address <u>DANA LODGE CONDO ASSOC.</u> <u>56 CARLETON ST</u> City, State & Zip <u>PORTLAND, ME 04102</u>	Telephone: <u>775-0255 - home</u> <u>409-8081 - cell</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>6,000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>CONDOMINIUM</u> Number of Residential Units <u>FIVE</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>FRONT PORCH - REPLACE COLUMNS, HANDRAILS AND SPINDLES</u> <u>ALSO RE-DECK WITH 1X4 DECKING. LEMENT PAD INSTALLED</u> <u>FOR STRINGERS TO REST ON.</u>		
Contractor's name: <u>THOMAS CONNOLLY</u> Address: <u>56 CARLETON ST</u> City, State & Zip <u>PORTLAND, ME 04102</u> Telephone: <u>775-0255</u> Who should we contact when the permit is ready: <u>THOMAS CONNOLLY</u> Telephone: <u>409-8081</u> Mailing address: <u>56 CARLETON ST., PORTLAND ME 04102</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov or stop by the Inspections Division office, room 315 City Hall or call 874.8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable time to enforce the provisions of the codes applicable to this permit.

RECEIVED

Signature: _____ Date: SEPT 20, 2010

This is not a permit; you may not commence ANY work until the permit is issued

Dept. of Building Inspections
City of Portland Maine

BUILDING A DECK???

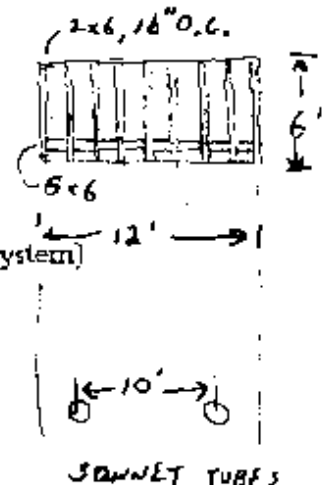
INFORMATION REQUIRED WITH YOUR APPLICATION

The following is a guideline of information required for the review of a deck application. It is intended to help you supply proper and complete application packages. Please label all of the following items on your plans. Thank you!

1. A complete plot plan showing all structures & proposed structures with distances to all property lines labeled.

2. Type of foundation system

- a. Diameter of concrete filled tube or pre cast concrete pier size 8"
- b. depth below grade (minimum 4'-0" below grade) 48"
- c. anchorage of column to footing ?
- d. spacing and location of tubes/piers 8'



3. Framing Members

- a. Columns - wood size and location (members supporting framing of floor system)
- b. Ledger size attached to building - *WILL BE ABLE TO SAY ONCE THE*
- c. Fastener size and spacing attaching ledger *DECKING IS REMOVED*
- d. Girder Size and spans carrying floor system -
- e. Joist size, span, and spacing - 2x6", 16" O.C.
- f. Joist hangers or ledger - *NONE*

4. Guardsrails & Handrail Details

- a. Guardrail height 21"
- b. Baluster spacing 12"
- c. Handrail height 31"

5. Stair Details

- a. Tread depth (measured nosing to nosing) 12"
- b. Riser height 7 1/4"
- c. Nosing on tread 1"
- d. Width of stairs 12"



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 43 West Street

Issued to **Robert Madsen**

Date of Issue **Oct. 22, 1982**

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. **82-288** has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

5 Apartments

Limiting Conditions:

This certificate supersedes
certificates issued

Approved:

(Date)

Inspector

Notice: This certificate does not insure the insured user of building or premises, and shall not be construed that
owner is liable when structural damage occurs. Copy will be forwarded to owner or tenant for use before

→ Didn't need a Condo Conversion Permit - Did the conversion prod want etc effect
Dart Lodge Condos → 9-11-81
Condo Conversion Ord. want to effect
11-16-81

WEST STREET

GRASS

GRASS

BRICK SIDEWALK

WOOD STAIRS

43 WEST ST.
FOUNDATION

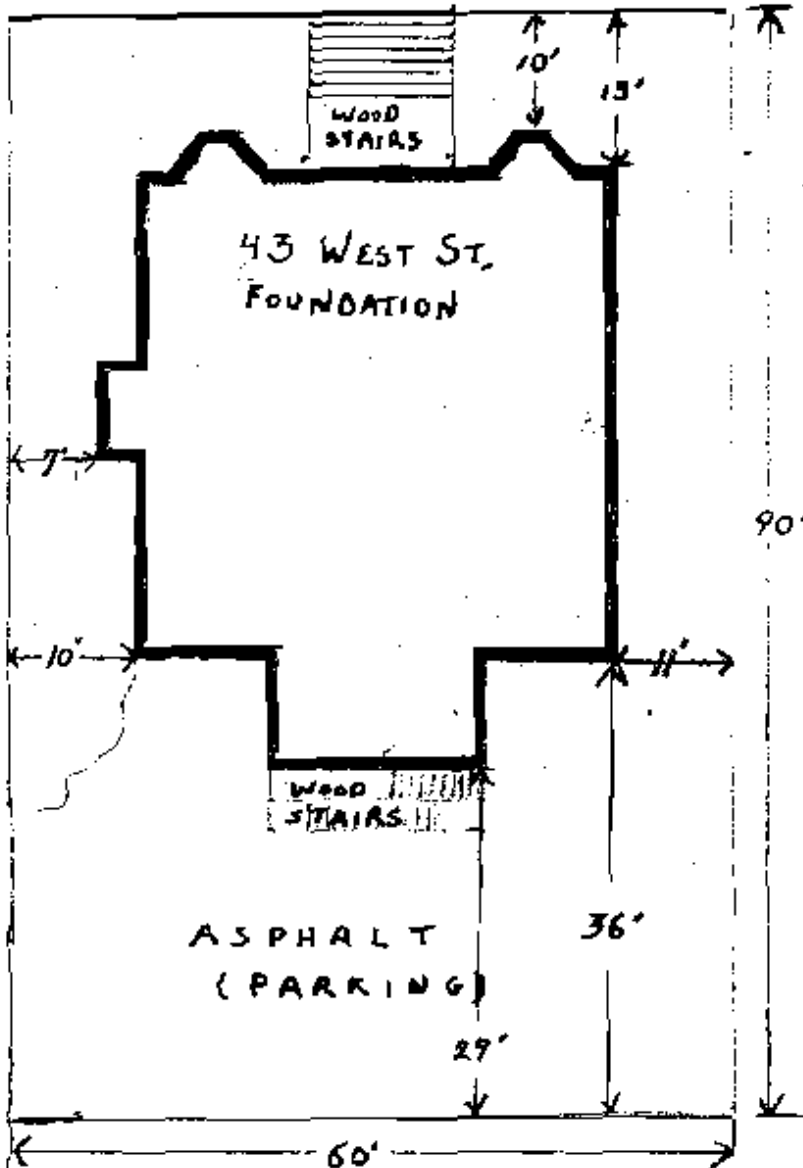
WOOD STAIRS

ASPHALT
(PARKING)

C
A
A
L
E
T
O
N
S
T.

GRASS

BRICK SIDEWALK



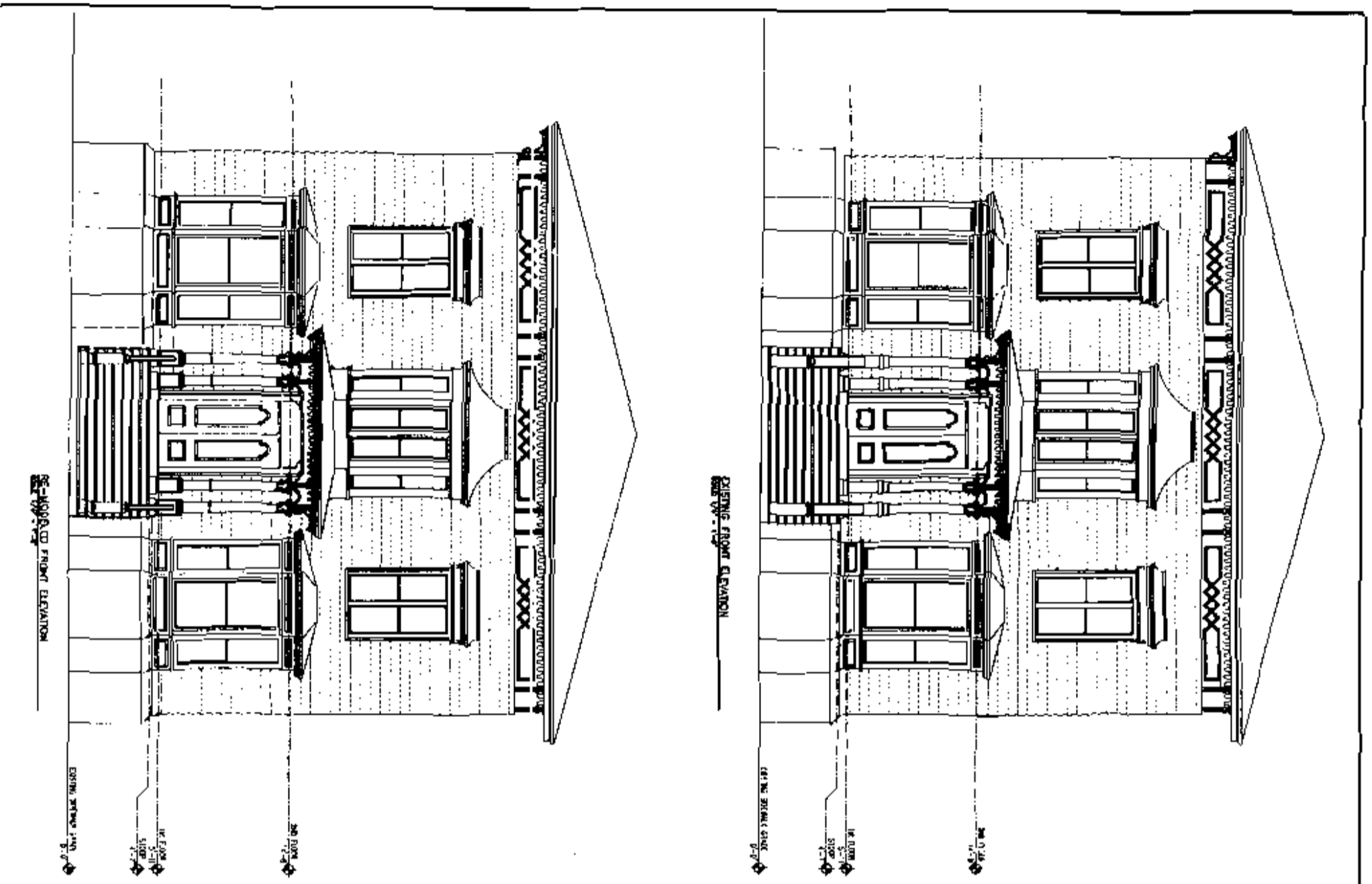
90'

36'

29'

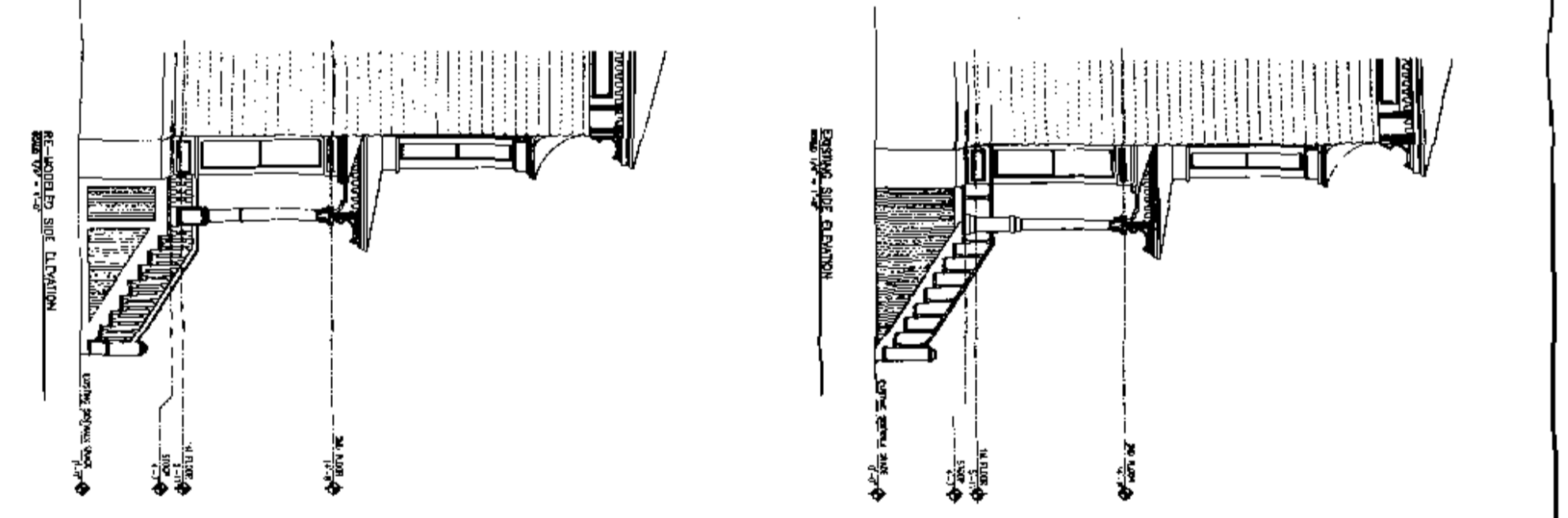
60'

←----->



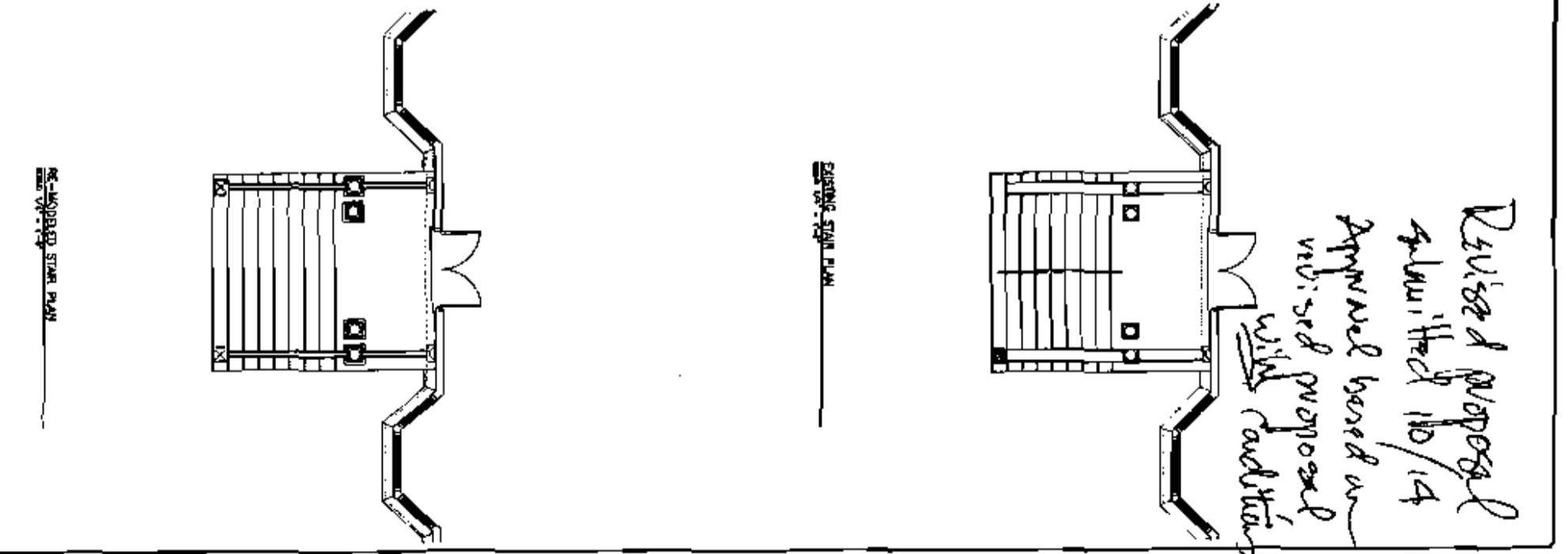
EXISTING FRONT ELEVATION

PROPOSED FRONT ELEVATION



EXISTING SIDE ELEVATION

PROPOSED SIDE ELEVATION



EXISTING STAIR PLAN

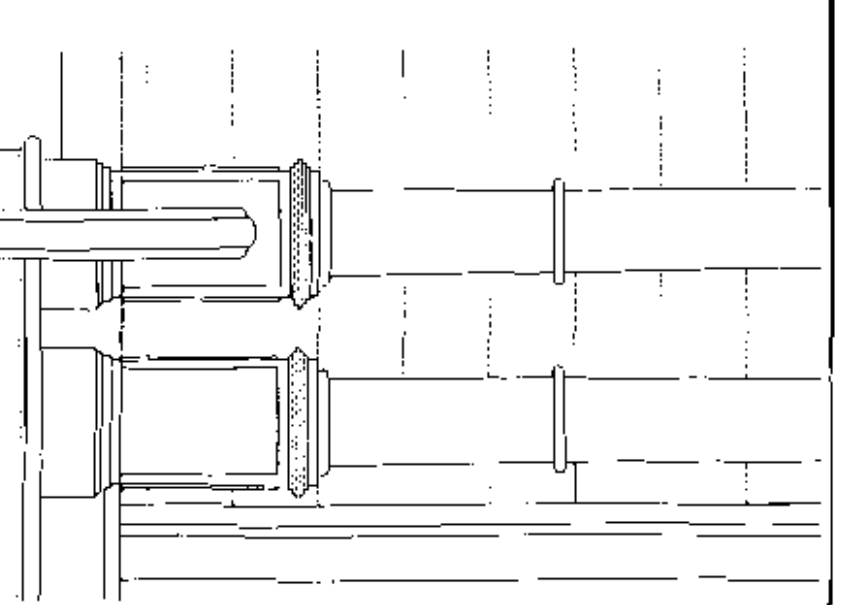
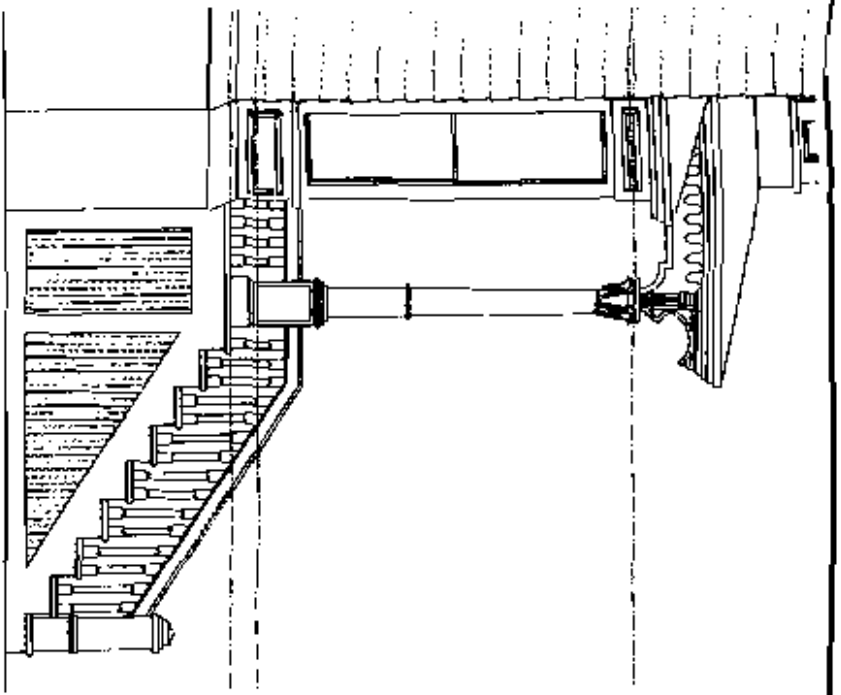
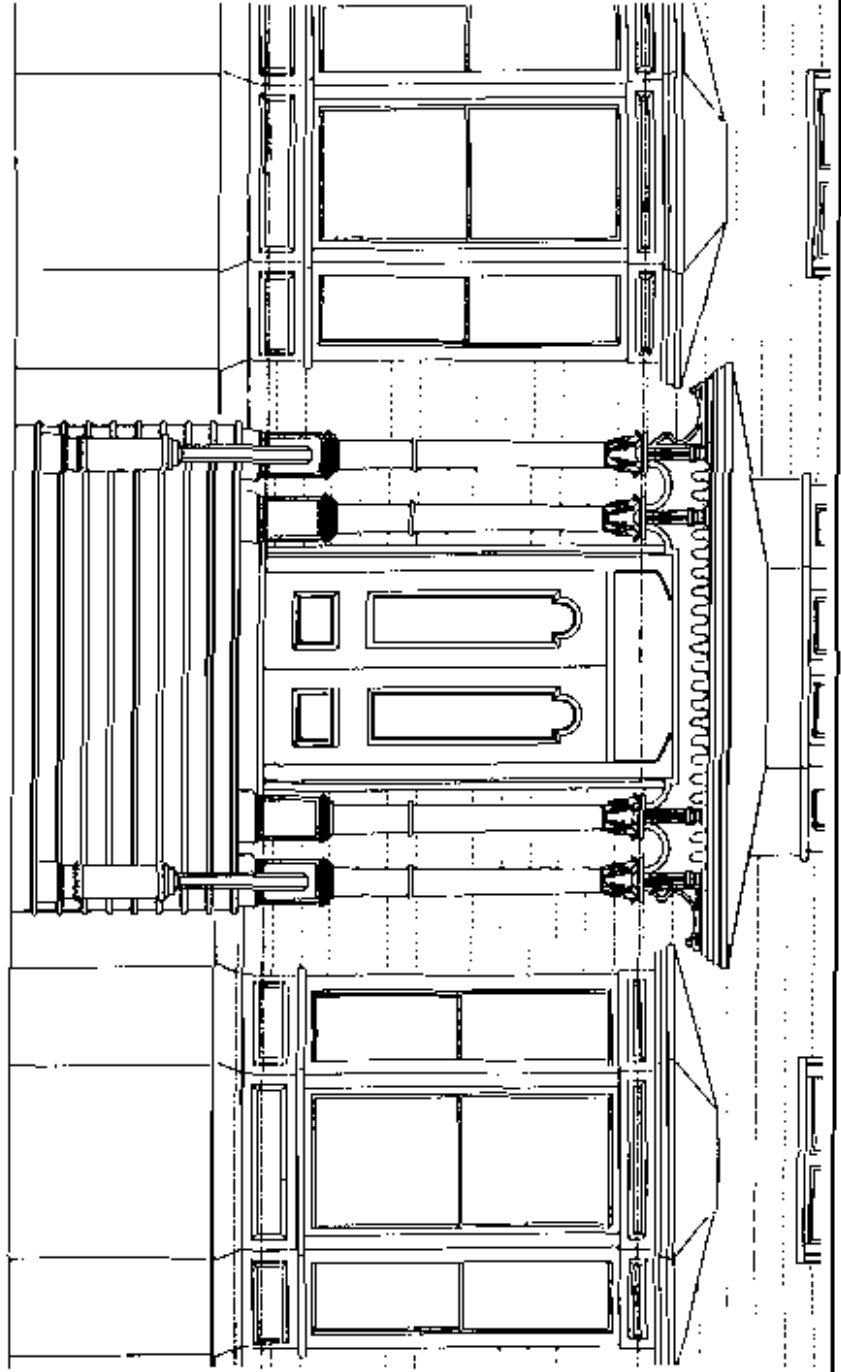
PROPOSED STAIR PLAN

*Revised proposal
submitted 10/14
Approval based on
revised proposal
with conditions*

43 West Street
Renovated Existing Front Porch and Stair

FCB Consulting Engineers & Architects
 21 Pollock St
 Portland, ME 04101
 207.633.0101 Fax 207.633.0102
 www.fcb.com

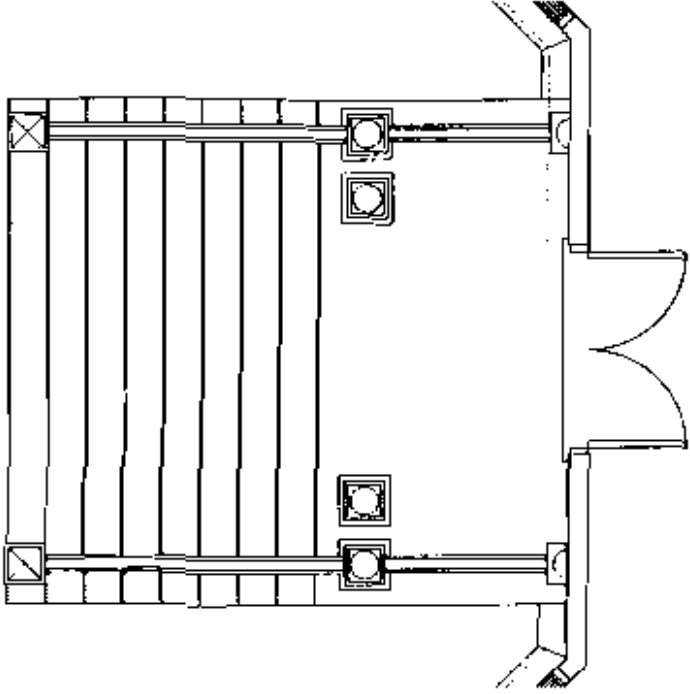
PROPERTY OF	
1	
2	
3	
REVISIONS	
1	
2	
CODE	
TOWN	PORTLAND
DATE	09-28-10
SCALE	AS NOTED
DESIGNED	JJO
DRAWN	JJO
TITLE	
FILE	
SHEET	



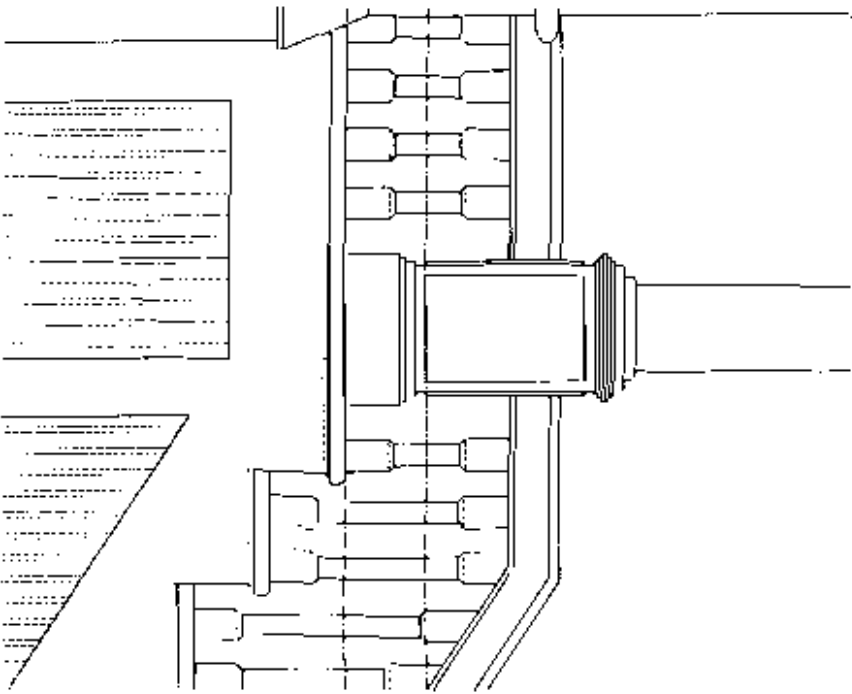
ENLARGED RE-WOODENED FRONT ELEVATION

ENLARGED RE-WOODENED SIDE ELEVATION

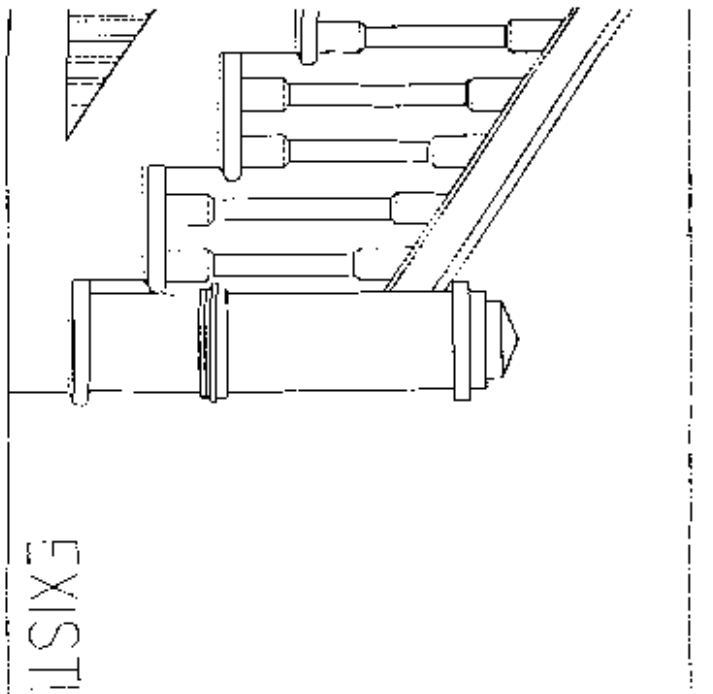
DETAIL AT LANDING BASE



ENLARGED RE-WOODENED STAIR PLAN

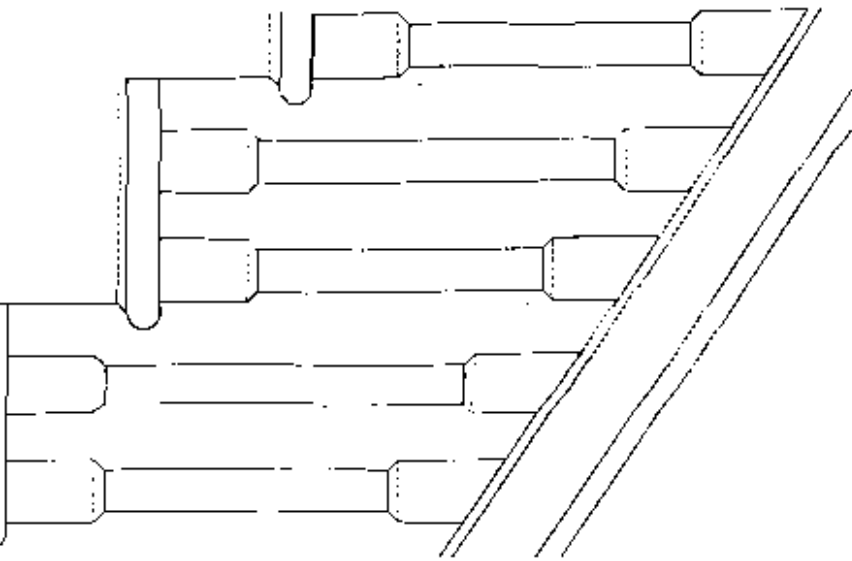


DETAIL AT LANDING BASE



DETAIL AT NEWEL POST

EXIST!



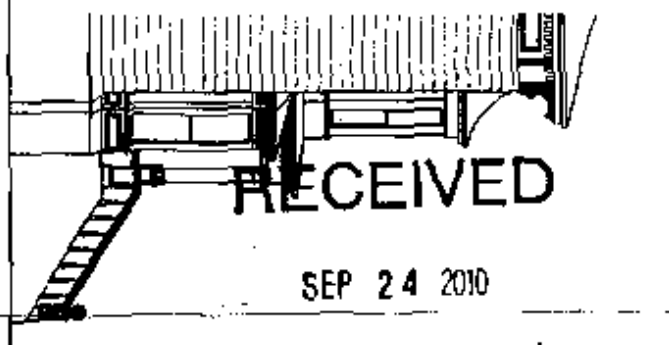
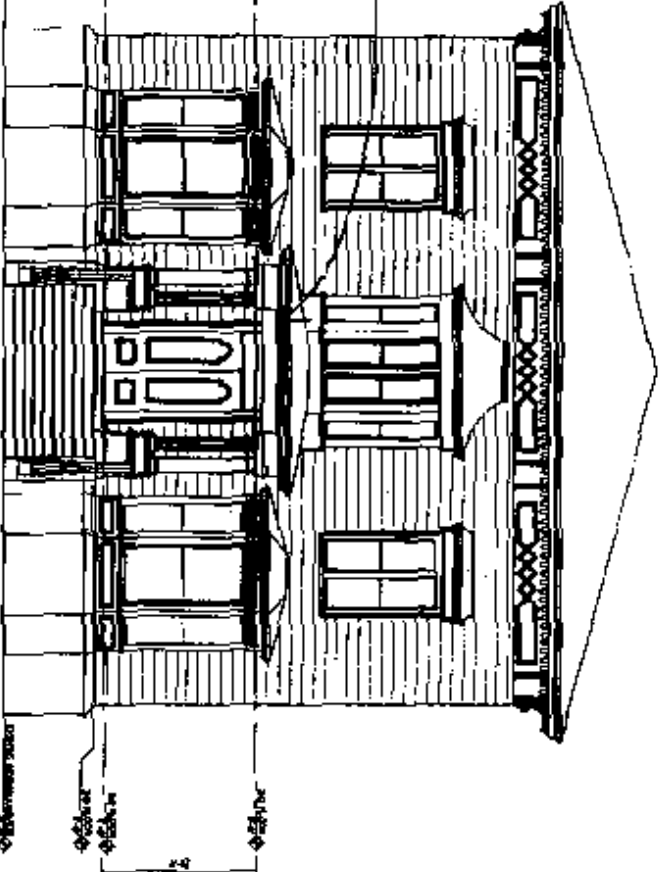
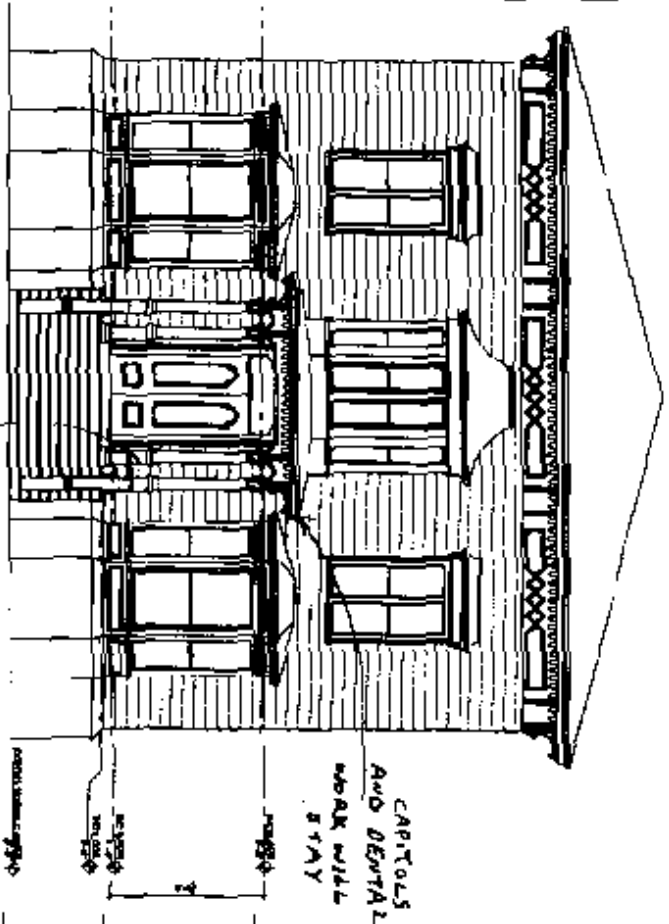
DETAIL AT BALUSTER

43 West Street
 Renovate Existing Front Sloop and Stair

F&C LADD Engineering & Construction
 25 Main St.
 Portland, Maine 04103
 207-479-4311 Fax 207-479-4312
 E-Mail: Joe@fcladd.com

FILE	
SHEET	

TITLE	
DRAWN	JLD
DESIGNED	JLD
SCALE	AS NOTED
DATE	06-28-10
TOWN	PORTLAND
CODE	
REVIS	
1	
2	
3	

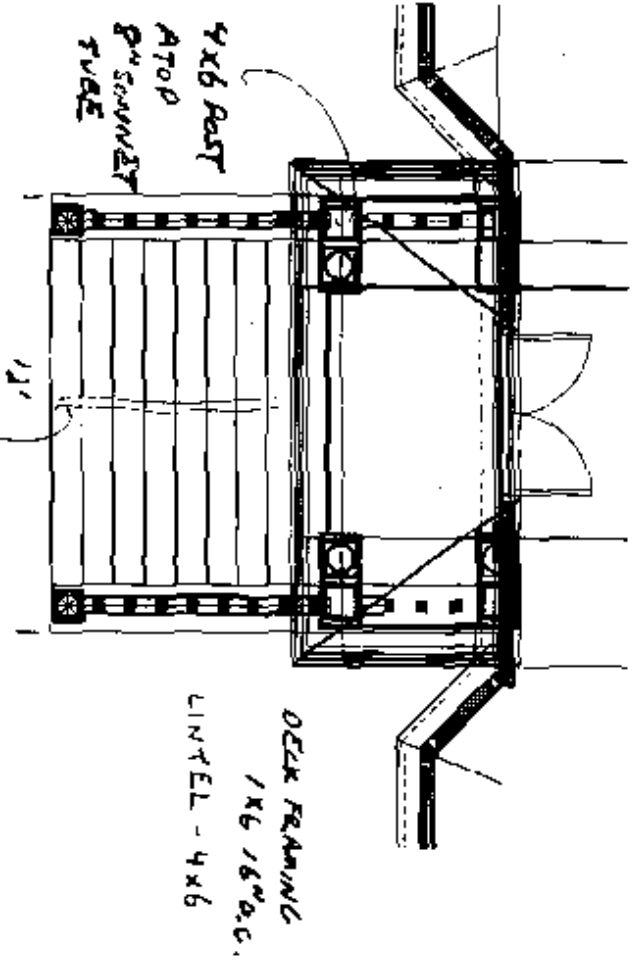


RECEIVED
SEP 24 2010

Dept. of Building Inspections
City of Portland, Maine

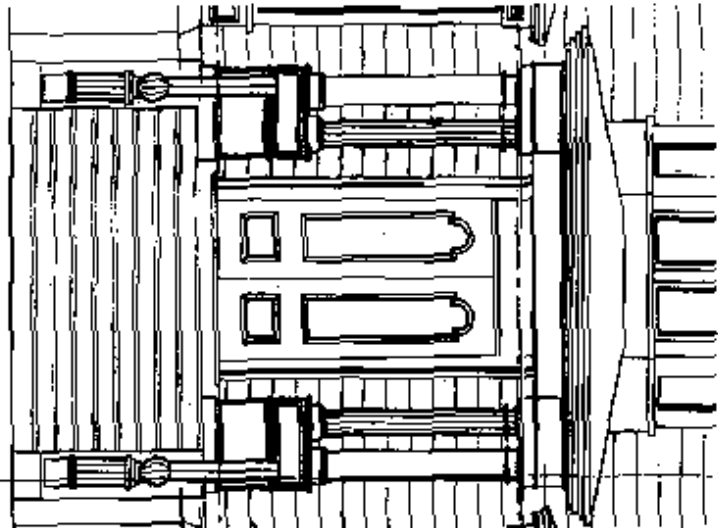
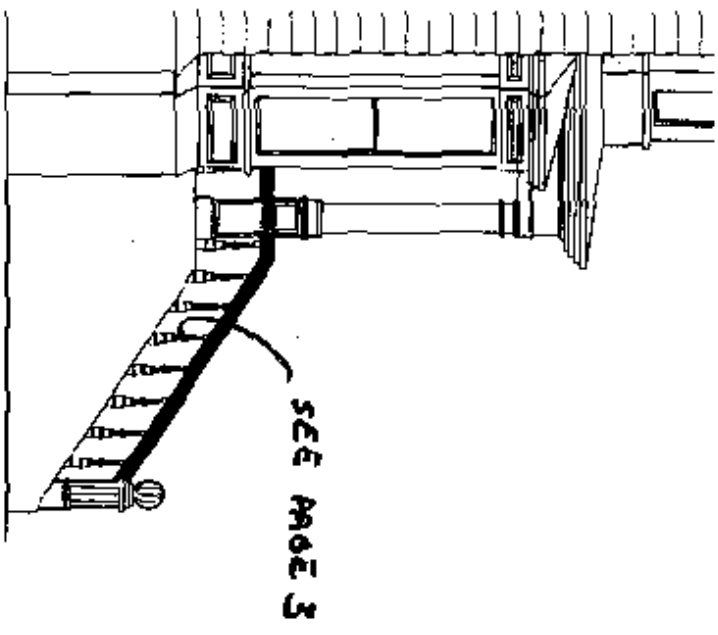


PROJECT: 1



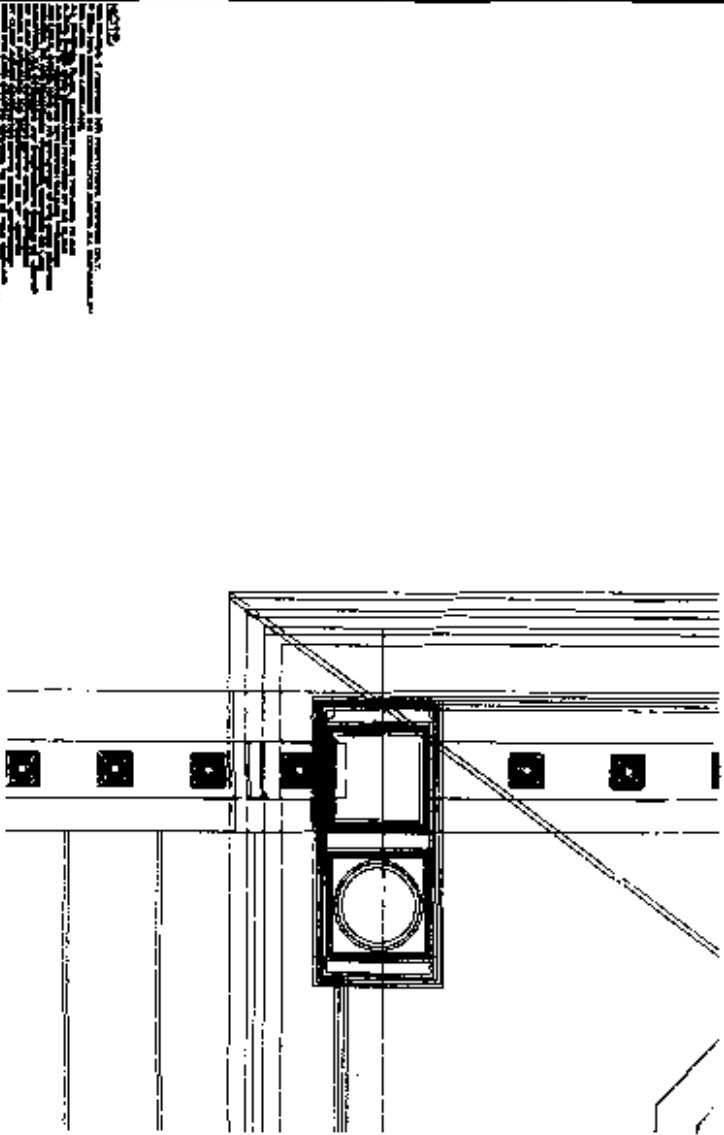
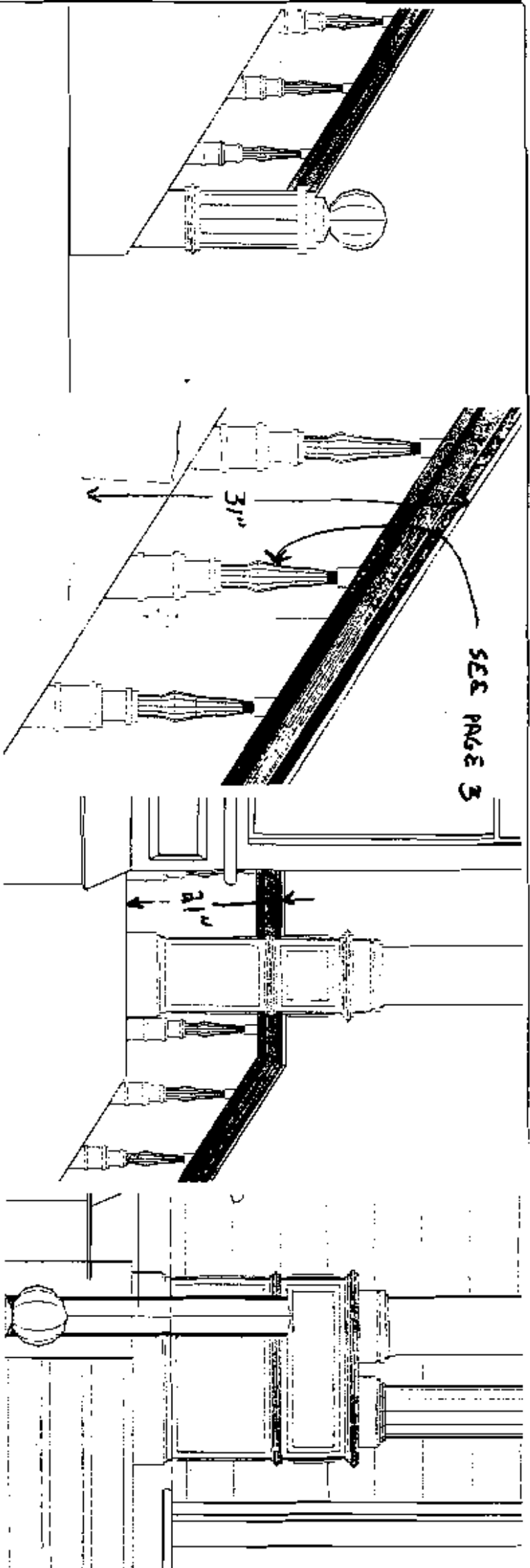
EXISTING 36" IRON HANDRAIL
WILL BE RE-INSTALLED

DECK FRAMING
1x6 16" O.C.
LINTEL - 4x6



43 WEST STREET
PORTLAND, ME

DATE:	09-14
DRAWN:	J
CHECKED:	
SCALE:	AS NOTED
PROJECT:	111 FLOOR
FILE:	
DATE:	

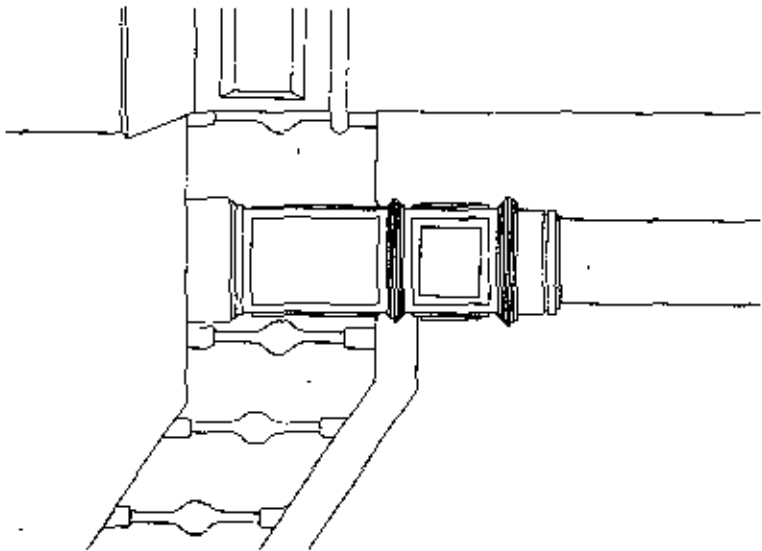
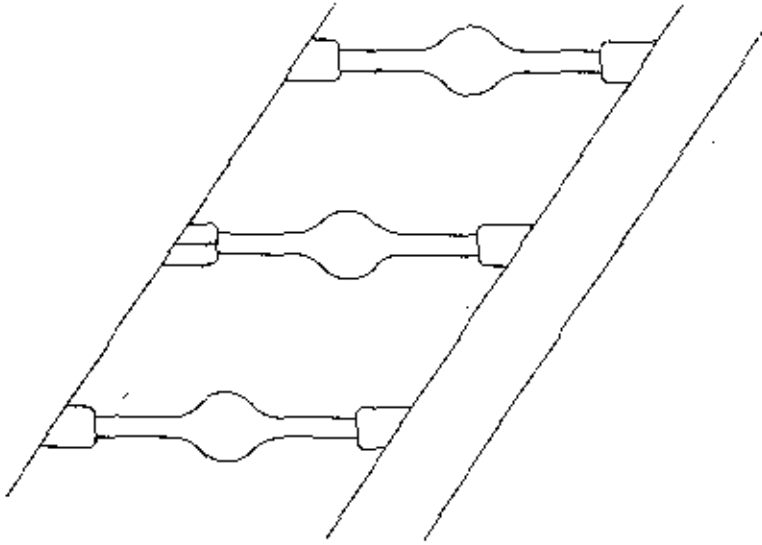
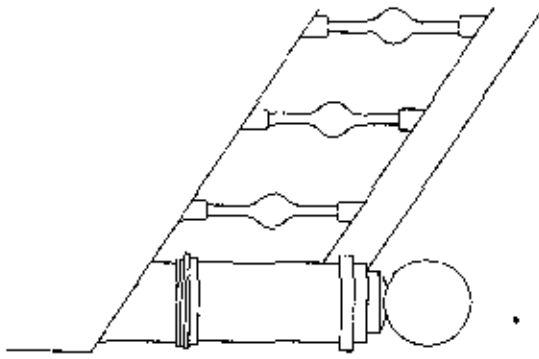
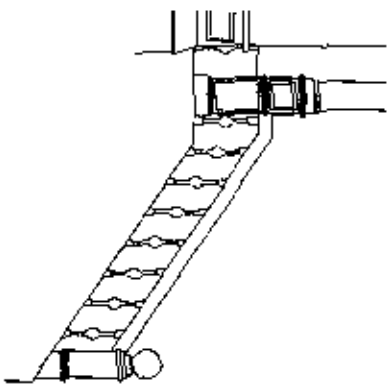


1 1/2" TREAD
 7 1/4" RISE

NOTES
 1. ALL DIMENSIONS ARE IN INCHES UNLESS OTHERWISE NOTED.
 2. FINISHES TO BE DETERMINED BY ARCHITECT.
 3. MATERIALS TO BE APPROVED BY ARCHITECT.
 4. INSTALLATION TO BE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 5. ALL WORK TO BE DONE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL CODES.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP ALL DEBRIS.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE.
 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BONDS.
 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LICENSES.
 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY TRAINING.
 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EXPERIENCE.
 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.
 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECOMMENDATIONS.
 17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS.
 18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BONDS.
 20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LICENSES.
 21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY TRAINING.
 22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EXPERIENCE.
 23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.
 24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECOMMENDATIONS.
 25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS.

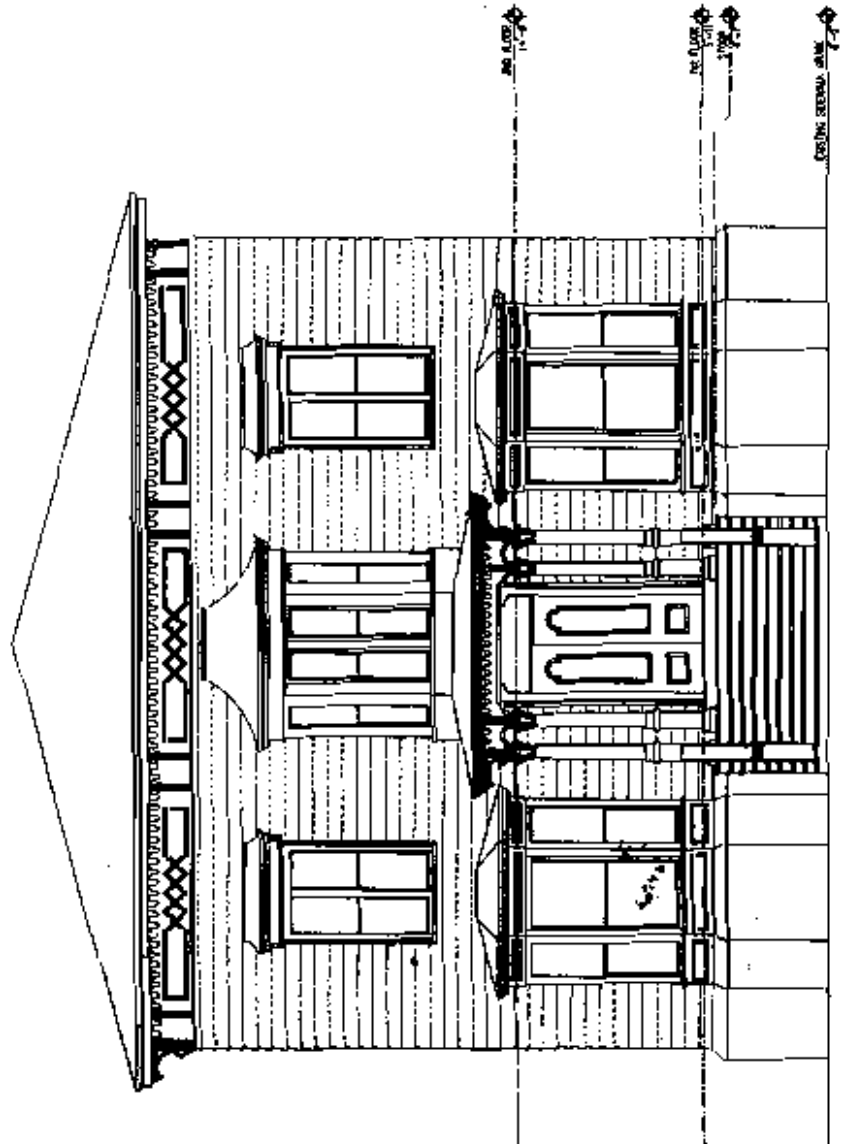
43 WEST STREET
 PORTLAND, ME

NO. 1	TITLE
NO. 2	DATE
NO. 3	BY
NO. 4	APP'D
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NO. 8	REVISIONS
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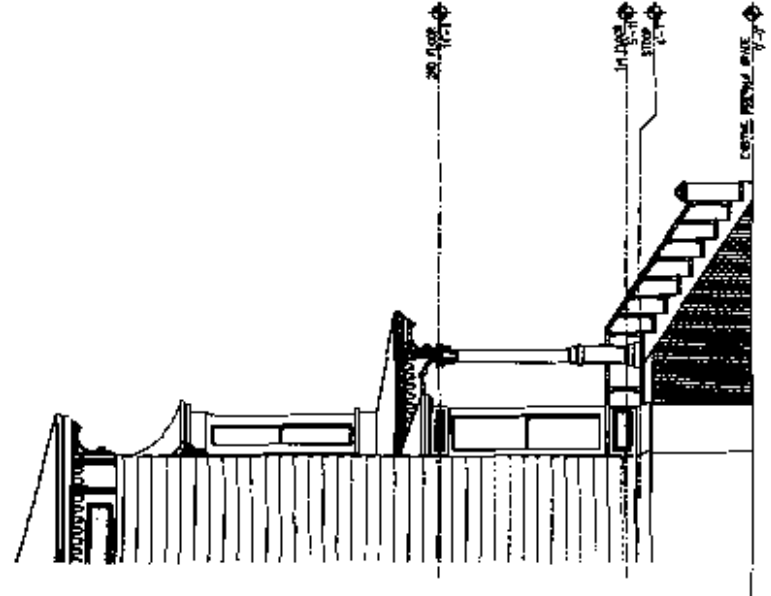


SPINDLE DETAIL AS PROPOSED
WITH 1980'S APPLICATION

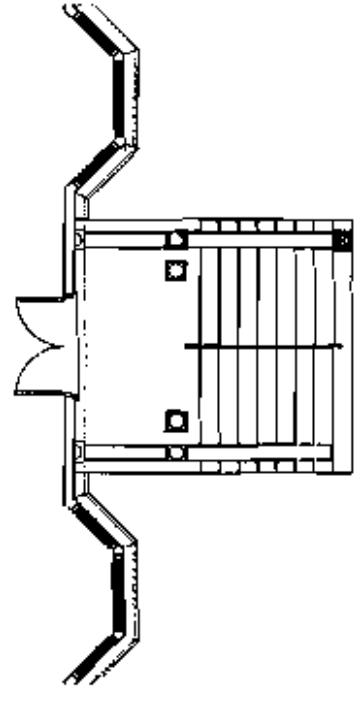
1	REVISE			
2	CODE	PORTLAND		
3	DATE	06-28-00	SCALE: AS NOTED	DESIGNED: JJO
				DRAWN: JJO
				TITLE:
				FILE #
				SHEET:



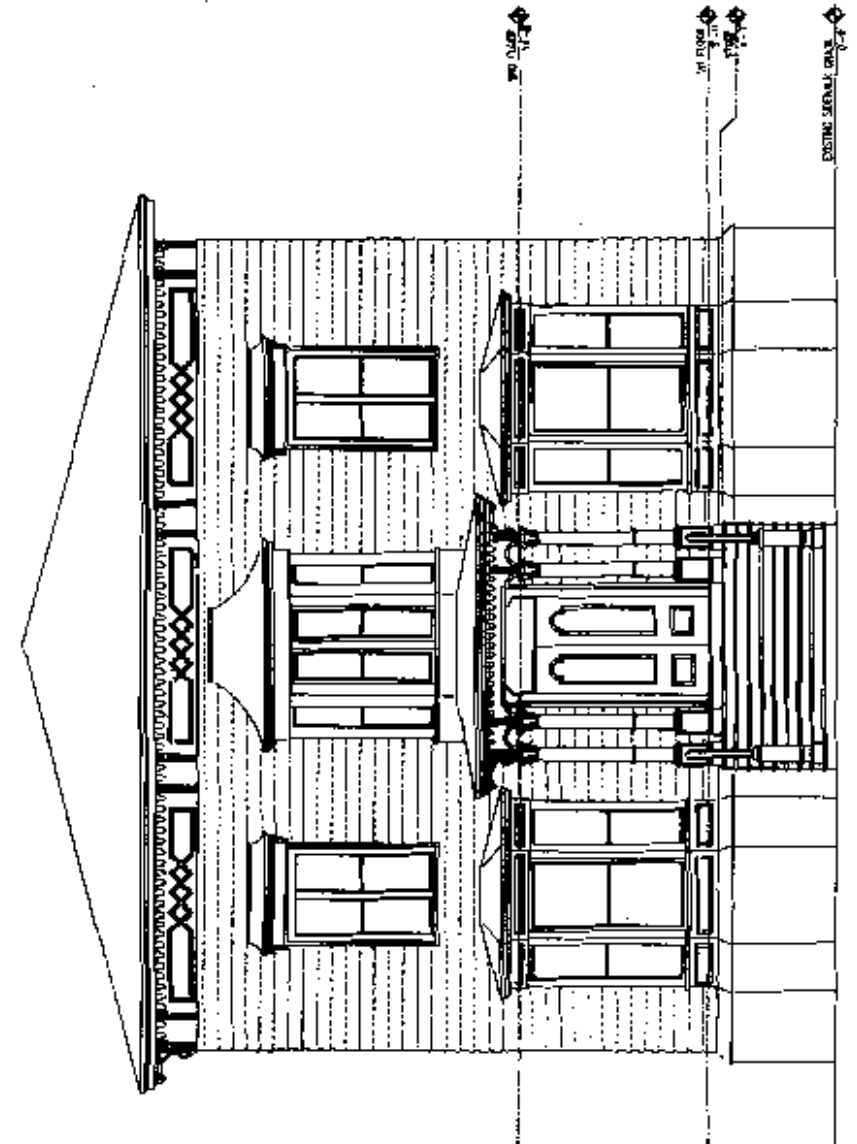
EXISTING FRONT ELEVATION



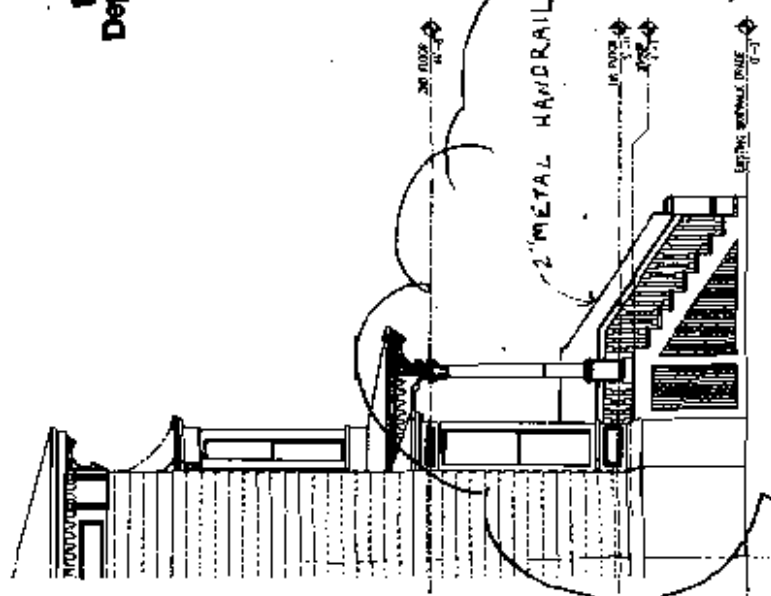
EXISTING SIDE ELEVATION



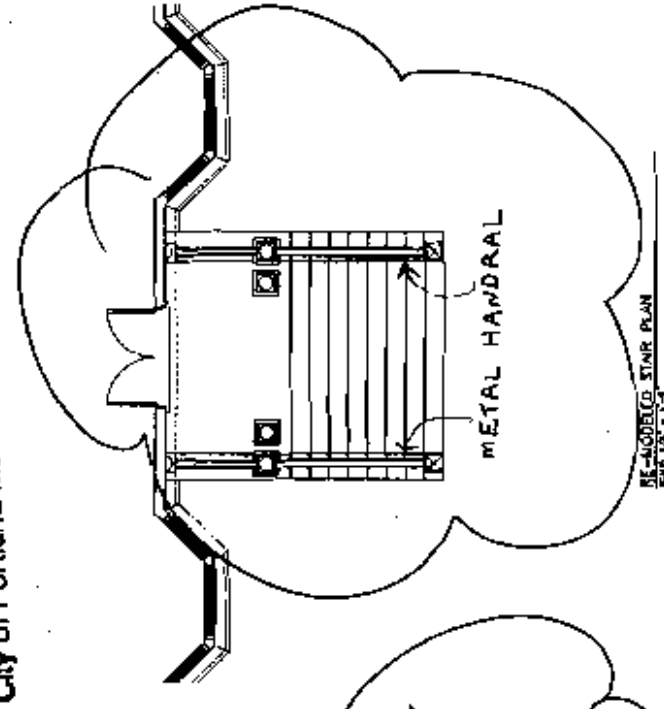
EXISTING STAIR PLAN



RE-MODEL FRONT ELEVATION



RE-MODEL SIDE ELEVATION

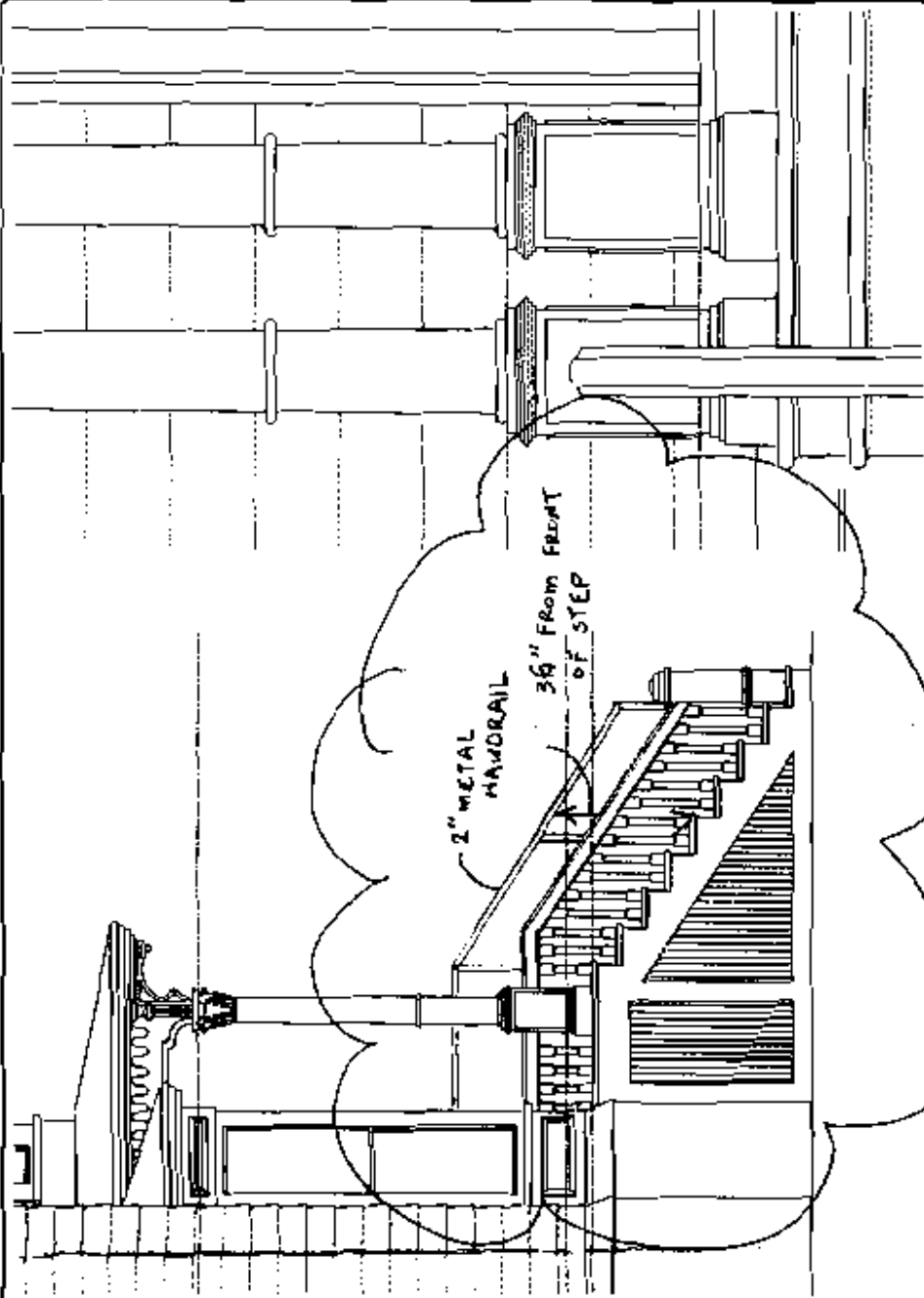


RE-MODEL STAIR PLAN

RECEIVED

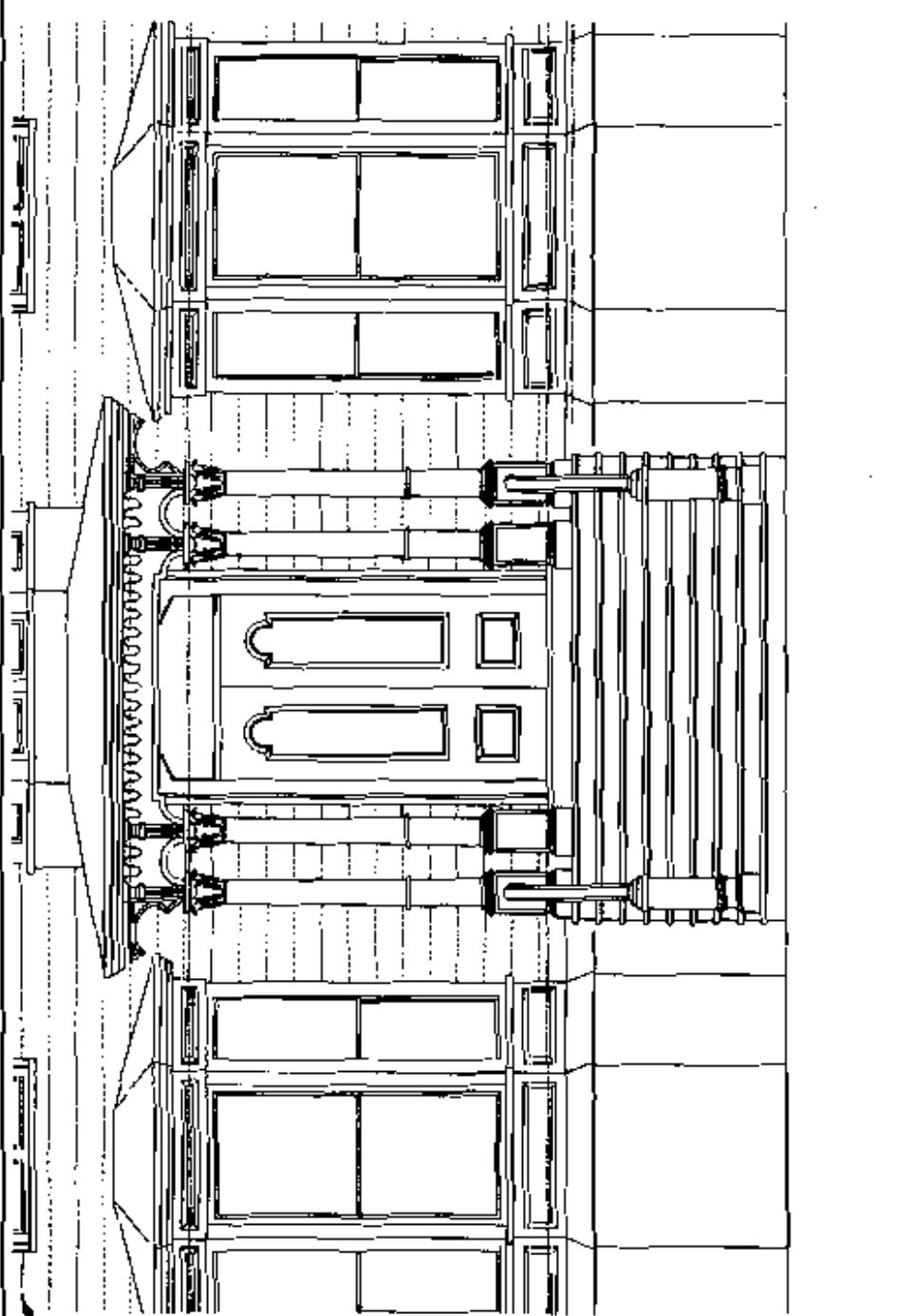
OCT 28 2010
 OCT 27 2010
 Dept. of Building Inspections
 Dept. of Building Inspections
 City of Portland Maine

FILE	
SHEET	
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DRAWN: JJO	
CHECKED: JJO	
SCALE: AS NOTED	
DATE: 08-28-10	
TOWN: PORTLAND	
CODE:	
REVS:	
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2.	
3.	

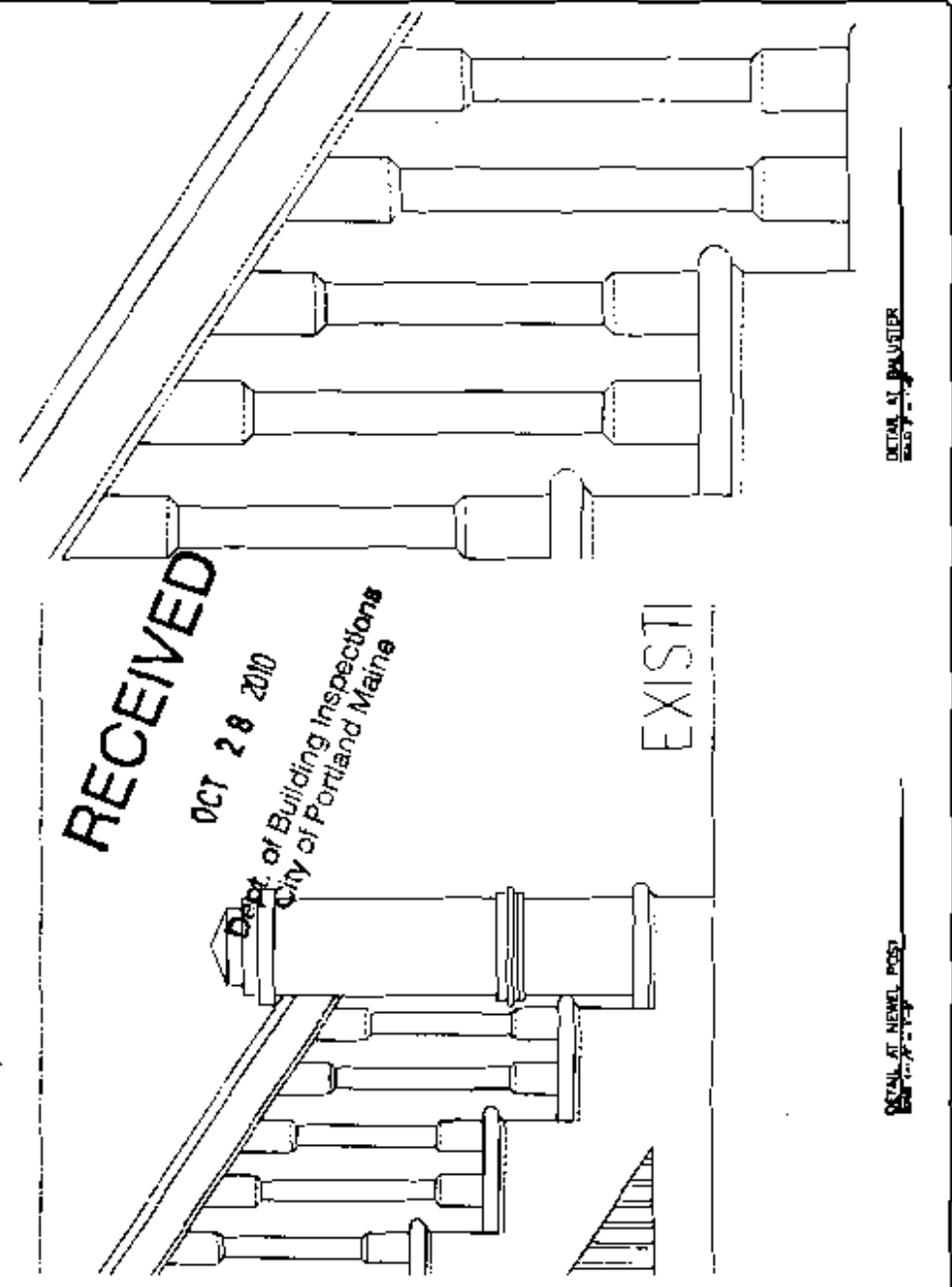


DETAIL AT LANDING BASE
 1/2\"/>

EXISTING MODEL SIDE ELEVATION
 1/2\"/>

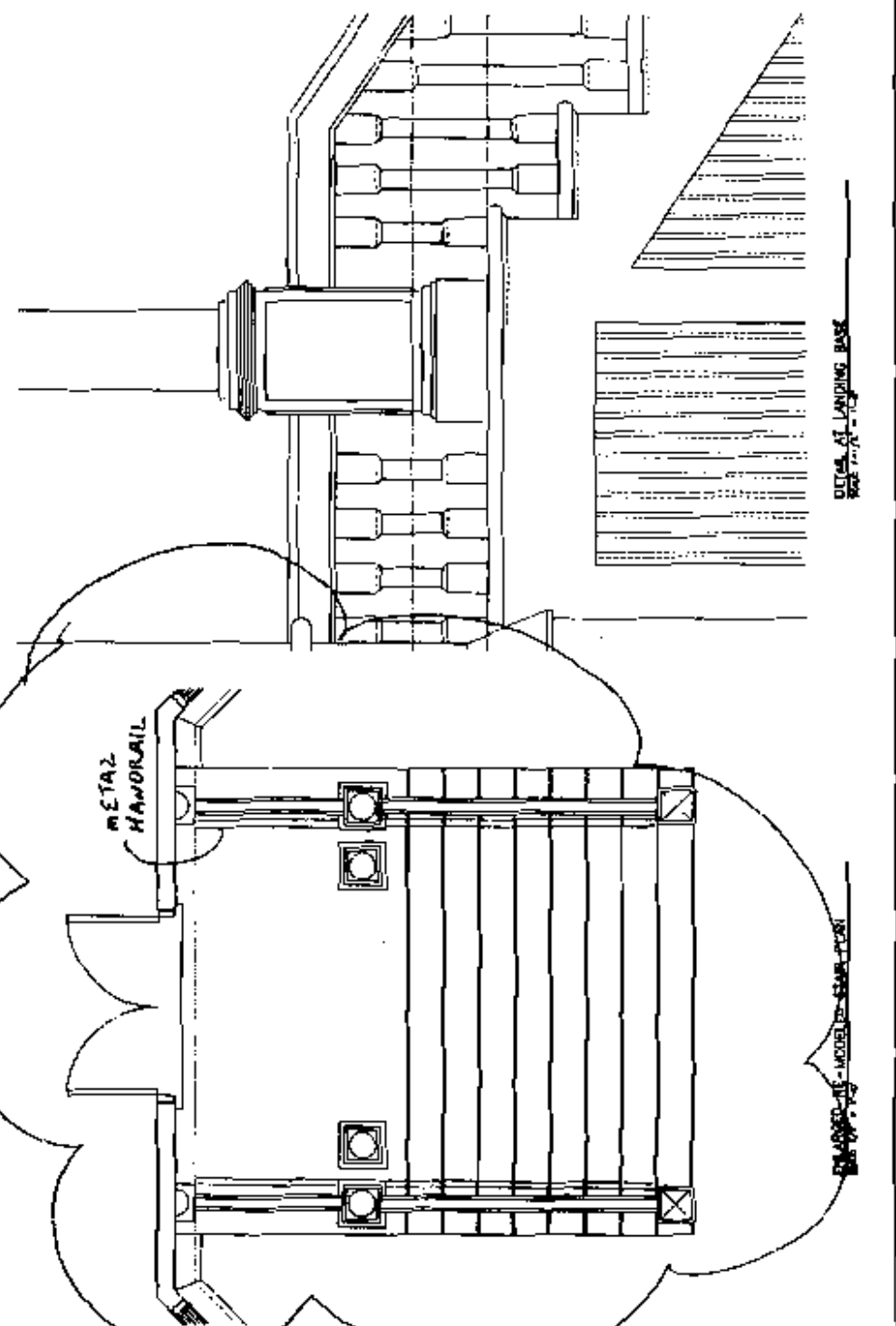


EXISTING MODEL FRONT ELEVATION
 1/2\"/>



DETAIL AT BALUSTER
 1/2\"/>

DETAIL AT NEWEL POST
 1/2\"/>



DETAIL AT LANDING BASE
 1/2\"/>

EXISTING MODEL FRONT ELEVATION
 1/2\"/>