

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

**PERMIT ISSUED**

Permit No: 01-1484	Issue Date: DEC 28 2001	CBL: 063 D016001
-----------------------	----------------------------	---------------------

<b>Location of Construction:</b> 50 Carleton St	<b>Owner Name:</b> Cabot Olivia A	<b>Owner Address:</b> 50 Carleton St	<b>Phone:</b> 207-773-3632
<b>Business Name:</b> n/a	<b>Contractor Name:</b> n/a	<b>Contractor Address:</b> Portland	<b>Phone:</b>
<b>Lessee/Buyer's Name:</b> n/a	<b>Phone:</b> n/a	<b>Permit Type:</b> Demolitions	<b>Zone:</b> R-6

<b>Past Use:</b> Duplex	<b>Proposed Use:</b> Duplex / Demolition addition and rebuild.	<b>Permit Fee:</b> \$192.00	<b>Cost of Work:</b> \$28,000.00	<b>CEO District:</b> 3
----------------------------	---	--------------------------------	-------------------------------------	---------------------------

<b>FIRE DEPT:</b> <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied	<b>INSPECTION:</b> Use Group: R-3 Type: SB BOCA 1999
Signature: <i>N/A</i>	Signature: <i>T.M. WIS</i>

**Proposed Project Description:**  
 Demolition addition *is rebuild per plans*  
*2 legal units per microfiche*

<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b>		
Action: <input type="checkbox"/> Approved	<input checked="" type="checkbox"/> Approved w/Conditions	<input type="checkbox"/> Denied
Signature: <i>N/A</i>	Date:	

<b>Permit Taken By:</b> gg	<b>Date Applied For:</b> 12/05/2001	<b>Zoning Approval</b>		
-------------------------------	--	------------------------	--	--

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>12/17/01</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied Date: <i>12/17/01</i>	<b>Historic Preservation</b> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>12/17/01</i>
	<i>has one year to rebuild</i> <i>OK with conditions</i>		<i>to S.A</i> <i>DA 12/19/01</i>

**CERTIFICATION**


I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

\_\_\_\_\_  
 SIGNATURE OF APPLICANT ADDRESS DATE PHONE

\_\_\_\_\_  
 RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>50 Cardeton St.</u>		
Total Square Footage of Proposed Structure <u>260 sq'</u>	Square Footage of Lot <u>5000 sq'</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>63</u> Block# <u>D</u> Lot# <u>16</u>	Owner: <u>Olivia Cabot</u>	Telephone: <u>773-3632</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Raymond Keith 871-9348</u> <u>1 Bowdoin St., Port.</u>	Cost Of Work: \$ <u>28,000</u> Fee: \$ <u>192.00</u>
Current use: <u>duplex, 2 unit</u>		
If the location is currently vacant, what was prior use: <u>N/A.</u>		
Approximately how long has it been vacant: <u>N/A</u>		
Proposed use: <u>2 unit</u>		
Project description: <u>Tear down existing structure + rebuild on same footprint w/ 2 entrances + stairway to second floor.</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Raymond Keith</u>		
Mailing address: <u>1 Bowdoin St., Port. ME. 04102</u>		
Phone: <u>871-9348</u>		

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: <u>Raymond T. Keith</u>	Date: <u>12/3/01</u>
---	----------------------

**This is not a permit, you may not commence ANY work until the permit is issued**

Attn. Tammy Munson

RE. 50 Carleton St.

Stair Framing 2x12's (stringers)  
3@ 2x12 16" oc  
Landings 2x8's  
w/ 3/4" ply  
Ledger 2x8 bolted to brick

headroom in stairway to meet code  
min. @ 6'8"

Header sizes windows + doors

2nd floor double 2x10"

1st floor double 2x8"

Steel header on 2nd floor to be sized by  
Architect (refer to drawing 2 of 2)

quarndrail heights @ 36"  
interior + exterior

DEC 28 2001

Application ID Number: 1-1484

Department: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

Comments: 50 Carleton St

Approval Date: 12/17/2001

Other Use Date: 12/11/2001

OK to Issue Permit

By: Marge Schmuckal

Date: 12/17/2001

Book #

Conditions Section

This property shall remain a two (2) family dwelling. Any change of use shall require a separate permit application for review and approval.

This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.

Your present structure is legally nonconforming as to setbacks. If you are to demolish this structure on your own volition, you will only have one (1) year to replace it in the same footprint (no expansions), with the same height, and same use. Any changes to any of the above shall require that this structure meet the current zoning standards.

Create Date: 12/05/2001 By: gg

Update Date: 12/17/2001 By: mes

**CITY OF PORTLAND, MAINE**  
**HISTORIC PRESERVATION COMMITTEE**

---

Edward Hobler, Chair  
Rick Romano, Vice Chair  
Susan Wroth  
Camillo Breggia  
Robert Parker  
Steve Sewall  
Cordelia Pitman

December 19, 2001

Olivia A. Cabot  
50 Carleton Street  
Portland, ME 04102

Re: Reconstruction of Rear Addition—50 Carleton Street

Dear Ms Cabot:

On December 19, 2001, this office reviewed and approved your request for a Certificate of Appropriateness for the reconstruction of an existing rear addition at 50 Carleton Street. Approval is based on plans prepared by REH Associates and submitted with your building permit application.

Approval is subject to the following conditions (as discussed previously with your contractor, Ray Keith):

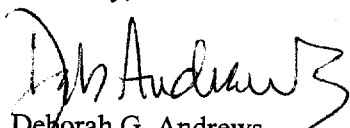
- That the rear addition be sheathed entirely in clapboards, rather than the combination of clapboards and shingles shown on the elevations.
- That the windows in the new addition be 1/1's or 2/2's, rather than the 6/6's as shown. This will distinguish the new rear addition from the original structure.
- That the lattice porch skirting be square, rather than diagonal as shown.

All improvements shall be carried out as shown on the plans and specifications submitted with your building permit application, except as to comply with the conditions above. Changes to the approved plans and specifications and any additional work that may be undertaken must be reviewed and approved by this office prior to construction, alteration, or demolition. If, during the course of completing the approved work, conditions are encountered which prevent completing the approved work, or which require additional or alternative work, you must apply for and receive a Certificate of Appropriateness or Non-Applicability PRIOR to undertaking additional or alternative work.

This Certificate is granted upon condition that the work authorized herein is commenced within twelve (12) months after the date of issuance. If the work authorized by this Certificate is not commenced within twelve (12) months after the date of issuance or if such work is suspended in significant part for a

period of one year after the time the work is commenced, such Certificate shall expire and be of no further effect; provided that, for cause, one or more extensions of time for periods not exceeding ninety (90) days each may be allowed in writing by the Department.

Sincerely,

A handwritten signature in black ink, appearing to read "D. G. Andrews". The signature is written in a cursive style with a large, stylized "D" and "A".

Deborah G. Andrews  
Historic Preservation Program Manager

cc: Ray Keith  
Approval File



**CITY OF PORTLAND**

**The Demolition Call List must be submitted with a Building Permit Application**

Property location: \* 50 Carleton St.

Chart/Block/Lot \_\_\_\_\_

The call list below must be submitted with the building permit application. Please note any "commercial use" demolition will need additional approvals.

When making the submission please include a plot plan showing the location of the structure that is being removed along with a photograph. You may not remove or disconnect any type of lines (private or public) until you have received an *approved building permit*. If the building does not have one of the below utilities please put "does not apply". All Departments in bold must be notified under all circumstances.

**City Approvals**

<u>Department</u>	<u>Number</u>	<u>Contact</u>	<u>Date/Who you spoke with</u>
Public Works Sewer	874-8833	Todd Merkel	<u>12/3/01 Todd Merkel</u>
Public Works Traffic	874-8437	Gary Dobson	
(if structure is being moved to another location)			
Public Works Sealed Drain Permit	874-8822	Carol Merritt	<u>12/3/01 Carol Merritt</u>
<b>Historical Preservation</b>	874-8726	Deb Andrews	<u>12/3/01 Deb Andrews</u>
<b>Fire Dispatch</b>	874-8576	Dispatcher on Duty	<u>12/3/01 Williams</u>

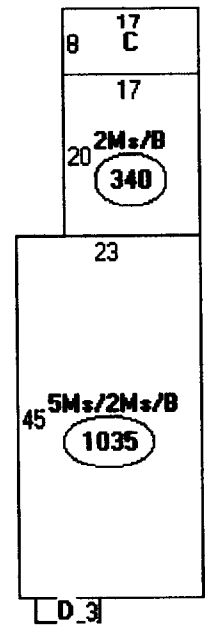
**Utility Approvals**

*confirm # 20014900947*

<b>Dig Safe</b>	1-888-344-7233	Customer Service	<u>12/3/01 Betty</u>
(must receive 72 hours notice before digging can begin)			
Asbestos	1-207-287-2651	Ed Antz	<u>12/3/01 Ed.</u>

I have contacted all the necessary companies and departments as indicated above  
Signature Clayton T. Luth Date: \_\_\_\_\_

*Existed*

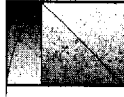


Descr  
 A: 5Ms/  
 1035  
 B: 2Ms/1  
 340 s  
 C: EP  
 136 s  
 D: 2FBA'  
 24 sq

*063-D-016  
50 Carlton St*

*Assessors*





W H I P P L E - C A L L E N D E R A R C H I T E C T S

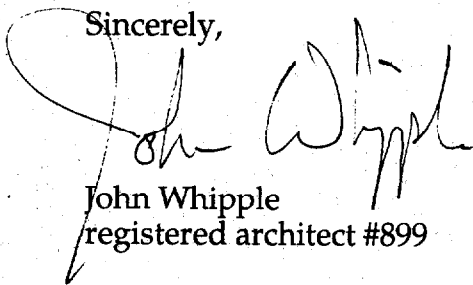
Building Inspections  
Portland City Hall  
Portland ME 04101

November 29, 2001

Dear Sirs:

This addition was originally designed and drawn up by REH & Associates. I have have re-designed the new stair to meet code and provided the structural drawings. To the best of my knowledge, the design complies with all current codes.

Sincerely,



John Whipple  
registered architect #899

**REH**  
& ASSOCIATES

43 Furbish Road  
Wells, Maine 04090  
Tel. (207) 646-1394  
Fax (207) 646-1395

© ALL RIGHTS RESERVED

ALL IDEAS, DESIGNS AND PLANS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED AND ARE THE PROPERTY OF REH & ASSOCIATES, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, OR IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS AND PLANS SHALL BE USED BY, OR DISCLOSED TO, ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE, WHATSOEVER, WITHOUT THE WRITTEN PERMISSION OF REH & ASSOCIATES.

# CABOT RESIDENCE

CARLETON STREET RENOVATION  
PORTLAND, MAINE

PERMIT SET SUBMITTAL

NOVEMBER 15, 2001

GENERAL CONTRACTOR

RAY KEITH  
TEL: 207-871-9348  
FAX: 207-871-9348

DESIGNER

REH & ASSOCIATES  
WELLS, MAINE 04090  
TEL: 207-646-1394  
FAX: 207-646-1395  
CONTACT: RICHARD HANAGAN  
EMAIL: richard.hanagan@verizon.net

INDEX OF DRAWINGS

11/15/01

NOTE: SEE SUPPLEMENTAL DRAWINGS BY WHIPPLE CALLENDER ARCHITECTS

T.1 TITLE SHEET  
S.1a PROPOSED SCOPE OF WORK PLAN  
DS.0e GRADE-LEVEL DESIGN PLAN - SCHEME "E"  
DS.1e FIRST FLOOR DESIGN PLAN - SCHEME "E"  
DS.2e SECOND FLOOR DESIGN PLAN - SCHEME "E"  
DS.4e SOUTH ELEVATION - SCHEME "E"  
DS.5e WEST ELEVATION - SCHEME "E"

OWNER:  
OLIVIA CABOT  
HM# 207-773-3632

PROJECT TITLE:  
CABOT  
RESIDENCE  
REMODEL

PROJECT ADDRESS:  
50 CARLETON ST.  
PORTLAND, ME.  
04012

SHEET TITLE:  
TITLE  
SHEET

PERMIT SET

SCALE: NO SCALE

DATE: 11/15/01

JOB NO. 025

T.1

© ALL RIGHTS RESERVED  
ALL IDEAS, DESIGNS AND PLANS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED AND ARE THE PROPERTY OF REH & ASSOCIATES, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, OR IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS AND PLANS SHALL BE USED BY, OR DISCLOSED TO, ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF REH & ASSOCIATES.

OWNER:  
**OLIVIA CABOT**  
HM# 207-773-3632

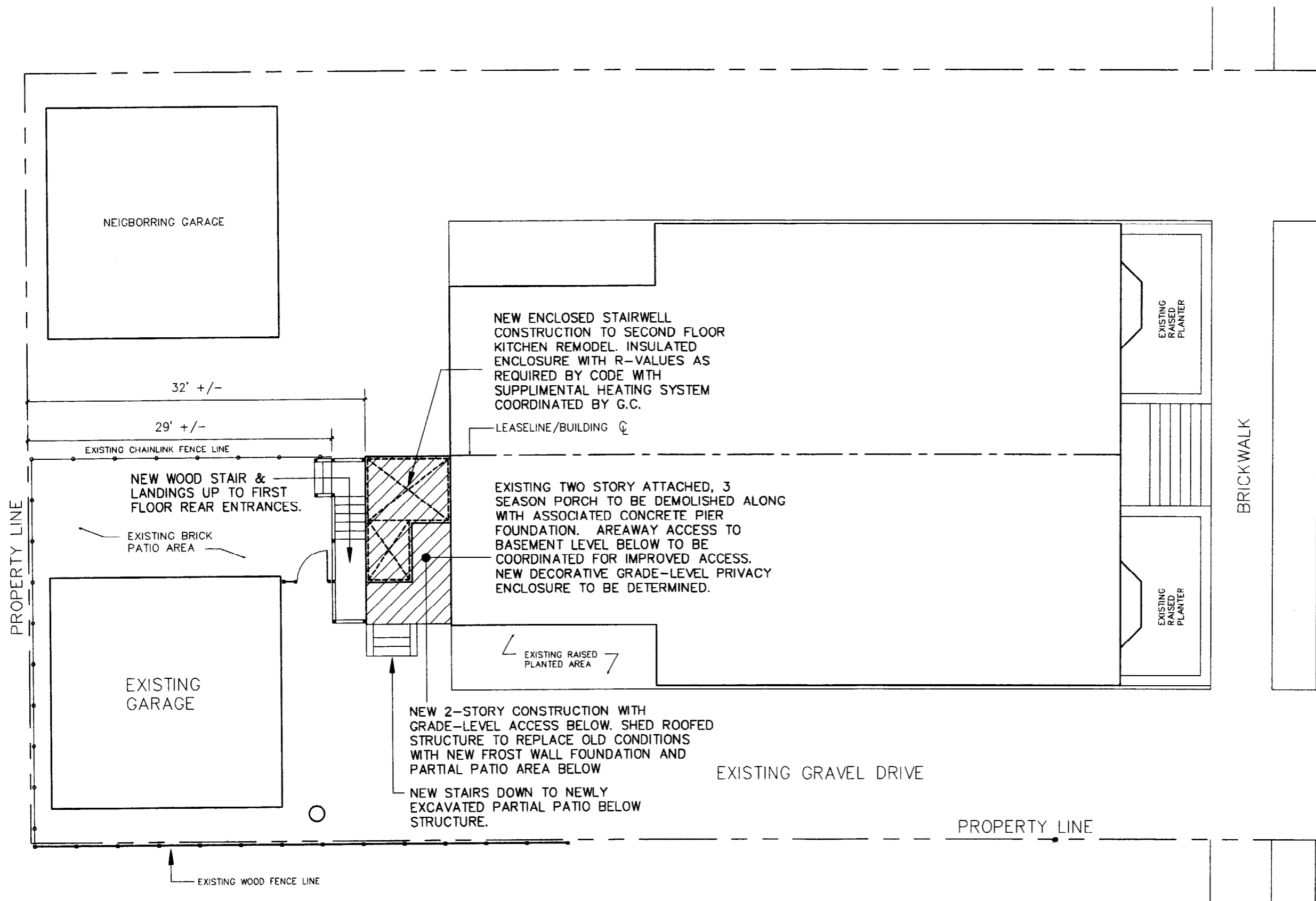
PROJECT TITLE:  
**CABOT RESIDENCE REMODEL**

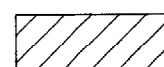
PROJECT ADDRESS:  
**50 CARLETON ST.  
PORTLAND, ME.  
04012**

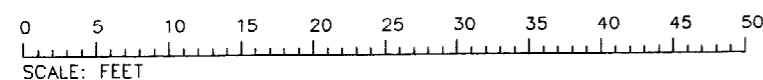
SHEET TITLE:  
**PROPOSED SCOPE OF WORK PLAN**

**PERMIT SET**

SCALE: 1" = 10'  
DATE: 11/15/01  
JOB NO. 025



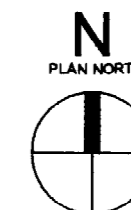
 EXISTING ENCLOSED STRUCTURE FOR REMODEL



## PROPOSED SCOPE OF WORK PLAN

1" = 10'

REVISED 11/15/01



43 Furbish Road  
Wells, Maine 04090  
Tel. (207) 646-1394  
Fax (207) 646-1395

© ALL RIGHTS RESERVED  
ALL IDEAS, DESIGNS AND PLANS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED AND ARE THE PROPERTY OF REH & ASSOCIATES, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, OR IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS AND PLANS SHALL BE USED BY, OR DISCLOSED TO, ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF REH & ASSOCIATES.

OWNER:  
**OLIVIA CABOT**  
HM# 207-773-3632

PROJECT TITLE:  
**CABOT RESIDENCE REMODEL**

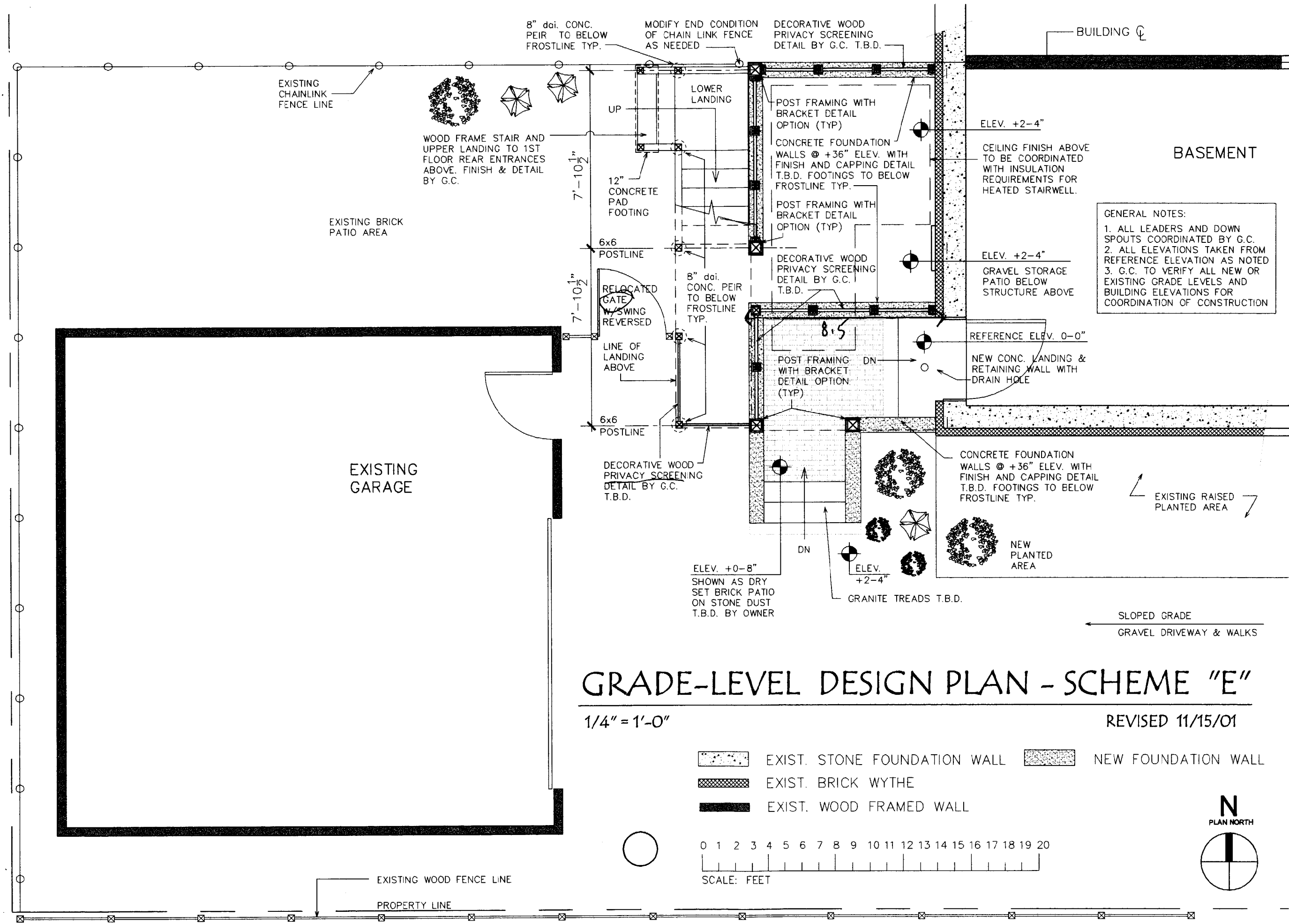
PROJECT ADDRESS:  
**50 CARLETON ST.  
PORTLAND, ME.  
04012**

SHEET TITLE:  
**GRADE-LEVEL DESIGN PLAN SCHEME "E"**

PERMIT SET

SCALE: 1/4" = 1'-0"  
DATE: 11/15/01  
JOB NO. 025

DS.Oe

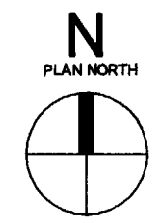
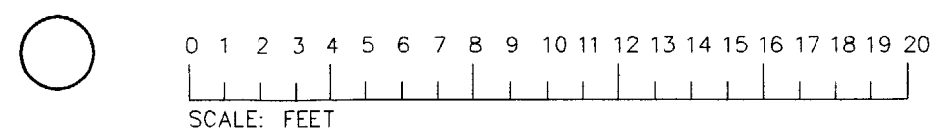


## GRADE-LEVEL DESIGN PLAN - SCHEME "E"

1/4" = 1'-0"

REVISED 11/15/01

- EXIST. STONE FOUNDATION WALL
- EXIST. BRICK WYTHE
- EXIST. WOOD FRAMED WALL
- NEW FOUNDATION WALL



OK

**STAIR DATA:**  
 36" FINISH TREAD WIDTH  
 10" TREADS  
 7-3/4" RISERS (16)  
 NOTE: TOTAL RISE  
 CALCULATED @ 10'-4" TO  
 BE VERIFIED BY G.C.

**REH**  
 & ASSOCIATES

43 Furbish Road  
 Wells, Maine 04090  
 Tel. (207) 646-1394  
 Fax (207) 646-1395

© ALL RIGHTS RESERVED

ALL IDEAS, DESIGNS AND PLANS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED AND ARE THE PROPERTY OF REH & ASSOCIATES, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, OR IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS AND PLANS SHALL BE USED BY, OR DISCLOSED TO, ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF REH & ASSOCIATES.

**OWNER:**  
 OLIVIA CABOT  
 HM# 207-773-3632

**PROJECT TITLE:**  
 CABOT  
 RESIDENCE  
 REMODEL

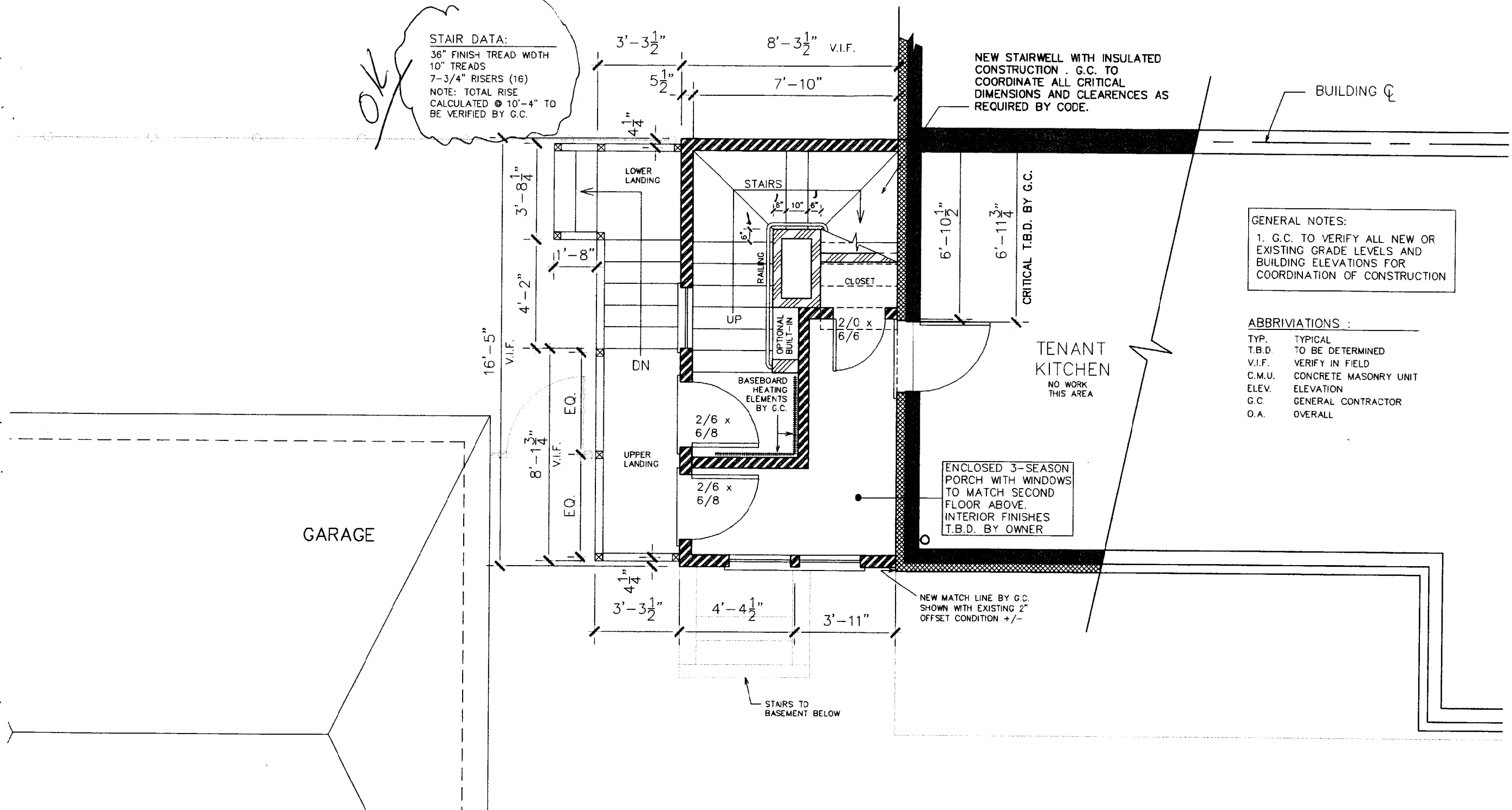
**PROJECT ADDRESS:**  
 50 CARLETON ST.  
 PORTLAND, ME.  
 04012

**SHEET TITLE:**  
 FIRST FLOOR  
 DESIGN PLAN  
 SCHEME "E"

**PERMIT SET**

**SCALE:** 1/4" = 1'-0"  
**DATE:** 11/15/01  
**JOB NO.** 025

DS.1e



NEW STAIRWELL WITH INSULATED CONSTRUCTION. G.C. TO COORDINATE ALL CRITICAL DIMENSIONS AND CLEARANCES AS REQUIRED BY CODE.

**GENERAL NOTES:**  
 1. G.C. TO VERIFY ALL NEW OR EXISTING GRADE LEVELS AND BUILDING ELEVATIONS FOR COORDINATION OF CONSTRUCTION

**ABBREVIATIONS:**  
 TYP. TYPICAL  
 T.B.D. TO BE DETERMINED  
 V.I.F. VERIFY IN FIELD  
 C.M.U. CONCRETE MASONRY UNIT  
 ELEV. ELEVATION  
 G.C. GENERAL CONTRACTOR  
 O.A. OVERALL

TENANT KITCHEN  
 NO WORK THIS AREA

ENCLOSED 3-SEASON PORCH WITH WINDOWS TO MATCH SECOND FLOOR ABOVE. INTERIOR FINISHES T.B.D. BY OWNER

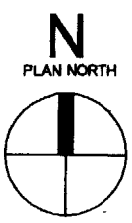
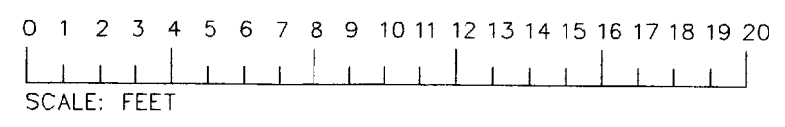
NEW MATCH LINE BY G.C. SHOWN WITH EXISTING 2" OFFSET CONDITION +/-

**FIRST FLOOR DESIGN PLAN - SCHEME "E"**

1/4" = 1'-0"

REVISED 11/15/01

- EXISTING WOOD FRAMED WALL
- EXISTING BRICK WYTHE
- NEW 2x4 WOOD FRAMED WALLS



© ALL RIGHTS RESERVED  
ALL IDEAS, DESIGNS AND PLANS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED AND ARE THE PROPERTY OF REH & ASSOCIATES, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, OR IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS AND PLANS SHALL BE USED BY, OR DISCLOSED TO, ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF REH & ASSOCIATES.

OWNER:  
**OLIVIA CABOT**  
HM# 207-773-3632

PROJECT TITLE:  
**CABOT RESIDENCE REMODEL**

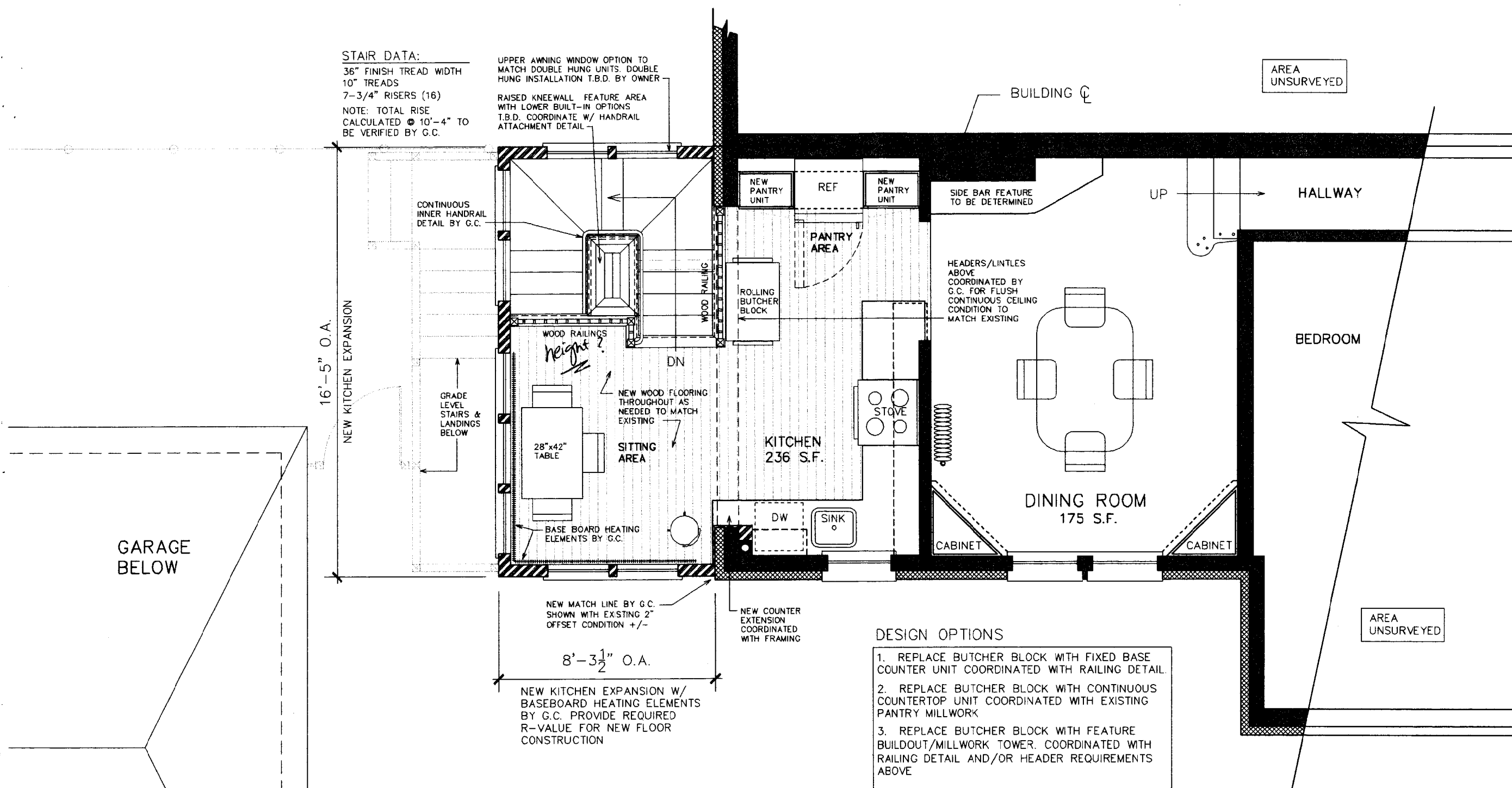
PROJECT ADDRESS:  
**50 CARLETON ST.  
PORTLAND, ME.  
04012**

SHEET TITLE:  
**SECOND FLOOR DESIGN PLAN  
SCHEME "E"**

PERMIT SET

SCALE: 1/4" = 1'-0"  
DATE: 11/15/01  
JOB NO. 025

DS.2e

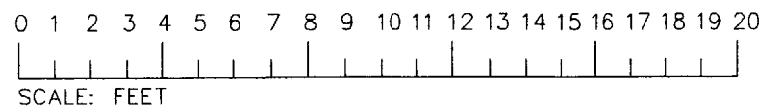


## SECOND FLOOR DESIGN PLAN - SCHEME "E"

1/4" = 1'-0"

REVISED 11/15/01

- EXISTING WOOD FRAMED WALL
- EXISTING BRICK WYTHE
- NEW CONSTRUCTION



ABBREVIATIONS:

- TYP. TYPICAL
- T.B.D. TO BE DETERMINED
- V.I.F. VERIFY IN FIELD
- C.M.U. CONCRETE MASONRY UNIT
- ELEV. ELEVATION
- G.C. GENERAL CONTRACTOR



© ALL RIGHTS RESERVED  
ALL IDEAS, DESIGNS AND PLANS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED AND ARE THE PROPERTY OF REH & ASSOCIATES, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, OR IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS AND PLANS SHALL BE USED BY, OR DISCLOSED TO, ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF REH & ASSOCIATES.

OWNER:  
**OLIVIA CABOT**  
HM# 207-773-3632

PROJECT TITLE:  
**CABOT RESIDENCE REMODEL**

PROJECT ADDRESS:  
**50 CARLETON ST.  
PORTLAND, ME.  
04012**

SHEET TITLE:  
**SOUTH ELEVATION SCHEME "E"**

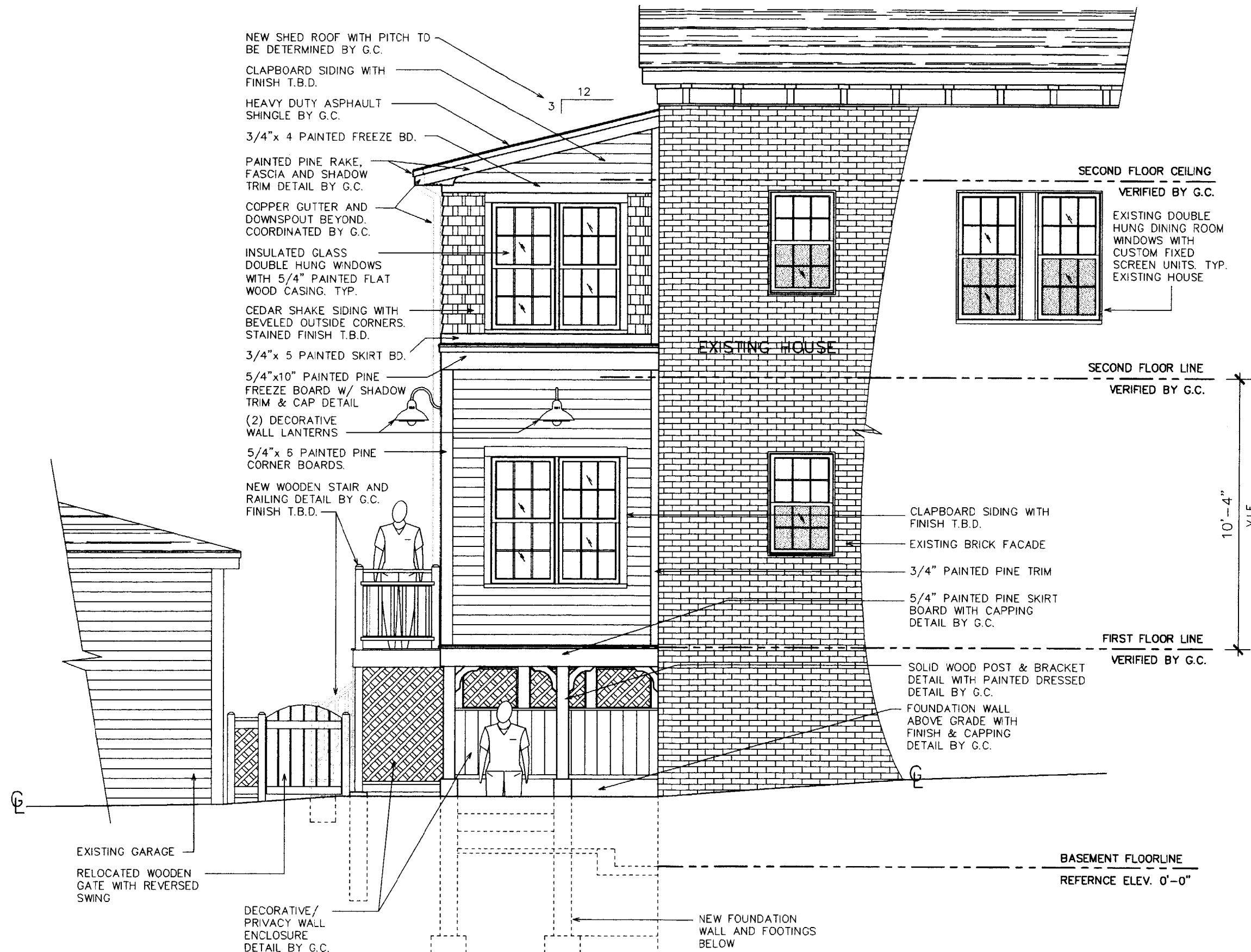
**PERMIT SET**

SCALE: 1/4" = 1'-0"

DATE: 11/15/01

JOB NO. 025

**DS.4e**



## SOUTH ELEVATION - SCHEME "E"

1/4" = 1'-0"

REVISED 11/15/01

**FOR REFERENCE ONLY**

© ALL RIGHTS RESERVED  
 ALL IDEAS, DESIGNS AND PLANS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED AND ARE THE PROPERTY OF REH & ASSOCIATES, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, OR IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS AND PLANS SHALL BE USED BY, OR DISCLOSED TO, ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF REH & ASSOCIATES.

OWNER:  
**OLIVIA CABOT**  
 HM# 207-773-3632

PROJECT TITLE:  
**CABOT  
 RESIDENCE  
 REMODEL**

PROJECT ADDRESS:  
**50 CARLETON ST.  
 PORTLAND, ME.  
 04012**

SHEET TITLE:  
**WEST  
 ELEVATION  
 SCHEME "E"**

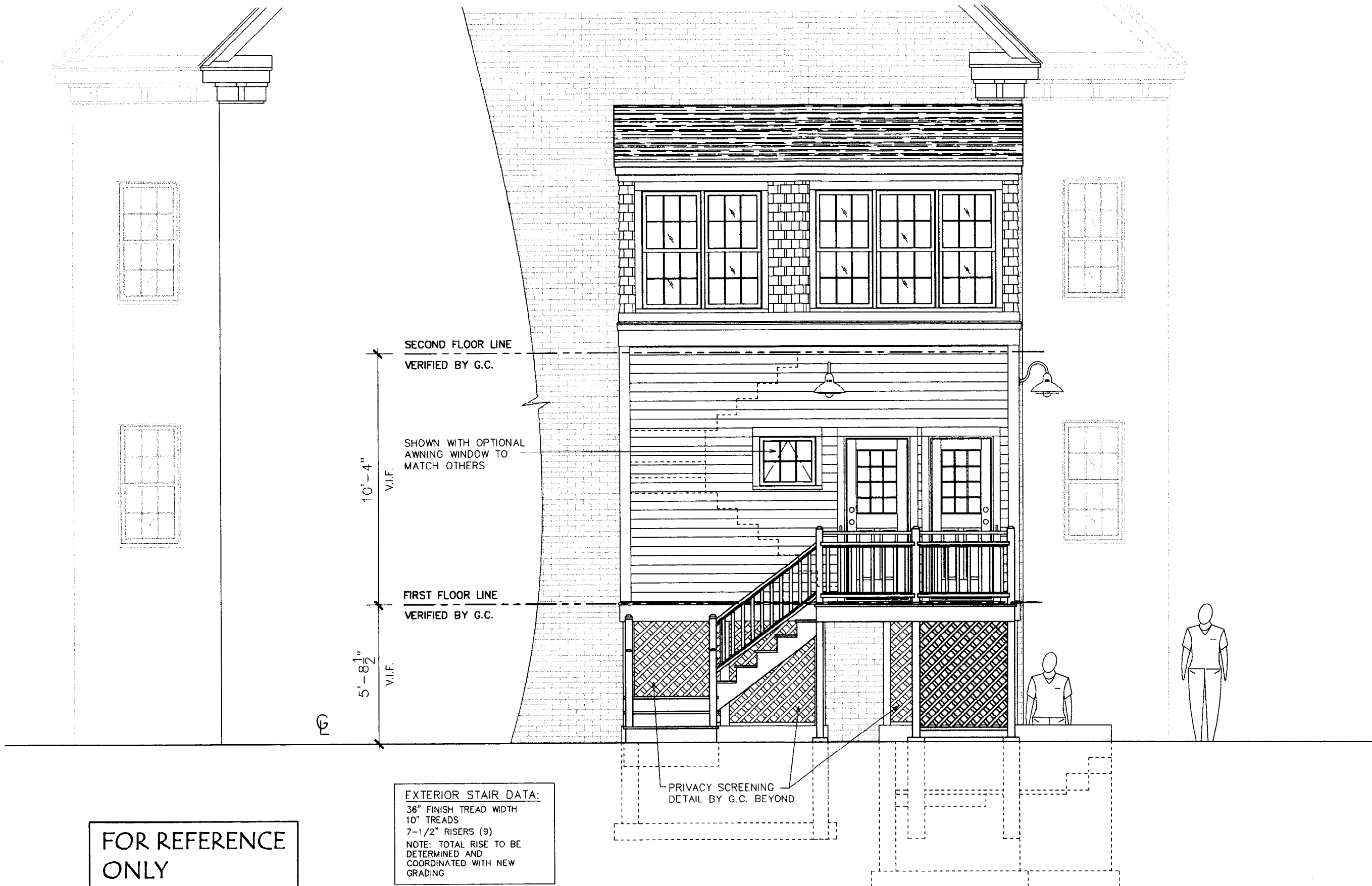
**PERMIT SET**

SCALE: 1/4" = 1'-0"

DATE: 11/15/01

JOB NO. 025

**DS.5e**



**EXTERIOR STAIR DATA:**  
 36" FINISH TREAD WIDTH  
 10" TREADS  
 7-1/2" RISERS (9)  
 NOTE: TOTAL RISE TO BE DETERMINED AND COORDINATED WITH NEW GRADING

NOTE: GATE AND CHAINLINK FENCE NOT SHOWN FOR CLARITY. SEE DS.0e & DS.4e  
 NOTE: GUTTERS AND DOWNSPOUTS NOT SHOWN. SEE DS.4e

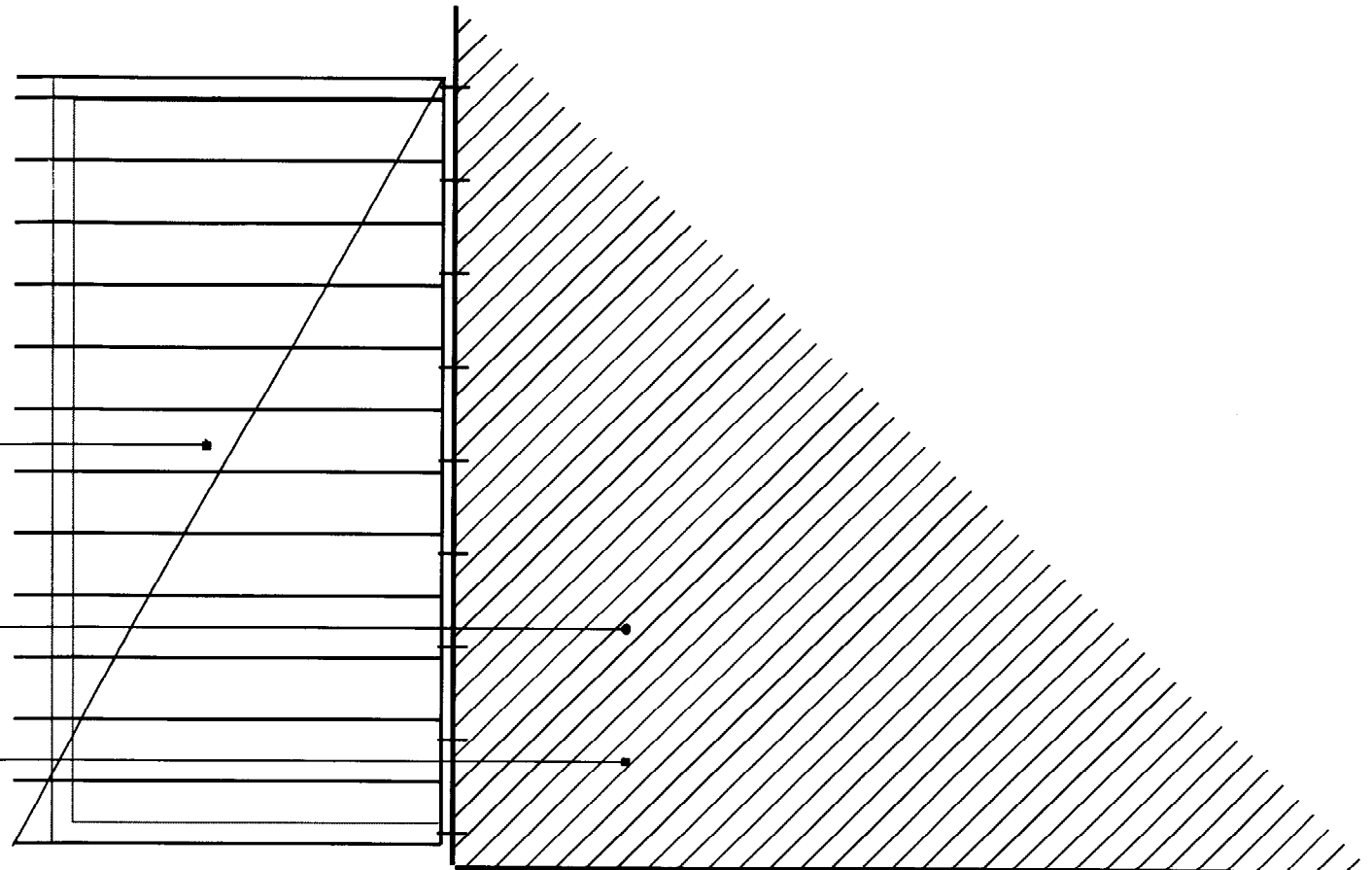
**FOR REFERENCE ONLY**

## WEST ELEVATION - SCHEME "E"

1/4" = 1'-0"

REVISED 11/15/01





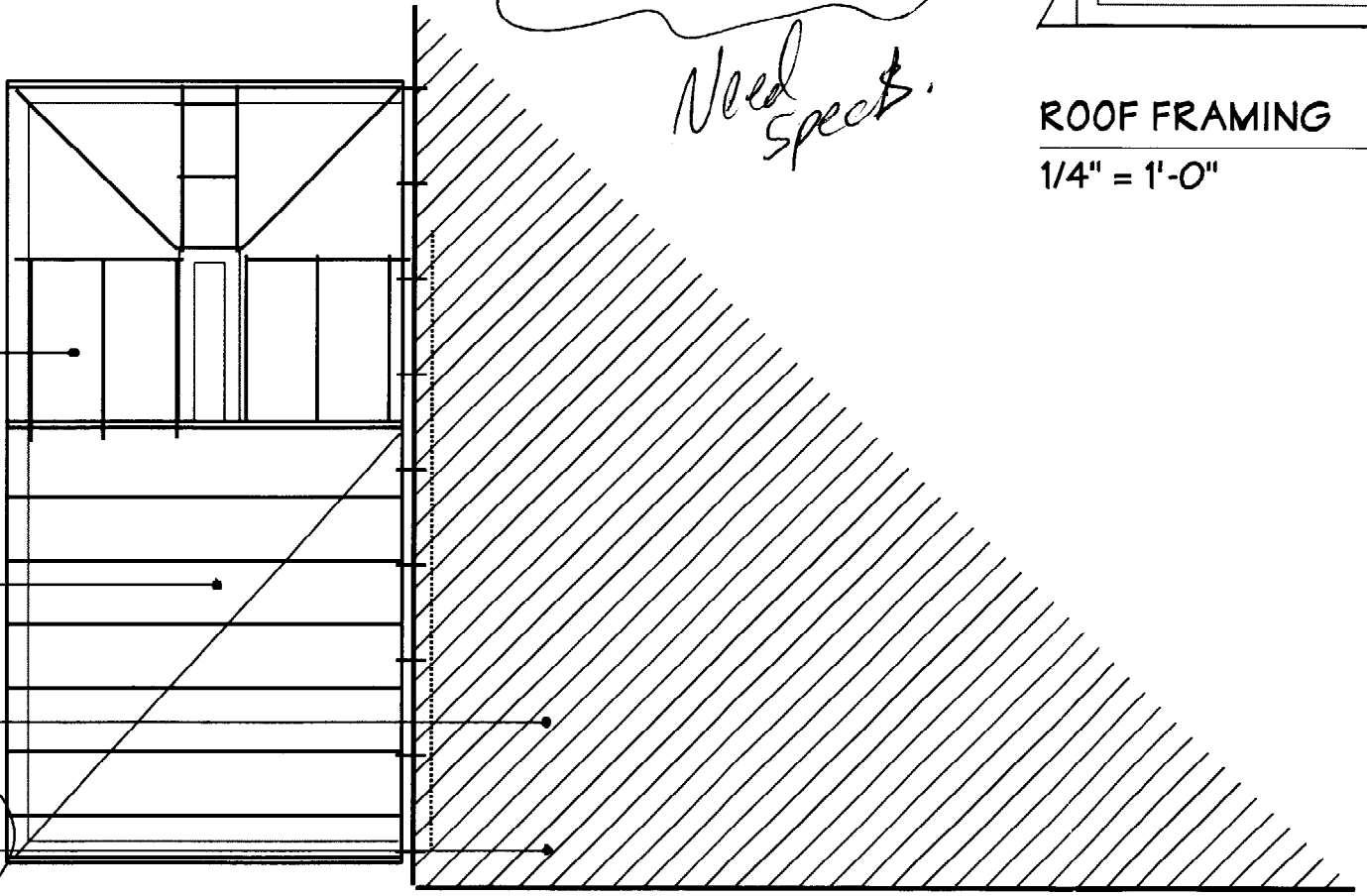
2 X 8S @ 16" OC  
W FOAM INSULATION

LEDGER FASTENED TO EXISTING  
BRICK WALL TO HOLD 240 LBS./LF  
(1/2" BOLT EV 24" STAGGERED  
IN FIRM SETTING OR EQ.)

CONSULT ARCHITECT RE SIZE  
OF STEEL HEADER IN BRICK WALL  
WHEN WALL IS OPENED UP.

*Need Specs.*

**ROOF FRAMING**  
1/4" = 1'-0"



2 X 12 STAIR  
STRINGERS

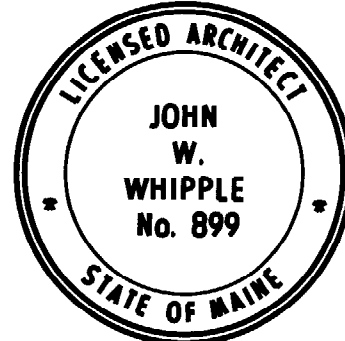
2 X 8S @ 16" OC

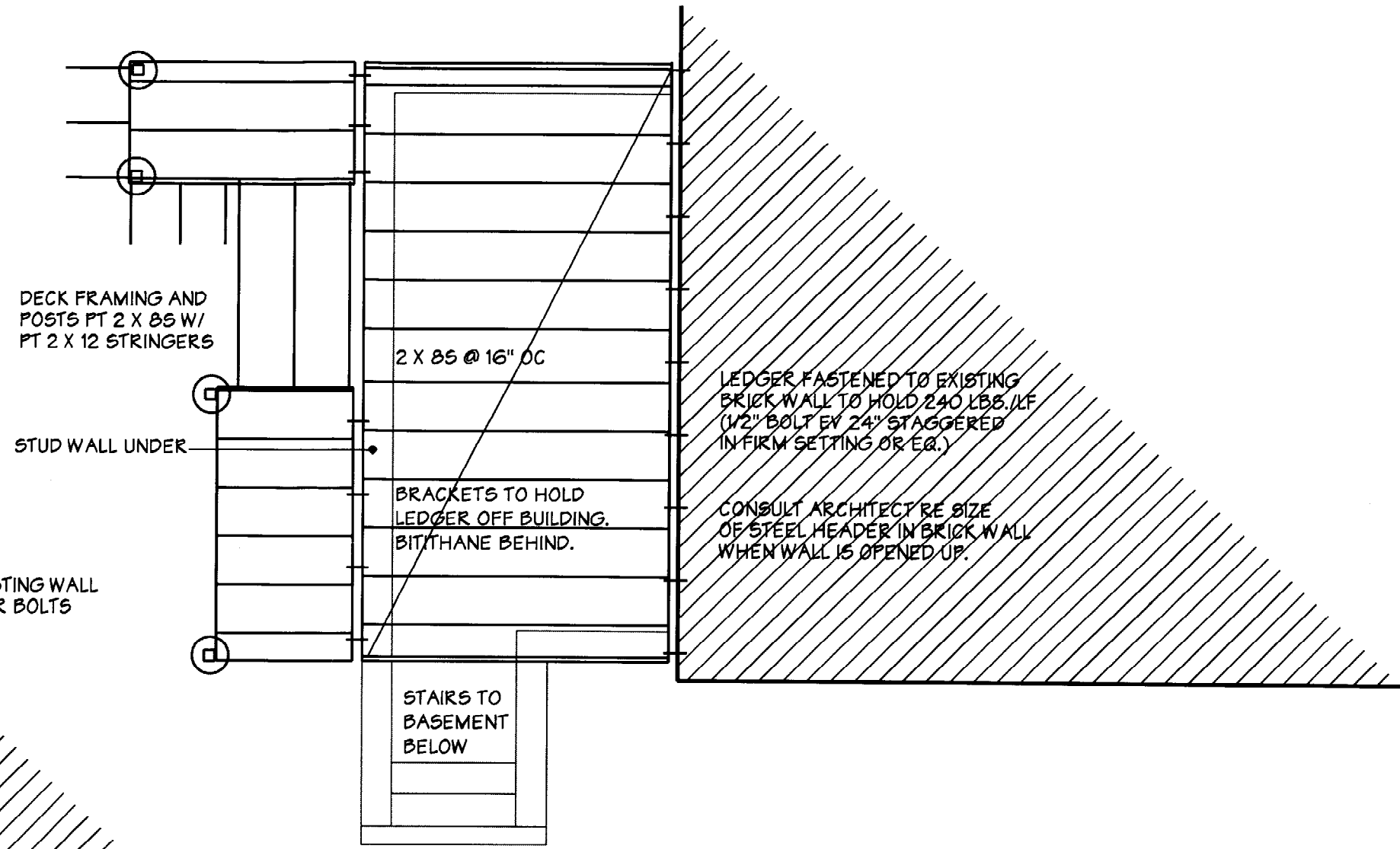
LEDGER FASTENED TO EXISTING  
BRICK WALL TO HOLD 240 LBS./LF  
(1/2" BOLT EV 24" STAGGERED  
IN FIRM SETTING OR EQ.)

CONSULT ARCHITECT RE SIZE  
OF STEEL HEADER IN BRICK WALL  
WHEN WALL IS OPENED UP.

*Need Specs.*

**2ND FLOOR FRAMING**  
1/4" = 1'-0"





**1ST FLOOR FRAMING**  
1/4" = 1'-0"

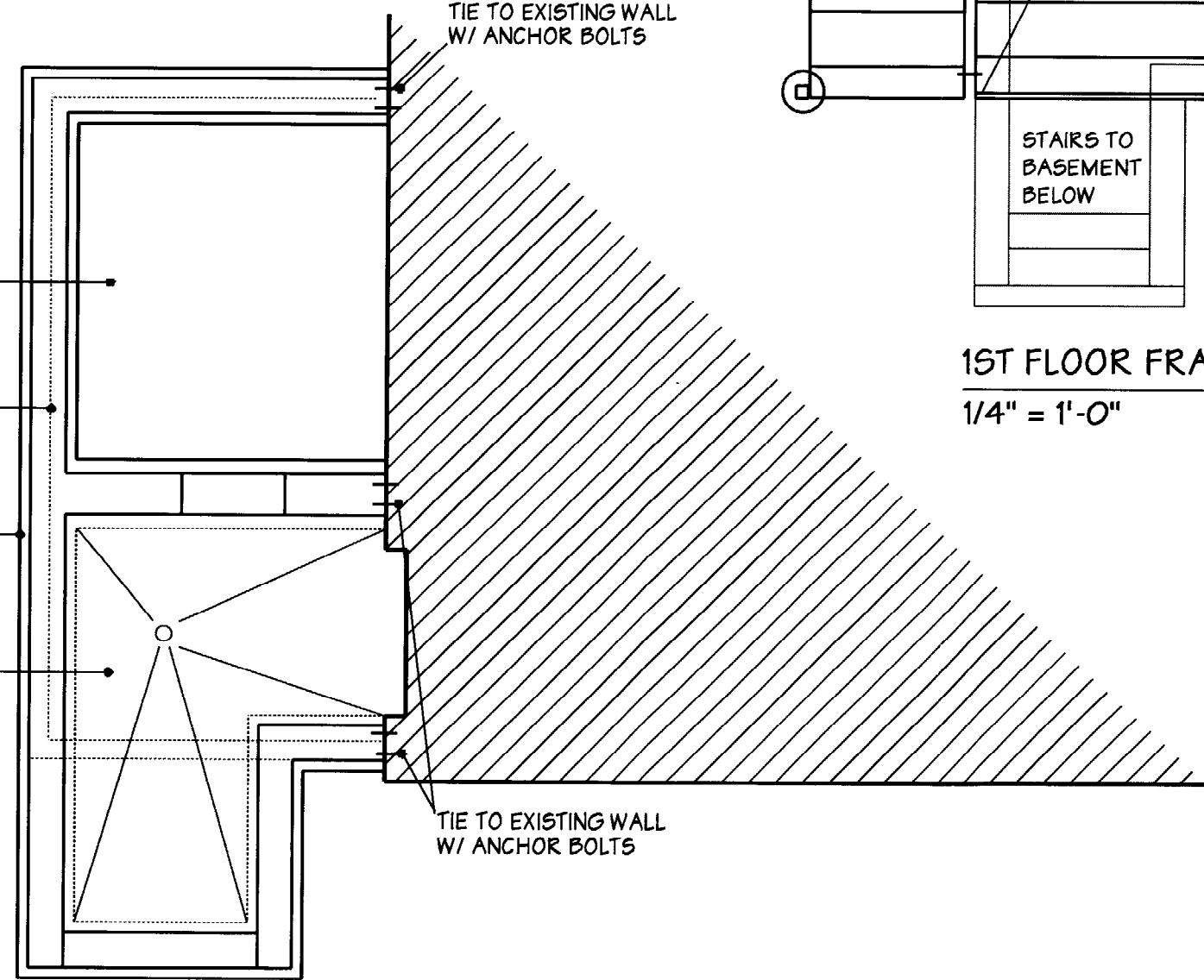
SONO TUBES W/ BULB @ BOTTOM 4' BELOW GRADE. POST BASE @ TOP.

CRAWL SPACE

10" FOUNDATION WALL W/ 2 #4 TEMPERATURE BARS. FOUNDATION WALLS TO BE 8" ABOVE GRADE

16" FOOTING 4' BELOW GRADE

SLAB @ LOWER ELEVATION TBD. FOR ACCESS TO BASEMENT



**FOUNDATION**  
1/4" = 1'-0"

