

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 071393

This is to certify that VAUGHAN STREET REALTY ASSOCIATES / Langford & Law I

has permission to Tenant fit-up 2 story building

AT 229 VAUGHAN ST

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is laid or occupied. HOURLY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. *Creo Class*

Health Dept. _____

Appeal Board _____

Other _____
Department Name

Jamie Bonke 12/6/07
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

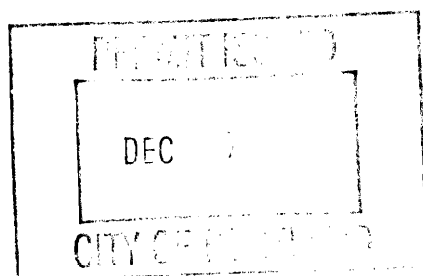
Permit No: 07-1393	Issue Date:	CBL: 063 C004001
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Location of Construction: 229 VAUGHAN ST	Owner Name: VAUGHAN STREET REALTY AS	Owner Address: 233 VAUGHAN ST	Phone:
Business Name:	Contractor Name: Langford & Low, Inc.	Contractor Address: PO Box 662 Portland	Phone 2077975141
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone:

Past Use: Commercial - Office	Proposed Use: Commercial - Office - Tenant fit-up 2 story building	Permit Fee: \$3,020.00	Cost of Work: \$300,000.00	CEO District: 2
Proposed Project Description: Tenant fit-up 2 story building		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See conditions</i>	INSPECTION: Use Group: B Type: JB IBC-2003	
		Signature: <i>Carol Cross</i>	Signature: <i>JMB 12/6/07</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Idobson	Date Applied For: 11/08/2007	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: _____	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
	<i>Angel for work separate review and approval</i>		



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-1393	Date Applied For: 11/08/2007	CBL: 063 C004001
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Location of Construction: 229 VAUGHAN ST	Owner Name: VAUGHAN STREET REALTY AS	Owner Address: 233 VAUGHAN ST	Phone:
Business Name:	Contractor Name: Langford & Low, Inc.	Contractor Address: PO Box 662 Portland	Phone: (207) 797-5141
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial - Office - Tenant fit-up 2 story building	Proposed Project Description: Tenant fit-up 2 story building
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 11/13/2007

Note:**Ok to Issue:**

- 1) Separate permits shall be required for any new signage.
- 2) This property shall remain a professional office use. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 12/06/2007

Note:**Ok to Issue:**

- 1) All penetrations through rated assemblies must be protected by an approved firestop system installed as tested in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 2) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

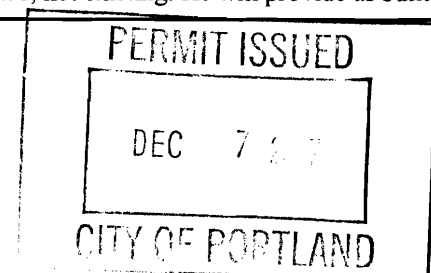
Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Greg Cass **Approval Date:** 11/20/2007

Note:**Ok to Issue:**

- 1) All construction shall comply with NFPA 101
- 2) Application requires State Fire Marshal approval.
- 3) Installation of a Fire Alarm system requires a Knox Box to be installed per city ordinance
- 4) A single source supplier should be used for all through penetrations.
- 5) The sprinkler system shall be installed in accordance with NFPA 13.

Comments:

12/6/2007-jmb: Spoke with Will Pogar about the fragmented plans, only showing new walls, not existing. He will provide as built.





General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>229 Vaughan St</u>		
Total Square Footage of Proposed Structure/Area <u>Basement - see plan</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>63</u> Block# <u>C</u> Lot# <u>4</u>	Applicant * must be owner, Lessee or Buyer* Name <u>MAINE MEDICAL CENTER</u> Address <u>22 BARRHALL</u> City, State & Zip <u>PORTLAND, ME</u>	Telephone: <u>602-3323</u> <u>602-4722</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>300,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>3020.00</u>
Current legal use (i.e. single family) <u>office</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>office</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>Re-fit of 4 1/2 stories building</u>		
Contractor's name: <u>WATSFORD & LOWE (GUS DOUGHTY)</u> Address: <u>248 WARREN AVENUE</u> City, State & Zip <u>PORTLAND, MAINE 04104</u> Telephone: <u>787-5141</u> Who should we contact when the permit is ready: <u>GUS DOUGHTY</u> Telephone: _____ Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature]

Date: 11/9/07

This is not a permit; you may not commence ANY work until the permit is issue



Accessibility Building Code Certificate

Designer: MAINE MEDICAL CENTER

Address of Project: 229 VAUGHAN STREET - PORTLAND

Nature of Project: RE-FIT OF EXISTING OFFICE SPACE

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: _____

Title: DIRECTOR - FACILITIES DEVELOPMENT

Firm: MAINE MEDICAL CENTER

Address: 22 BRAMHALL ST.
PORTLAND, ME

Phone: 602-4722

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

Date: Nov. 5, 2007

From: MAINE MEDICAL CENTER

These plans and / or specifications covering construction work on:

229 Vaughan Street Offices

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



Signature: _____

Title: Director, Facilities Development

Firm: Maine Medical Center

Address: 22 Bramhall St.

Portland, ME

Phone: 602-4722

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design Application

From Designer:

M.M.C.

Date:

10/23/07

Job Name:

229 Vaughan Street Offices

Address of Construction:

229 Vaughan Street

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2003 Use Group Classification (s) BUSINESS

Type of Construction _____

Is there a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IBC? _____ Supervisory alarm system? _____

Is the Structure mixed use? NO If yes, separated or non separated or non separated (section 302.3) _____

Geotechnical/Soils report required? (See Section 1802.2) N/A

Structural Design Calculations

N/A Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>N/A</u>	

Wind loads (1603.1.4, 1609)

N/A Design option utilized (1609.1.1, 1609.6)
 _____ Basic wind speed (1809.3)
 _____ Building category and wind importance Factor, I_w table 1604.5, 1609.5)
 _____ Wind exposure category (1609.4)
 _____ Internal pressure coefficient (ASCE 7)
 _____ Component and cladding pressures (1609.1.1, 1609.6.2.2)
 _____ Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

N/A Design option utilized (1614.1)
 _____ Seismic use group ("Category")
 _____ Spectral response coefficients, S_D s & S_{D1} (1615.1)
 _____ Site class (1615.1.5)

_____ Live load reduction
 _____ Roof *live* loads (1603.1.2, 1607.11)
 _____ Roof snow loads (1603.7.3, 1608)
 _____ Ground snow load, P_g (1608.2)
 _____ If $P_g > 10$ psf, flat-roof snow load P_f
 _____ If $P_g > 10$ psf, snow exposure factor, C_e
 _____ If $P_g > 10$ psf, snow load importance factor, I_s
 _____ Roof thermal factor, C_t (1608.4)
 _____ Sloped roof snowload, P_s (1608.4)
 _____ Seismic design category (1616.3)
 _____ Basic seismic force resisting system (1617.6.2)
 _____ Response modification coefficient, R_d and deflection amplification factor C_d (1617.6.2)
 _____ Analysis procedure (1616.6, 1617.5)
 _____ Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

N/A Flood Hazard area (1612.3)
 _____ Elevation of structure

Other loads

_____ Concentrated loads (1607.4)
 _____ Partition loads (1607.5)
 _____ Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



Maine Medical Center

OFFICE RENOVATION

229 VAUGHAN STREET PORTLAND

DRAWING LIST

- T-1 COVER SHEET, CODE SUMMARY / LIFE SAFETY
- A-1 EXISTING PLANS WITH EXTENT OF DEMOLITION
- A-2 FLOOR PLANS
- A-3 MISC. DETAILS, WALL TYPES, ADA INFORMATION
- A-4 FINISHES, SCHEDULES
- A-5 REFLECTED CEILING PLANS

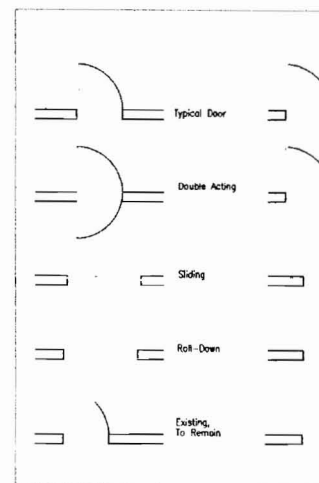
MATERIAL CONVENTIONS

	Acoustical Tile or Panel		Insulation, Rigid
	Aluminum		Mortar, Grout (Omit at Smaller Scales)
	Brick		Plywood (Omit at Smaller Scales)
	Ceramic Tile (Omit at Smaller Scales)		Sand
	Concrete Cast-in-Place		Steel
	Earth		Wood Finish
	Flashing		Wood Framing Continuous
	Glass (Omit at Smaller Scales)		Wood Framing Interrupted Member
	Gypsum Board		Waterproofing
	Insulation, Batt or Blanket		

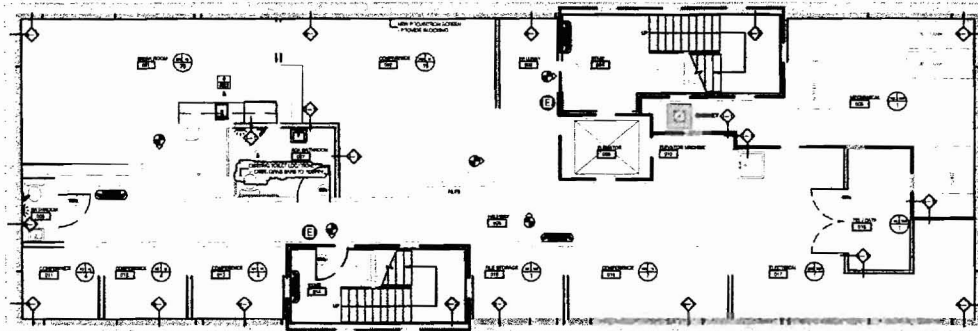
GRAPHIC SYMBOLS

	Column Line		Building Section
	Room Identification		Well Section
	Door Symbol		Detail
	Window Symbol		Furniture Symbol
	Furniture Symbol		Equipment Symbol
	Equipment Symbol		Partition Type Symbol
	Partition Type Symbol		Elevation Marker
	Elevation Marker		Custom Text
	Note Reference Symbol		

NOV 8 1997



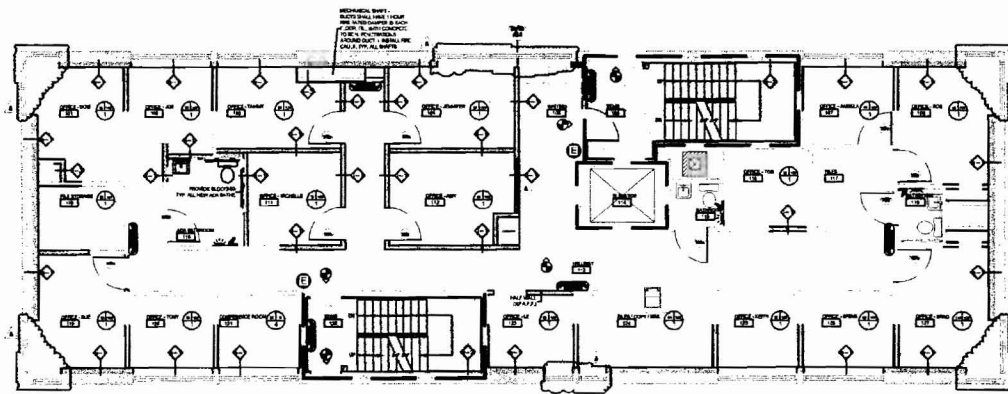
Occupant Load Calculation for Business Occupancy = 2600 gross sf per floor / 100 sf per occupant = 26 occupants per floor



1 Basement Floor Plan
T2 1/8"=1'

sf break down - basement floor

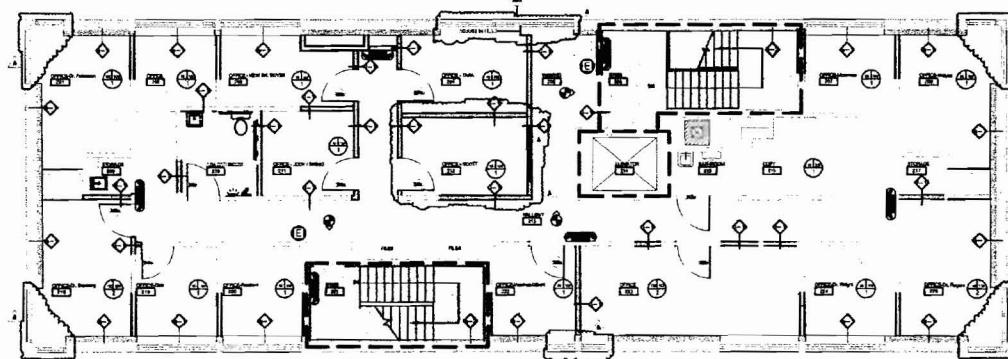
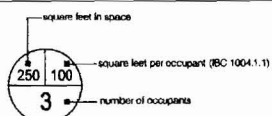
- assembly = 560 NSF
- business = 420 NSF
- circulation = 685 NSF
- mechanical = 655 NSF
- storage = 15 NSF



2 1st Floor Plan
T2 1/8"=1'

sf break down - 1st floor

- assembly = 56 NSF
- business = 1190 NSF
- circulation = 845 NSF
- mechanical = 0 NSF
- storage = 150 NSF



3 2nd Floor Plan
T2 1/8"=1'

sf break down - 2nd floor

- assembly = 0 NSF
- business = 1300 NSF
- circulation = 785 NSF
- mechanical = 0 NSF
- storage = 100 NSF

Code Summary For Permit Review 11/7/07

Prepared by: Gabrielle Russell, Langford and Low
Checked by: William Pogar, Architect - Facilities Development, Maine Medical Center

A. Name and address of project site:
Maine Medical Center
229 Vaughan Street
Portland, ME 04102

B. Owner:
Maine Medical Center
22 Bramhall Street
Portland, ME 04102

C. Architect of Record:
Maine Medical Center
22 Bramhall Street
Portland, Maine 04102

D. Applicable Codes: (City of Portland Requirements)
International Building Code - 2003
NFPA 101 - Life Safety Code - 2003
NFPA 1 - Uniform Fire Code - 2003
IEEC - 2003
National Electrical Code - 2005
NFPA 70
Uniform Plumbing Code - 2000
International Mechanical Code - 2003

E. General Scope of work:

Renovations to Basement:

Demolition of existing mechanical, electrical, tel/data
Increase size of 1 existing bathroom to meet ADA requirements
New exterior wall insulation + gypsum board
New tel/data closet
New emergency lighting, signs, + fire alarm

Renovations to 1st Floor:

Demolition of existing mechanical, electrical, tel/data
New offices with non-loadbearing interior partitions
New exterior wall insulation + gypsum board
New emergency lighting, signs, + fire alarm

Renovations to 2nd Floor:

Demolition of existing mechanical, electrical, tel/data
New offices with non-loadbearing interior partitions
New exterior wall insulation + gypsum board
New emergency lighting, signs, + fire alarm

F. Proposed uses of structure:

Business Occupancy (IBC classification)
Existing Business Occupancy (NFPA classification)

G. Square Footage:

a. Existing Building:
Masonry/steel structure, concrete floors + roof, masonry exterior walls.
Previous use: Business
Footprint: 2,841 Square Feet

Number of stories: 3
Gross Area / each floor: Basement = 2,600 Square Feet
First / Level of Exit Discharge = 2,600 sf
Second = 2,600 sf

b. Proposed Development:

Renovation of Existing Interior
Number of Stories: 3

c. Total (Existing + Proposed):
Footprint: 2,841 Square Feet
Number of Stories: 3

H. Fire Suppression System:

New NFPA 13 System (IBC 903.3.1.1)

I. Fire Detection System:

Yes (by Owner)

J. IBC 2006 - Applicable Sections:

Chapter 3 - Occupancy & Classification
302 - Business: Group B

Chapter 6 - Type of Construction
602.3 - Type V = Exterior walls are noncombustible and interior building elements are G material. B = Unprotected

Table 601 - Fire resistance rating requirements for building elements (hours)

Structural Frame	Hours
Bearing walls	0
Exterior	0
Interior	0
Non bearing walls & partitions	0
Exterior	0
Interior	0
Floor Construction	0
Roof Construction	0

Chapter 7 - Fire Resistance Rated Construction

707.2 - Shaft Enclosure Required = penetrations through a ceiling / floor assembly shall be protected with a shaft enclosure.

707.4 - Fire Resistance Rating = shall not be less than 1 hour when connecting less than

Chapter 9 - Fire Protection Systems

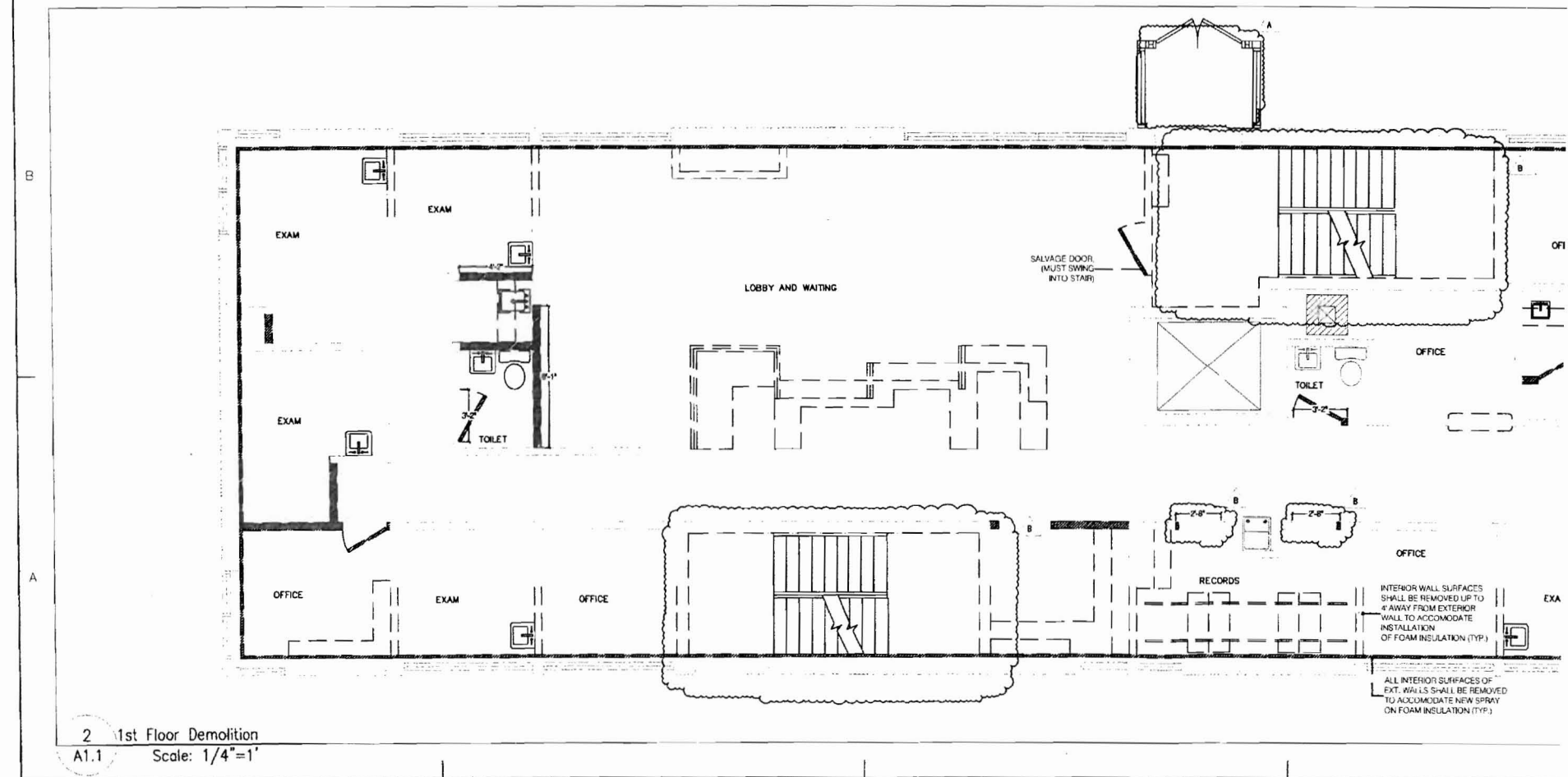
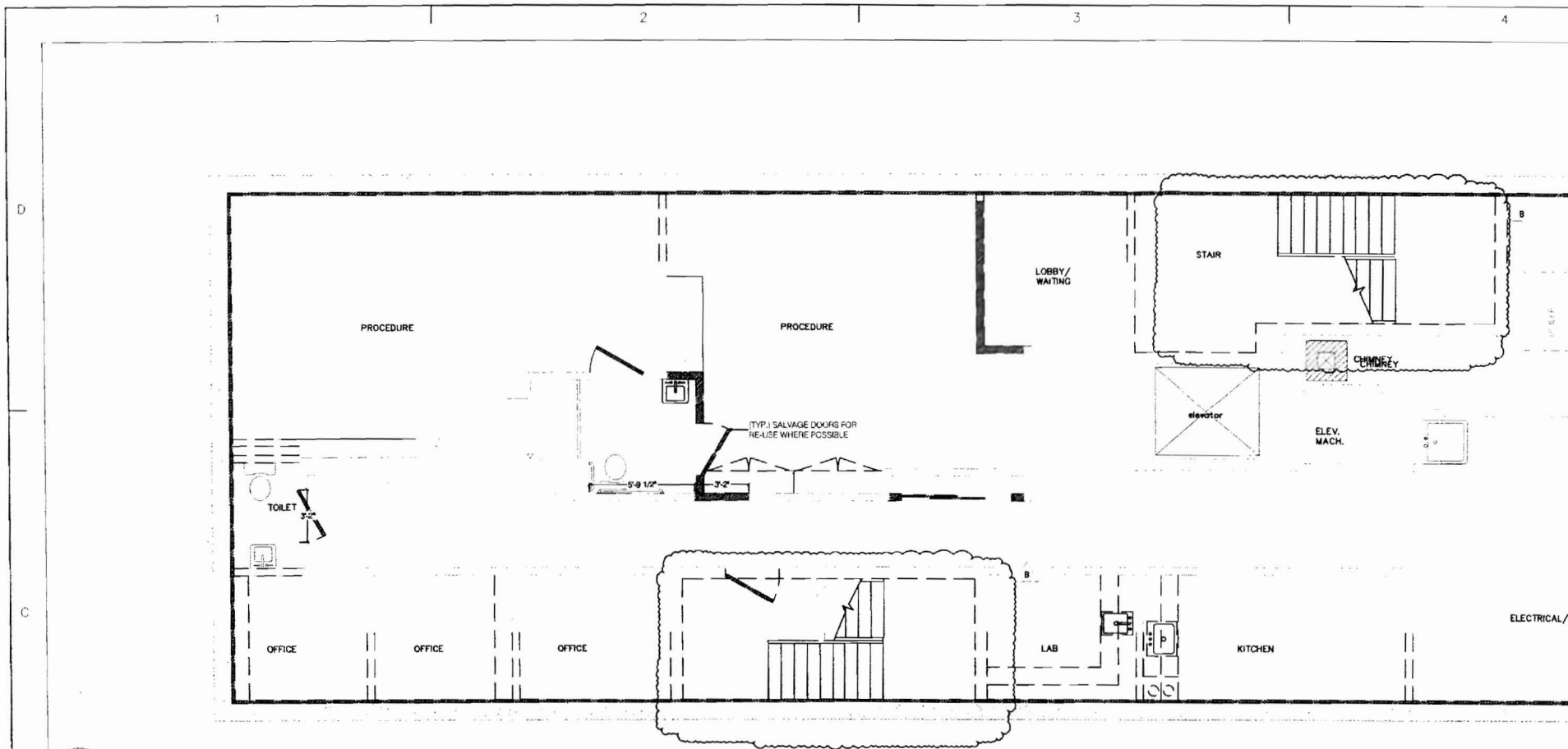
903.2.10 - Windowless stories in all occupancies = must have an automatic sprinkler
907.2.2 - "A manual fire alarm system shall be installed in group B occupancies having load of 500 or more persons or having 100 or more persons above or below the lowest discharge."

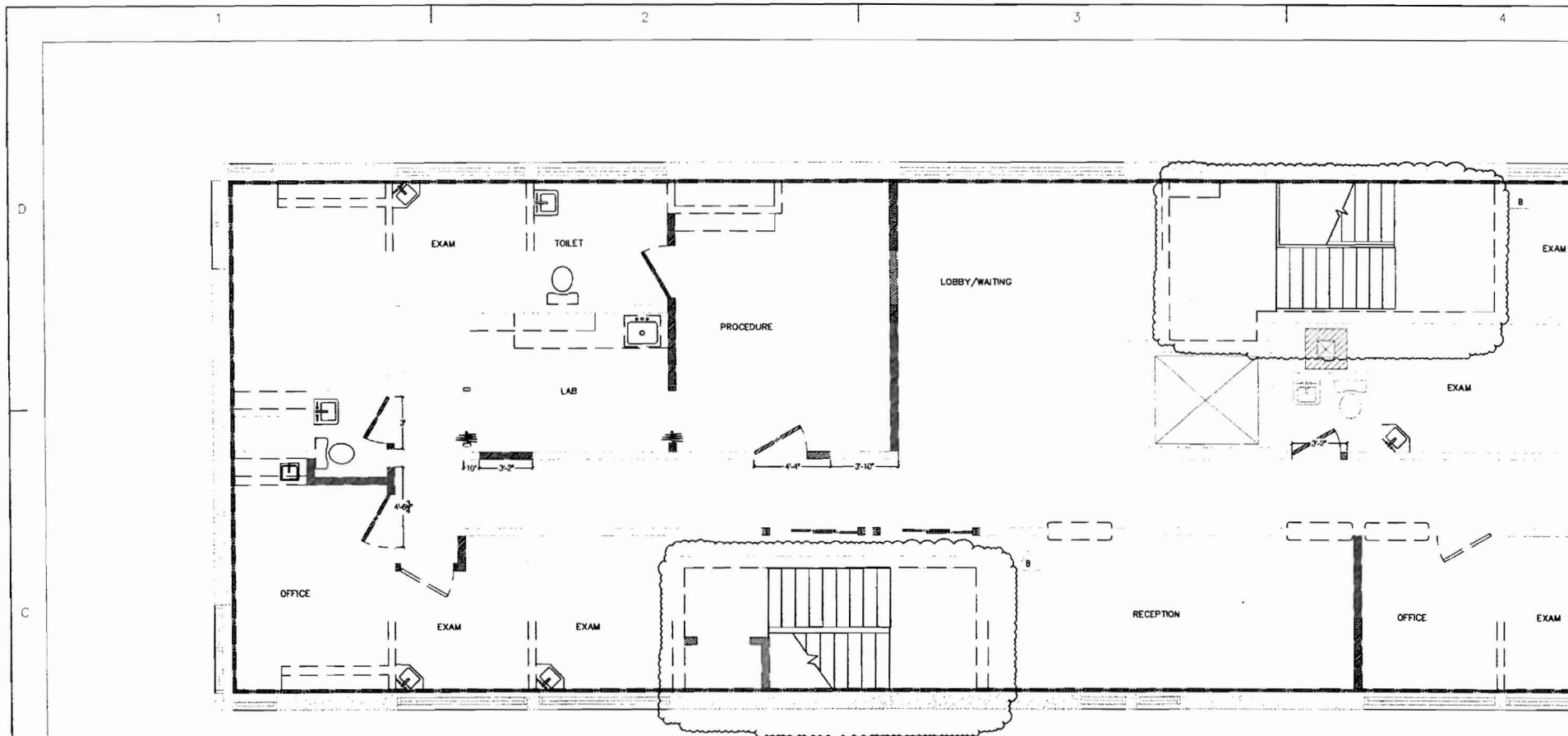
Chapter 10 - Means of Egress

1003.2 - Ceiling height = 7'-6" minimum
1004.1 - Occupant Load = 100 gross square feet per occupant
(2,600 sf / 100 = 26 occupants per floor (x 3 floors) = 78 occupants total
1005.1 - Minimum Required Egress Width = 0.3 inches per occupant in stairways, 0.2 occupant in all other components of egress, multiple means of egress shall be sized so that one means shall not reduce the capacity to less than 50% of the required.
1005.2 - Door Encroachment = Doors opening into the path of egress travel shall not be required width to less than 1/2 during the course of the swing. Doors fully open shall not more than 7" into the required width.

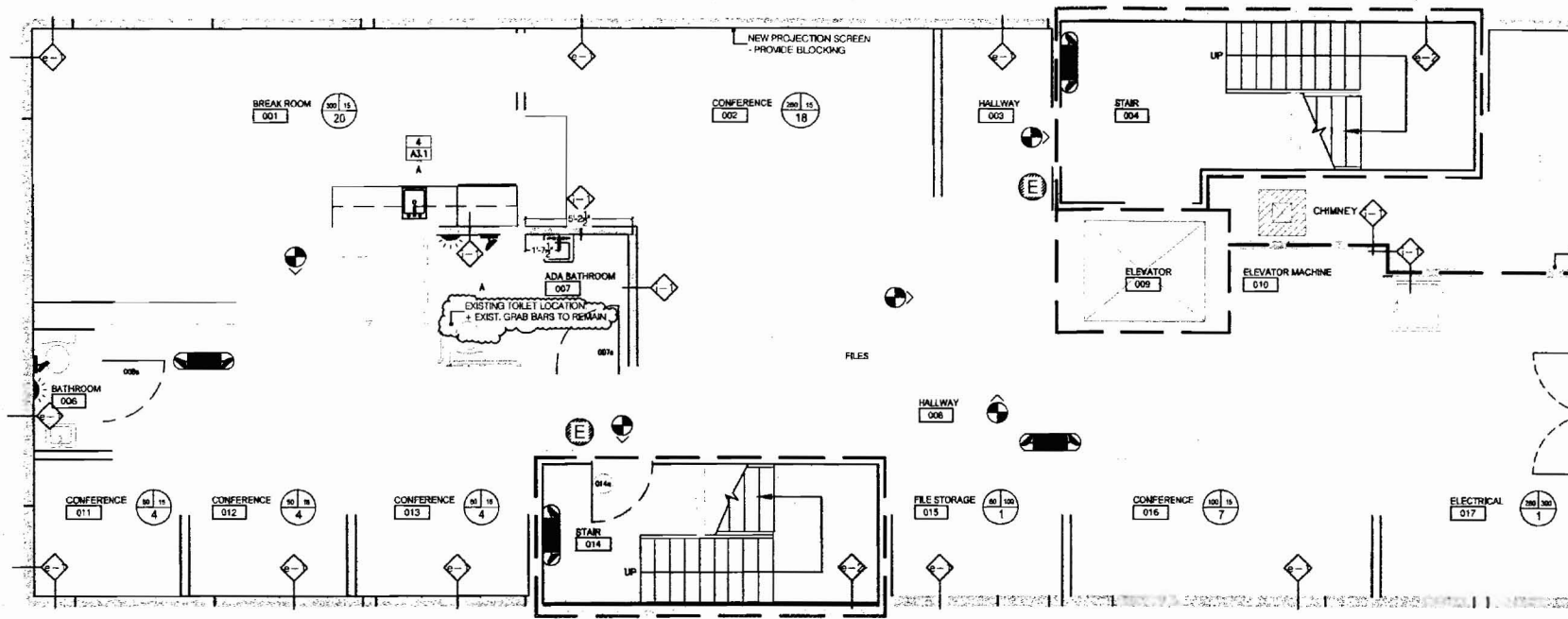
1006.1 - Egress Illumination = required at all times, must have battery back-up
1006.2 - Illumination Level = not less than 1 foot candle on walking surfaces
1006.3 - Illumination Emergency Power = in the event of a power failure, an emergency system shall automatically provide power for not less than 90 minutes to all life safety egress paths.

1007.1 - Accessible means of egress required = accessible spaces shall have one means of egress (minimum), except in alterations to existing buildings
1007.2 - Continuity & Components = all accessible means of egress shall be continuous public way

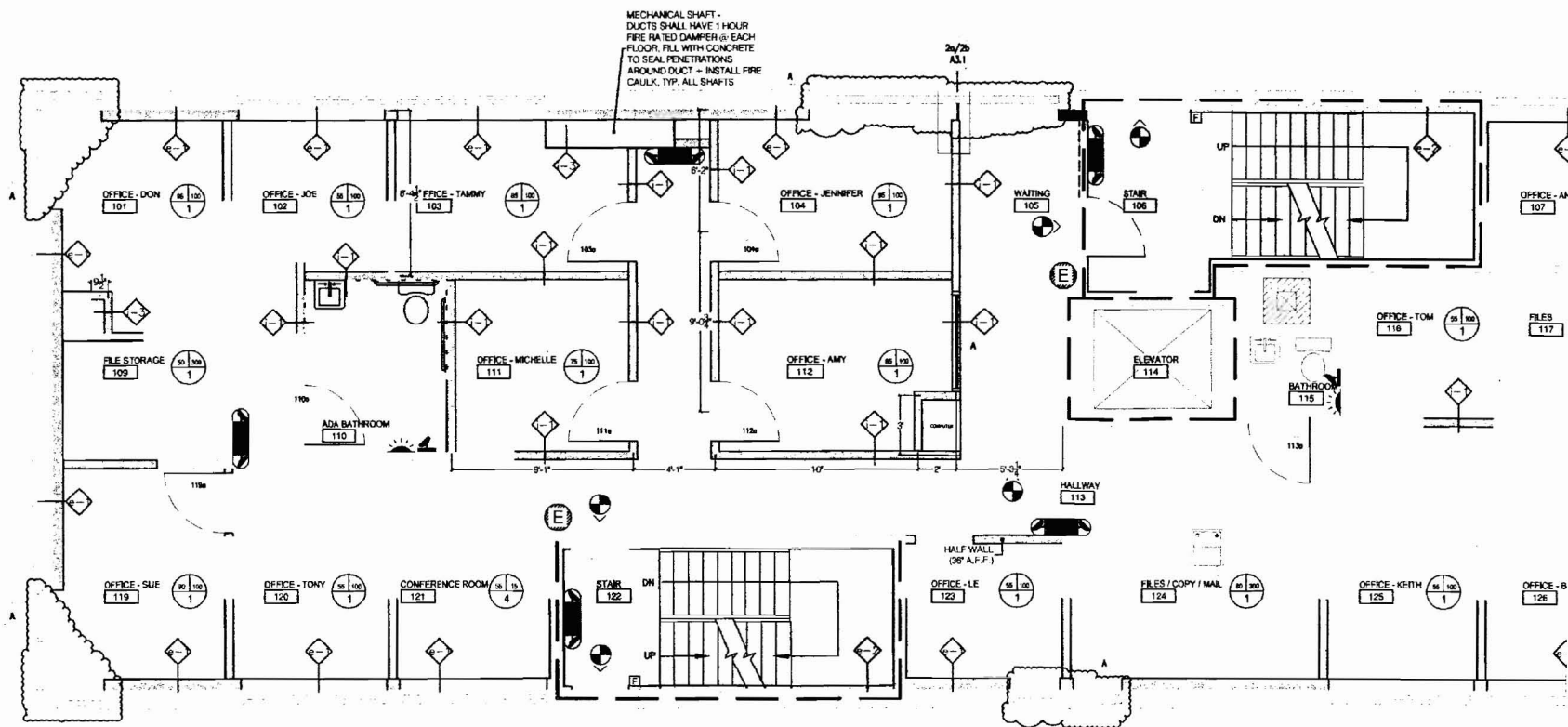




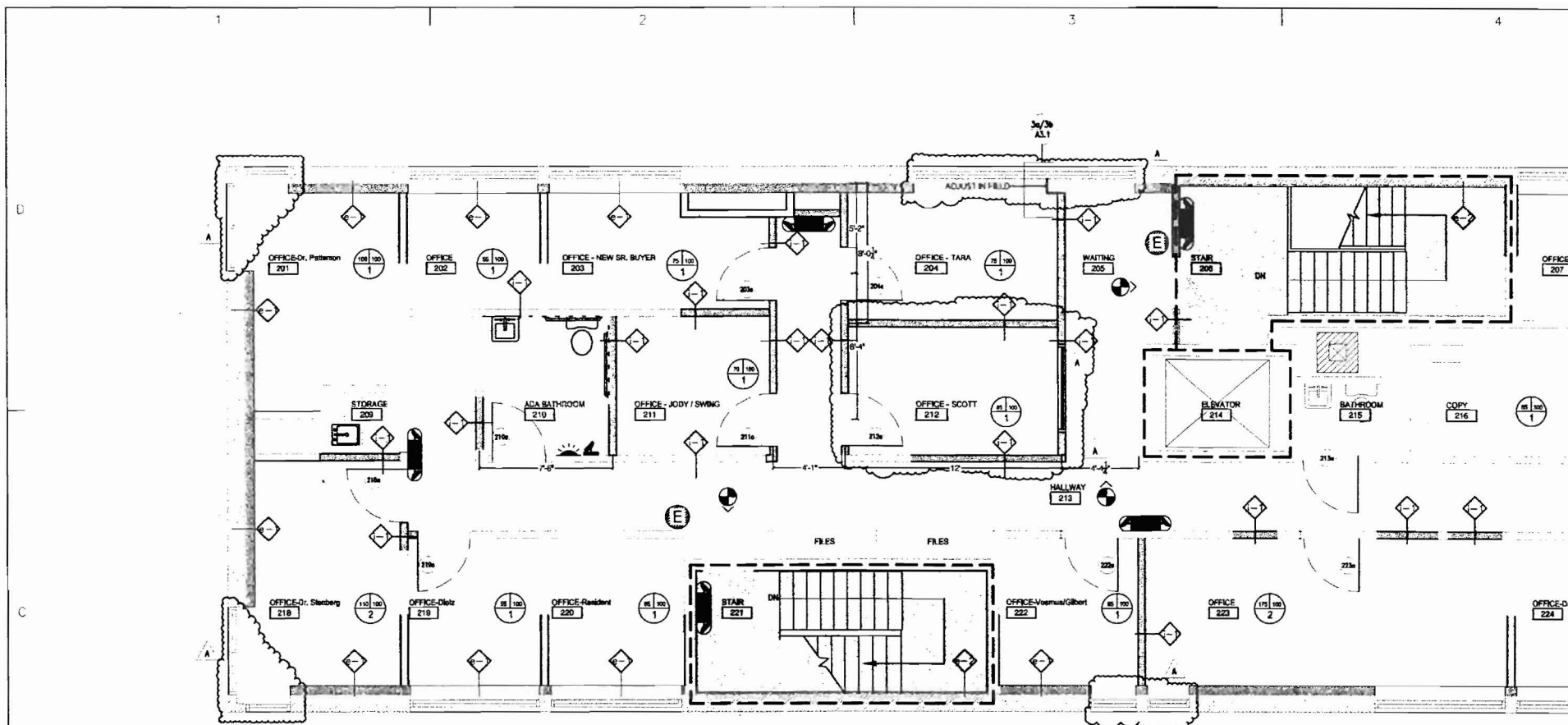
1 2nd Floor Demolition
 A1.2 Scale: 1/4"=1'



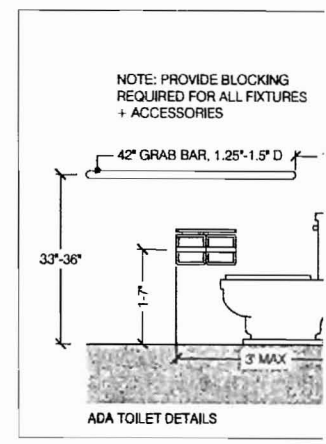
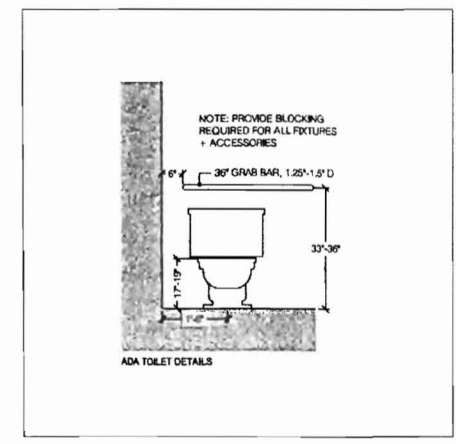
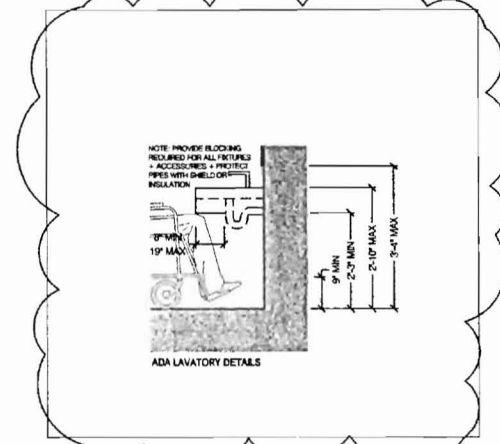
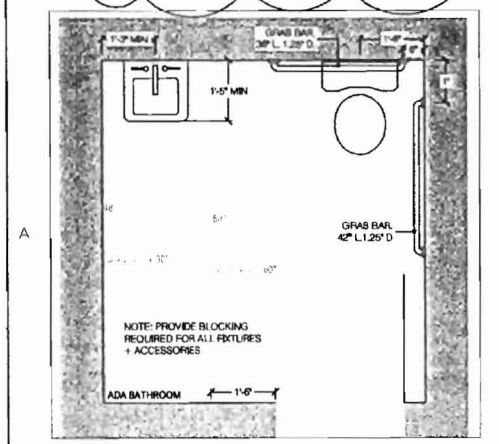
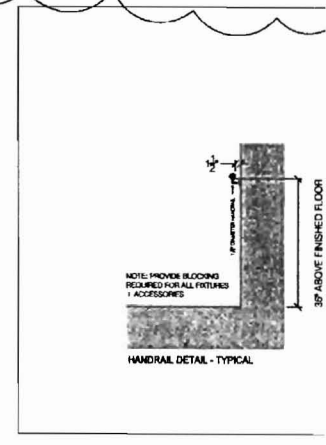
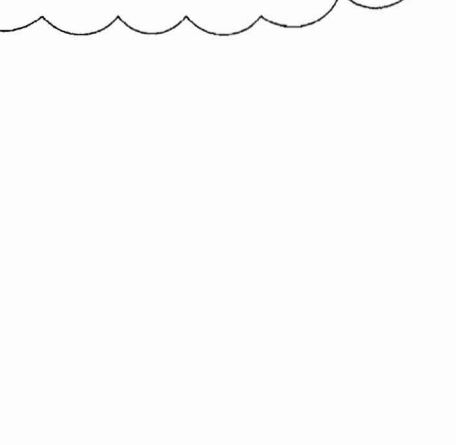
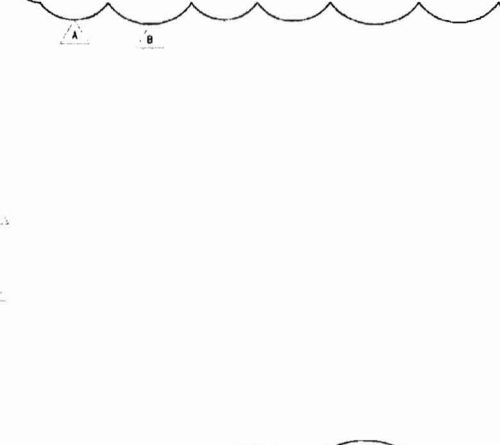
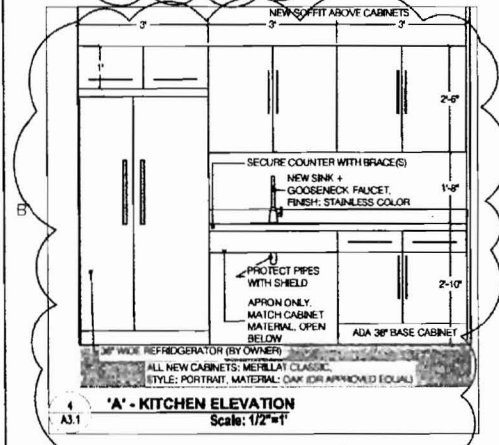
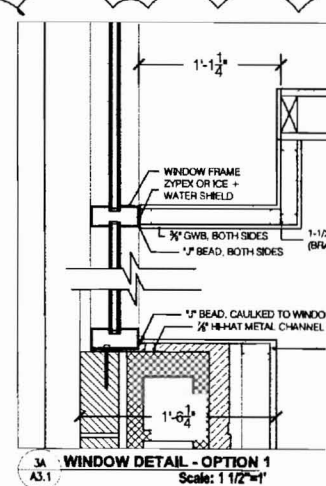
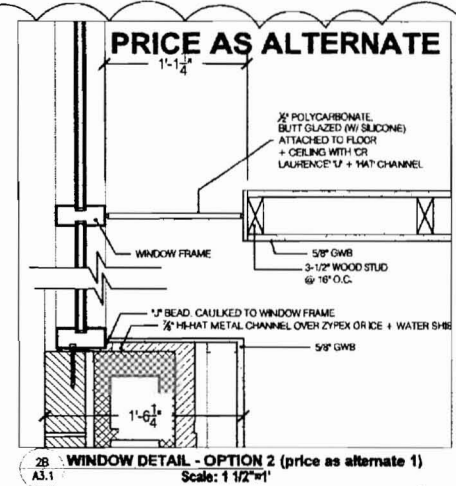
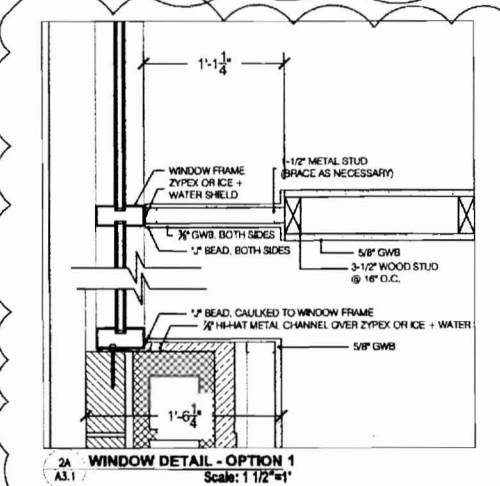
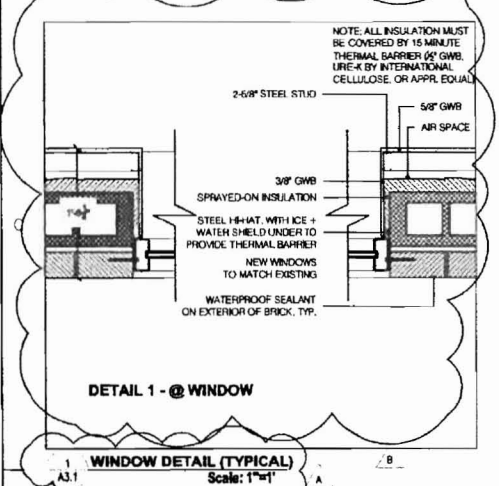
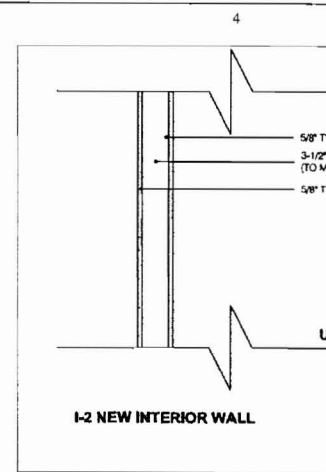
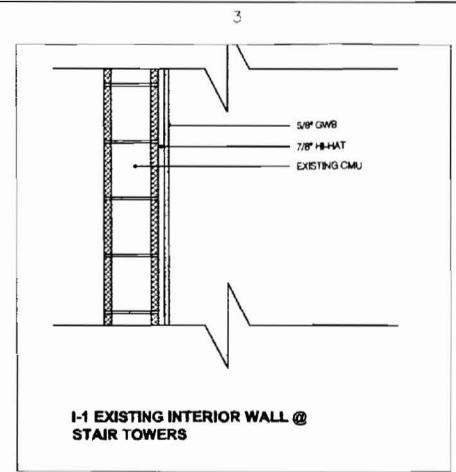
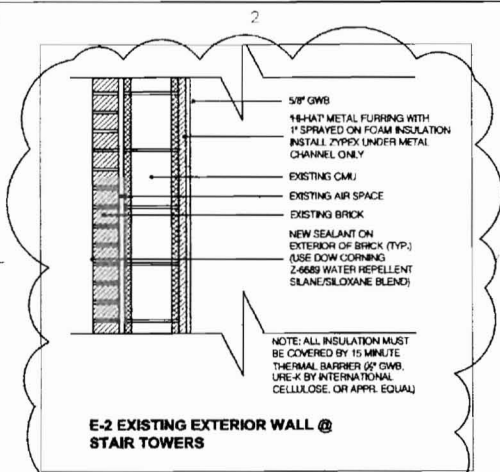
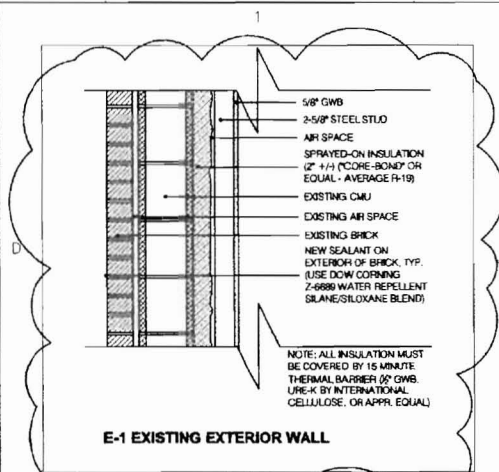
1 Basement Plan—with New Walls
A2.1 Scale: 1/4"=1'



2 1st Floor Plan—with New Walls
A2.1 Scale: 1/4"=1'



1 2nd Floor Plan—with New Walls
 A2.2 Scale: 1/4"=1'

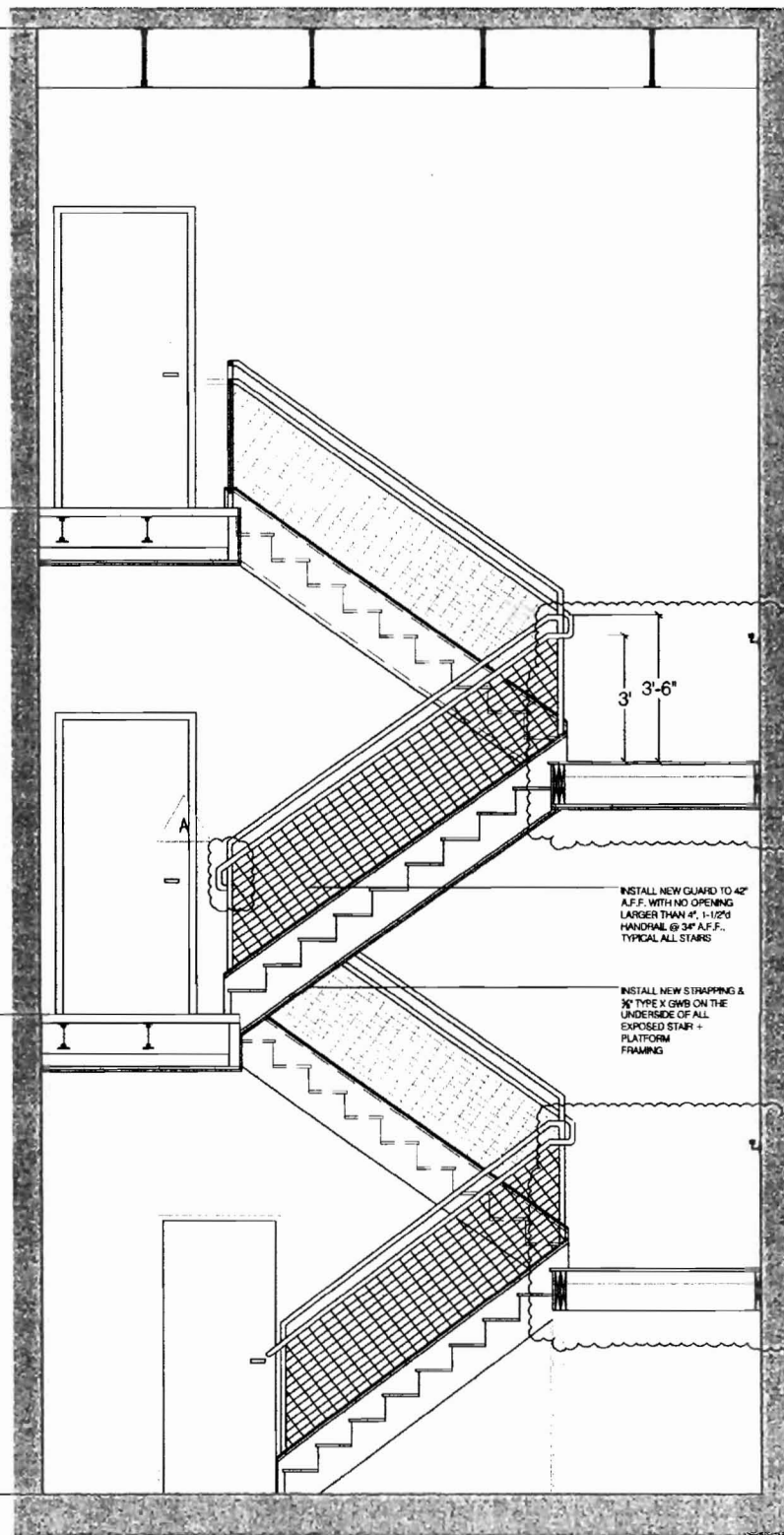


UNDERSIDE OF ROOF
ELEV = 123' 5-1/2"

2nd FLOOR
ELEV = 112' 0-1/2"

1st FLOOR
ELEV = 100' 0"

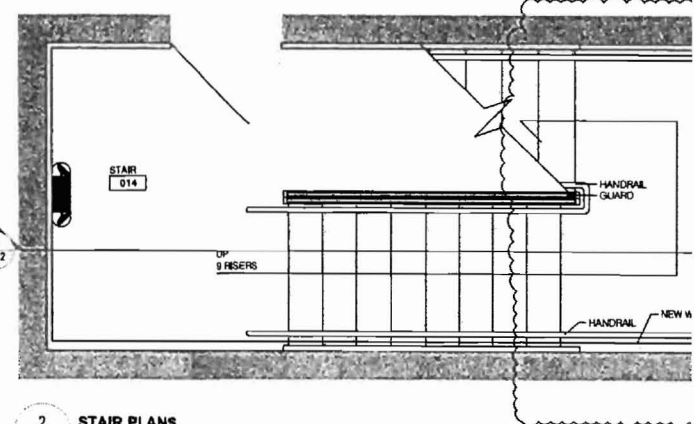
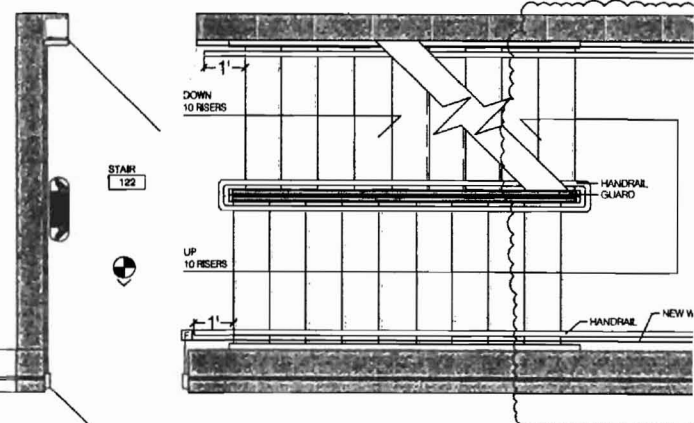
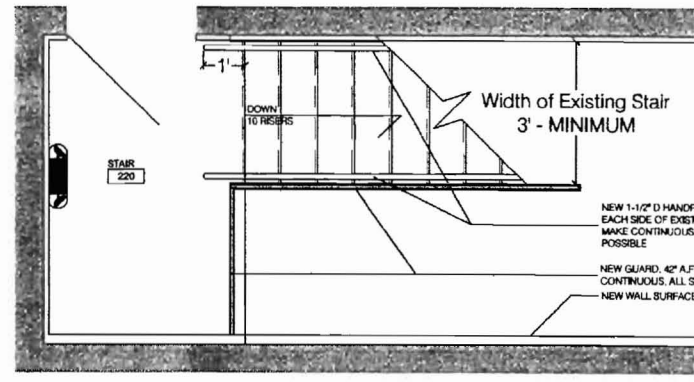
BASEMENT
ELEV = 88' 7-1/8"



INSTALL NEW GUARD TO 42" A.F.F. WITH NO OPENING LARGER THAN 4", 1-1/2" TYPICAL ALL STAIRS

INSTALL NEW STRAPPING & 3/4" TYPE X LWB ON THE UNDERSIDE OF ALL EXPOSED STAIR + PLATFORM FRAMING

1 STAIR PLANS
A3.2 Scale: 1/2"=1'



2 STAIR PLANS
A3.2 Scale: 1/2"=1'

Note: Details shown here are typical of all st

FINISHES								
ROOM #	ROOM NAME	FLOOR	BASE	CEILING	WALL - NORTH	WALL - EAST	WALL - SOUTH	WALL - WEST
001	BREAK ROOM	vct	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
002	CONFERENCE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
003	HALLWAY	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
004	STAIR	carpet	rubber cove	paintd gwb	paintd gwb	paintd gwb	paintd gwb	paintd gwb
005	MECHANICAL	-	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
006	BATHROOM	existing tile to remain	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
007	ADA BATH	vct	rubber cove	paintd gwb	paintd gwb	paintd gwb	paintd gwb	paintd gwb
008	HALLWAY	carpet	rubber cove	accoustical tile				
009	ELEVATOR	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
010	ELEV. MACH	-	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
011	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
012	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
013	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
014	STAIR	carpet	rubber cove	paintd gwb	paintd gwb	paintd gwb	paintd gwb	paintd gwb
015	FILE STORAGE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
016	CONFERENCE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
017	ELECTRICAL	-	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
018	TEL / DATA	vct	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
101	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
102	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
103	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
104	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
105	WAITING	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
106	STAIR	carpet	rubber cove	paintd gwb	paintd gwb	paintd gwb	paintd gwb	paintd gwb
107	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
108	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
109	FILE STORAGE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
110	ADA BATHROOM	vct	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
111	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
112	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
113	HALLWAY	carpet	rubber cove	accoustical tile	exist wood / painted gwb	paintd gwb	paintd gwb	paintd gwb
114	ELEVATOR	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
115	BATHROOM	existing tile to remain	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
116	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
117	FILE STORAGE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
118	BATHROOM	existing tile to remain	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
119	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
120	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
121	CONFERENCE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
122	STAIR	carpet	rubber cove	paintd gwb	paintd gwb	paintd gwb	paintd gwb	paintd gwb
123	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
124	FILES / COPY / MAIL	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
125	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
126	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
127	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
201	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
202	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
203	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
204	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
205	WAITING	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
206	STAIR	carpet	rubber cove	paintd gwb	paintd gwb	paintd gwb	paintd gwb	paintd gwb
207	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
208	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
209	STORAGE	existing tile to remain	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
210	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
211	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
212	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
213	HALLWAY	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
214	ELEVATOR	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
215	BATHROOM	existing tile to remain	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
216	COPY	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
217	STORAGE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
218	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
219	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
220	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
221	STAIR	carpet	rubber cove	paintd gwb	paintd gwb	paintd gwb	paintd gwb	paintd gwb
222	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
223	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
224	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb
225	OFFICE	carpet	rubber cove	accoustical tile	paintd gwb	paintd gwb	paintd gwb	paintd gwb

FINISHES - GENERAL NO

CARPET = SHAW CONTRACT CARPET
 RUBBER COVE BASE = JOHNSONITE
 VCT = ARMSTRONG STANDARD EXCI
 ACCOUSTICAL TILE = ARMSTRONG 7
 PAINT = MMC STANDARD ICI PAINT //

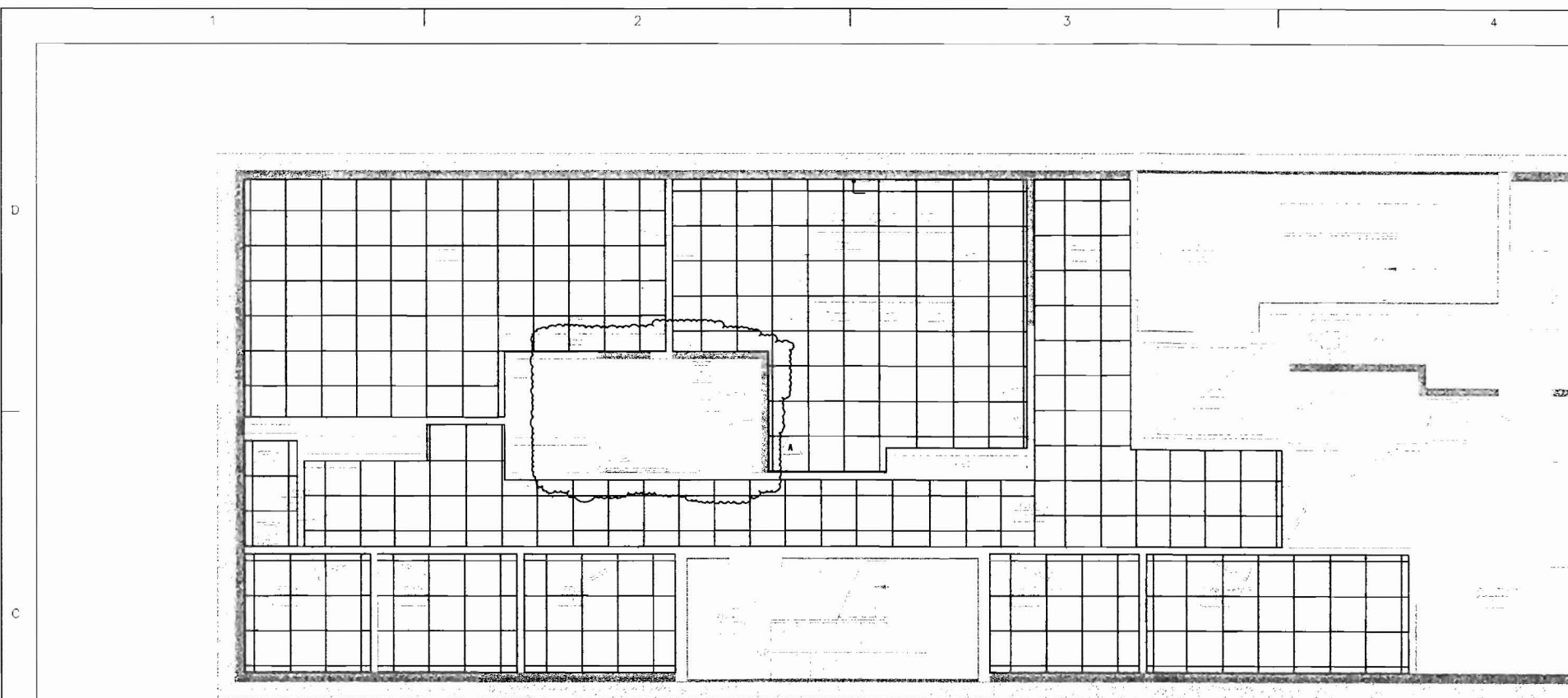
WINDOW NUMBER	SIZE
A	2'-0"x

DOORS - GENERAL NOTI

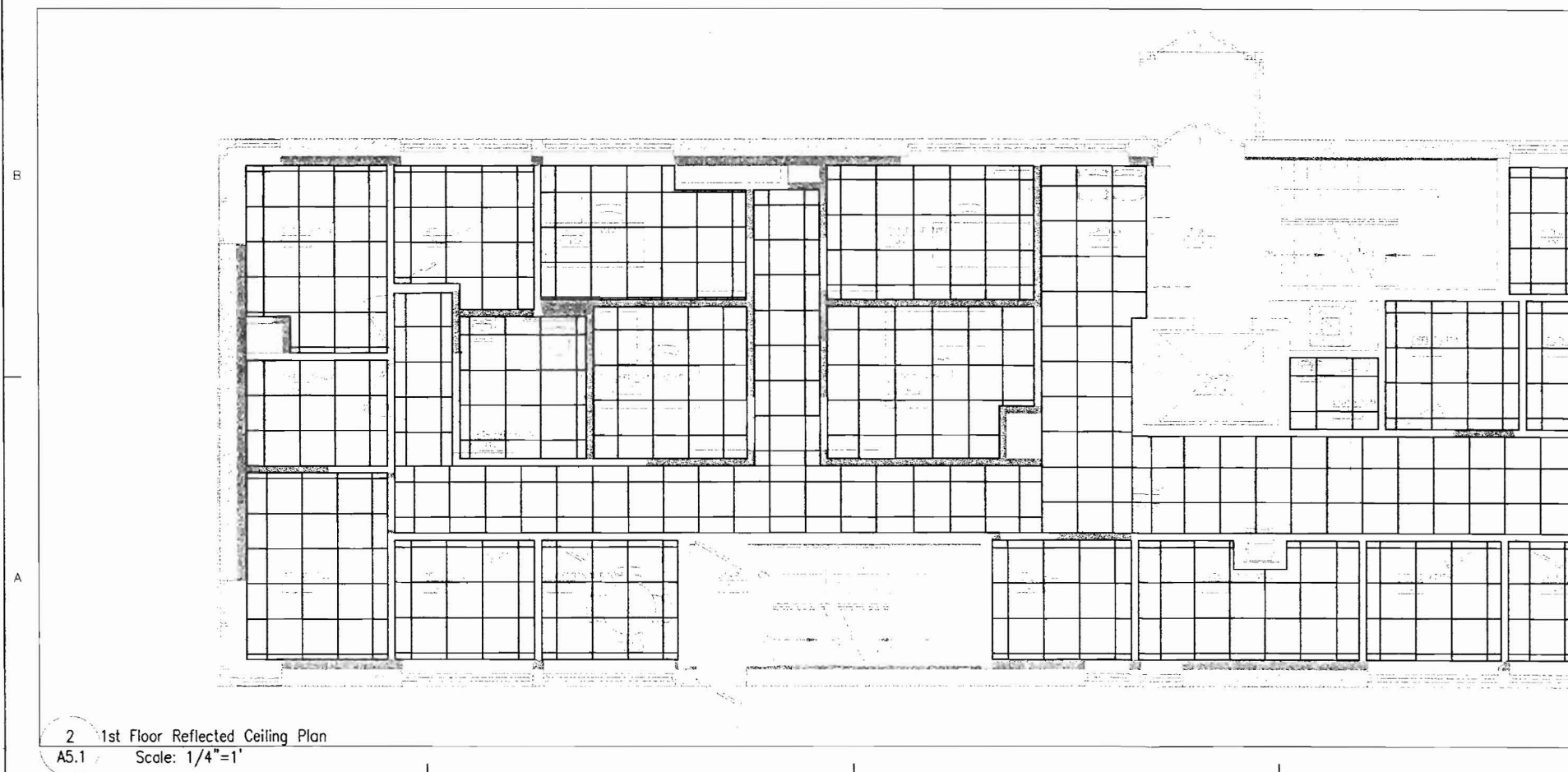
ALL SC WOOD DOORS SHALL BE PRE

ALL DOOR HARDWARE SHALL BE BY
 HINGES = MCKINNEY TA 2314, 1/2"x

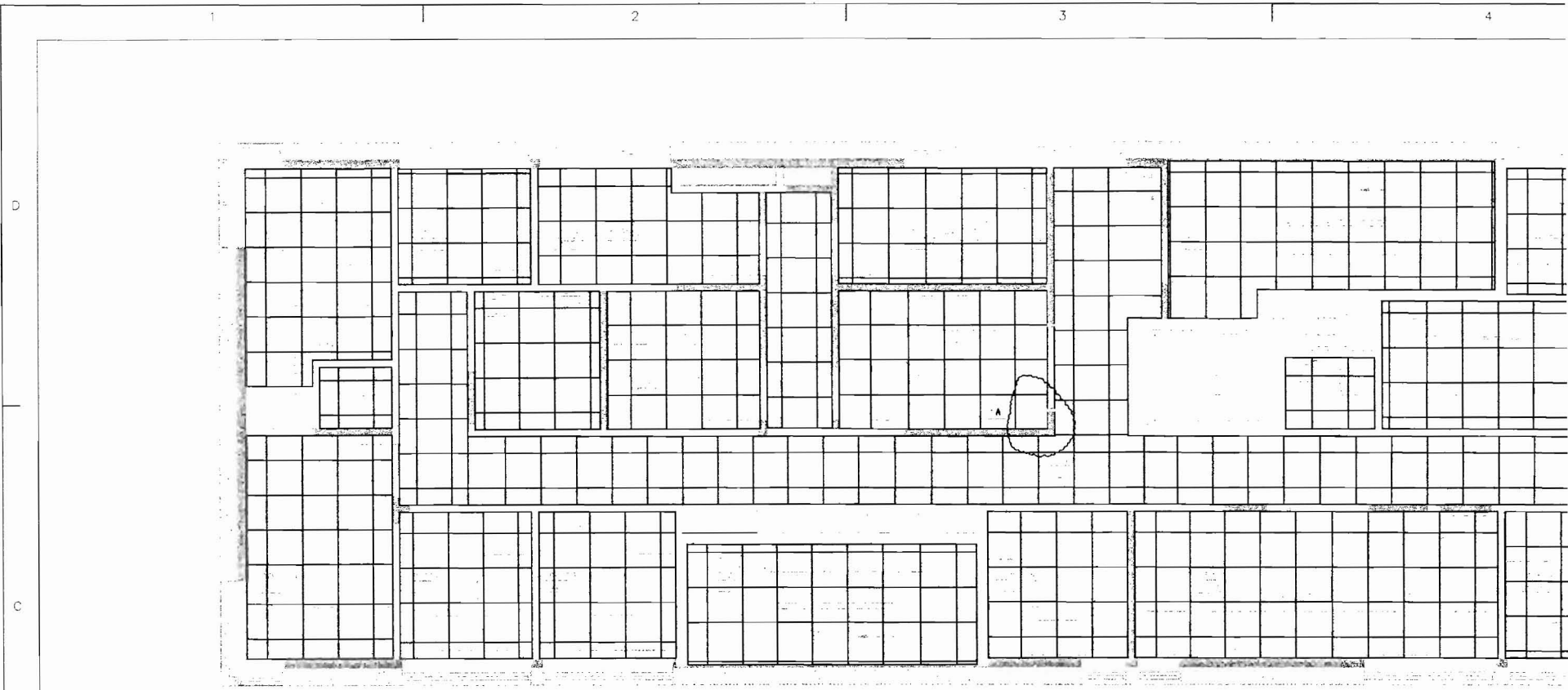
DOOR NUMBER	DOOR SIZE	FRAME TYPE
007a	3'-0"x6'-8"	'Timely' 54A
008a	3'-0"x6'-8"	'Timely' 54A
014a	3'-0"x6'-8"	METAL
017a	(2) 3'-0"x6'-8"	METAL
103a	3'-0"x6'-8"	'Timely' 54A
104a	3'-0"x6'-8"	'Timely' 54A
107a	3'-0"x6'-8"	'Timely' 54A
108a	3'-0"x6'-8"	'Timely' 54A
110a	3'-0"x6'-8"	'Timely' 54A
111a	3'-0"x6'-8"	'Timely' 54A
112a	3'-0"x6'-8"	'Timely' 54A
113a	3'-0"x6'-8"	'Timely' 54A
113b	3'-0"x6'-8"	'Timely' 54A
119a	3'-0"x6'-8"	'Timely' 54A
127a	3'-0"x6'-8"	'Timely' 54A
203a	3'-0"x6'-8"	'Timely' 54A
204a	3'-0"x6'-8"	'Timely' 54A
210a	3'-0"x6'-8"	'Timely' 54A
211a	3'-0"x6'-8"	'Timely' 54A
212a	3'-0"x6'-8"	'Timely' 54A
213a	3'-0"x6'-8"	'Timely' 54A
218a	3'-0"x6'-8"	'Timely' 54A
219a	3'-0"x6'-8"	'Timely' 54A
222a	3'-0"x6'-8"	'Timely' 54A
223a	3'-0"x6'-8"	'Timely' 54A



1 Basement Reflected Ceiling Plan
A5.1 Scale: 1/4"=1'



2 1st Floor Reflected Ceiling Plan
A5.1 Scale: 1/4"=1'



1 2nd Floor Reflected Ceiling Plan
A5.2 Scale: 1/4"=1'