

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that NATHANIEL R HUCKEL-BAUER Located At 119 CHADWICK ST

Job ID: 2012-03-3558-ALTR

CBL: 063- B-004-001

has permission for non-structural interior renovations, addition of a bathroom (Single Family Residence).
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

04/10/2012

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

1. Close In Elec/Plmb/Frame prior to insulate or gypsum
2. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City. Building a Community for Life • www.portlandmaine.gov

Acting Director of Planning and Urban Development
Gregory Mitchell

Job ID: 2012-03-3558-ALTR

Located At: 119 CHADWICK ST

CBL: 063- B-004-001

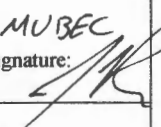
Conditions of Approval:

Building

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. R502.10 Framing of openings. Openings in floor framing shall be framed with a header and trimmer joists. When the header joist span does not exceed 4 feet, the header joist may be a single member the same size as the floor joist. Single trimmer joists may be used to carry a single header joist that is located within 3 feet of the trimmer joist bearing. When the header joist span exceeds 4 feet the trimmer joists and the header joist shall be doubled and of sufficient cross section to support the floor joists framing into the header. Approved hangers shall be used for the header joist to trimmer joist connections when the header joist span exceeds 6 feet. Tail joists over 12 feet long shall be supported at the header by framing anchors or on ledger strips not less than 2 inches by 2 inches.
3. A Carbon Monoxide (CO) alarms shall be installed in each area within or giving access to bedrooms. That detection must be powered by the electrical service (plug-in or hardwired) in the building and battery.
4. Hardwired photoelectric interconnected battery backup smoke alarms shall be installed in each bedroom, protecting the bedrooms, and on every level. A field inspection will verify your current smoke detector arraignment and the City's minimal code requirements.
5. R502.8 Drilling and notching. Structural floor members shall not be cut, bored or notched in excess of the limitations specified in this section. See Figure R502.8.
6. Note: Owner stated ceiling are approx. 8 feet, bathroom fixtures will meet minimal clearance requirements.

City of Portland, Maine - Building or Use Permit Application

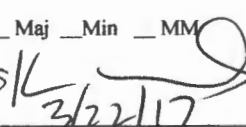
389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-03-3558-ALTR	Date Applied: 3/21/2012	CBL: 063- B-004-001	
Location of Construction: 119 CHADWICK ST	Owner Name: NATHANIEL R HUCKEL-BAUER	Owner Address: 119 CHADWICK ST PORTLAND, ME 04102	Phone: 332-4499
Business Name:	Contractor Name: Owner	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG ALT	Zone: R-4
Past Use: Single Family Dwelling	Proposed Use: Same: Single Family Dwelling - interior alterations for the addition of a bath in an existing closet space	Cost of Work: \$13,000.00 Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A Signature:	CEO District: Inspection: Use Group: R3 Type: S13 MUBEC Signature: 
Proposed Project Description: interior renovations		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Gayle		Zoning Approval	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building Permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.

Special Zone or Reviews

- Shoreland
- Wetlands
- Flood Zone
- Subdivision
- Site Plan

Maj Min MM
Date: 
3/22/12

CERTIFICATION

Zoning Appeal

- Variance
- Miscellaneous
- Conditional Use
- Interpretation
- Approved
- Denied

Date:

Historic Preservation

- Within
- Not in Dist or Landmark
- Does not Require Review
- Requires Review
- Approved
- Approved w/Conditions
- Denied

Date: Any exterior work requires SA Sept 21st review. Approved

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE



PORTLAND MAINE

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Receipts Details:

Tender Information: Check , BusinessName: Nathaniel Huckel-Baur, Check Number: 902
Tender Amount: 150.00

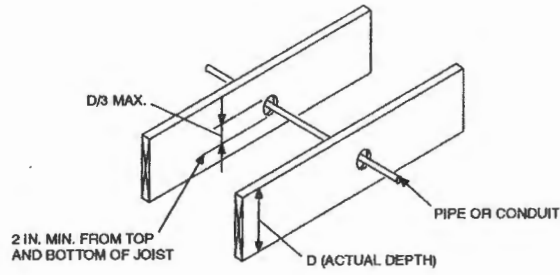
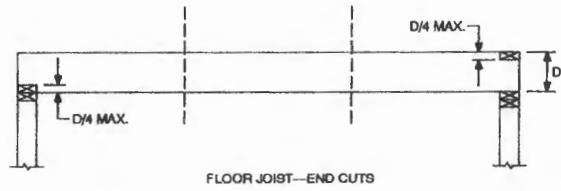
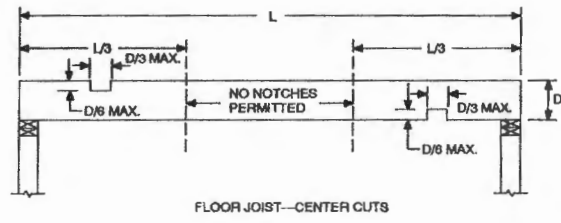
Receipt Header:

Cashier Id: gguertin
Receipt Date: 3/21/2012
Receipt Number: 42014

Receipt Details:

Referance ID:	5727	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	150.00	Charge Amount:	150.00
Job ID: Job ID: 2012-03-3558-ALTR - interior renovations			
Additional Comments: 119 Chadwick St.			

Thank You for your Payment!



mm.

FIGURE R502.8
CUTTING, NOTCHING AND DRILLING

Nathaniel Huckel-Bauer & Elizabeth Eisenhardt
119 Chadwick Street
Portland, Maine 04102
207-332-4499

Portland Planning Department
Room 315
389 Congress Street
Portland, Maine 04101

March 21, 2012

Re: Interior remodel building permit application

Dear Portland Inspection/Permitting Department Staff:

Attached please find a general building permit application for our proposed interior remodel project, which will take an existing double closet and convert it into a full bathroom. The work is entirely interior and principally is a plumbing and electrical project. Our plumber and electrician have applied (or will apply) separately for their permits.

Modest structural reframing is required to make room for plumbing drains and a sketch of the proposed reframing is attached. A basic layout and elevation drawing is also provided for reference purposes. A non-structural closet partition wall will be moved and an existing doorway will be framed in. The doorway and new partition wall will be framed with standard 2x4 lumber, 16 inches on center and covered with ½ inch sheetrock. The structural members to be cut are 2x12 floor joists. Several of those joists will be cut and new 2x12 joists will be placed across them with each butt joint to be secured by joist hangers. Additional cross pieces will be added in one section of the framing to help support the new floor.

The total estimated cost of work is \$13,000.00. This is based on estimates received from the plumber and electrician and what we have paid for fixtures and materials acquired at local supply stores.

Please call me if you have any questions and thank you in advance for your anticipated speedy processing.

Sincerely,



Nathaniel Huckel-Bauer
Homeowner

60

2012 03 3558



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>119 Chadwick Street</u>		
Total Square Footage of Proposed Structure/Area <u>Interior Remodel (5x11')</u>	Square Footage of Lot <u>4700 +/-</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>63 B 4</u>	Applicant: (must be <u>owner</u> lessee or buyer) Name <u>Nathaniel Huckel-Bauer</u> Address <u>119 Chadwick St.</u> City, State & Zip <u>RECEIVED 04102</u>	Telephone: <u>332-4499</u>
Lessee/DBA <u>NA</u>	Owner: (if different from applicant) Name <u>MAR 2 T 2012</u> Address <u>Dept. of Building Inspections</u> City, State & Zip <u>City of Portland Maine</u>	Cost of Work: <u>\$13,000</u> C of O Fee: <u>\$</u> Historic Review: <u>\$ NA</u> Planning Amin.: <u>\$</u> Total Fee: <u>\$ 150.00</u>
Current legal use (i.e. single family) <u>Single Family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? <u>NA</u> Proposed Specific use: <u>Single Family</u> Is property part of a subdivision? <u>NA</u> If yes, please name _____ Project description: <u>Addition of bath in existing closet space, No exterior change. Modest structural reframing to accommodate plumbing.</u>		
Contractor's name: <u>self</u> Email: _____ Address: <u>(Plumber - Jim Galipeau Electrician - Josh Underhill)</u> <u>NHB@DDLAW.COM</u> City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: <u>Self (owner)</u> Telephone: <u>332-4499</u> Mailing address: <u>property address</u>		

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 3/21/12

This is not a permit; you may not commence ANY work until the permit is issued



Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at www.portlandmaine.gov, in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations existing & proposed *NA*
- Detail removal of all partitions & any new structural beams
- Detail any new walls or permanent partitions *NA*
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing *NA*
- Window and door schedules *NA*
- Foundation plans w/required drainage and damp proofing (if applicable) *NA*
- Detail egress requirements and fire separation/sound transmission ratings (if applicable) *NA*
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IECC 2009 *NA*
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions *NA*
- Electronic files in pdf format are also required *NA*
- Proof of ownership is required if it is inconsistent with the assessors records *NA*

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include: *NA*

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale. *NA*
- Location and dimensions of parking areas and driveways *NA*
- A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

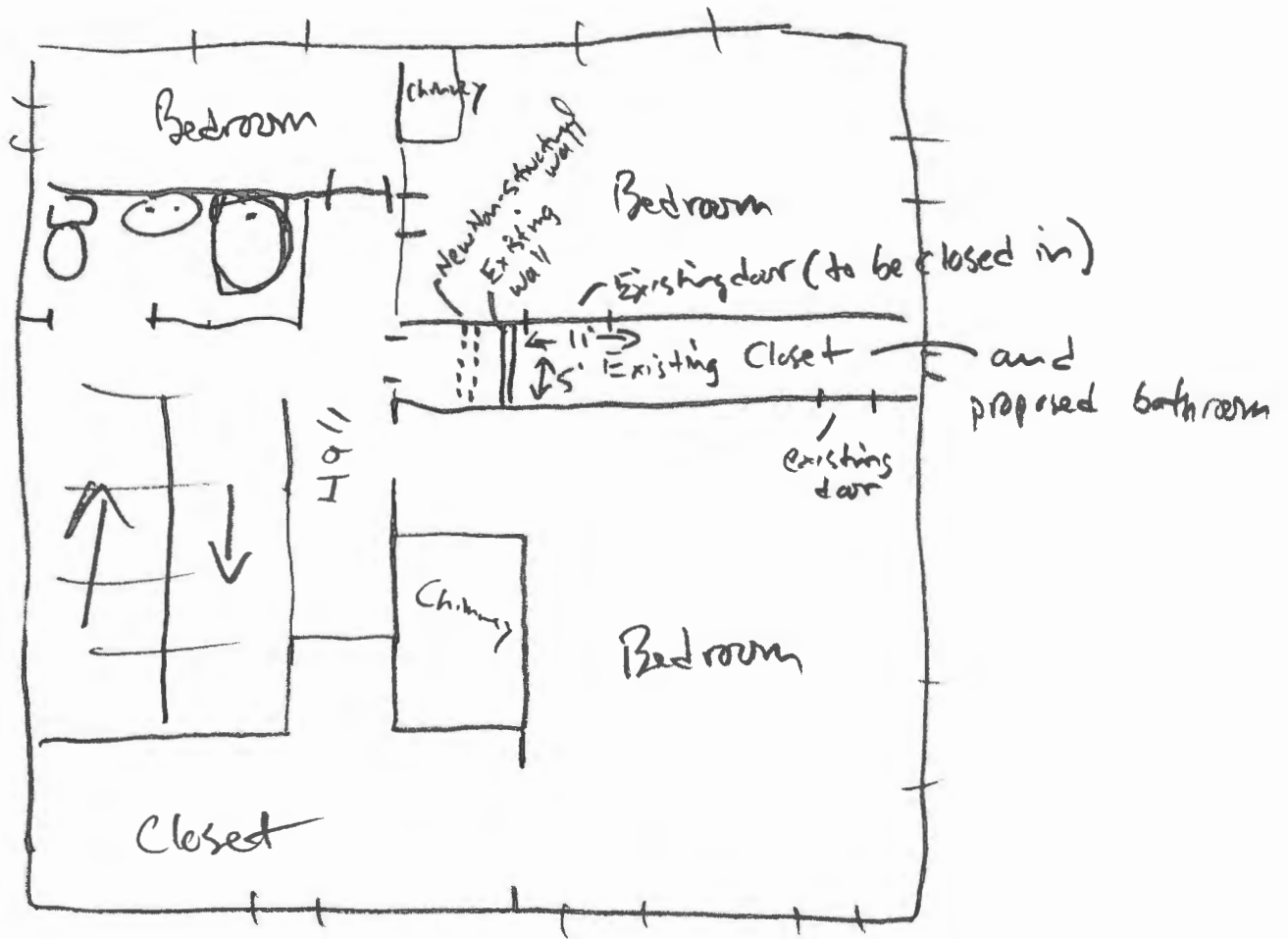
Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

119 Chadwick St.

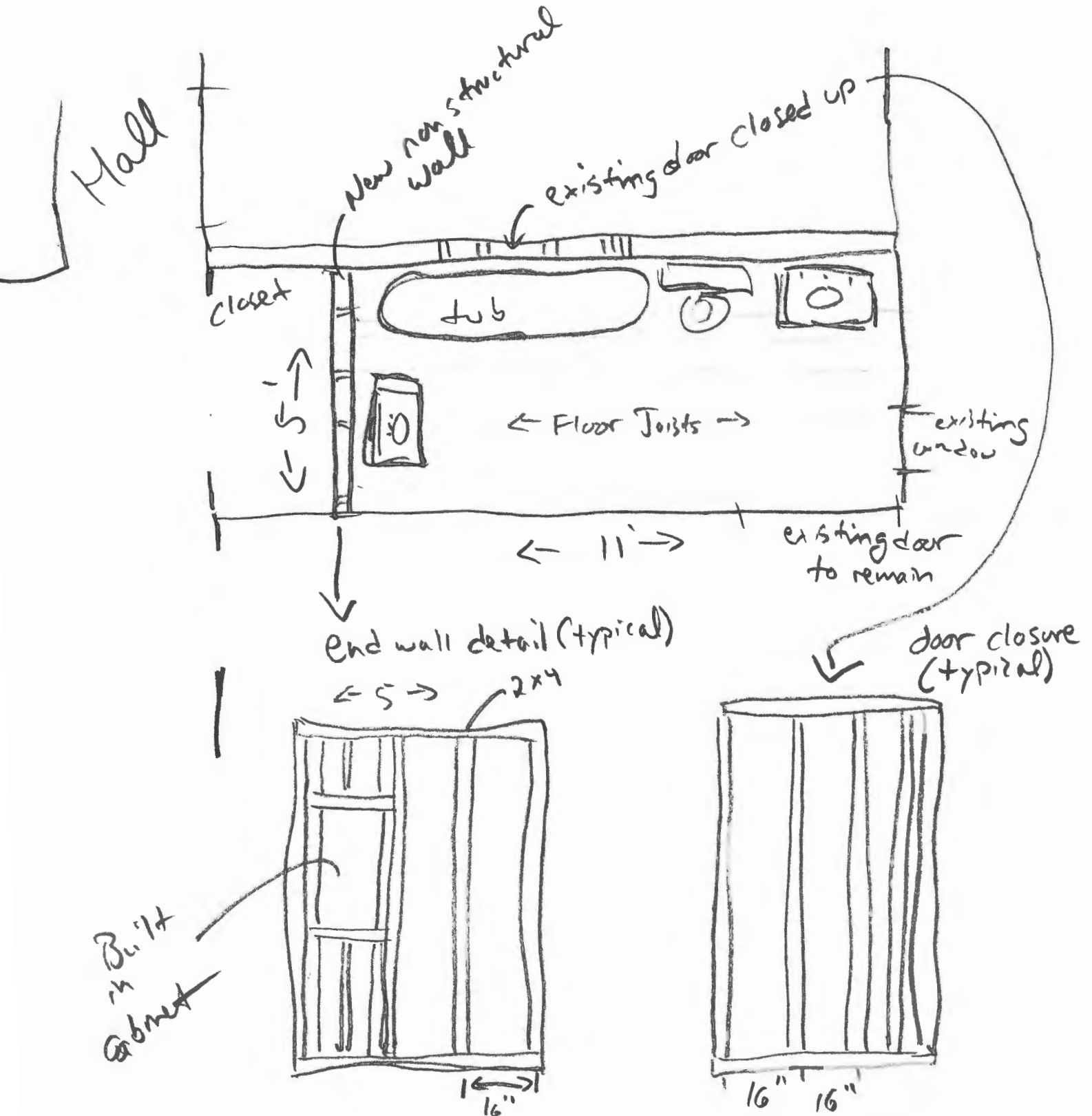
2nd Floor Layout

Not to scale

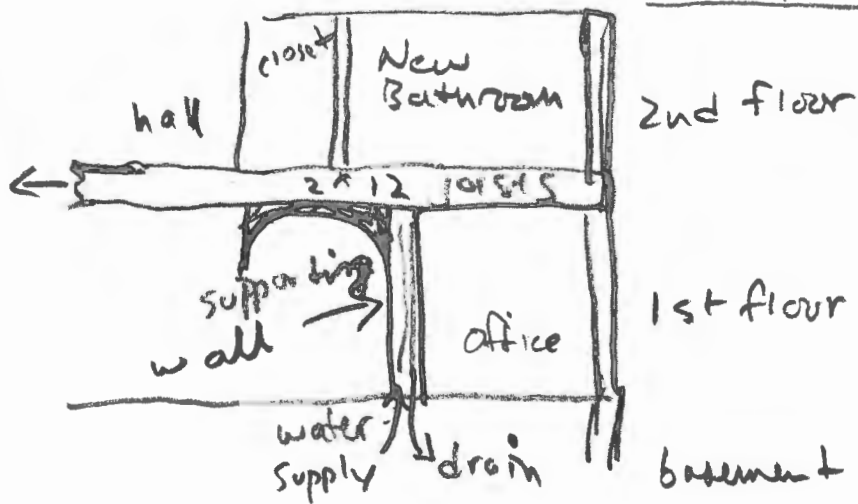


119 Chadwick St.

New Bath layout
Not to scale

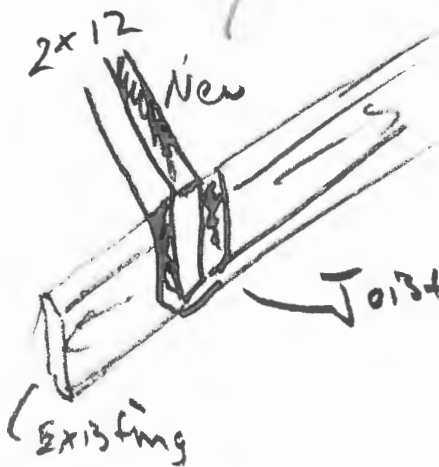
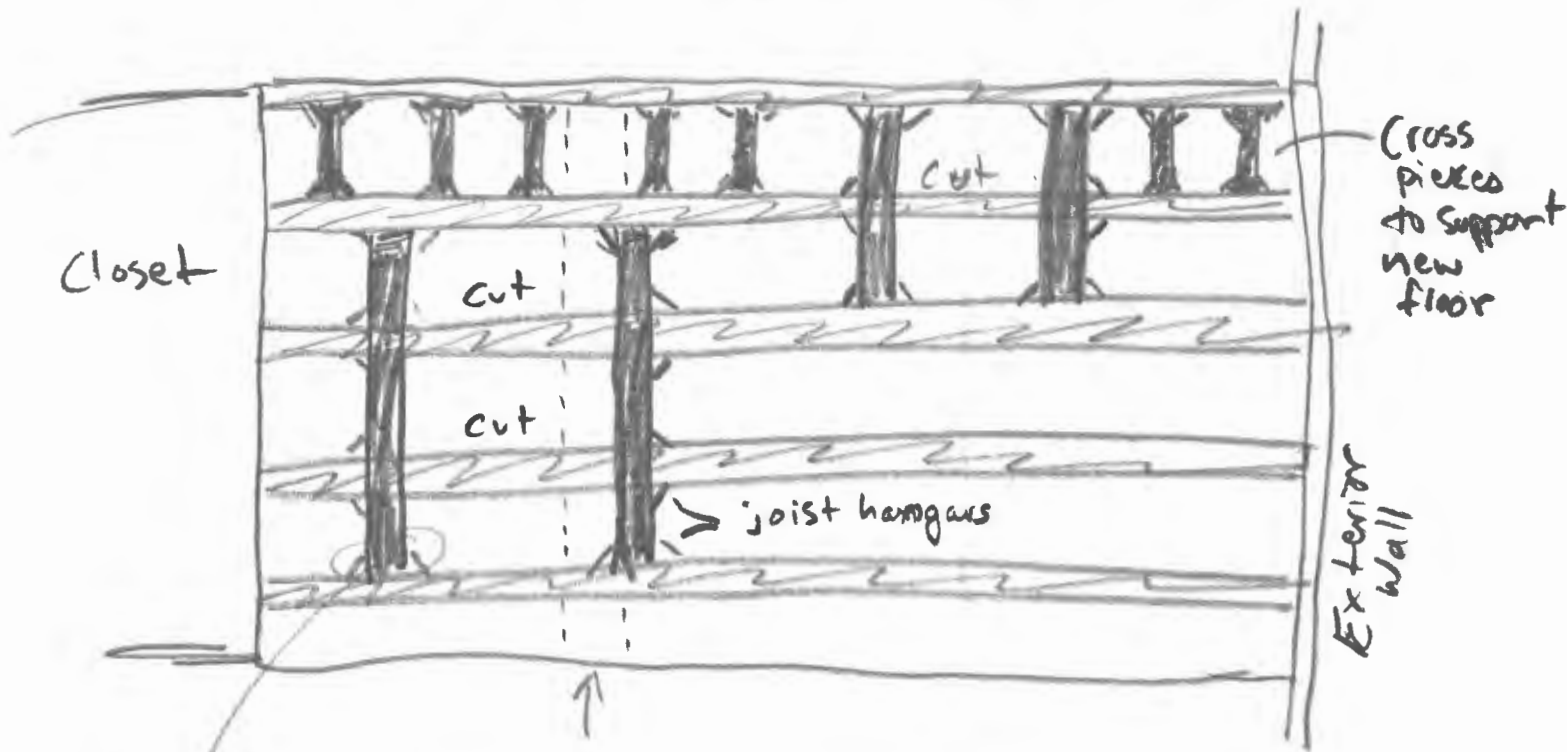


Elevation



119 Chadwick St
Not to Scale

New Bathroom Floor Joist detail



Joist hangers at butt joints

existing 
proposed 