General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 32 Thomas St. Portland ME 04101

Total Square Footage of Proposed Structure/Area: 420' Bell Tower / 18,000 Total Building

Square Footage of Lot: .413 Acres

Tax Assessor's Chart, Block & Lot
Chart# 62 Block# E Lot# 5
062 E005001

Applicant **must be owner, Lessee or Buyer***
Name 32 Thomas St. LLC
Address 477 Congress St, STE 601
City, State & Zip Portland, ME 04101

Telephone: +617 3834-3344

Lessee/DBA (If Applicable)

Owner (if different from Applicant)
Name
Address
City, State & Zip

Cost Of Work: $ 10,000.00

C of O Fee: $

Total Fee: $ 110.00

Current legal use (i.e. single family) Religious & Education
If vacant, what was the previous use?
Proposed Specific use:
Is property part of a subdivision? NO If yes, please name
Project description: Removal of existing and decaying Bell Tower floor landing framing and ship ladders for replacement with new landing + framing per attached structural design with intent to stabilize the interior masonry

Contractor's name: Leddy Hauser Associates
Address: 72 Ocean St. Ste 104
City, State & Zip South Portland, ME 04106 Telephone: 767 0903
Who should we contact when the permit is ready: office Telephone: Same
Mailing address: Same

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [signature] Date: 2-21-2012

This is not a permit; you may not commence ANY work until the permit is issue

Commercial Interior & Change of Use Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

One (1) complete set of construction drawings must include:

Note: Construction documents for costs in excess of $50,000.00 must be prepared by a Design Professional and bear their seal.

- ☑ Cross sections w/framing details
- ☑ Detail of any new walls or permanent partitions
- ☑ Floor plans and elevations
- ☐ Window and door schedules
- ☐ Complete electrical and plumbing layout.
- ☐ Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment or other types of work that may require special review
- ☐ Insulation R-factors of walls, ceilings, floors & U-factors of windows as per the IEEC 2003
- ☐ Proof of ownership is required if it is inconsistent with the assessors records.
- ☐ Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".
- ☐ Per State Fire Marshall, all new bathrooms must be ADA compliant.

Separate permits are required for internal and external plumbing, HVAC & electrical installations.

For additions less than 500 sq. ft. or that does not affect parking or traffic, a site plan exemption should be filed including:

- ☐ The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines.
- ☐ Location and dimensions of parking areas and driveways, street spaces and building frontage.
- ☐ Dimensional floor plan of existing space and dimensional floor plan of proposed space.

A Minor Site Plan Review is required for any change of use between 5,000 and 10,000 sq. ft. (cumulatively within a 3-year period)

Building Inspections Division • 389 Congress Street • Portland, Maine 04101 • (207) 874-8703 • FACSIMILE (207) 874-8716 • TTY (207) 874-8936

Certificate of Design

Date: 2/24/12

From: Structural Integrity, Inc

These plans and / or specifications covering construction work on:

Floor + Landing Framing Replacement / Repairs at Bell Tower.

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the ~~2003~~ 2009 *International Building Code* and local amendments.

STATE OF MAINE
AARON C. JONES
No. 10968
LICENSED PROFESSIONAL ENGINEER

(SEAL) 2/21/12

Signature:

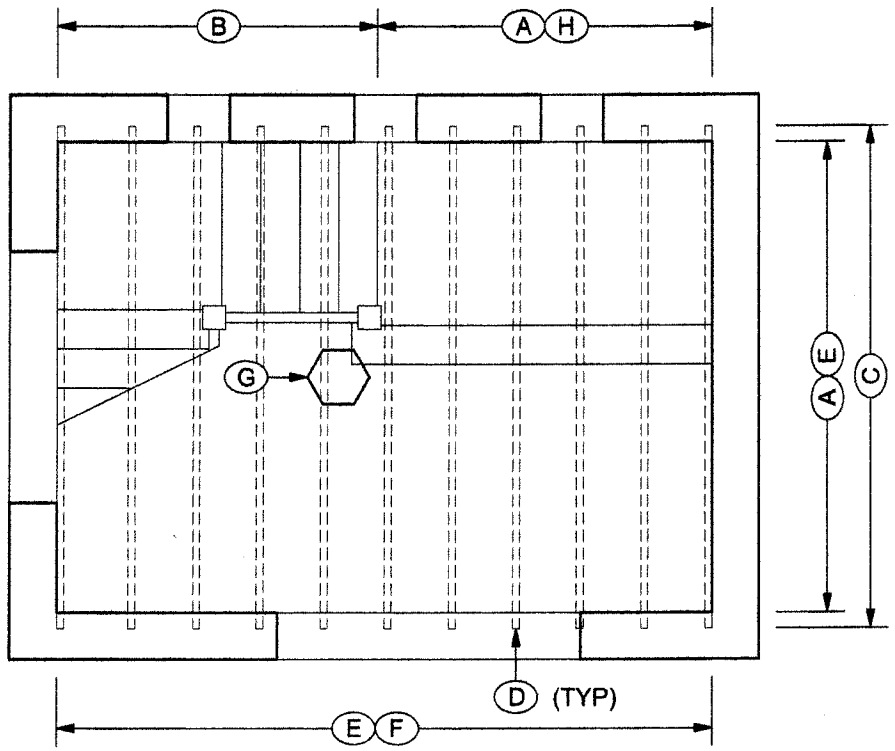
Title: President

Firm: Structural Integrity, Inc.

Address: 770 Oak ST
Portland, ME 04101

Phone: 207-774-4614

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



1 BELL TOWER FIRST FLOOR PLAN

1/4" = 1'-0"

ARCHITECTURAL KEY NOTES

(A) REMOVE AND SALVAGE EXISTING HARDWOOD FLOORING FOR REUSE.

(B) EXISTING STAIRS AND BALUSTRADES TO REMAIN IN PLACE. SHORE AS REQUIRED.

(C) REMOVE EXISTING ROTTED 2X10 FRAMING AS INDICATED. PRIOR TO REMOVAL, GENERAL CONTRACTOR SHALL MEASURE AND RECORD EXISTING DIMENSIONAL RELATIONSHIPS BETWEEN STRUCTURE AND FINISHES. POSITION NEW FRAMING IN SUCH A WAY AS TO PROVIDE FOR REASSEMBLY OF FLOOR FINISH, BALUSTRADE, BASEBOARDS, FLOOR HATCH, ETC. IN PRECISE, ORIGINAL LOCATIONS.

(D) EXISTING MASONRY POCKETS TO REMAIN OPEN. GC TO VERIFY THAT ALL NEW TAPCON LEDGER SCREWS ARE MIN. 4" TO EITHER SIDE OF EACH POCKET EDGE.

(E) CUT AND POINT 2' HIGH SWATH OF MASONRY AT FLOOR FRAMING. ASSUME 35% BRICK REPLACEMENT. RESTORATION MORTAR SHALL MEET REQUIREMENTS OF ASTM C 270 AND SHALL CONSIST OF 1 PART HYDRATED TYPE N LIME (CODEX HIGH-CALCIUM); 1 PART WHITE PORTLAND CEMENT; AND 6 PARTS SAND TO BE MATCH EXIST. REMOVE MORTAR FROM JOINTS TO 1 INCH OR TO SOUND MORTAR, WHICHEVER IS GREATER, DO NOT DAMAGE BRICK. USING A LONG, THIN POINTING TROWEL, TIGHTLY PACK MORTAR INTO JOINTS IN 1/4" LAYERS. ALLOW EACH LIFT TO REACH THUMBPRINT HARDNESS BEFORE APPLYING SUCCEEDING LAYER. AT THE END OF EACH WORK PERIOD, STAGGER LAYERS IN JOINTS MIN. 3" APART.

(F) INSTALL NEW WOOD FRAMING AS PER STRUCTURAL DRAWINGS.

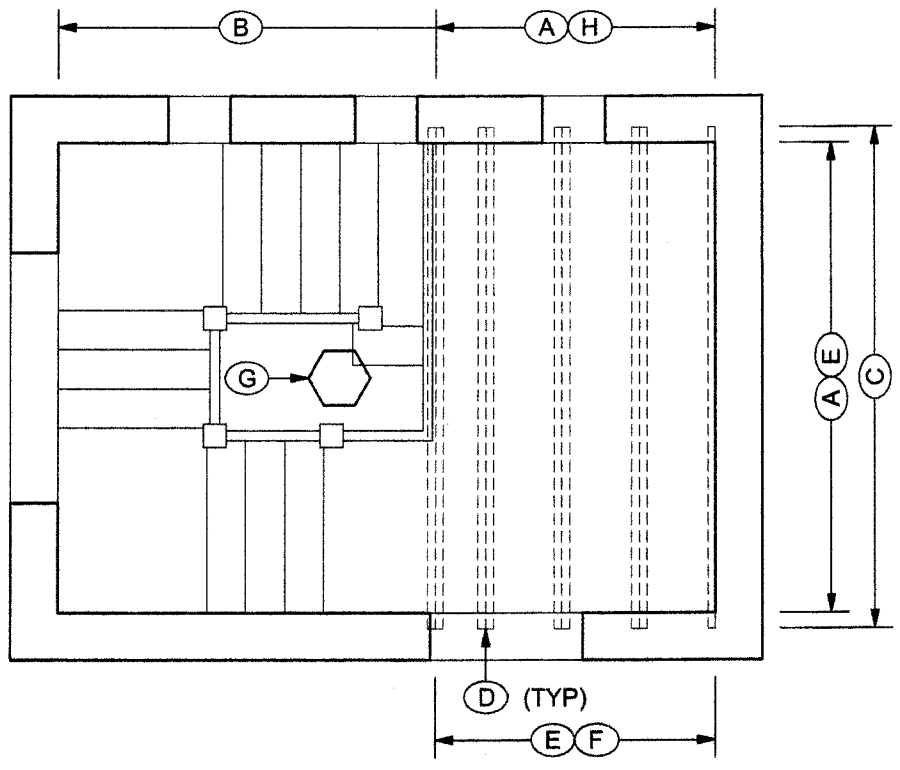
(G) EXISTING BUILT-UP WOOD COLUMN TO REMAIN IN PLACE. SHORE AS REQUIRED.

(H) REINSTALL SALVAGED HARDWOOD FLOORING AND ANY ASSOCIATED WOOD FINISHES REQUIRED TO BE REMOVED TO FACILITATE INSTALLATION OF NEW FRAMING AND RE-POINTING WORK.

(J) REINSTALL SALVAGED HATCH CASING. FABRICATE NEW OPERABLE WOOD DOOR HATCH TO MATCH EXISTING. INSTALL 4 NEW 6" MARINE GRADE STAINLESS STEEL STRAP HINGES.

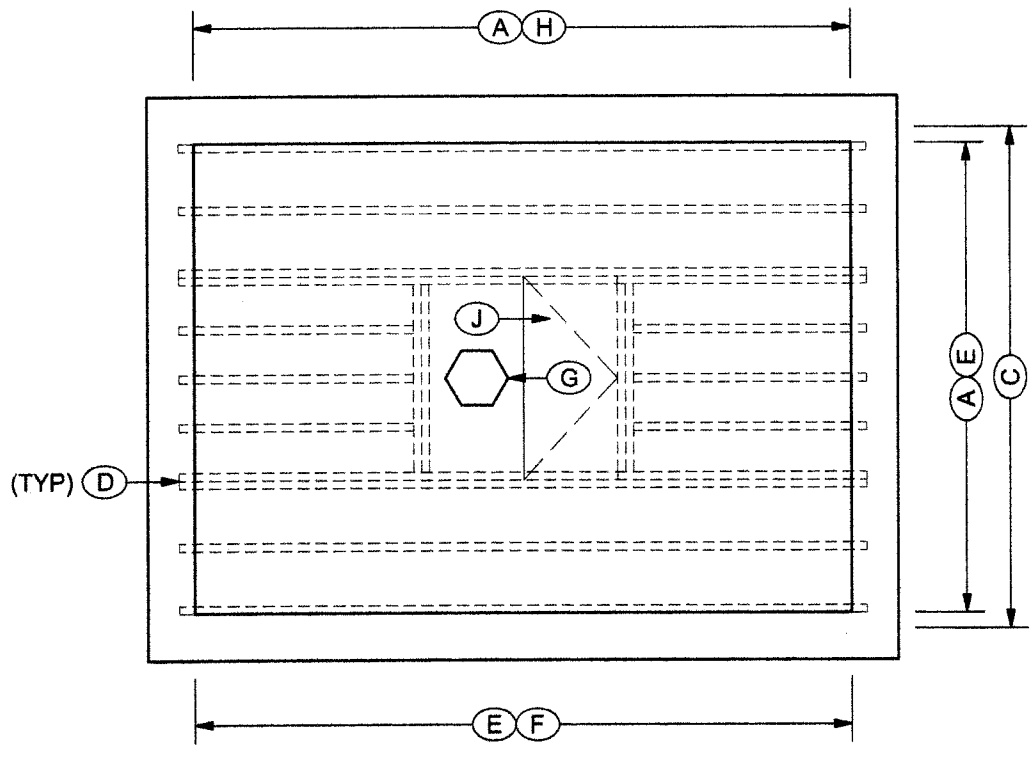
GENERAL NOTES

1. PRIOR TO CONSTRUCTION, GC GENERAL SHALL SUBMIT PRODUCT DATA TO ARCHITECT FOR REVIEW.AND COMMENT.
2. ALL WORK SHALL CONFORM TO CITY OF PORTLAND, STATE, AND FEDERAL REGULATIONS.
3. THIS PROPERTY IS LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES AND ALL WORK IS REQUIRED TO CONFORM TO THE *SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES.*



2 BELL TOWER SECOND FLOOR PLAN

1/4" = 1'-0"



3 BELL TOWER THIRD FLOOR PLAN

1/4" = 1'-0"

REGISTERED ARCHITECT
JOHN TURK
No. 2059
STATE OF MAINE

ttl- architects,
28 Danforth Street, Suite 213
Portland, Maine 04101
ph: 207.761.9662

WILLISTON WEST - BELL TOWER
FLOOR REPAIR
PORTLAND, MAINE

OWNER:
32 THOMAS STREET, LLC

DATE:
22 FEBRUARY 2012

PROJECT NO.:
1120

A-1

12-0007
Bell Tower Repairs
Wilston-West Church
Portland, ME

DESIGN LIVE LOADS: 2009 IBC/MUEBC, U.O.N.
* Floors and Landings 100 psf

STRUCTURAL STEEL:
* Angles, misc: ASTM A36
* Expansion Anchors shall be ICC-ES approved, installed in accordance with manufacturers specifications.
  In concrete: Wedge Type
  In solid masonry: Sleeve Type
* Non-shrink grout beneath column base and beam bearing plates shall be non-metallic with minimum compressive strength 5000psi.

WOOD FRAMING:
* Dimension Lumber is designed and shall be supplied using BASE VALUES Design Criteria.
* SPF #2 and better (Maximum Moisture Content 19%) U.O.N.
  Plates: Sill plates: Pressure Treated SPF or Southern Pine:
  "Pressure treated lumber" shall be framing material of the specified species which has been pressure treated with a decay and insect resistant solution, meeting all current standards for wood in contact with concrete or earth.
  Sill plates in contact with masonry or concrete foundations, footings or slabs may be treated Timber Strand LSL (zinc borate treatment). Sodium borate treatment may also be acceptable for sill plate applications when protected from weather.
  Acceptable treatment mediums for wood in contact with earth or in exterior applications include ACQ-C and ACQ-D (Alkaline Copper Quaternary) and copper azole (CBA-A and CBA-B).
  DO NOT USE WOODS WHICH HAVE BEEN TREATED WITH AMMONIA BASED CARRIERS.
  All connectors shall meet the recommendations of the pressure treated wood manufacturer, but shall be not less than Hot Dipped Galvanized meeting requirements of ASTM A653, such as Simpson ZMAX. (G185). All screws, nails and bolts shall match hangers and other connectors, and shall meet ASTM A123 for individual connectors and ASTM A153 for fasteners.
  For durability, it is our recommendation that connectors used in exposed conditions with treated lumber be stainless steel.
  Do not mix galvanized and stainless products.
  Do not allow aluminum to contact treated wood.
* All plywood and oriented strand board (OSB) sheathing shall be engineered grades with APA grade stamp indicating appropriate maximum spacing of supports.
  Floor sheathing: nominal 3/4", OSB T+G Sturd-I_Floor 24 span rating glued and nailed.
* Minimum nailing shall comply with IBC Table 2304.9.1 except where more or larger nailing shown on drawings.
* Cross bridge all dimension lumber floor joists at midspan and provide solid blocking or rim joists at all joist supports and joist ends.
* Metal connectors: Simpson Strong Tie unless otherwise noted, installed with number and type of nails to achieve maximum rated capacity. Note that heavy duty and skewed hangers may require special order.
* All beams shall be braced against rotation at points of bearing.
* Drypack grout all beam pockets full after beams are set.
* Unless otherwise indicated, install two lengths of solid blocking x joist depth x 12 inches long in floor framing under column loads. Columns must have a continuous load path to foundation.
* Lead holes for lag bolts shall be 60% to 70% of lag shank diameter in compliance with AITC criteria.

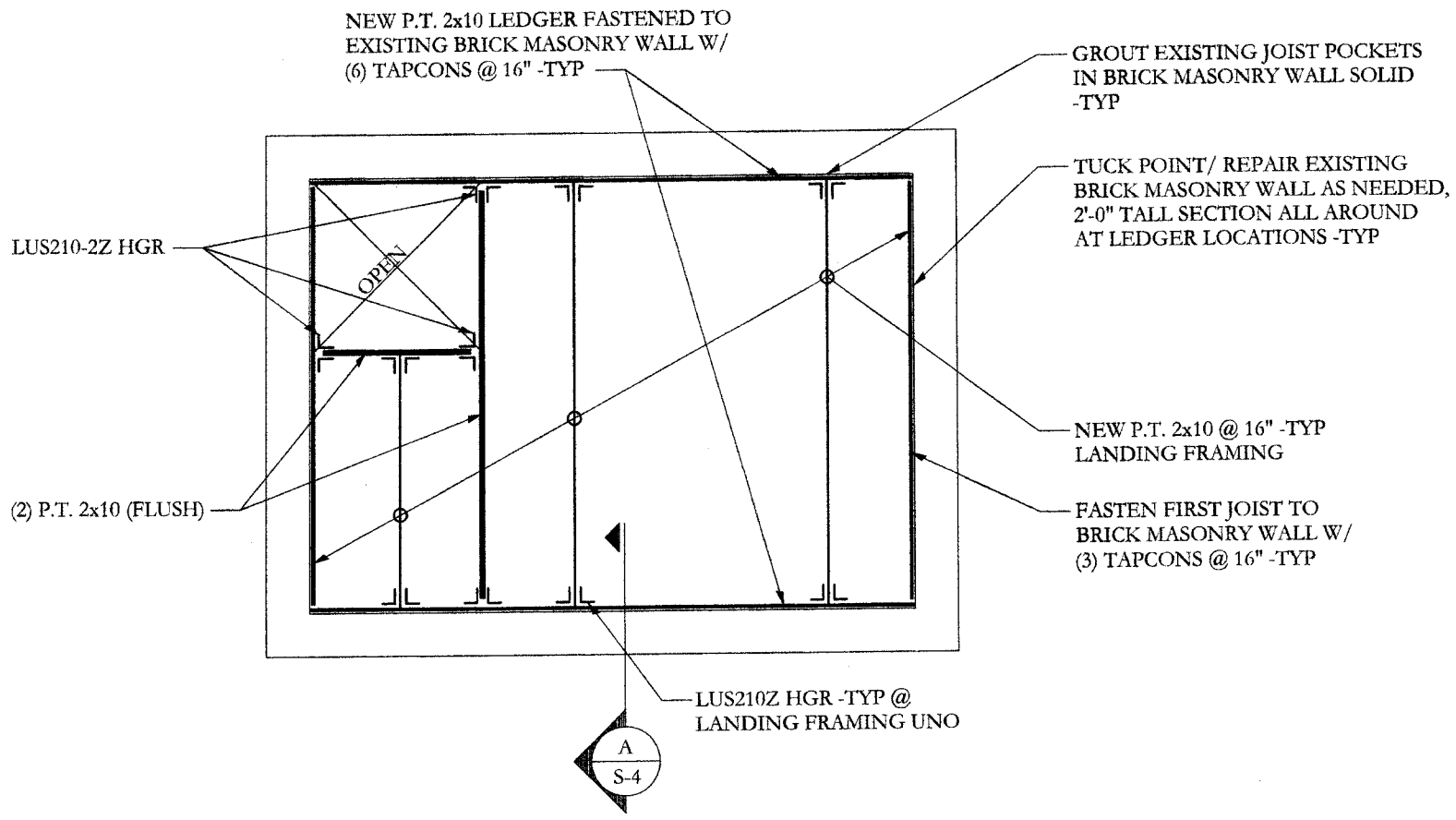
STRUCTURAL ERECTION AND BRACING REQUIREMENTS
* The structural drawings illustrate the completed structure with all elements in their final positions, properly supported and braced. The contractor, in the proper sequence, shall provide proper shoring and bracing as may be required to achieve the final completed structure.
* These plans have been engineered for construction at one specific building site. Builder assumes ALL responsibility for use of these plans at Any Other building site. Plans shall not be used for construction at any other building site without specific review by the engineer.
* Observations of framing required by the owner, lender, insurer, building department or any other party will be accomplished by the engineer at the owner's expense. At least 24 hours advance notice is requested.

Structural Drawing Index

STATE OF MAINE
AARON C. JONES
No. 10968
LICENSED PROFESSIONAL ENGINEER
2/20/12

Drawing: General Notes	Date: 2/20/12	Scale:	Project: Bell Tower Framing Repairs, Portland, ME	Structural Integrity Consulting Engineers, Inc.	S-0
	Issued: FOR CONSTRUCTION			77 Oak Street, Portland, ME, 04101, p. 207-774-4614, f. 866-793-7835, www.structuralinteg.com, BUILD WITH CONFIDENCE	

SI # 12-0007



BELL TOWER FIRST FLOOR LANDING FRAMING PLAN

SCALE 1/4"=1'-0"

NOTES:

1. ALL FRAMING TO BE PRESSURE TREATED SOUTHERN YELLOW PINE
2. ALL CONNECTORS TO BE GALVANIZED -TYP
3. ALL BEAMS ARE FLUSH, UNO
4. ALL FLOOR JOIST TO BE 2x10's @ 16" -TYP
5. FLOOR SHEATHING TO BE 3/4" T+G, SEE GENERAL NOTES FOR ADDITIONAL INFORMATION -TYP

STATE OF MAINE
AARON C. JONES
No. 10968
LICENSED PROFESSIONAL ENGINEER
2/20/12

Drawing: Bell Tower First Floor Landing Framing Plan	Date: 2/20/12	Scale: 1/4"=1'-0"	Project: Bell Tower Framing Repairs, Portland, ME	Structural Integrity Consulting Engineers, Inc.	S-1
	Issued: FOR CONSTRUCTION			77 Oak Street, Portland, ME, 04101 p. 207-774-4614 f. 866-793-7835 www.structuralinteg.com BUILD WITH CONFIDENCE	

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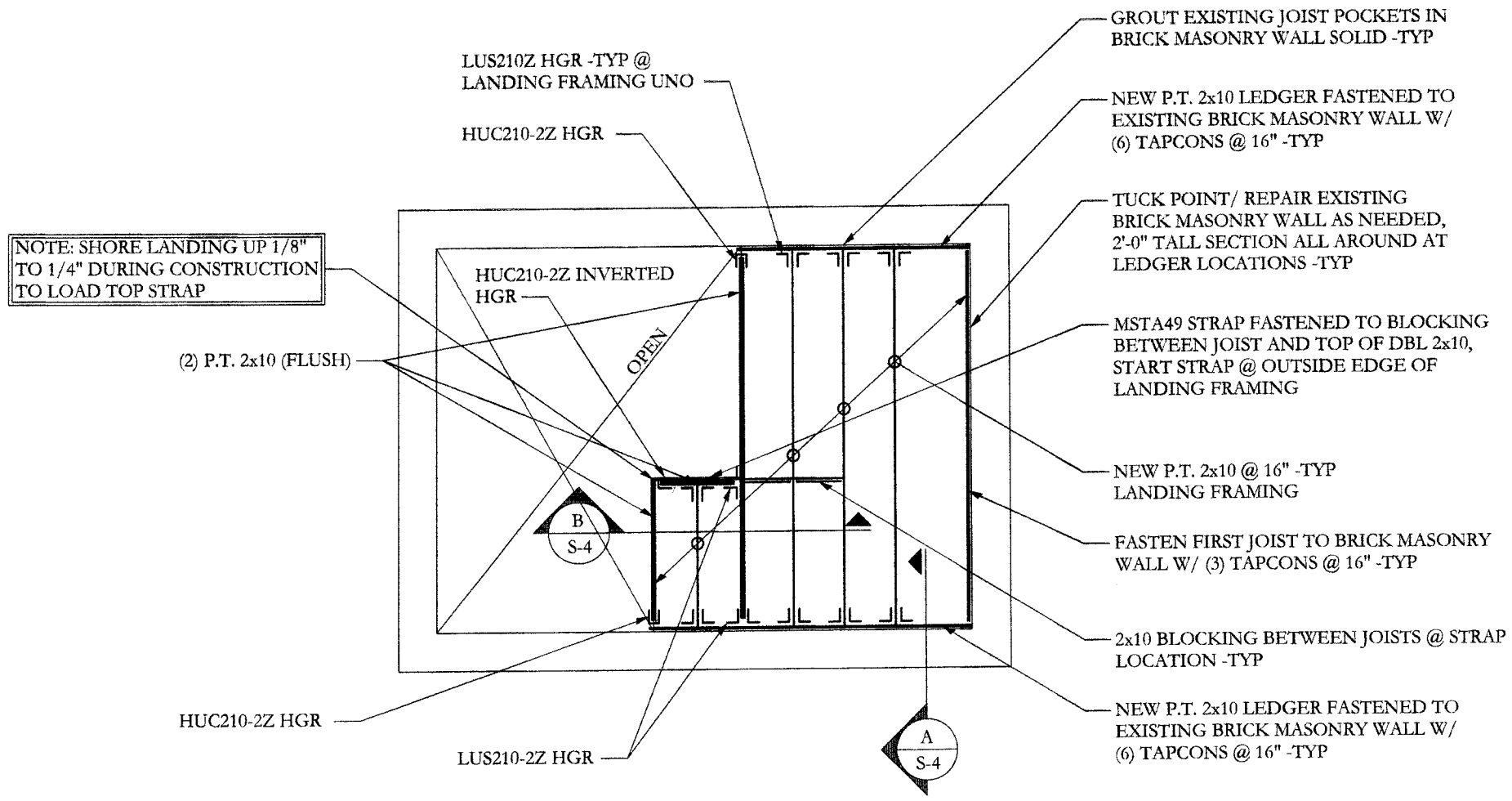


BELL TOWER SECOND FLOOR LANDING FRAMING PLAN

SCALE 1/4"=1'-0"

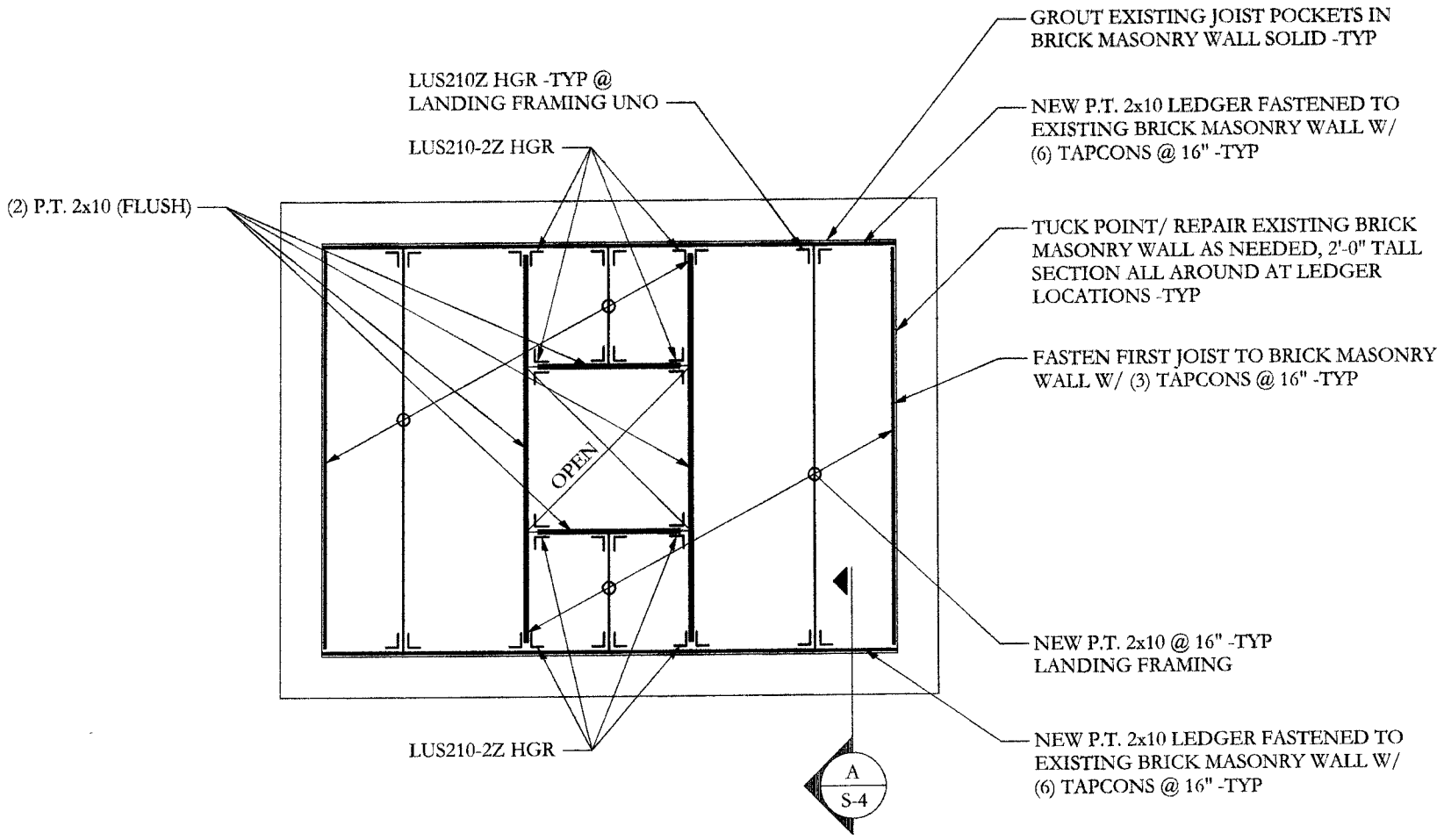
NOTES:

1. ALL FRAMING TO BE PRESSURE TREATED SOUTHERN YELLOW PINE
2. ALL CONNECTORS TO BE GALVANIZED -TYP
3. ALL BEAMS ARE FLUSH, UNO
4. ALL FLOOR JOIST TO BE 2x10's @ 16" -TYP
5. FLOOR SHEATHING TO BE 3/4" T+G, SEE GENERAL NOTES FOR ADDITIONAL INFORMATION -TYP

STATE OF MAINE
AARON C. JONES
No. 10988
LICENSED PROFESSIONAL ENGINEER
2/20/12

Drawing: Bell Tower Second Floor Landing Framing Plan	Date: 2/20/12	Scale: 1/4"=1'-0"	Project: Bell Tower Framing Repairs, Portland, ME	Structural Integrity Consulting Engineers, Inc.	S-2
	Issued: FOR CONSTRUCTION			77 Oak Street, Portland, ME, 04101 p. 207-774-4614 f. 866-793-7835 www.structuralinteg.com BUILD WITH CONFIDENCE	

SI # 12-0007



BELL TOWER THIRD FLOOR LANDING FRAMING PLAN

SCALE 1/4"=1'-0"

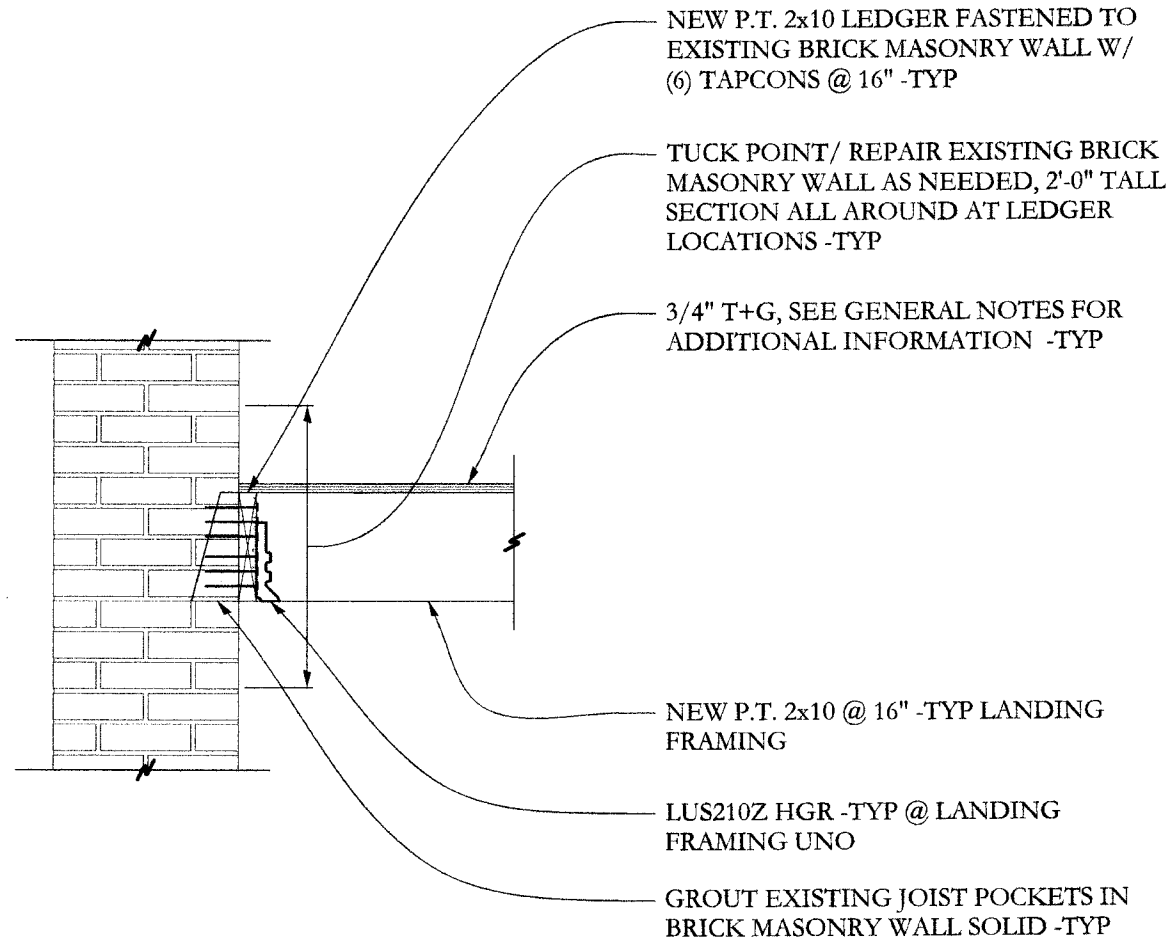
NOTES:

1. ALL FRAMING TO BE PRESSURE TREATED SOUTHERN YELLOW PINE
2. ALL CONNECTORS TO BE GALVANIZED -TYP
3. ALL BEAMS ARE FLUSH, UNO
4. ALL FLOOR JOIST TO BE 2x10's @ 16" -TYP
5. FLOOR SHEATHING TO BE 3/4" T+G, SEE GENERAL NOTES FOR ADDITIONAL INFORMATION -TYP

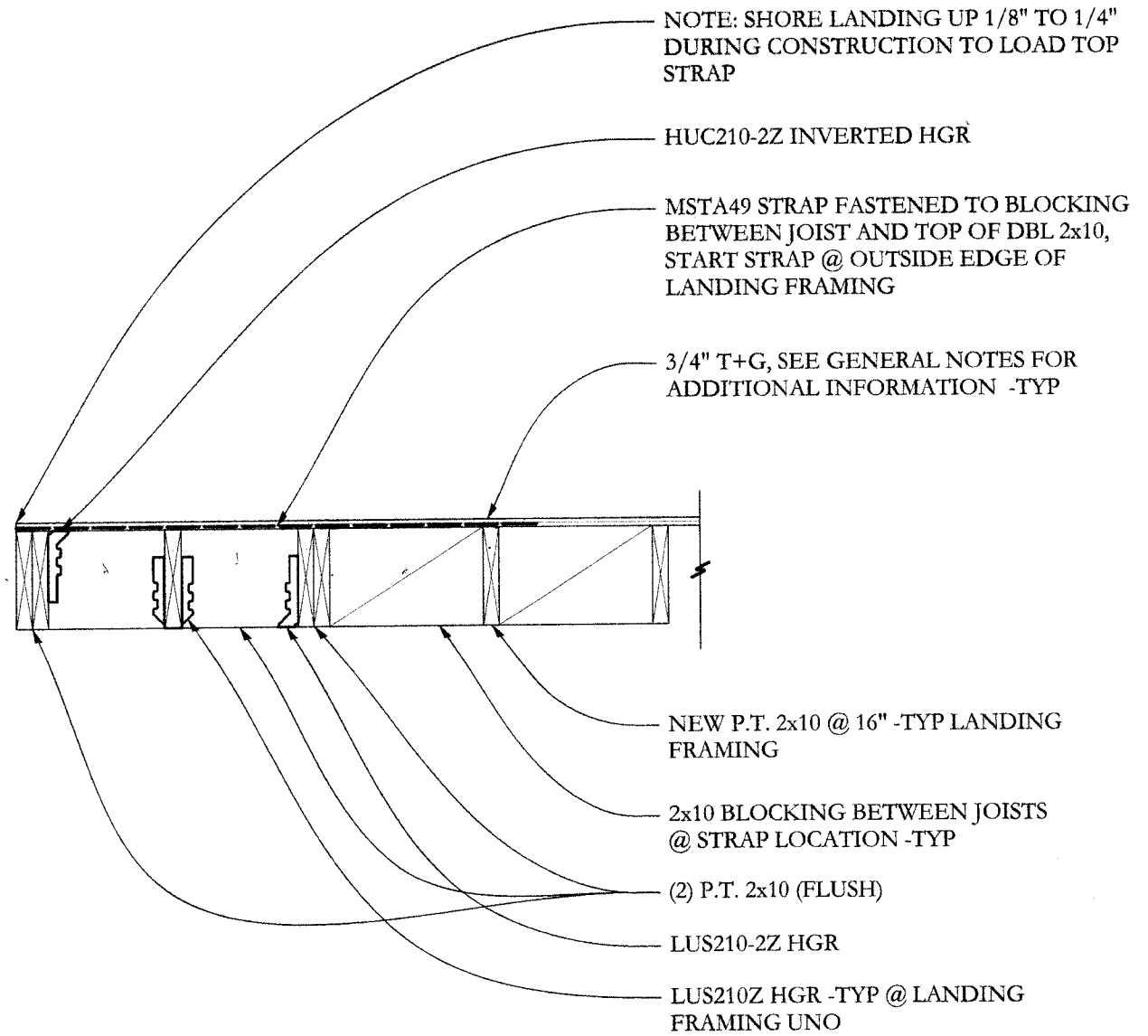
STATE OF MAINE
AARON C. JONES
No. 10968
LICENSED PROFESSIONAL ENGINEER
2/20/12

Drawing: Bell Tower Third Floor Landing Framing Plan	Date: 2/20/12	Scale: 1/4"=1'-0"	Project: Bell Tower Framing Repairs, Portland, ME	Structural Integrity Consulting Engineers, Inc.	S-3
	Issued: FOR CONSTRUCTION			77 Oak Street, Portland, ME, 04101, p. 207-774-4614, f. 866-793-7835, www.structuralinteg.com, BUILD WITH CONFIDENCE	

SI # 12-0007



SECTION A/S-4 3/4"=1'-0

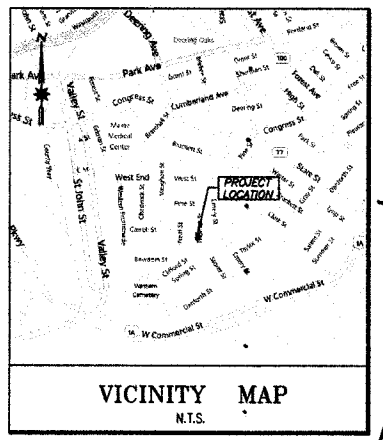


SECTION B/S-4 3/4"=1'-0

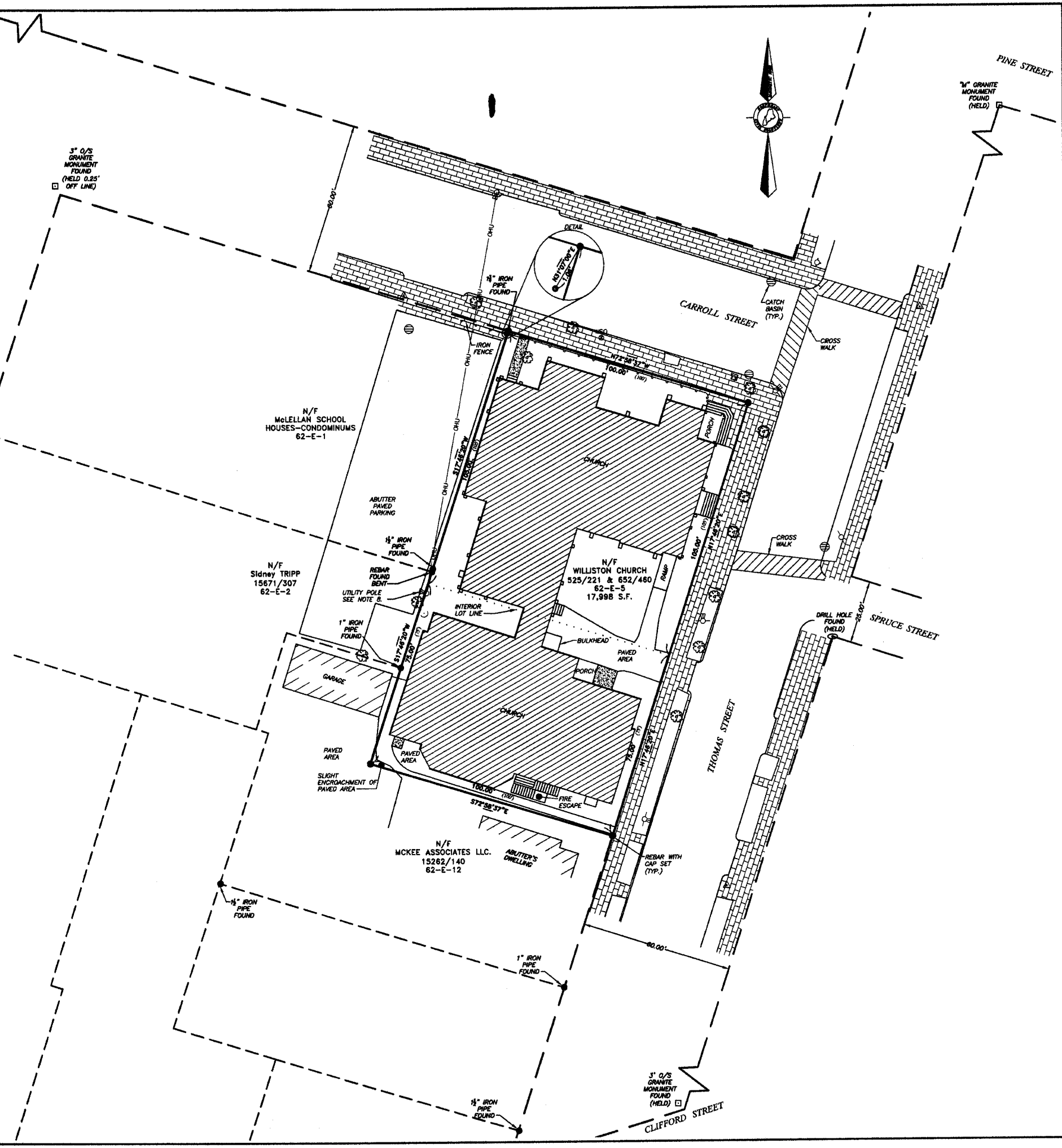
STATE OF MAINE
AARON C. JONES
No. 10968
LICENSED PROFESSIONAL ENGINEER

2/20/12

Drawing: Sections	Date: 2/20/12	Scale: 3/4"=1'-0"	Project: Bell Tower Framing Repairs, Portland, ME	Structural Integrity Consulting Engineers, Inc.	S-4
	Issued: FOR CONSTRUCTION			77 Oak Street, Portland, ME, 04101, p. 207-774-4614, f. 866-793-7835, www.structuralinteg.com, BUILD WITH CONFIDENCE	
				SI # 12-0007	



VICINITY MAP
N.T.S.



LEGEND

●	#5 REBAR WITH PLASTIC CAP STAMPED "NCS, INC. PLS 1314" SET ON 12/22/11
⊙	FOUND IRON PIPE (AS NOTED)
⊡	FOUND MONUMENT (AS NOTED)
⊛	FOUND DRILL HOLE
⊕	FOUND IRON ROD
	UTILITY POLE
	GUY WIRE ANCHOR
	FOUND DECIDUOUS TREE
	BOUNDARY LINE
	EASEMENT LINE
	EDGE OF PAVEMENT
	RIGHT-OF-WAY LINE
	ABUTTER LINE
OHU	OVERHEAD UTILITY
N/F	NOW OR FORMERLY OWNED BY
1234/567	DEED BOOK AND PAGE (CCRD)
12-3-45	TAX MAP-BLOCK-LOT
(123.45')	PARENTHESIS DENOTE RECORD DATA

NOTES

1. THE BASIS OF BEARING FOR THIS SURVEY MAGNETIC 1980 AND FROM PLAN REFERENCED IN NOTE 4.a.
2. DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
3. RECORD OWNERSHIP OF THE PARCELS SURVEYED CAN BE FOUND IN THE FOLLOWING DEEDS OF RECORD:
   a. DEED FROM ABBY STEEL TO WILLISTON CHURCH DATED APRIL 13, 1886 AND RECORDED IN DEED BOOK 525, PAGE 221.
   b. DEED FROM EDWARD CHASE TO WILLISTON CHURCH DATED SEPTEMBER 9, 1897 AND RECORDED IN DEED BOOK 652, PAGE 460.
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
   a. PLAN OF LAND ON NEAL AND CARROLL STREETS PORTLAND, MAINE FOR MCLELLAN SCHOOL HOUSES, BY OWEN HASKELL, INC., DATED DECEMBER 15, 1982 AND RECORDED IN PLAN BOOK 97, PAGE 1.
   b. CLIFFORD STREET CONDOMINIUM AT 15 CLIFFORD STREET PORTLAND, MAINE FOR WILLIAM HAMILL, BY OWEN HASKELL, INC, DATED SEPTEMBER 10, 1980 AND RECORDED IN PLAN BOOK 37, PAGE 1.
   c. PLAN OF REVALUATION PLAN OF PORTLAND, DATED OCTOBER 24, 1884 AND RECORDED IN PLAN BOOK 5, PAGE 62.
   d. VARIOUS RIGHT-OF-WAY PLANS OBTAINED FROM THE CITY OF PORTLAND ENGINEERING DEPARTMENT.
5. THE PARCEL SURVEYED IS IDENTIFIED ON THE CITY OF PORTLAND TAX ASSESSOR'S MAP 62, BLOCK E, PARCEL 5.
6. THE PARCEL SURVEYED IS LOCATED IN THE R-4 ZONE/DISTRICT. PORTIONS OF BULK AND SPACE REQUIREMENTS ARE AS FOLLOWS:
   MINIMUM STREET FRONTAGE.....50'
   MINIMUM FRONT YARD.....25'
   MINIMUM SIDE YARD.....10*
   MINIMUM REAR YARD.....25'
   *SIDE YARD IS DETERMINED BY HEIGHT OF STRUCTURE AND CAN INCREASE TO 16'
7. THE WIDTH AND LAYOUT OF CARROLL AND THOMAS STREETS IS 60' AND FROM PLANS REFERENCED IN NOTES 4.d
8. REFERENCE IS MADE TO THE FOLLOWING EASEMENTS OF RECORD:
   a. SUBJECT TO THE RIGHT OF CENTRAL MAINE POWER AND NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY TO CONSTRUCT, ERECT, REBUILD, OPERATE, MAINTAIN AND REMOVE ELECTRIC DISTRIBUTION AND COMMUNICATION LINES AS DESCRIBED IN DEED BOOK 3157, PAGE 51.
9. THE UTILITIES SHOWN ON THIS PLAN WERE FROM FIELD OBSERVATION ONLY. THERE MAY BE OTHER UTILITIES EXISTING THAT ARE NOT SHOWN. CONTACT DIG-SAFE (888)DIG-SAFE PRIOR TO ANY EXCAVATION WORK.
10. THERE IS MENTION OF AN UNDERGROUND OIL STORAGE FACILITY IN DEED BOOK 9824, PAGE 158. THE LOCATION OF THIS FACILITY IS UNKNOWN

Revisions	By	Date	Changes
1	ADA	12/22/11	UPDATED SET MONUMENTATION

PROJECT: 33078	DRAWING NAME: 33078.DWG
DATE: DECEMBER 13, 2011	SCALE: 1"=20'
FIELDED BY: ADA	DRAWN BY: ADA

Drawing Name and Location:
BOUNDARY SURVEY
26 THOMAS STREET, PORTLAND, MAINE

Owner:
WILLISTON CHURCH
26 THOMAS STREET, PORTLAND, MAINE

Prepared For:
MAJELLA GLOBAL TECHNOLOGY DEVELOPMENT
1200 MIDDLE STEET, PORTLAND, MAINE

SURVEYING ENGINEERING LAND PLANNING
Northeast Civil Solutions
INCORPORATED
153 US ROUTE 1, SCARBOROUGH, MAINE 04074
tel 207.883.1000 800.882.2227
fax 207.883.1001
e-mail info@northeastcivilsolutions.com

0 20' 40' 80'

STAMP AND SIGNATURE

M. JOHANN BUSSMAN 1314 STATE OF MAINE REGISTERED LAND SURVEYOR

M. JOHANN BUSSMAN
MAINE P.L.S. No. 1314

12-22-11
DATE

IF THIS PLAN DOES NOT CONTAIN AN EMBOSSED SEAL, IT IS NOT AN ORIGINAL AND MAY BE VOID.

EMBOSSED SEAL ABOVE

E:\Land Projects\33000's\33078 Williston Church\dwg\33078.dwg