

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

PERMIT ISSUED

Permit Number: 080570

JUL - 3 2008

CITY OF PORTLAND

This is to certify that MCCOLLUM COURTNEY BUTCHINS / Raymond Keith C. Centrhas permission to reconfigure porch stairs etc. w/ addition for new entry to kitchenAT 124 PINE ST

062 B007001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permit is procured before this building or part thereof is altered or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Craig Cross

Health Dept. _____

Appeal Board _____

Other _____

Department Name

James F. Luke 7/7/08
Director - Building & Inspection Services

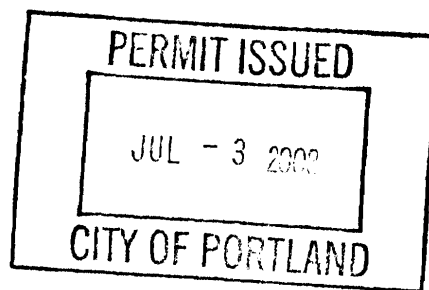
PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0570		Issue Date:		CBL: 062 B007001	
Location of Construction: 124 PINE ST		Owner Name: MCCOLLUM COURTNEY HUTC		Owner Address: 124 PINE ST	
Business Name:		Contractor Name: Raymond Keith Carpentry		Contractor Address: 1 Bowdoin St. Portland	
Lessee/Buyer's Name		Phone:		Phone: 2073292308	
Past Use: Three Family Home		Proposed Use: Three Family Home - reconfigure porch stairs, expand porch on side & bay addition for new entry to kitchen		Permit Fee: \$340.00	
				Cost of Work: \$32,000.00	
				CEO District: 2	
				FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	
				INSPECTION: Use Group: R3 Type: SB IRL-2003 Signature: Greg Cross Signature: JMB 7/7/08	
Proposed Project Description: reconfigure porch stairs, expand porch on side & bay addition for new entry to kitchen				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date:	

Permit Taken By: Idobson	Date Applied For: 05/27/2008	Zoning Approval		
<ol style="list-style-type: none">This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.Building permits do not include plumbing, septic or electrical work.Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 6/16/08 ABM	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation Y4 <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 6/16/08 SEH

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Date Applied For:	CBL:
08-0570	05/27/2008	062 B007001

Location of Construction: 124 PINE ST	Owner Name: MCCOLLUM COURTNEY HUTC	Owner Address: 124 PINE ST	Phone:
Business Name:	Contractor Name: Raymond Keith Carpentry	Contractor Address: 1 Bowdoin St. Portland	Phone (207) 329-2308
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Multi Family	

Proposed Use: Three Family Home - reconfigure porch stairs, expand porch on side & bay addition for new entry to kitchen	Proposed Project Description: reconfigure porch stairs, expand porch on side & bay addition for new entry to kitchen
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Dept: Historic Status: Approved Reviewer: Scott Hanson Approval Date: 06/16/2008
Note: Ok to Issue: ☒

Dept: Zoning Status: Approved with Conditions Reviewer: Ann Machado Approval Date: 06/16/2008
Note: Ok to Issue: ☒

- 1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
- 2) This property shall remain a three family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building Status: Approved with Conditions Reviewer: Jeanine Bourke Approval Date: 07/07/2008
Note: Ok to Issue: ☒

- 1) Per Ray K. If the change of grade at the new exterior steps is over 30" he will add a guardrail per code and historic review. This entrance is only used by 1 unit. The other units have separate entrances.
- 2) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 3) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

Dept: Fire Status: Approved with Conditions Reviewer: Capt Greg Cass Approval Date: 06/19/2008
Note: Ok to Issue: ☒

- 1) Means of egress to remain accessible at all times

Comments:

6/2/2008-amachado: Plot plan does not show rear setback.

6/5/2008-mes: called back the contractor and told him that we need a plot plan with dimensions. Verbally over voice mail he believes that there is over 24 feet to the rear property line. We still need a plot plan - I also noticed a difference in what the assessors have (3 DU) and the single family application use. Needs research to determine what the City thinks the legal use is.

6/9/2008-amachado: Legal use is a three family per permit #96-0535. Gave siteplan exemption to planning. Moving permit forward but waiting for full plot plan to sign off.

Location of Construction: 124 PINE ST	Owner Name: MCCOLLUM COURTNEY HUTC	Owner Address: 124 PINE ST	Phone:
Business Name:	Contractor Name: Raymond Keith Carpentry	Contractor Address: 1 Bowdoin St. Portland	Phone (207) 329-2308
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Multi Family	

6/13/2008-lmd: Received plot plan

6/23/2008-gg: received granted site exemption as of 6/23/08. /gg with permit (Tammy)

7/7/2008-jmb: Ray Keith came in with revised plans, ok to issue

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

**CITY OF PORTLAND
HISTORIC PRESERVATION
CERTIFICATE OF APPROPRIATENESS**

This is to certify that

VAN DAM ARCHITECTS

has received approval for

EXTERIOR ALTERATIONS

at

124 PINE ST.

provided that the person or persons, firm or corporation accepting this Certificate shall comply with all other applicable provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in the Historic Preservation Office of the Planning Department. For more information on this project call 874-8719.



Historic Preservation Manager

NOTE: THIS IS NOT A BUILDING PERMIT

City of Portland, Maine -- Building or Use Permit Application 389 Congress St

Location of Construction: 124 Pine St		Owner: A & I Investments	
Owner Address:	Lease/Buyer's Name:	Phone:	
Contractor Name: * Van Afes (owner)	Address: 122 Pine St Portland, ME	Phone: 04102	
Past Use: 1-fam	Proposed Use: 3-fam	COST OF WORK: \$	
Proposed Project Description: Pre-existing three family. Change Use to legalize		FIRE DEPT. <input checked="" type="checkbox"/> Ap; <input type="checkbox"/> De; Signature: <i>[Signature]</i> PEDESTRIAN ACTION: Ap; Ap; De; Signature:	
Permit Taken By: Mary Gresik		Date Applied For: 22 April 1	

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

*Raise
send to:*
P. INCARNATO
RR3 Box 56
Bridgton, Me 04009

PERMIT ISSUED
WITH REQUIREMENTS

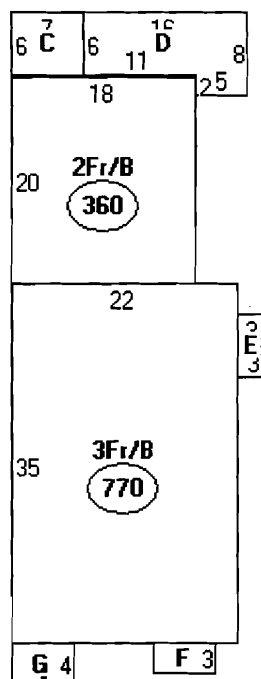
CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable if a permit for work described in the application issued, I certify that the code official's authorized representative areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such p

Van B. Gies
SIGNATURE OF APPLICANT Van Afes ADDRESS: DATE: 22 April

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Put



Descriptor/Area

A: 3Fr/B
770 sqft

B: 2Fr/B
360 sqft

C: WD
42 sqft

D: 1Fr/DP
106 sqft

E: 2FBAY/B
18 sqft

F: 2FBAY/B
18 sqft

G: OFP
24 sqft

1338

APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

Applicant

Application Date

Applicant's Mailing Address

Project Name/Description	Start Date	End Date	Status	Progress (%)	Notes
Project A	2023-01-01	2023-03-31	Completed	100	On time and within budget.
Project B	2023-04-01	2023-06-30	In Progress	75	Minor delays, but on track.
Project C	2023-07-01	2023-09-30	Not Started	0	Awaiting resources.
Project D	2023-10-01	2023-12-31	On Hold	0	Re-evaluating scope.

Consultant/Agent/Phone Number

Address of Proposed Site

CBL: 60 15 11 1

Description of Proposed Development:

Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:

See Section 14-523 (4) on back side of form

- a) Within Existing Structures; No New Buildings, Demolitions or Additions
- b) Footprint Increase Less Than 500 Sq. Ft.
- c) No New Curb Cuts, Driveways, Parking Areas
- d) Curbs and Sidewalks in Sound Condition/Comply with ADA
- e) No Additional Parking/ No Traffic Increase
- f) No Stormwater Problems
- g) Sufficient Property Screening
- h) Adequate Utilities

Applicant's Assessment
(Yes, No, N/A)

**Planning Office
Use Only****Planning Division Use Only**



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>124 Pine St.</u>		
Total Square Footage of Proposed Structure/Area <u>1355 SQ FT</u>		Square Footage of Lot <u>3500 SQ FT.</u>
Tax Assessor's Chart, Block & Lot Chart# <u>62</u> Block# <u>B</u> Lot# <u>7</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Courtney McGowan</u> Address <u>124 Pine St.</u> City, State & Zip <u>04102</u>	Telephone: <u>899 4268</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip <u>Three</u>	Cost Of Work: \$ <u>32,000</u> C of O Fee: \$ Total Fee: \$ <u>340</u>
Current legal use (i.e. single family) <u>Single family</u> If vacant, what was the previous use? Proposed Specific use: <u>NO CHANGE</u> Is property part of a subdivision? <u>NO</u> If yes, please name Project description: <u>reconfigure porch stairs etc.</u> <u>Bay Addition for new entry to kitchen</u> <div style="text-align: right;">MAY 27 2008</div>		
Contractor's name: <u>Raymond T. Keith Carpenter LLC</u>		
Address: <u>1 Bowdoin St.</u>		
City, State & Zip: <u>PORTLAND, ME. 04102</u>		Telephone: <u>202 329-2308</u>
Who should we contact when the permit is ready: <u>RAY KEITH</u>		Telephone:
Mailing address: <u>SAME.</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature

Ray T. Keith Date: 5/27/08

This is not a permit; you may not commence ANY work until the permit is issued

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HISTORIC PRESERVATION
CERTIFICATE OF APPROPRIATENESS**

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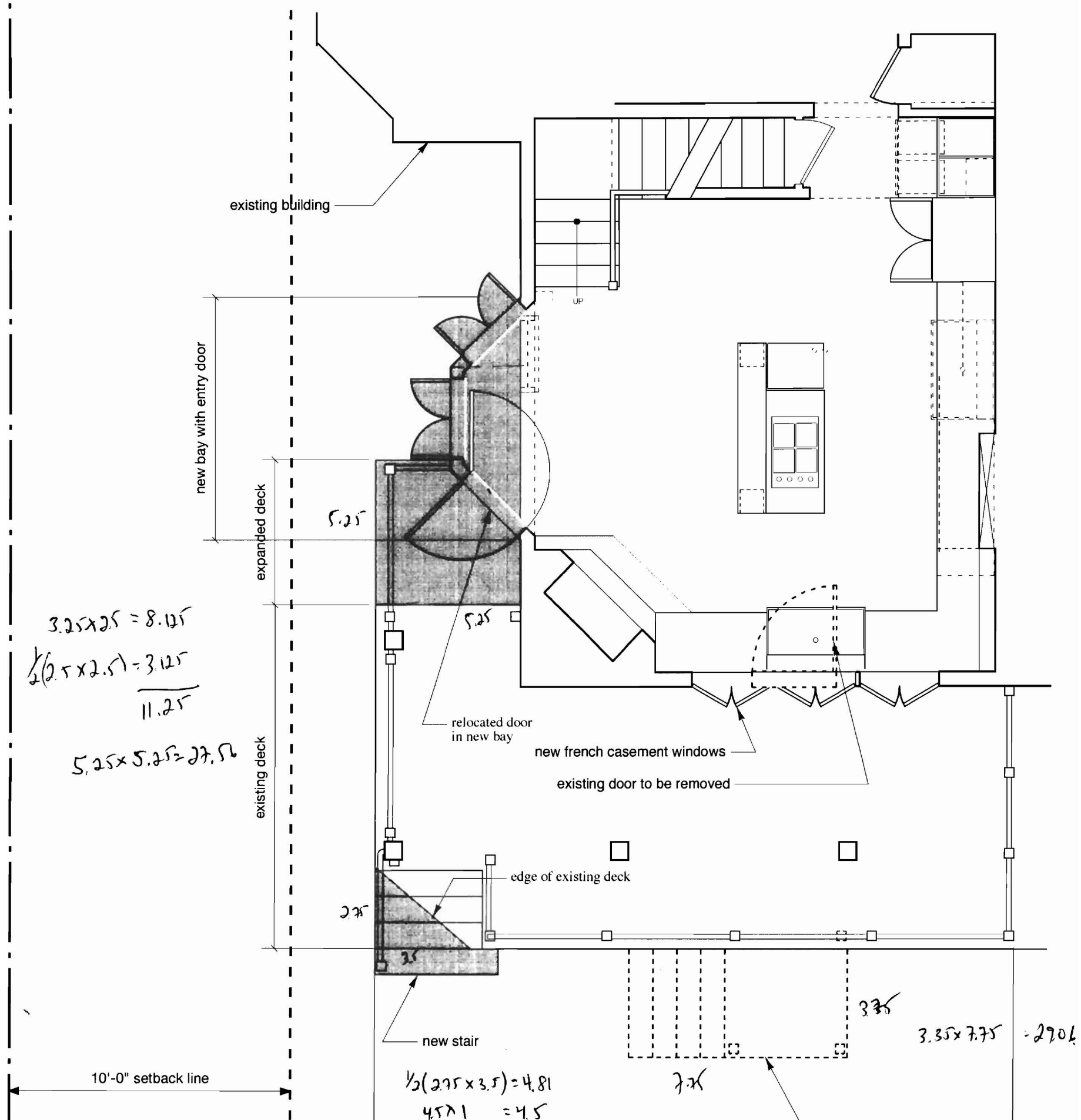
124 PINE ST.

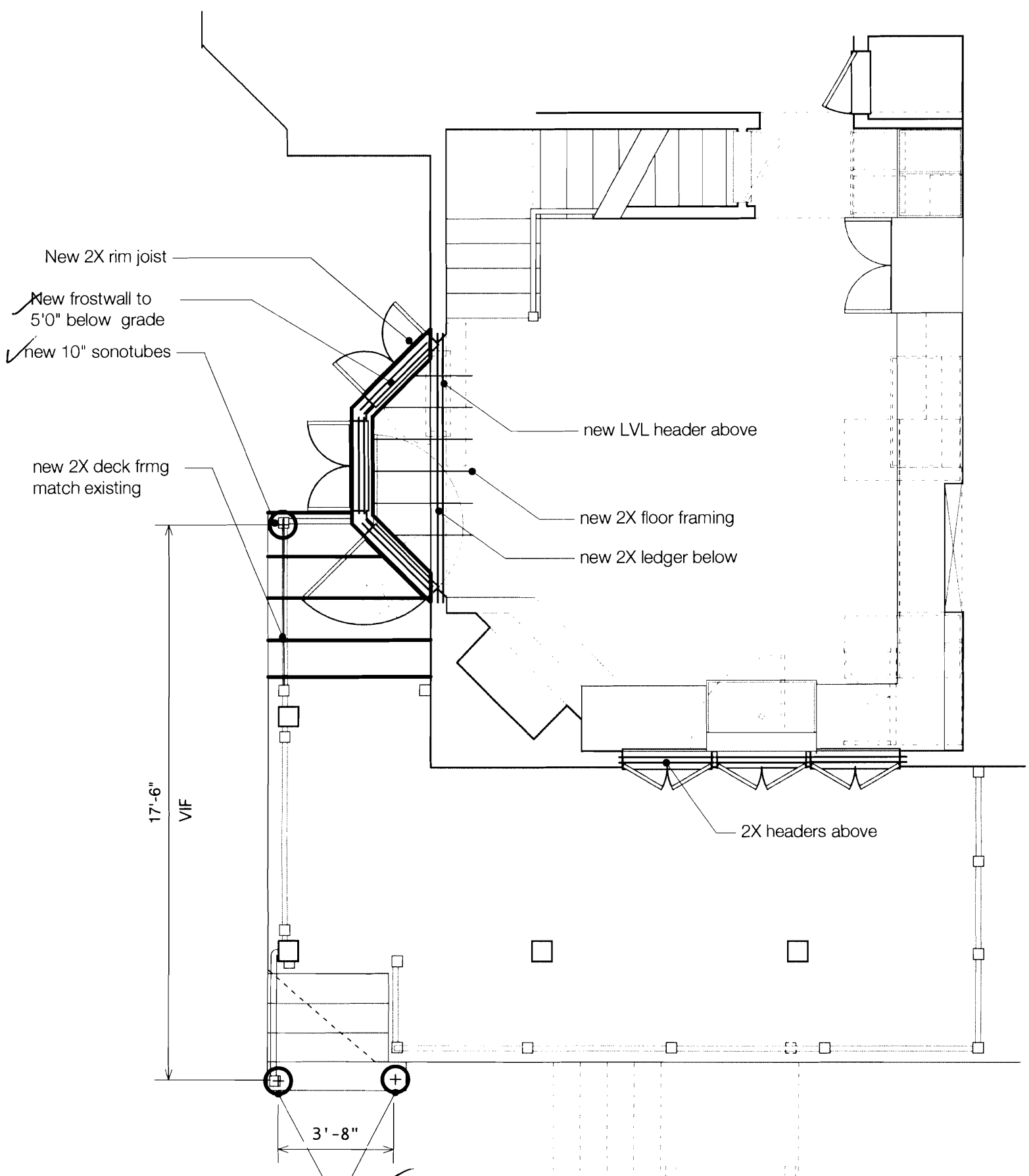
provided that the person or persons, firm or corporation accepting this Certificate shall comply with all other applicable provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in the Historic Preservation Office of the Planning Department. For more information on this project call 874-8719.



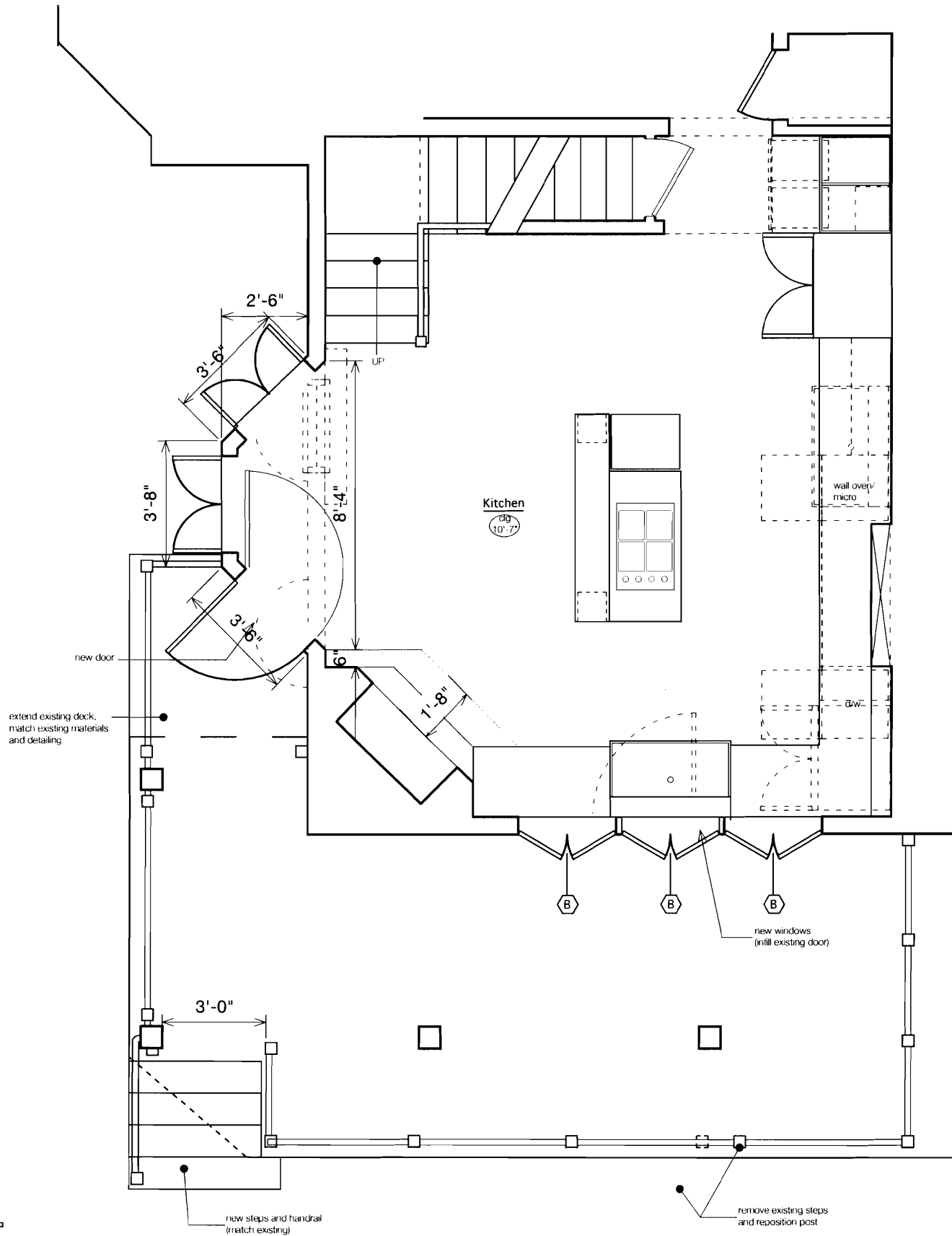
Historic Preservation Manager

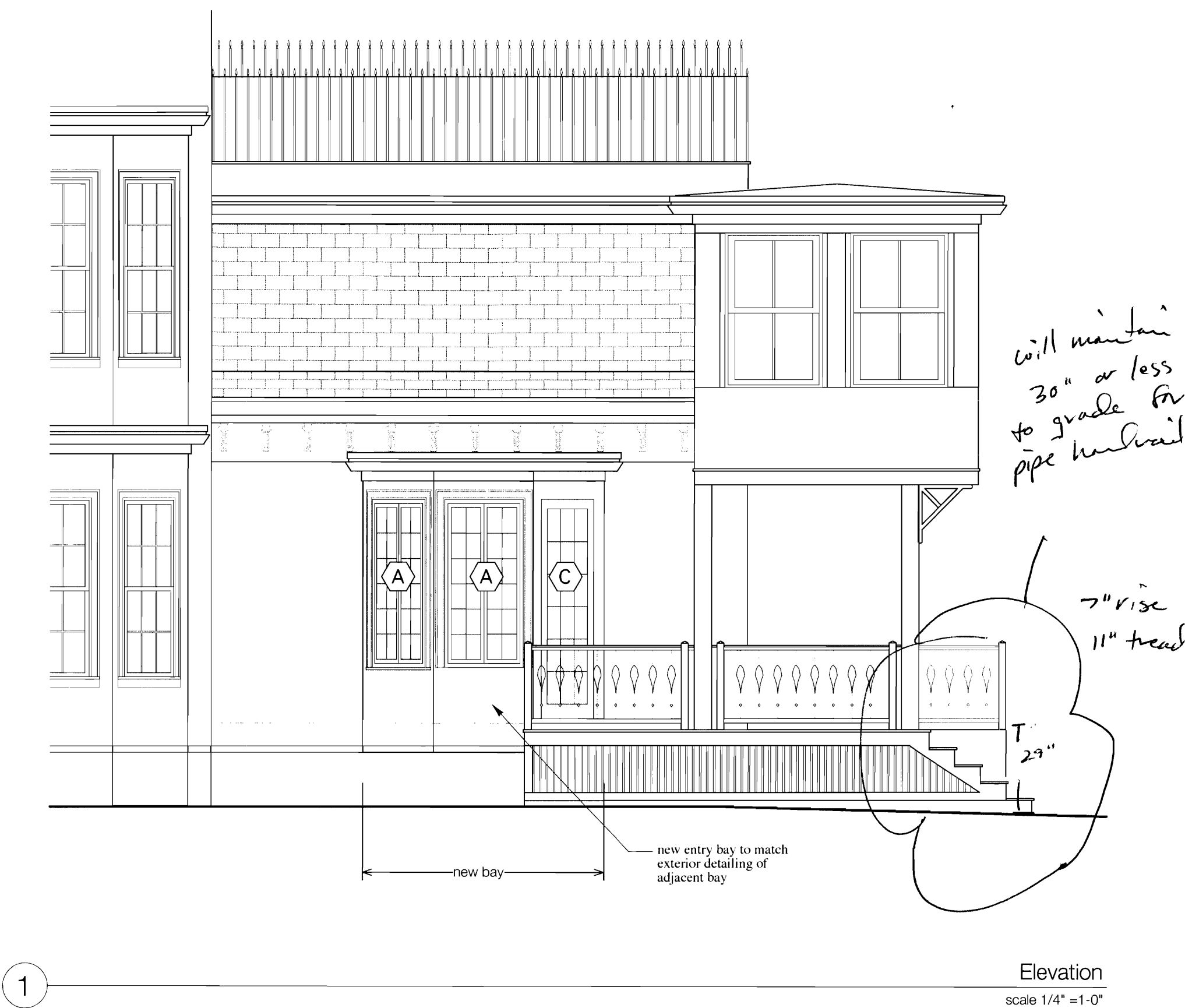
NOTE: THIS IS NOT A BUILDING PERMIT





A1.0 1





McCollum Residence Window Schedule

Window	Description	Manufacturer	Product #	Unit Size (Width x Height)	Notes
A	french casement	Loewen	custom	2'-10"X 7'-0"	

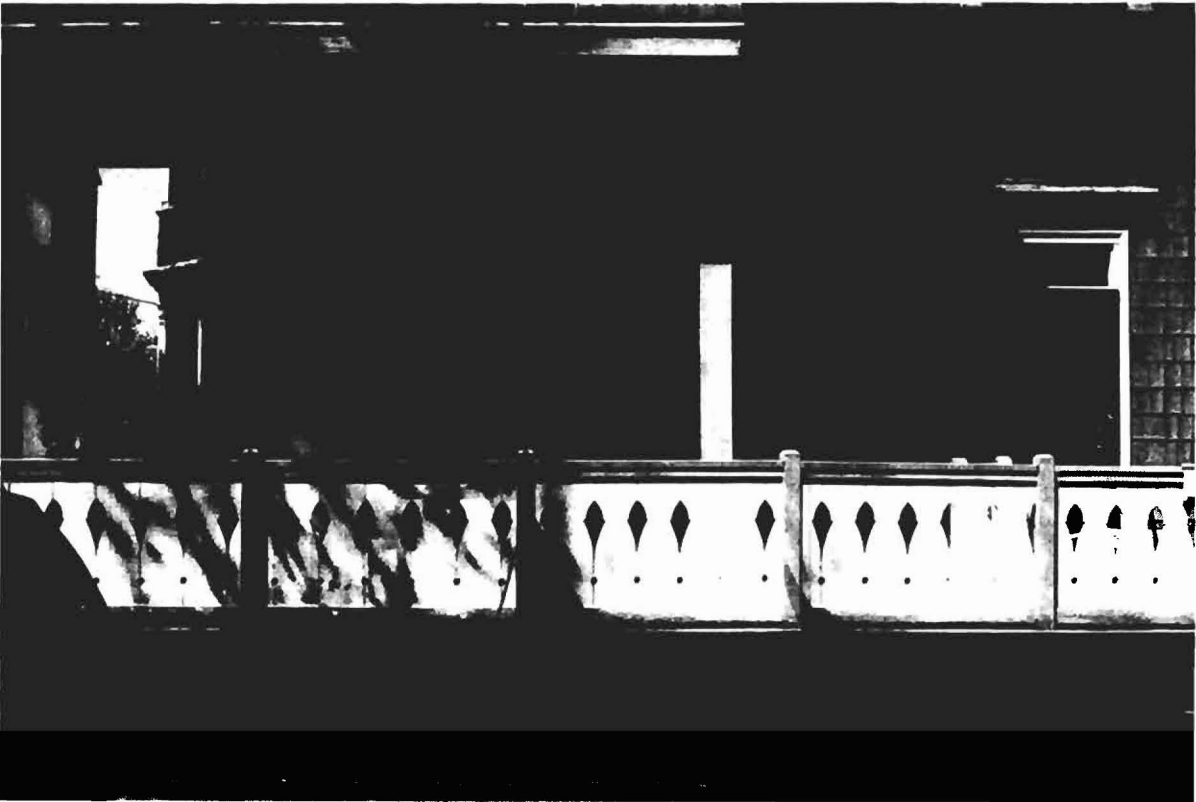
Existing South Elevation



door to be removed

stair to be relocated

Proposed South Elevation



infill railing

install windows in place of door



existing building

new bay with entry door

expanded deck

5.25

5.25

existing deck

relocated door
in new bay

new french casement windows

existing door to be removed

edge of existing deck

2.75

new stair

10'-0" setback line

$$\begin{array}{r} 3.25 \times 2.5 = 8.125 \\ \frac{1}{2}(2.5 \times 2.5) = 3.125 \\ \hline 11.25 \end{array}$$

$$5.25 \times 5.25 = 27.56$$

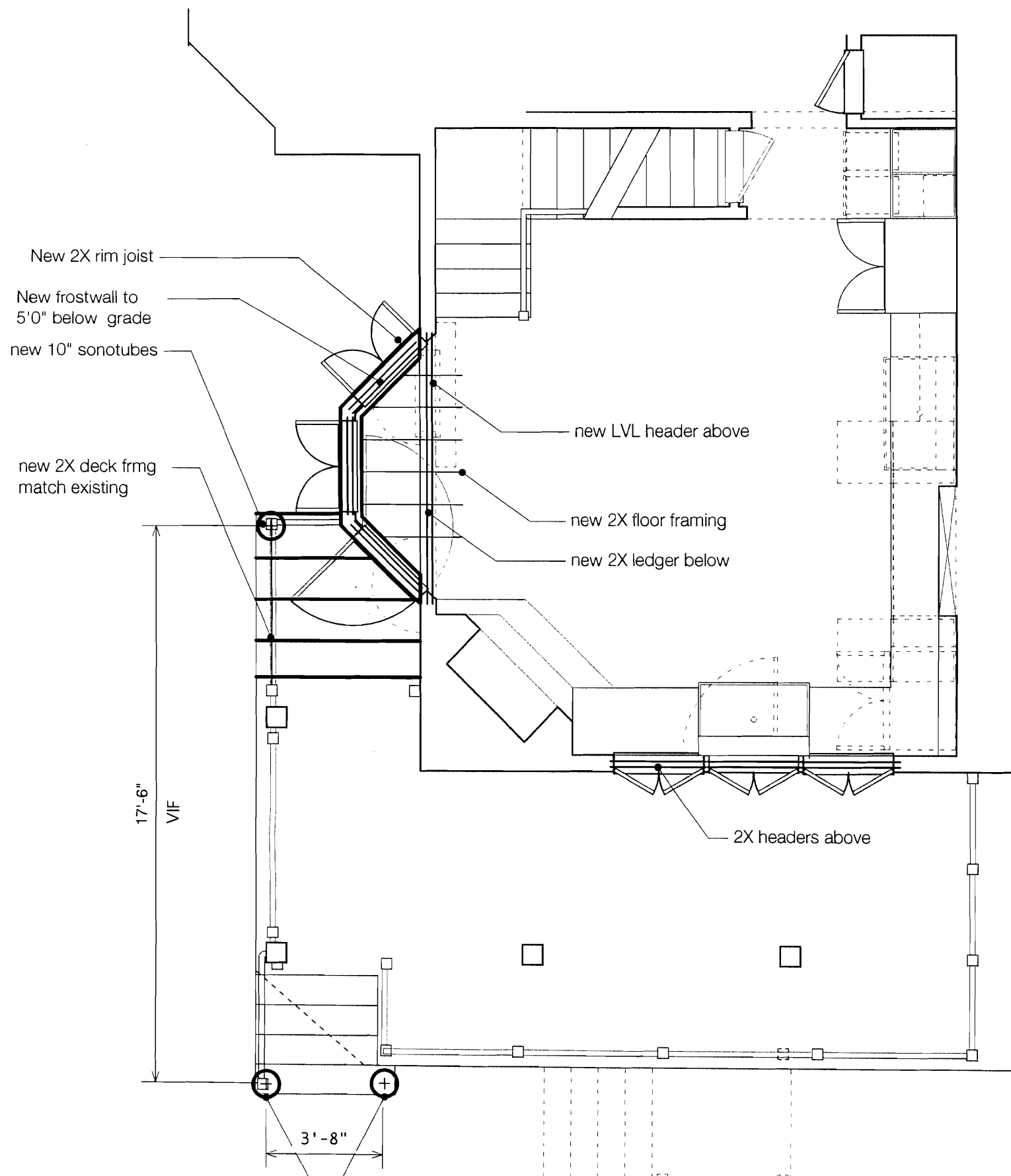
$$\frac{1}{2}(2.75 \times 3.5) = 4.81$$

$$4.5 \times 1 = 4.5$$

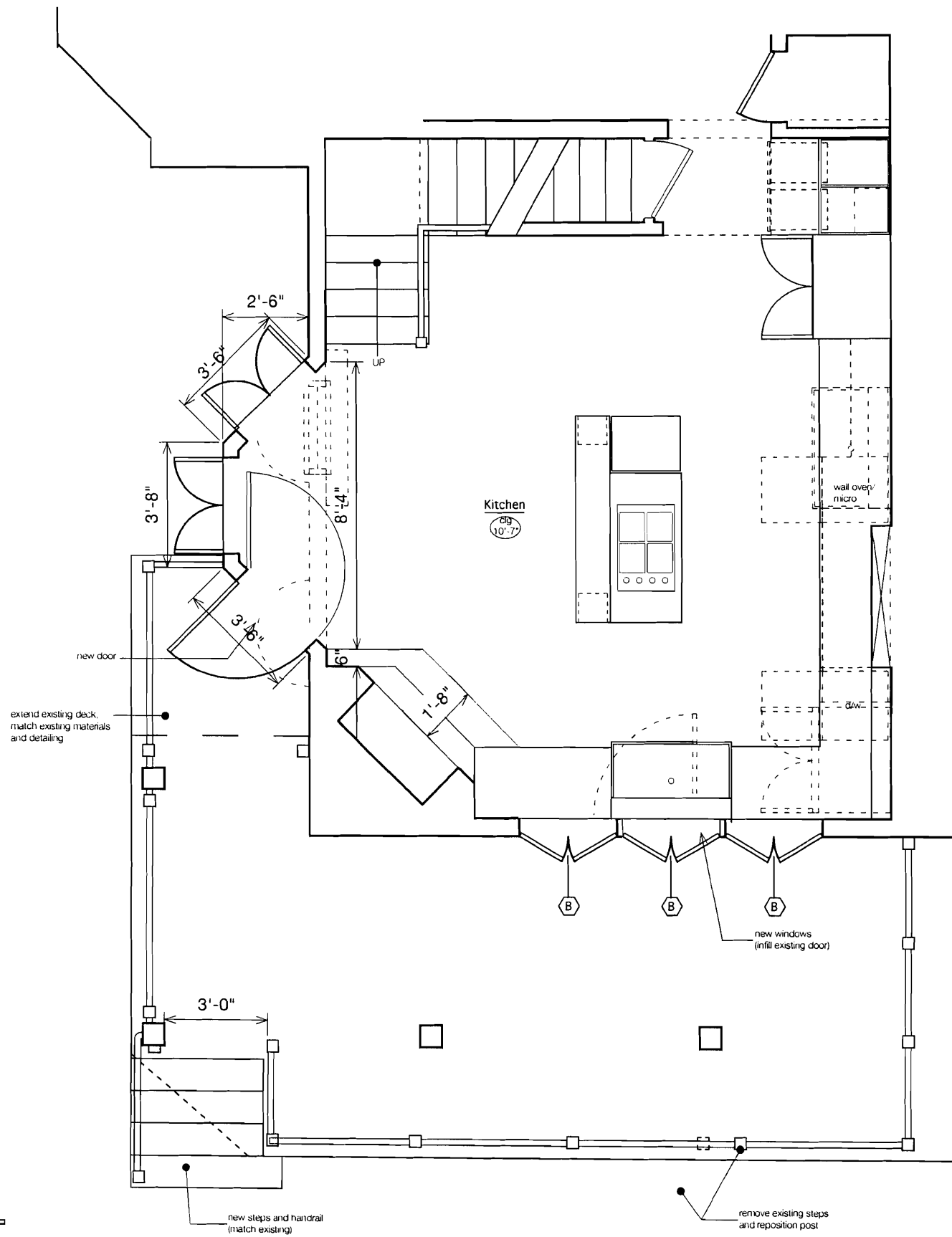
3.35

$$3.35 \times 7.75 = 27.06$$

7.25



A1.02 1





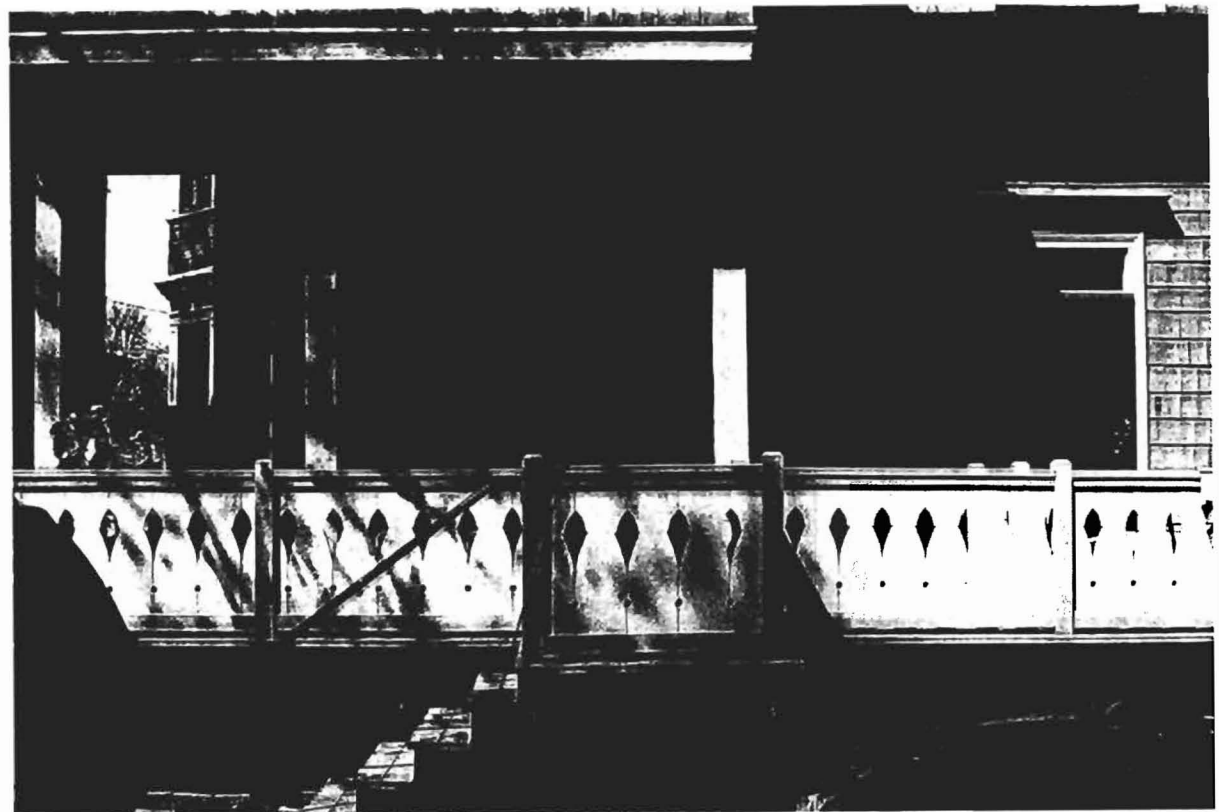
1

Elevation
scale 1/4" = 1'-0"

McCollum Residence Window Schedule

Window	Description	Manufacturer	Product #	Unit Size (Width x Height)	Notes
A	french casement	Loewen	custom	2'-10"X 7'-0"	

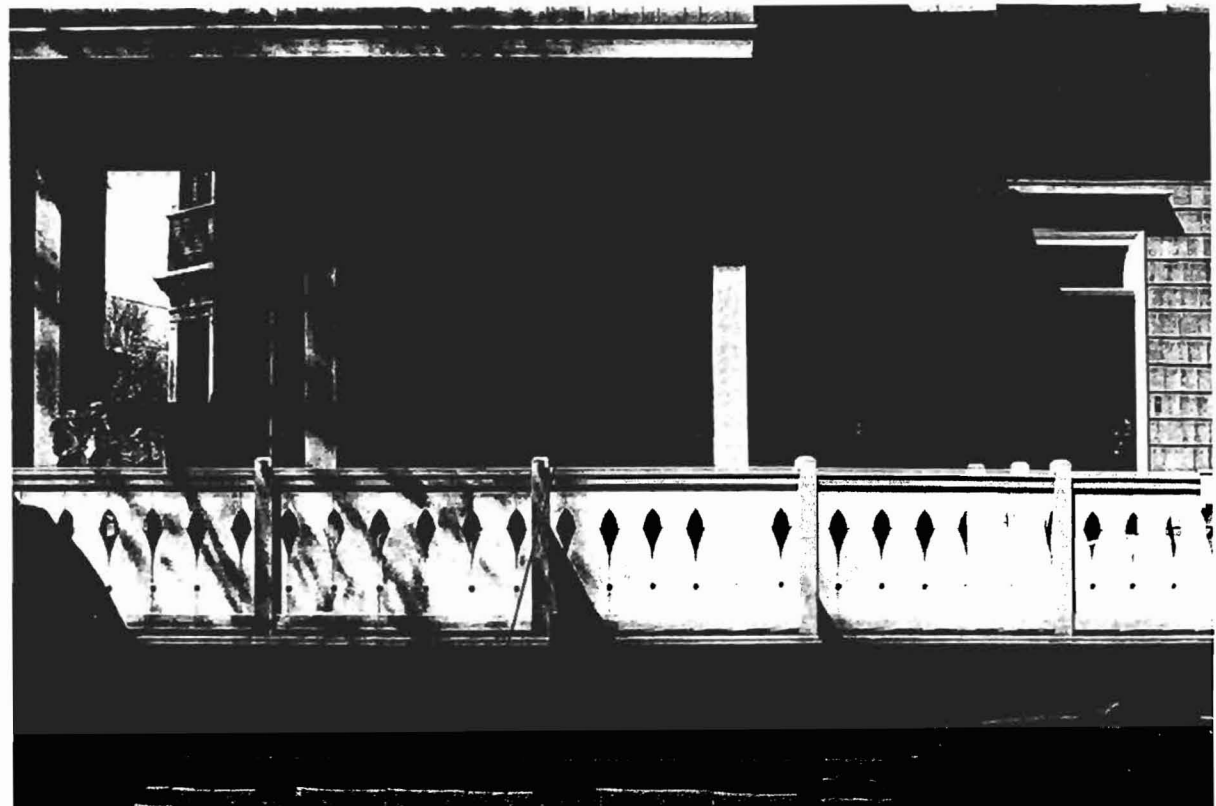
Existing South Elevation



door to be removed

stair to be relocated

Proposed South Elevation



infill railing

install windows in place of door



Site Plan

1 of 6

3-Twintan
Street

35'x

Parking

IRON
ROD

RL

lot size = 4417

min. covered area = 1000 OK

front N/A

rear 20'

* Side - 10' for 3 story = 6.5'

lot coverage = 59% = 2608.54

OK

existing - $39 \times 23 = 897$

- $20 \times 17 = 340$

addition - $14 \times 13.5 = 189$

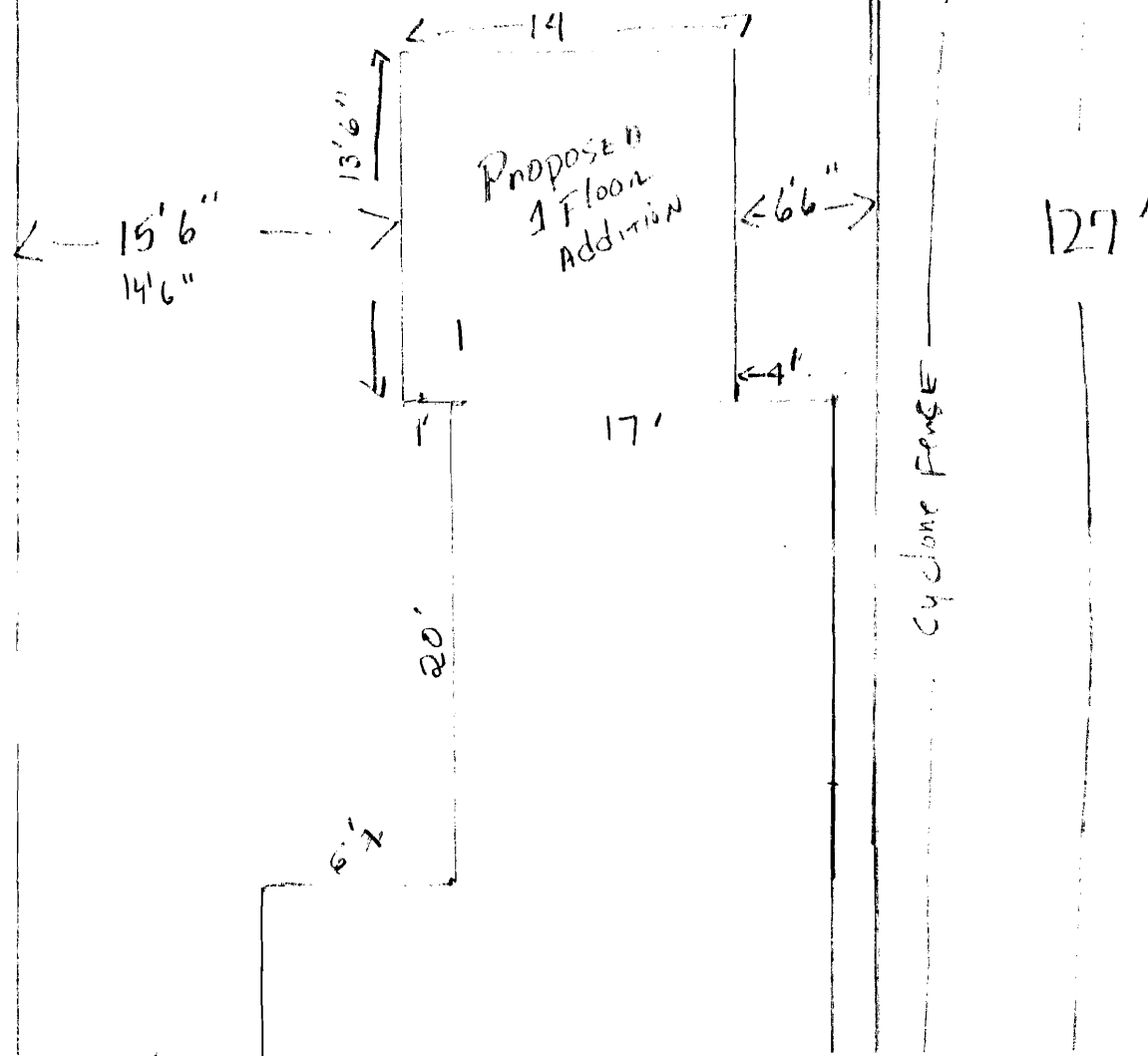
1426

* asking for section 14-433

to reduce side yard

to 6'6" (can be

reduced to 5')



Mercy
Hospital
Parking
Lot

EXISTING HOUSE

EXISTING

HALLWAY

3 STAIR

EGRESS

BASEMENT STAIRS

STAIRS UP
2+3 INCH

DOWN

2 x 12' BEAM (EXISTING)

EXISTING

EXISTING

Triple 2x10
BAND
JOIST P.T.

2x10 Floor Joist
at 16' O.C.
w/ 1/2" P.T.
.60 Ply wood
on undersides

9x9
4' = 105"
POST

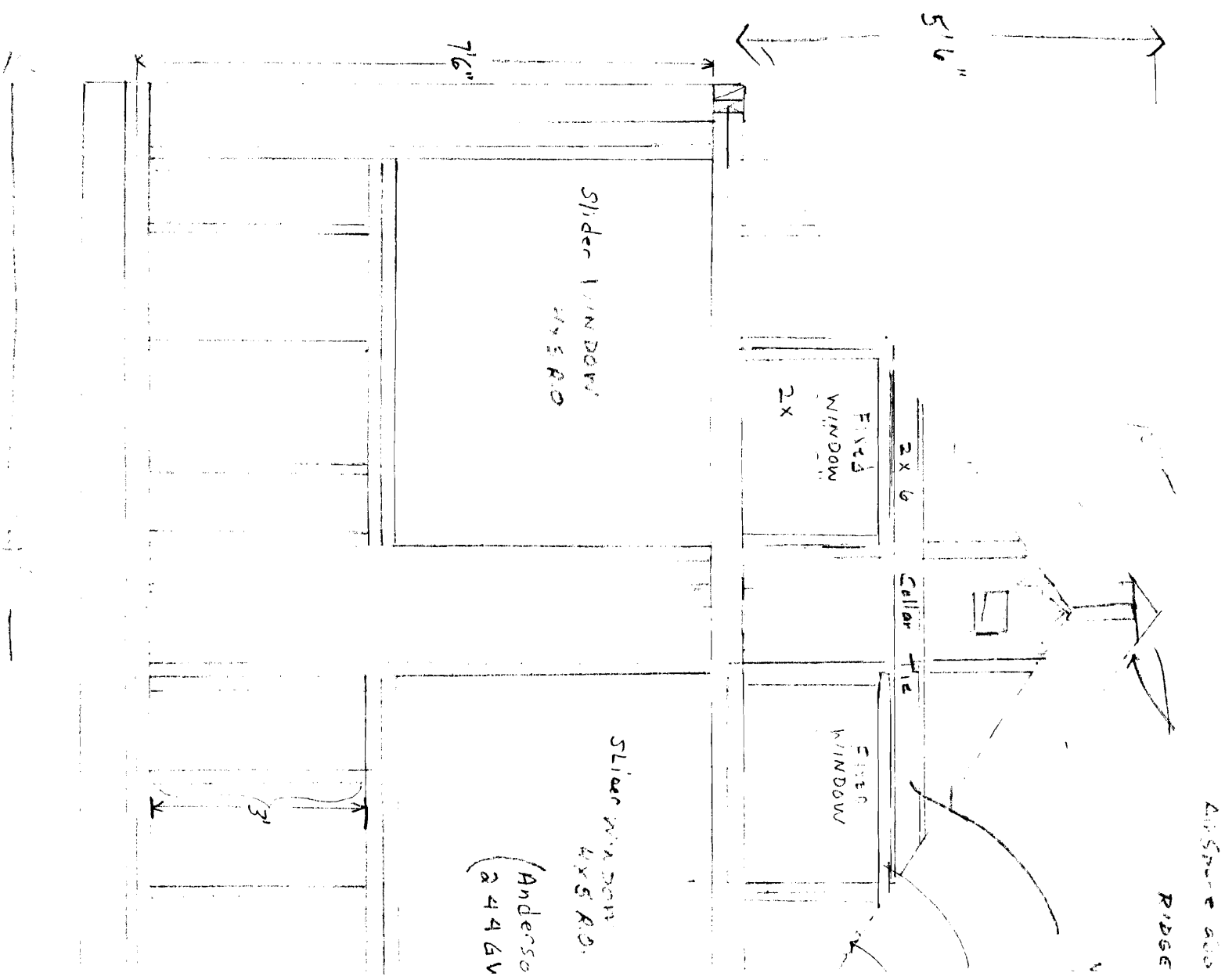
14'

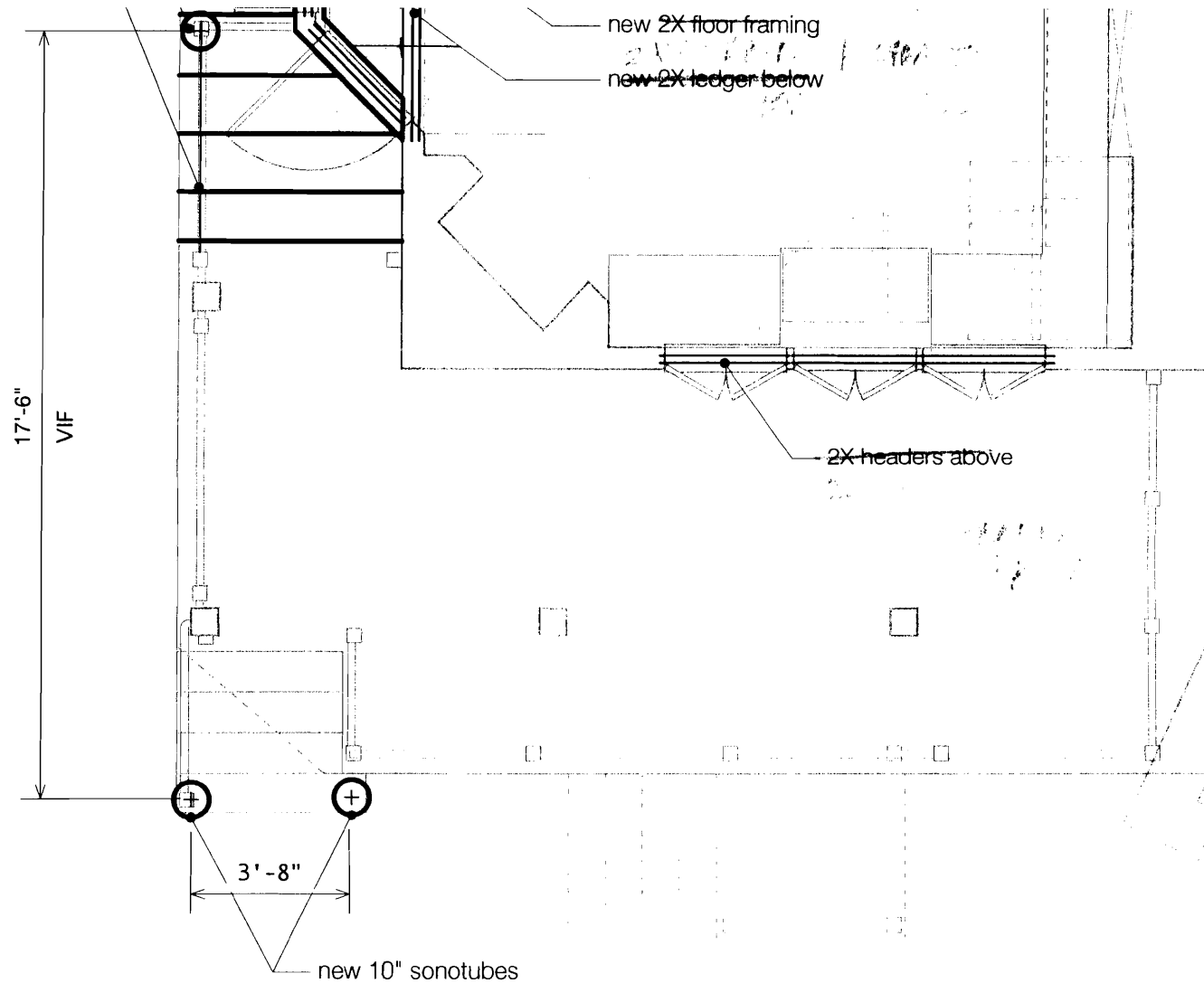
13'6"

296

E12 JST 100 FRONT VIEW (Facing Backyard)

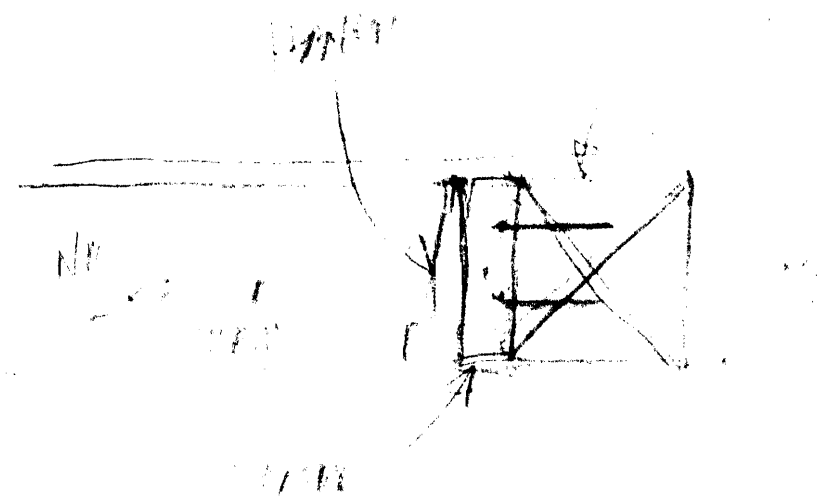
Wall 2x6 [12' x 12']
 RAFTERS 2x10 KD [24" oc]
 (Gable Studs)
 - 8' 2x6 KD.
 INSULATION @ R22 Floor, wall, Roof.





Foundation Plan

Note: All new exterior construction to be insulated
to meet or exceed:
Walls - R19
Floors- R30
Roofs- R38



S0

McCollum Residence

124 Pine St. Portland, Maine

Foundation/Framing Plan

Drawn by: PJS

Scale: as noted

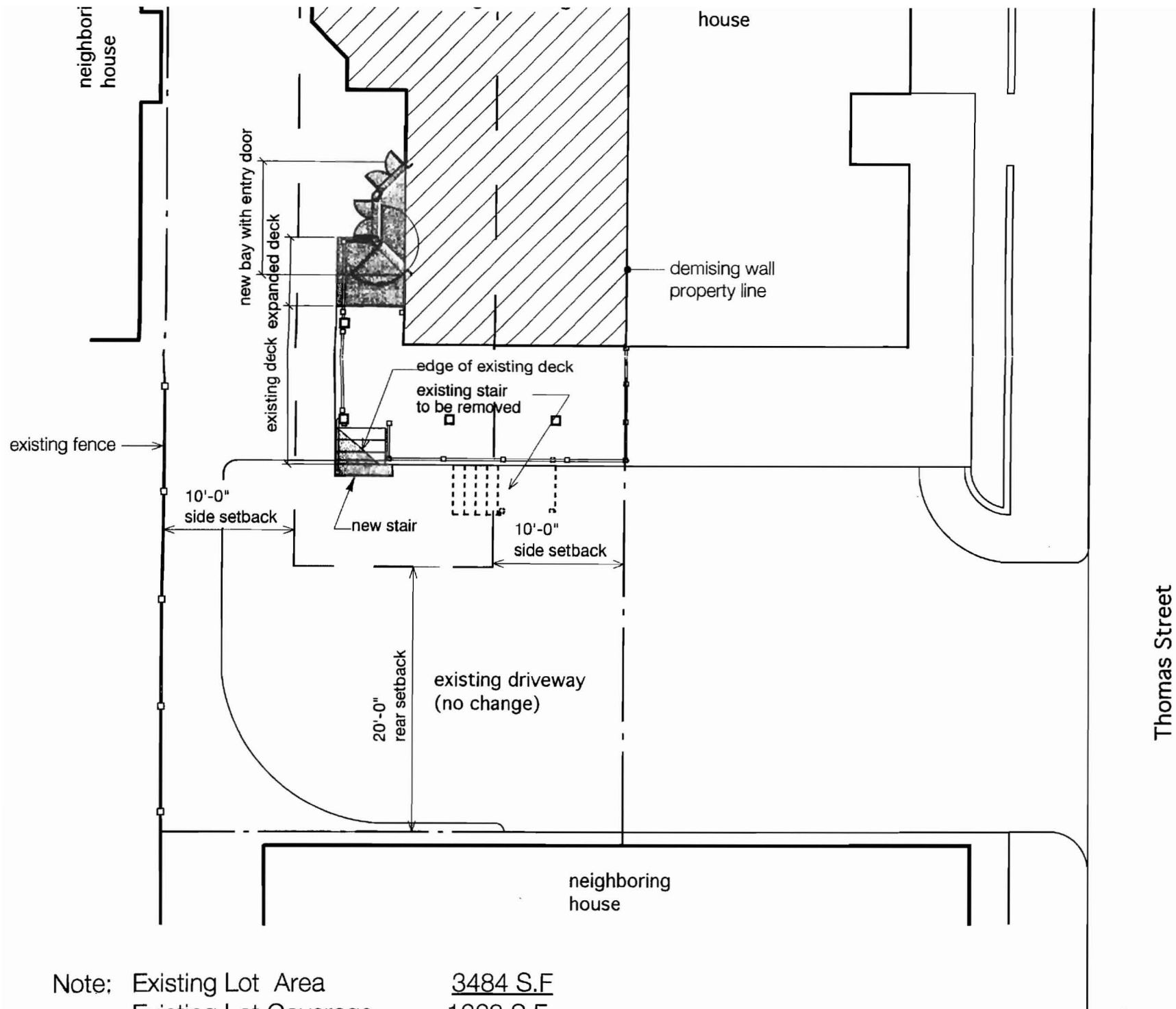
Date: 5.19.08

Revisions:

Job #20725

Van Dam Architecture and Design

66 West Street
Portland, Maine 04102
207-775-0443
FAX 775-2892
studio@vandamdesign.com



Note: Existing Lot Area 3484 S.F.
 Existing Lot Coverage 1338 S.F.
 Proposed Lot Coverage 1355 S.F.
 Allowable Lot Coverage 1742 S.F.

Plot Plan

scale 1" = 10'-0"

L2

McCollum Residence

124 Pine St. Portland, Maine

Plot Plan

Drawn by: PJS

Scale: as noted

Date: 6.12.08

Revisions:

Job #20725

Van Dam Architecture and Design

66 West Street
 Portland, Maine 04102
 207-775-0443
 FAX 775-2892
 studio@vandamdesign.com